



TECHNICAL STAFF REPORT

Planning Board Meeting of August 18, 2016

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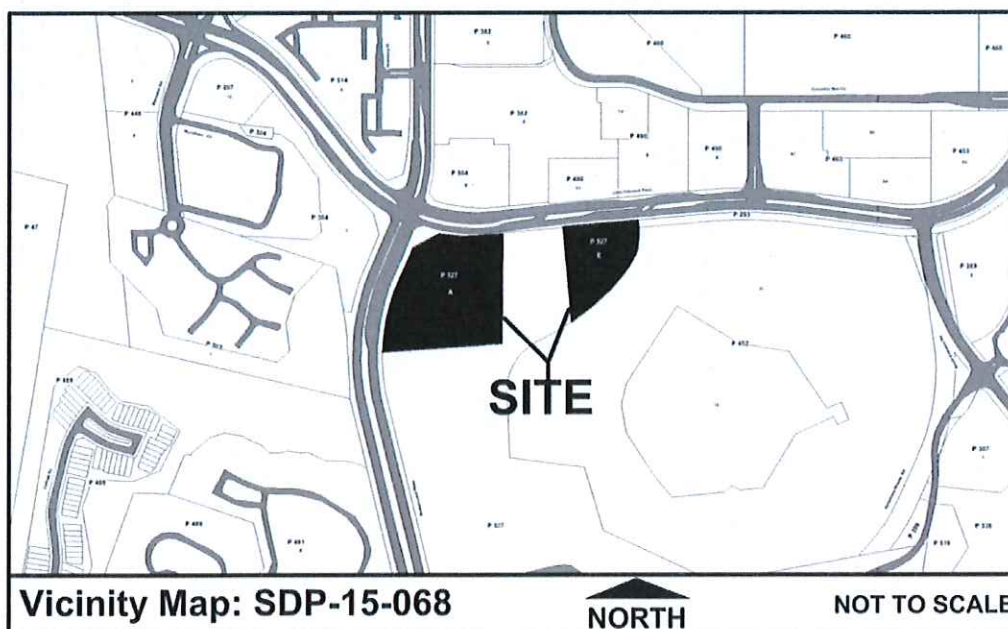
Case No. /Petitioner and Owner: SDP-15-068, Howard Hughes Corporation

Project Name: Downtown Columbia, Crescent Neighborhood, Parcel A-1 through A-3 and Future Parcel E, updated – Major Plan Revision (Parcel A-2)

Request: For the Planning Board to approve a Major Plan Redline Revision to SDP-15-068, a Site Development Plan for Downtown Revitalization, "Crescent Neighborhood Area 1, Parcels A-1 thru A-3 (Block C.1.1) and Parcel E (Block C.4)", in accordance with Section 125.0.G. of the Howard County Zoning Regulations. The purpose of this Major Plan Redline Revision is to show the final footprint and plan details for a proposed mixed use office/retail building on Parcel A-3. The Site Development Plan (SDP) encompasses a plan submission area of 6.32 acres. Parcel A-2 will be improved with 114,129 SF of office and 15,456 SF of retail (including restaurant) for a total building square footage of 129,585 SF. The updated site development plan also revises Parcel A-1 square footage and minor details to reflect the final building plans, and adds Downtown Community Commons to the site. The total cumulative development permitted on the site development plan is 322,036 SF of office, 5,093 SF of retail and 19,679 SF of restaurant. No changes are proposed to the temporary 162 space surface parking lot on future Parcel E, which partially offsets the loss of Merriweather Post Pavilion parking due to development on Parcels A-1, A-2, and A-3.

In accordance with Sections 125.0.G. of the Howard County Zoning Regulations, the Planning Board shall evaluate and approve, approve with conditions, or disapprove the Site Development Plan at a Public Meeting.

Recommendation: The Department of Planning and Zoning recommends approval of a major revision to SDP-15-068, "Downtown Columbia, Crescent Neighborhood Parcel A-1 thru A-3 and Parcel E. It finalizes details for Building B and the Downtown Community Commons proposed at this site, as well as reflects final building details for Building A-1, subject to adequately addressing all the conditions of approval listed in Attachment A. A note must be provided on the plan addressing how land intended for common or quasi-public use will be held, owned, and maintained in perpetuity.



Location: The subject parcels A-1 thru A-3 are identified as part of Parcel 527, Parcels A-1 and A-3 on Tax Map 36 and are located at the southeast corner of the Broken Land Parkway/Little Patuxent Parkway intersection. Future Parcel E is identified as part of Parcel 527 on Tax Map 36 and is located on the south side of Little Patuxent Parkway, just west of the existing private drive to Symphony Woods and Merriweather Post Pavilion. All parcels are zoned New Town (NT) and are designated as Downtown Mixed Use area per the Downtown Columbia Plan. The remainder of Parcel 527 is proposed to be subdivided with F-15-106, which includes Future Parcel E, and is tentatively approved. Parcel A-2 is the southeast parcel and sits at the intersection of Divided Sky Lane and Grantchester Way.

Vicinal Properties:

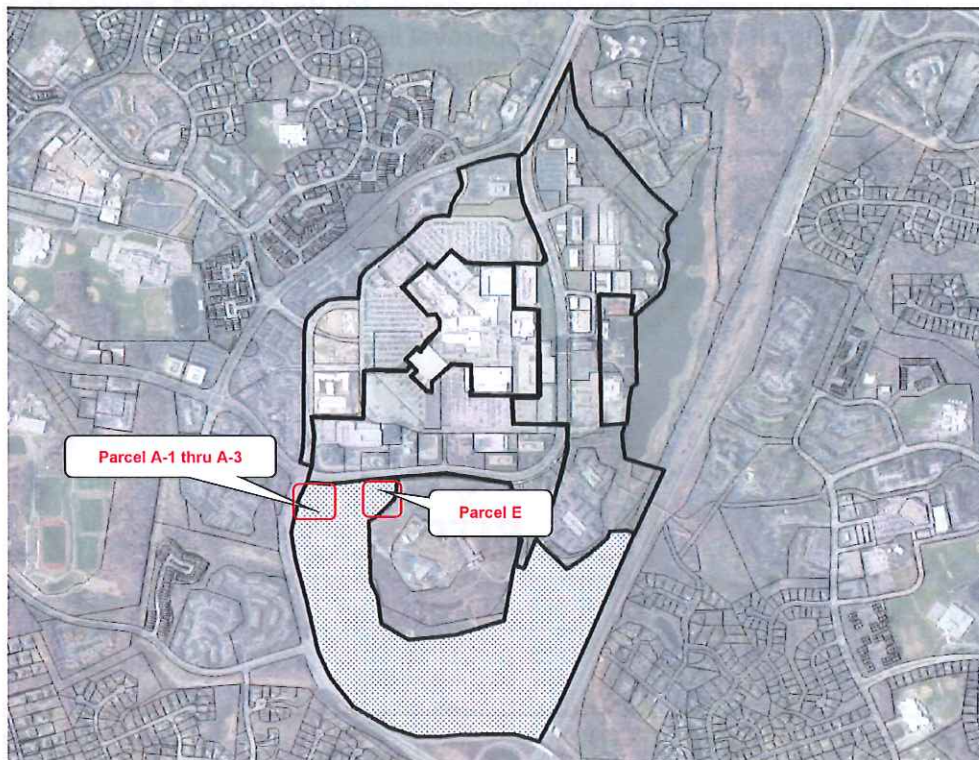
North: Both Parcel A (A-1 through A-3) and Parcel E are bordered to the north by Little Patuxent Parkway. Office buildings and parking structures, part of a set of properties collectively known as Columbia Corporate Center, are on the opposite side of Little Patuxent Parkway. Parcel A-2 is bounded on the north by Parcel A-1.

South: Parcels A-1 through A-3 are bordered to the south by undeveloped land in the Crescent Neighborhood. Some of this land includes existing parking fields serving Merriweather Post Pavilion (locations of future development), as well as areas that contain environmental features. These features will be part of environmental restoration efforts for the neighborhood. Parcel E is bordered on the south by a private drive into the Symphony Woods and Merriweather Post Pavilion properties. Parcel A-2 is bounded on the south by Divided Sky Lane.

East: Parcel A is bordered by undisturbed land that will be part of the planned environmental restoration for the neighborhood. Parcel E is bounded to the east by Symphony Woods. Parcel A-2 is bounded on the east by Grantchester Way and undisturbed land.

West: Parcel A is bordered on the west by Broken Land Parkway. On the opposite side is a residential condominium development. Parcel E is bounded by undeveloped land that will be used for the future Crescent Road A (a.k.a. Merriweather Drive) and land that will be part of the planned environmental restoration for the neighborhood. Parcel A-2 is bounded to the west by a plaza and the Parcel A-3 garage.

Neighborhood: The Downtown Columbia Plan describes the Crescent Neighborhood as a “mixed-use live-work neighborhood”, as well as an employment center. The Crescent Neighborhood Design Guidelines envision it as an “urban live/work neighborhood overlooking Merriweather-Symphony Woods” that is defined by tall buildings set amongst lower lying, environmentally sensitive lands.



I. General Information:

A. Relevant Site History:

Parcels A-1, A-2, and A-3 are part of Crescent Neighborhood Area 1, as shown on Final Development Plan (FDP-DC-Crescent-1) for Downtown Revitalization. When this site development plan was originally approved the sites were wooded and did not contain environmentally sensitive features. The sites have since been graded and are under construction. The recent history is as follows:

- FDP-DC-Crescent-1 encompasses the majority of land within the Crescent Neighborhood and includes four designated development areas, a network of roads that expand the overall Downtown road network, and a network of land designated for environmental restoration and Downtown Parkland. The Crescent Neighborhood Concept Plan, the Crescent Neighborhood Design Guidelines, and the Crescent Neighborhood Implementation Plan were included as part of the FDP package, which was reviewed and approved by the Planning Board on March 19, 2015. The Decision and Order was signed on April 16, 2015. The plans and documents were recorded on July 2, 2015. (An amendment to this FDP, FDP-DC-Crescent-1A, is currently in process, but there are no changes that would impact this site development plan).
- An Environmental Concept Plan (ECP-15-074) for Crescent Neighborhood Parcels A and E was signed approved on September 18, 2015.
- F-15-098 was submitted on May 21, 2015 for the subdivision of Parcels 527 to create Parcels A-1, A-2, and A-3. It also allowed the construction of Divided Sky Lane and a portion of Merriweather Drive, connecting to Little Patuxent Parkway. The road construction drawings were signed December 9, 2015 and the plat was recorded December 17, 2015.
- SDP-15-068 was submitted for review May 27, 2015. The plan was deemed approvable as of September 29, 2015 and received Planning Board approval on October 15, 2015. The originals were signed December 18, 2015.
- F-15-106 was submitted July 2, 2015 to subdivide the remainder of Parcel 527 into buildable parcels (including Parcel E) and open space lots. It also allowed the construction of a portion of future Merriweather Drive and the future Hickory Ridge Road extended. The plan was deemed technically complete on March 23, 2016. The road construction drawings were approved August 3, 2016. The developer's agreement must be completed by September 19, 2016 and the plat originals must be submitted for recordation by November 18, 2016.
- WP-16-024 was submitted August 21, 2015 to waive Section 16.119(f)(1) of the Subdivision and Land Development Regulations. This would allow a private commercial driveway to access an arterial road. The Subdivision Review Committee has submitted comments and DPZ is drafting a report recommending approval to the Planning Director. The justification is that access to this driveway would be limited to trash pickup and deliveries and there would not be a potential for cut-through traffic. SRC comments on the SDP include approval subject to the approval of this waiver petition.
- A Redline Revision/Major Plan Revision request to SDP-15-068 (the subject plan) was submitted on May 16, 2016 and was deemed approvable July 18, 2016, subject to Planning Board Approval and addressing agency comments (See **Attachment A**).

B. Posting:

Per Section 125.0.G. of the Howard County Zoning Regulations, the property must be posted a minimum two weeks prior to the public meeting. The subject property was properly posted with two official Planning Board meeting notices. These signs were posted beginning on or before August 4, 2016. In addition, electronic notifications regarding the public meeting were sent to each Columbia Village Board, the Columbia Association, Howard County Council members, and pre-submission meeting attendees who provided email addresses.

C. Regulatory Compliance:

Site Development Plans are subject to the following items:

- (1) The Downtown Columbia Plan: Council Bill No. 58-2009, which approved an amendment to the

Howard County General Plan.

- (2) The Zoning Regulations: including sections enacted as part of an amendment to the Zoning Regulations as Council Bill No. 59-2009 (ZRA 113).
- (3) Downtown-Wide Design Guidelines passed as Council Resolution 138-2010.
- (4) The Adequate Public Facilities Act amended for Downtown Columbia as Council Bill 47-2010.
- (5) The Sign Ordinance amended for Downtown Columbia as Council Bill 56-2010.

In addition, the petitioner met the following pre-submission requirements:

- (6) A Pre-Submission Community Meeting was held on March 26, 2015 in accordance with Section 125.0.H.1.a. of the Zoning Regulations and Section 16.128(b)-(g), of the Subdivision and Land Development Regulations. Building B was included as part of the concept plan described during this meeting and shown on the submitted and a placeholder was included on the current approved plan. The tentative square footage was also approved. Therefore, no new pre-submission community meeting is required.
- (7) The Design Advisory Panel (DAP) reviewed Parcel A-2/Building B based on the approved Neighborhood Specific Design Guidelines on March 9, 2016. This was in accordance with Section 125.0.H.1.b. of the Zoning Regulations and Title 16, Subtitle 15 of the County Code. Per Section 16.1504(f) of the Howard County Code, the Planning Board may consider DAP recommendations when making a final decision for Site Development Plan approval for Downtown Revitalization. **See Attachment B for a summary of recommendations and the applicant's response for the recommendations.**

D. Definitions:

Downtown Columbia Definitions: Please refer to the attached definitions (**Attachment 'D'**) of terms relating to Downtown Columbia revitalization as excerpted from Section 103.0.A.38-60 of the Zoning Regulations as needed.

Crescent Neighborhood Definitions: See also Section 7.0 ("Definitions") of The Crescent Neighborhood Design Guidelines.

II. Description of the Site Development Plan Proposal:

Site Improvements: This Site Development Plan (SDP) encompasses 6.32 acres of which 5.71 acres will be disturbed. When the original SDP was approved on December 2015 Parcel A-2 was reserved for a future office building. It required additional DAP and staff review and Planning Board approval. This Major Plan Redline Revision proposes a 129,585 SF, 6 story office building with retail and restaurant uses. The developer estimates 114,129 SF of office, 4,031 SF of retail, and 11,425 SF of restaurant uses. The cumulative development permitted per the revised SDP is 322,036 SF of office, 5,093 SF of retail, and 19,679 SF of restaurant uses. These cumulative totals account for a more precise calculation of uses for Building A-1, as reflected on the construction plans. With the construction of the new building an internal plaza (a Downtown Community Commons) will be constructed between Building B and the garage. Building B also has an upper level terrace that is part of the Commons. There are no changes to the Parcel E parking lot, as shown on the previously approved SDP.

Environmental Concerns: There are no current environmental concerns. When the original SDP was approved Parcels A and Parcel E were fully wooded, but did not contain wetlands, wetland buffers, streams, stream buffers, steep slopes (25% or greater), erodible soils, or a 100-year floodplain. Parcels A-1 and A-3 are currently under construction, and Parcel A-2 has been graded.

Stormwater Management: A combination of techniques will serve to adequately filter and manage stormwater per the 2010 Stormwater Management Act. The Site Development Plan proposes various types of Environmental Site Design (ESD) practices to address stormwater management. The plan utilizes micro-bioretenion facilities, pervious pavement, a green roof on Building B, and an underground rain harvesting system.

The underground rain harvesting system will collect water from the Building A roof, pipe it to a Stormceptor filtering device where it will be pretreated, and then it will be stored in a cistern under the loading area on the west side of the building. The water will be released into a seepage berm that will enhance the wetlands on the west side of the parcel.

Micro-bioretenion facilities along the east side of the parking garage will treat rainwater from the garage, allowing it to infiltrate. Under-drained ESD facilities and pervious pavers in the pedestrian plaza will address larger storms. The green roof on Building B will also directly treat stormwater and underdrains will collect it and then direct it to a storm drain.

Roads: In addition to Broken Land Parkway and Little Patuxent Parkway, the site is served by three new roads currently under construction. These were approved through Final Plan F-15-098 and the original SDP-15-068. Merriweather Drive (off-site of this SDP) is a major neighborhood avenue (Avenue Type 3 per the Crescent Neighborhood Design Guidelines) at the boundary of the Crescent and Merriweather-Symphony Woods Neighborhoods. Divided Sky Lane is a public road (Street Type 3 per the Crescent Neighborhood Design Guidelines) located along the southern boundary of Parcels A-2 and A-3. It connects Broken Land Parkway and Merriweather Drive. A private road, Grantchester Way, is being constructed as part of this SDP along the east side of Parcels A-1 and A-3. It is the east frontage street for the new building and goes from Little Patuxent Parkway south to intersect with Divided Sky Lane.

The intersection of Broken Land Parkway and Divided Sky Lane, as well as the intersection of Little Patuxent Parkway and Merriweather Drive, will only allow right in/right out turns. Access to the parking garage and Building A will be via Divided Sky Lane and an internal driveway from Grantchester Way. The intersection at Little Patuxent Parkway and Grantchester Way will be right-in only. Cars exiting from the parking garage to Grantchester Way will have to travel south to Divided Sky Lane. Cars exiting the parking garage at the Divided Sky Lane may travel west to Broken Land Parkway or east to Grantchester Way or Merriweather Drive.

Pedestrian and Bicycle Connections: The pedestrian and bicycle connections shown on the approved site development plan remain. This updated plan also shows a new north-south pedestrian connection through the central plaza, along with a meandering boardwalk, located above a microbioretenion facility, which provides handicap access. The existing sidewalk along Broken Land Parkway is currently being widened to 6' to comply with the Crescent Neighborhood Design Guidelines and a 6' sidewalk is proposed on the west side of Grantchester Way. The Downtown Multi-use Pathway fronts both Parcels A and E.

Divided Sky Way is identified as a primary bicycle connection in the Crescent Neighborhood Design Guidelines and FDP-DC-Crescent-1. There will be an 8' sidewalk on the south side of Divided Sky Lane to accommodate bicycles, which will also have full use of a street lane. An 8' sidewalk on the north side of this road will accommodate larger crowds during events at Merriweather Post Pavilion.

Building Height: Per FDP-DC-Crescent-1, the maximum building height for Parcels A-1 thru A-3 is 15 stories or 170'. The proposed mixed use office/retail building on Parcel A-2 is proposed with 6 stories and a mean height of 85'. No changes are proposed for the Parcel A-1 and A-3 buildings currently under construction.

Forest Conservation: The property is exempt from the requirements of Section 16.1200 of the Howard County Code for Forest Conservation because the property is zoned NT and received preliminary plan approval prior to 12/31/92 per Section 16.1202(b)(1)(iv).

Setback Requirements: While there are no setback requirements, the Crescent Neighborhood Design Guidelines recommend a 15-25' setback from a public or private right of way, which the proposed building meets.

Landscaping: There are no major changes to landscaping based on the approved plan. However, some microbioretenion planters along the plaza side of Building B will be removed because the footprint of the building has increased. A hedge located between the Building A terrace and the Downtown Multiuse Pathway will also be removed and replaced with a 3 ½' stone veneer wall (depicted in an elevation on Sheet 37 of the proposed revised plan).

Parking: A Parking Needs Analysis, based on Section 133.0.E.3 of the Zoning Regulations (Downtown Revitalization Trip Reduction), was updated to reflect changes in Building B uses and the size of Building A. According to the updated study, 1,102 automobile parking spaces are required for both buildings. The SDP

proposes 1,127 credited automobile parking spaces within the parking garage and 7 on-street parking spaces on the north side of Divided Sky Lane. The total parking supply is therefore 1,134 credited parking spaces. Adequate handicap accessible parking spaces are also being provided and bike racks are proposed at the front and rear of the building and within the garage, per the currently approved plan.

The proposed development displaces approximately 500 parking spaces currently available for Merriweather Post Pavilion patrons. Per FDP-DC-Crescent-1, all displaced Merriweather Post Pavilion parking due to development of the Crescent Neighborhood must be mitigated:

“Mitigation for Merriweather Post Pavilion parking lot to development pursuant to this FDP must be specified with the site development plan that shows the demolition of the existing parking. For each SDP proposing demolition of existing parking, the petitioner must submit a parking analysis to demonstrate the proposed mitigation will either (i) replace within existing or proposed parking area(s) located within Downtown any demolished parking calculated on a shared parking basis; or (ii) propose other mitigation, which could include parking management practices, that will mitigate the loss of the demolished spaces. As with past practices, large festival events may include parking outside the Downtown area.”

To partially meet this requirement, a temporary surface parking lot containing 162 spaces is proposed on Parcel E. There is also excess capacity in existing garages on the north side of Little Patuxent Parkway to accommodate any remaining displaced spaces. Temporary easements are recorded in the Land Records of Howard County to ensure there is no net loss of parking spaces during construction. The parking garage still under construction will be utilized for Merriweather Post Pavilion event parking when finished; accommodating about 805 parking spaces for events.

III. Planning Board Review and Approval Criteria: In accordance with Section 125.0.H.3. of the Howard County Zoning Regulations, the Planning Board is to evaluate and approve, approve with conditions, or deny a Site Development Plan that proposes Downtown Revitalization based on whether the petition satisfies the following criteria:

A. The development conforms with the adopted Downtown Columbia Plan.

The proposed development conforms to the Downtown Columbia Plan when considering all of the conformance criteria. Conformance is specifically addressed in Section 125.0.A.2.b of the Zoning Regulations:

“When a provision in this section requires that an action “will conform”, “conform with”, “conforms with” or “conforms to”, the Downtown Columbia Plan or any part of the plan, the action being taken shall further, and not be contrary to, the following items in the Downtown Columbia Plan:

- (1) Policies;*
- (2) Timing and implementation of the plan;*
- (3) Timing of development;*
- (4) Development patterns*
- (5) Land uses; and*
- (6) Densities and intensities.”*

The Downtown Columbia Plan envisioned the Crescent Neighborhood as a mixed-use, live-work neighborhood, and employment center. It was to be densely built and located adjacent to environmentally sensitive areas. This revised SDP completes the vision of the previously approved plan with a second mixed use office building within the heart of Downtown. It complements the existing office buildings on the north side of Little Patuxent Parkway. The proposed development also includes a Downtown Community Commons at its center, which provides a quasi-public open space, as envisioned in the Downtown Columbia Plan.

Downtown Phasing - This proposal falls within the Phase I threshold of the Downtown Revitalization Phasing Plan. It states that Downtown Columbia cannot proceed to Phase II until there are between 656-2,296 new residential units, between 100-640 new hotel rooms, between 1 million to 1.5 sf of new office and conference space and between 300,000-676,466 sf of new retail space (See chart below).

With this proposed Revised Site Development Plan, 817 residential units, 322,036 SF of office, and 100,503 SF of retail (including the restaurant) would be approved for development under Downtown

Revitalization provisions or constructed. To date, a hotel has not been proposed for Downtown.

Existing and approved development in Downtown does not exceed the maximum limits for any use categories for Phase 1.

DOWNTOWN REVITALIZATION PHASING PROGRESSION													
PHASE I				PHASE II CUMMULATIVE				PHASE III COMPLETION			TOTAL		
Use Type	Min		Max		Use Type	Min		Max		Use Type	Up To		
	Units	SF	Units	SF		Units	SF	Units	SF		Units	SF	
Retail		300,000		676,446	Retail		429,270		1,100,000	Retail		820,730	1,250,000
Office/ Conf*		1,000,000		1,513,991	Office/ Conf*		1,868,956		2,756,375	Office/ Conf*		2,431,044	4,300,000
Hotel Rms**	100		640		Hotel Rms**	200***		540***		Hotel Rms**	440		640
Residential**	656		2,296		Residential**	1,442		4,700		Residential**	4,058		5,500

(* , ** , ***: See Page 73 of Downtown Columbia Plan for Chart and Notes)

CEPPAs: DPZ has also evaluated the SDP for conformance with all applicable Community Enhancements, Program and Public Amenities (CEPPA) Requirements. See the attached CEPPA Conformance Chart (Attachment C). The development proposed with this SDP approaches, but does not exceed the 1,300,000 SF threshold for CEPPAs #14-16. Therefore Building B does not trigger these CEPPAs requirements.

CEPPA Tracking*			
	Parcel/Project	Block	Square Footage
Project Approved - Issued Building Permits			
SDP-13-007	Parcel D/Metropolitan	W-1	454,328
SDP-13-016	Mall	M-1	33,289
SDP-14-024	Parcel C-2/Warfield	W-2	247,903
	Parcel C-1/Warfield	W-5	188,765
SDP-15-068	Parcel A-1/Crescent/Bldg A	C-1.1	217,223 SF
		SUBTOTAL	1,141,508 SF
Project Approved - Pending Building Permits			
None			0 SF
		SUBTOTAL	0 SF
Projects Approved - No Pending Permits			
None			0
		SUBTOTAL	0 SF
New Projects			
SDP-15-068	Parcel A-2/Crescent/Bldg B	C.1.1	129,585 SF
		SUBTOTAL	129,585 SF
CUMULATIVE TOTAL – INCLUDING SDP-15-068 REVISION - BUILDING B			1,271,093 SF**
* Only tracks projects not exempt from CEPPA requirements			
** Building permit SF is estimated except for issued building permits; square footage may change prior to issuance.			

B. The development implements and conforms to the approved Final Development Plan or Final Development Plan Amendment including all applicable Final Development Plan approval criteria and conditions.

The Final Development Plan (FDP-DC-Crescent-1) proposes a mix of land uses throughout the neighborhood. This SDP is proposed within Area 1, as shown on the FDP. The SDP proposes 322,036 SF of office and 24,722 SF of retail/restaurant uses on Parcels A-1 and A-2. While primarily an office development, the SDP does propose some street-level retail and restaurant uses.

The FDP indicated that there would be approximately 600,000 sf of office and 25,000 sf of retail/restaurant uses and 250 hotel rooms in Area 1 (although that amount could change). The proposed development is consistent with the FDP in terms of land uses and their proposed size. While additional development may be envisioned for Parcel B within Area 1 there are currently no plans in process.

FDP BLOCK DEVELOPMENT CHART

PARCEL			Uses									
			Retail/ Restaurant (SF)	Office (SF)	Cultural/ Community (SF)	Hotel		Residential*		Total Development (GFA in SF)		
Parcel	Area (SF)	Area (Acre)				Rooms	GFA (SF)	DU	GFA (SF)	Demolition	New	Net New
A & B (Area 1) (Blocks C 1.1 & C 1.2)	264,874	6.08	25,000	600,000	0	250	150,000	0	0	0	775,000	775,000
C (Area 2) (Blocks C 2.1 & C 2.2)	187,056	4.29	30,000	300,000	0	0	0	500	590,000	0	920,000	920,000
D (Area 3) (Blocks C 3.1 thru C 3.7)	930,880	21.37	252,000	400,000	225,000	0	0	1,800	2,124,000	0	3,001,000	3,001,000
E (Area 4) (Block C 4)	97,197	2.23	6,500	175,000	0	0	0	0	0	0	181,500	181,500
Crescent Total This FDP	1,480,007	33.98	313,500	1,475,000	225,000	250	150,000	2,300	2,714,000	0	4,877,500	4,877,500

Conditions of approval for FDP-DC-Crescent-1 are in Attachment E. One condition requests an open recreation area in the undeveloped parts of the neighborhood, such as Area 1. An open, un-programmed recreation area is not shown on this SDP, but there is potential for one as part of a future SDP for Parcel B. However, DPZ recommends that any future un-programmed amenity areas be located near future residential uses.

The FDP identifies part of Parcel A, the corner of Broken Land Parkway and Little Patuxent Parkway, as a location for a signature building. This remains unchanged and was addressed in the approved SDP.

Mitigating the loss of Merriweather Post Pavilion parking was a concern discussed during Crescent Final Development Plan FDP-DC-Crescent-1; however, all displaced parking has been adequately accounted for with this site plan. Section II shows that the loss of 500 parking spaces has been partially offset with a 162 space temporary surface lot on Parcel E. Additional parking to offset losses is in the Columbia Corporate Center parking garages, north of Little Patuxent Parkway. These are to be used during the 2016 concert season. Once completed, the parking garage associated with this development will be used for Merriweather Post Pavilion parking, providing an estimated 805 spaces for concerts. It is targeted to be available for the 2017 concert season.

C. The development is well-organized in terms of location of buildings and structures, downtown community commons, landscaping, pedestrian and vehicular circulation systems and other Downtown Revitalization features.

Both Building A and the parking garage are oriented externally and introduce an urban edge to Broken Land and Little Patuxent Parkways. The siting of Building B also provides a consistent building orientation around an interior community space; while the retail/restaurant uses help activate it. The central north/south orientation of the community space helps establish a critical circulation link between Parcel A and adjoining parcels to the south and east. This is consistent with the goals of the Crescent Neighborhood Design Guidelines neighborhood concept. It calls for pedestrian links between development areas that are separated by preserved environmental features. The development makes good use of landscaping as part of stormwater management, which is incorporated throughout the site and augments the overall design.

Pedestrian circulation is provided along the periphery and internal to site, as described in Section II. The sidewalk to the south (on the north side of Divided Sky Lane) will be 8' wide to accommodate larger crowds walking to Merriweather Post Pavilion events. Bicyclists may choose to use Divided Sky Lane, but they can also use an 8' wide multi-use sidewalk. It is proposed on the south side of the road to accommodate cyclists who may be intimidated by traffic to and from the parking garage. Bicycle racks are provided in the plaza, in front of the buildings, and in the garage.

As a condition of approval DPZ recommends that the maintenance agreement for the Downtown Multi-use Pathway be amended. It should require the building owner to maintain that portion of the pathway in front of the building on Parcel A-1, along Little Patuxent Parkway. An Amended Maintenance Agreement is currently under review and should be executed prior to signature approval of the revised plan.

- D. If the development provides Downtown Community Commons and/or Downtown Parkland, they are reasonable and appropriate given the location, scale and anticipated intensity of adjacent uses in accordance with the Downtown Columbia Plan.**

A minimum 14,000 SF of Downtown Community Commons is required in Area 1 per FDP-DC-Crescent-1. This SDP proposes a 20,000 SF internal, terraced plaza as Downtown Community Commons. The large microbio retention facility on the east side of the parking garage has been retrofitted with an ADA compliant boardwalk that links the lower and upper ends of the site. The plaza includes an upper level terrace that is incorporated into the design of Building B. This commons will be activated with seating and open air dining. The heavily landscaped microbio retention will provide a respite for office workers and other visitors to the Downtown area, and is appropriate solution. The FDP and the approved Crescent Neighborhood Documents envision this as one of several public spaces throughout the neighborhood that will be loosely connected by pathways through environmental areas.

- E. The maximum permitted building heights will conform to the Final Development Plan.**

Per the Downtown Columbia Plan, the Crescent Neighborhood Design Guidelines, and FDP-DC-Crescent-1, the maximum building height is 15 stories or 170'. At 6 stories and 85', the proposed building meets that requirement.

- F. The development satisfies the Downtown Public Art Program approved with the Final Development Plan or Final Development Plan Amendment approval.**

Per Section 125.0.A.9.f.2. of the Howard County Zoning Regulations, 1% of the building construction costs (or a fee-in-lieu) must be allocated to public art. To address this, the developer has identified public art on the west façade of the parking garage. However, it is unclear if this satisfies the 1% cost requirement associated with both buildings. DPZ has not yet received construction costs for either Building A or the proposed art. A condition of approval should require additional locations identified for art should the current proposal be inadequate. DPZ further recommends that public art be considered for the east façade of the garage. This would help enhance the plaza and soften the harsh concrete.

- G. The Site Development Plan satisfies the affordable housing requirements in accordance with the Final Development Plan.**

This SDP does not propose housing; however, per CEPPA #27, it is subject to an annual assessment for the Downtown Columbia Community Housing Fund.

- H. The development satisfies the Adequate Public Facilities Ordinance, if applicable.**

SCHOOLS: NA – housing is not proposed.

ROADS: In accordance with the Adequate Public Facilities Ordinance (Title 16, Subtitle 11 of the Howard County Code), this development was tested for adequate transportation facilities based on an updated traffic analysis. Transportation improvements are coordinated with the construction of both public and private roads, as described in Section II of this report. With the proposed network in place (Grantchester Way, Divided Sky Lane, and Merriweather Drive between Little Patuxent Parkway and Diamond Avenue) and in the context of the existing road network, the traffic study found the proposed development to be in compliance with the Downtown Columbia provisions of the Adequate Public Facility Ordinance and the SRC concurred.

- I. The development indicates the manner in which any land intended for common or quasi-public use, but not proposed to be in public ownership, will be held, owned and maintained in perpetuity for the indicated purposes.**

The developer proposes that all common facilities located within Parcel A and the private street accessing Parcel A will be maintained by the property owner. DPZ will require a note on the plan to address the ownership, operation, and maintenance of the Downtown Community Commons, the private road (Grantchester Way), and sidewalks along the right-of-way, as identified on the plan.

- J. The petition is accompanied by documentation demonstrating membership in the Downtown Columbia Partnership including the required annual charges.**


The SDP contains a note indicating the property owner will participate in the Downtown Columbia Partnership

and pay the charges assessed for each square foot of gross leasable retail space to the Downtown Columbia Partnership per CEPPA #25 and #27. See General Note #43 on Sheet 1.

SRC Action: The Subdivision Review Committee has recommended approval subject to the technical comments issued in the letter dated July 18, 2016.

Please note that this file SDP-15-068 is available for public review by appointment at the Department of Planning and Zoning public service counter, Monday through Friday, 8:00 a.m.-5:00 p.m.

Recommendation: The Department of Planning and Zoning recommends approval of this major revision to SDP-15-068, "Downtown Columbia, Crescent Neighborhood Parcel A-1 thru A-3 and Parcel E. It finalizes the details of Building B and the Downtown Community Commons proposed at this site and reflects final building details for Building A; subject to adequately addressing all the conditions of approval listed in Attachment A and providing a note on the plan addressing how land intended for common or quasi-public use will be held, owned, and maintained in perpetuity.

 8-4-16

Valdis Lazdins, Director Date
Department of Planning and Zoning

Staff Report Prepared by: Jill Manion-Farrar

T:\Shared\DLD- Division of Land Development\Staff Files\Jill\Plans\SDP-15-068\Planning Board\SDP-15-068redlineTSR.docx

Attachment A
Recommended Conditions of Approval
Major Redline Plan Revision to SDP-15-068, Crescent Parcels A-1 thru A-3 and Future Parcel E

SPEED MEMO
HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
DEVELOPMENT ENGINEERING DIVISION
(410) 313-2420

To: Jay Hariharan
Gutschick, Little & Weber, P.A.
3909 National Drive, Suite 250
Burtonsville, Maryland 20866

Date: July 19, 2016
Reviewer: Heather Pandullo
of sheets revised: 58(35rev,23add)

Subject: **PROPOSED SITE DEVELOPMENT PLAN REVISION**

SDP-15-068 – Downtown Columbia – Crescent Area – Parcel A

This division has reviewed the revised site development plan for the referenced development submitted with a letter dated June 27, 2016 showing the following changes on sheet(s) 1-35 of 35. (1-5,7,9,11-24,26-28,32-35 will be replacement sheets, 36-58 will be additional sheets)

Revise site for Building B.

X THE REVISIONS ARE APPROVED, SUBJECT TO THE FOLLOWING:

ALL CHANGES MUST BE DONE IN BLACK INK ON THE ORIGINALS.

DPZ/DED: Please revise the label "Reserved Space for Future Bikeshare Station" to read "Concrete Pad for Future Bikeshare Station". Please revise the floor use areas for A-2 as shown on the attached markup provided by email on 7/18/2016. Revise sheet numbers on all sheets for a total of 58 sheets. On sheet 1 please remove 37A from the index and renumber sheets.

DPZ/DED: Approved subject to comments and Planning Board Approval. Planning Board is scheduled for August 18, please respond to comments by July 28, 2016 with updated plans.

X Attached Plans

YOU ARE REQUIRED TO INCORPORATE THE REVISIONS ON THE ORIGINAL APPROVED SITE DEVELOPMENT PLAN (SDP) on file with Large Format Imaging Services located at 3430 Courthouse Drive., WITHIN ONE WEEK OF RECEIPT OF THIS MEMO AND PRIOR TO ANY SUBSEQUENT CHANGES REQUESTED. A DATED NOTE MUST BE MADE ON THE PLAN IDENTIFYING THE CHANGES. Arrangements to make these changes can be made by contacting Large Format Imaging Services at (410) 313-2073. A distribution charge of \$3.00 per plan sheet is required at the time these changes are made to the originals. Make checks payable to: Director of Finance. (Distribution as follows: 2 - Construction Inspection Division).

CC: Large Format Imaging Services/plan attached
DILP/plan attached
CID/plan attached
DLD (2)/transmittal only
Zoning/transmittal only
File/plan attached



Jim Whitmer
Development Engineering Division

"SELF CERTIFICATION"

(To be filled out at the time originals are updated to reflect these approved changes)

"On _____, I, _____ representing the firm of _____
(Date) (Employee Name)

Certify that I have met all the conditions

(Firm Name)

Of approval noted above, and I have made only those revisions approved."



HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
3430 Courthouse Drive ■ Ellicott City, Maryland 21043 ■ 410-313-2350

Valdis Lazdins, Director

www.howardcountymd.gov
FAX 410-313-3467
TDD 410-313-2323

July 18, 2016

Jay Hariharan
Gutschick Little & Weber, P.A.
3909 National Drive, Suite 250
Burtonsville Office Park
Burtonsville, MD 20866

RE: Downtown Columbia, Crescent Area, Parcel A
SDP-15-068
Redline Revision - Substitute Originals
Sheets 1-5,7,9,11-24,26-28,32-35,35-58

Dear Mr. Hariharan,

In response to your request to revise an existing site development plan by submitting replacement or additional sheet original mylars; the Division of Land Development will process the submission of the following:

1. A completed "Site Development Plan Redline Mylar Submission" application for SDP replacement sheets.
2. A letter describing the purpose of the revised site development plan.
3. An original mylar(s) containing the project engineer's original seal and signature, a purpose statement added to the site plan sheet and the title block amended to indicate "Revised Site Development Plan".
4. Payment to the *Director of Finance* of a processing fee based upon \$100.00 per replacement or additional sheet and a distribution fee of \$3.00 per replacement or additional sheet. Please note, this fee does not include money for sheets changed by hand.
5. A copy of the executed Declaration of Covenants, Developer's Agreement or Advanced Deposit Order.
6. One copy of this letter.
7. 45-Day deadline to submit the replacement or additional sheets (on or before September 1, 2016)

When the above is accepted, the site plans will be circulated for signature approval. Please contact Ms. Carol Stirn of the Department of Planning and Zoning at (410) 313-2350 to schedule an appointment to submit the revised SDP for signature approval. If you have any questions, please contact Jill Manion-Farrar at (410) 313-2350 or by email at jfarrar@howardcountymd.gov. If you have any questions regarding the "Red-Line Revision" please contact Heather Pandullo at (410) 313-2350 or by email at hpandullo@howardcountymd.gov.

Sincerely,

Jim Witmer
Development Engineering Division

cc: Jill Manion-Farrar, Department of Planning & Zoning
Bob Ensor, Howard Soil Conservation District
Jim Hobson, Department of Inspection, License & Permits
Phyllis Watson, Real Estate Services Division, Department of Public Works

GENERAL SITE DATA

- A. TOTAL PROJECT AREA: 275,504 SQUARE FEET OR 6.32 AC.
- B. LIMIT OF DISTURBED AREA: 248,728 SQUARE FEET OR 5.71 AC.
- C. PRESENT ZONING: NT (FDP DC-CRESCENT-1)
- D. PROPOSED USE OF SITE: OFFICE/COMMERCIAL, RETAIL, RESTAURANT, PARKING STRUCTURE
- F. FLOOR SPACE:



A-1

LEVEL	RETAIL/ REST. (SF)	OFFICE (SF)
1	9,316	17,392
2-8	--	26,503
ROOF	--	4,994

TOTAL: 9,316 207,907

A-2

LEVEL	RETAIL/ REST. (SF)	OFFICE (SF)
B	9,050	6,814
1	6,406	14,137
4	--	23,152*
2-3 & 5	--	23,722

TOTAL: 15,822 114,129

*660 SF FLOOR SLAB OPENING

23152

Roof: 570

15,456

2. PARCEL 'A-1' AND 'A-2' DEVELOPMENT DATA

A. OFFICE

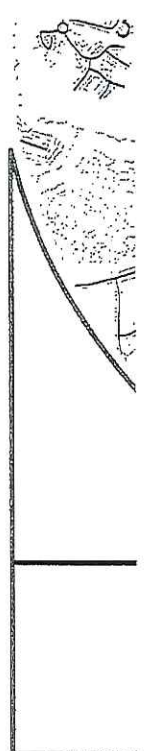
- 1. A-1: PROPOSED OFFICE: 207,907 sf
- 2. A-2: PROPOSED OFFICE: 114,129 sf
- TOTAL PROPOSED OFFICE: 322,036' sf

B. RETAIL (LOCATED ON THE FIRST FLOOR)

- 1. A-1: PROPOSED RETAIL: 1,062 sf
- 2. A-2: PROPOSED RETAIL: 4,031 sf
- TOTAL PROPOSED RETAIL: 5,093 sf

C. RESTAURANT (LOCATED ON THE FIRST FLOOR)

- 1. A-1: PROPOSED RESTAURANT: 8,254 sf
- 2. A-2: PROPOSED RESTAURANT: 11,425 sf
- TOTAL PROPOSED RESTAURANT: 19,679 sf



SHE

- 1. CO'
- 2. SIT:
- 3. BU
- 4. BU
- 5. GR

DEPARTMENT OF PLANNING AND ZONING
DIVISION OF LAND DEVELOPMENT
REDLINE COMMENTS
July 18, 2016

RE: SDP-15-068, Crescent Parcel A, Building A-2, "Two Merriweather" (previously Building B)

The purpose of this redline is to revise the plans to reflect finalized details of Building B, including an expanded footprint and a revision of proposed uses (SF). This redlined SDP is required to go to Planning Board.

DLD believes the revised plans adequately address comments so that this project can be scheduled for Planning Board. This plan is scheduled for August 18. However, please respond to the comments below prior to the Planning Board meeting (preferable by July 28):

1. Thank you for the updates to the building square footages. There are some inconsistencies between plans, and between the chart on the plan and the tabulation on the plan (and in the reports) that must be corrected for Building A-2 (previously Building B). Please correct.
 - a. The chart provides 366 SF more in retail/restaurant in Building A-2. The tabulation matches what is provided in the parking and traffic studies and in the building drawings (15,456 SF) so it is assumed that is the correct square footage.
 - b. DPZ consulted with DILP regarding latest building square footage of Building A-2. Please make the changes to the office tabulation in the chart to floors 2-3 and 5 are 23,152 SF and the roof at 570 SF.
 - c. Continue to reflect any changes to the building use square footage as the plans progress.
2. Traffic and Parking Study: The parking is adequate with the provided use configuration. However, please make these updates to the study:
 - a. Please update the Traffic and Parking studies to match the final use tabulations on the site plan chart.
 - b. Page 4, under the background information, it is stated that a 20% capture rate for peak weekend restaurant uses was assumed during the Merriweather Post Pavilion operating season. Provide additional information regarding what population is captured and what the effects on parking were. These details could not be gleaned from the tables on the report.
 - c. Update the Merriweather Parking Chart in Sheet 1 as needed if use square footage changes in the future
3. Thank you for the information on the loading area layout. Is there any chance that tenants will have deliveries received in trucks larger than box trucks or will they be required to receive deliveries in box trucks per tenant agreements? If the former, what options are available so as to not impede traffic circulation on public or private roads? Please respond to this issue ahead of Planning Board.
4. Update Note 35 on Sheet 1 to indicate how public art obligation for Building B may be addressed. Please see comments from DCCP regarding additional consideration for treatment on the east façade of the garage facing the amenity area, and consider the use of public art to address.
5. Please provide an updated timeline regarding fulfilling the public art requirements for Building A, including (but not limited to) a goal date for a contract between the artist and the development, the scope of work, and the projected date that the art will be installed.

6. **Sheets 20 and 22:** Upon further review with this resubmission, there is concern that the extension of plaza pavement into the sidewalk area would cause the 8' pedestrian sidewalk to get lost in the plaza it meanders around the planters. There is also concern that concourse furniture might bleed too close to the pedestrian zone. Therefore, we believe the Downtown Community Commons should end with the buildings and microbioretention, and the sidewalk concrete should be continuous across the plaza. Please see DCCP comments for further guidance. Update the Downtown Community Commons square footage accordingly.
7. Please add this following note on Sheets 20 and 22 of the plan: "There shall be a continuous and predictable 4 foot minimum clear pedestrian zone along the terrace patio. Furniture is to be by future tenant and may vary from current layout."
8. Sheet 22 – Seatwall placeholder. Please indicate when a detail may be provided on the seat wall.
9. It is our understanding that the developer is reviewing the document regarding the revised pathway maintenance agreement sent to Howard Hughes Corporation in December 2015 due to the enhanced features of this plaza and pathway materials in front of Building A. Please provide a status update on the developer's review and response to this document. Please be advised that DPZ reserves the right to withhold final approval of this plan until agreement is reached on the revised maintenance parameters for this section of the pathway.
10. Sheet 37 – While considerably shorter than initially scaled, DLD continues to have some concerns regarding the length of the 150' wall that have no vegetation to soften the façade of this prominently located building right along the multiuse pathway. DLD encourages designers to continue to consider ways to soften the building frontage and the wall at this location, not just from the road but from the multi-use pathway.
11. DPZ staff much preferred the streamlined cable boardwalk railing over the current proposed wood rail. The cables provided a more urban and open feel. Is there a reason that the wood system the cables?

JMF

Howard County

Internal Memorandum

Subject: Downtown Columbia, Crescent Neighborhood -- June 27, 2016 Submission II
SDP-15-068 Redline Amendment

To: Chad Edmondson, Chief
Division of Engineering Development

Through: Kristin O'Connor, Chief *KO*
Division of Comprehensive and Community Planning

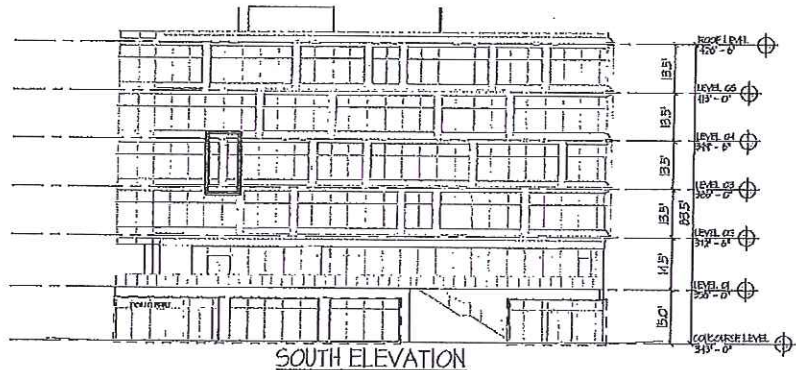
From: Randy Clay, AICP, Planner *RL*
Division of Comprehensive and Community Planning

Date: July 18, 2016

The Division of Comprehensive and Community Planning (DCCP) has reviewed the redline amendment for SDP-15-068 based on the approved Crescent Neighborhood Documents for the site. Based on its review, DCCP requests approval with the following conditions. Conditions for consideration by the Planning Board are noted. We thank you for the opportunity and are available to answer further questions, if needed.

1. Building B South Elevation, Sheet 4:

- a. Per DAP response, the applicant is to remove/relocate the remaining vertical precast fin identified.

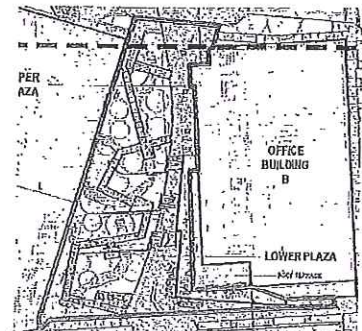


2. Parking Garage Public Art:

- a. The tentative schedule provided by Cochran Studio indicates art selection for the west and north elevation by March 2016. Provide an updated project schedule based on the tentative Use and Occupancy timeline for Building A and garage.
- b. **CONDITION OF APPROVAL:** Provide additional measures to mitigate the visual impacts of the garage's east elevation on the central amenity space, Building A and Building B. Per the Design Guidelines, parking decks exposed to the public realm shall be screened with walls, architectural detailing, green screens or landscaping. The Planning Board is requested to consider introducing additional screening consistent with guideline standards, including in the form of public art similar to the west and north elevations.

3. Community Commons, Sheet 20, L-101:

- a. Although the walkway along the central, southern edge of the site include amenity area hardscape, it is not integral to the amenity area itself and primarily serves block circulation functions. Revise the delineated area for consistency with the diagram provided and revise the Community Commons calculation to 20,000 sf.



**ATTACHMENT B
DAP RECOMMENDATIONS and APPLICANT RESPONSES FOR PLANNING BOARD
CONSIDERATION**

Meeting Notes

Project	Two Merriweather #16-05	Project Number	19.6553.000
Meeting Location	<input type="checkbox"/> Via Telephone	Meeting Date and/or Time	7:30-8:30 PM
	George Howard Building		3/9/2016
	3430 Court House Drive, Ellicott City, MD 21043	Meeting Number	01
Meeting Subject	Design Advisory Panel (DAP) Meeting Summary Response	File	1MN
		This is page	1 of 5

Present

The Howard Hughes Corporation: John DeWolf, Gabe Chung, Bill Rowe, Todd Brown
 DPZ Staff: Kristin O'Connor, Randy Clay, Lisa Kenney
 Panel Members: Don Taylor, Phil Engelke, Bob Gorman, Sujit Mishra, Julie Wilson
 GLW: Natalya Basumallick
 Gensler: Ronit Shafrir, Christopher Ireland, David Dymond

Distribution

Peter Stubb / Gensler, Connie Fan, Amol Deshpande / LSG

Prepared by David Dymond **Date Issued** 3/25/2016

Gensler will rely on these notes as the approved record of matters discussed and conclusions reached during this meeting unless written notice to the contrary is received by Gensler within seven calendar days of the issue date of these meeting notes.

Discussion	Action / Decisions Pending / Follow up
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RECOMMENDATIONS / AGENDA

Motion	Motion By	Design Team Response
1 "That the applicant reconsider the south façade and see if there's a way of integrating the precast element with the curtain wall in a better fashion." Seconded by DAP member Julie Wilson.	Don Taylor	During the DAP presentation, David Dymond expressed that the intent of the precast spandrel termination on the southwest corner was to imply the slab edge diving behind the curtainwall and resurfacing on the south façade as if penetrating through the building. After further investigation, the design team realized the rendering was not properly representing that relationship and the south curtainwall does appear to stop abruptly. The design team agrees with the motion and believes that by correcting the spandrel location, the transition around the corner will be smoother. In addition, the design team is studying removing and/or relocating some of the vertical fins at the southwest corner to further ease the transition. Please see Reference image 1 below.
2 "As you get further into design development of the open space, the bio-swale area and stair, that you consider some additional seating areas that punch out from the central stairway landings or lower level, to create an opportunity for people to sit within the landscape and to think about what the	Bob Gorman	The design team is studying an enlarged boardwalk at the south termination with additional seating opportunities. The team believes this additional gathering should be of the boardwalk material rather than extending the plaza into the bio-retention area due to the goal of reducing the bio-retention as little as possible. The team is studying the articulation of the

Meeting Notes continued

Gensler

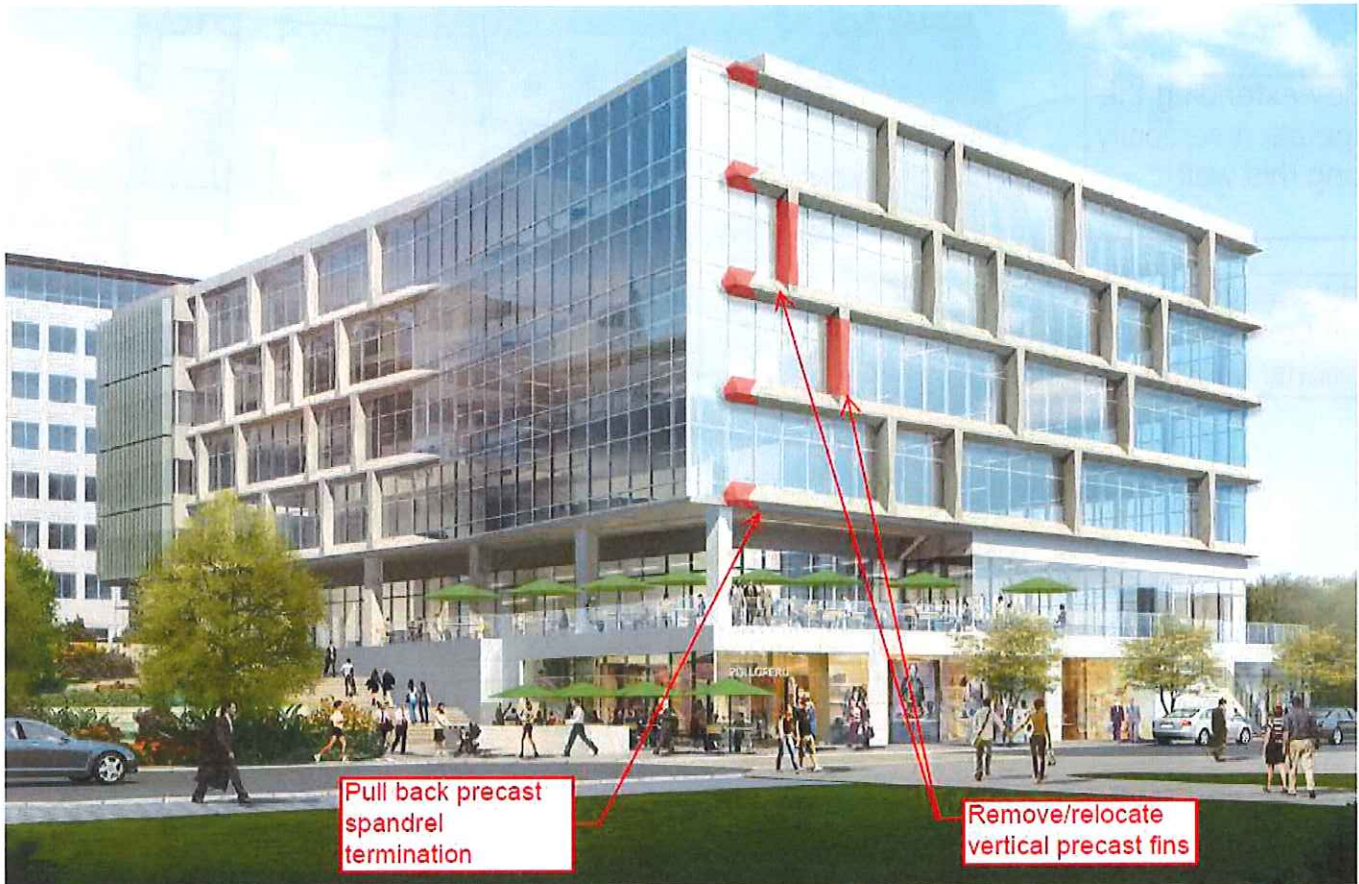
Project	Two Merriweather #16-05	Project Number	19.6553.000
Meeting Date	7:30-8:30 PM	This is page	2 of 5
	3/9/2016		

Discussion		Action / Decisions Pending / Follow up
	(Continued) landscape materials are and how you might mitigate the one wall, if there is an opportunity to do that." Seconded DAP Vice Chair Don Taylor.	(Continued) wall of concern as well as extending the vegetation vertically along the surface. Please see Reference Image 2 below.
3	"The applicant think about the main entrance and how it's related to the main plaza, and how it's more focused, and then study more the solar orientation and how it's affecting the overall glass façade." Seconded by DAP member Bob Gorman.	<p>Sujit Mishra</p> <p>The design team agrees with the intent of the comment and will continue to study solutions to respect alignments, ground floor sightlines, and plaza relationships to the main entrance. The team will balance these factors with the functional requirements of the lobby and the leasable space. The design intent is to create a 3-dimensional and multi-directional public and retail experience</p> <p>The design team is performing an energy model in Revit in collaboration w/ Autodesk to study energy, day lighting, and solar performances that will assist us in informing the façade development.</p>
4	"That as you're developing your wayfinding strategy you consider a 360 approach, that maybe not today, but very quickly, people will be coming into this project from all sides and it would be good to consider that now." Seconded by DAP member Julie Wilson.	<p>Phil Engelke</p> <p>The design team agrees with the comment and will address the 360 degree nature of the future pedestrian route – particularly at the intersection of Divided Sky Lane and Grantchester Way and the entrance to the roundabout. See Reference Image 4.</p>

Project	Two Merriweather #16-05	Project Number	19.6553.000
Meeting Date	7:30-8:30 PM	This is page	3 of 5
	3/9/2016		

Discussion | **Action / Decisions Pending / Follow up**

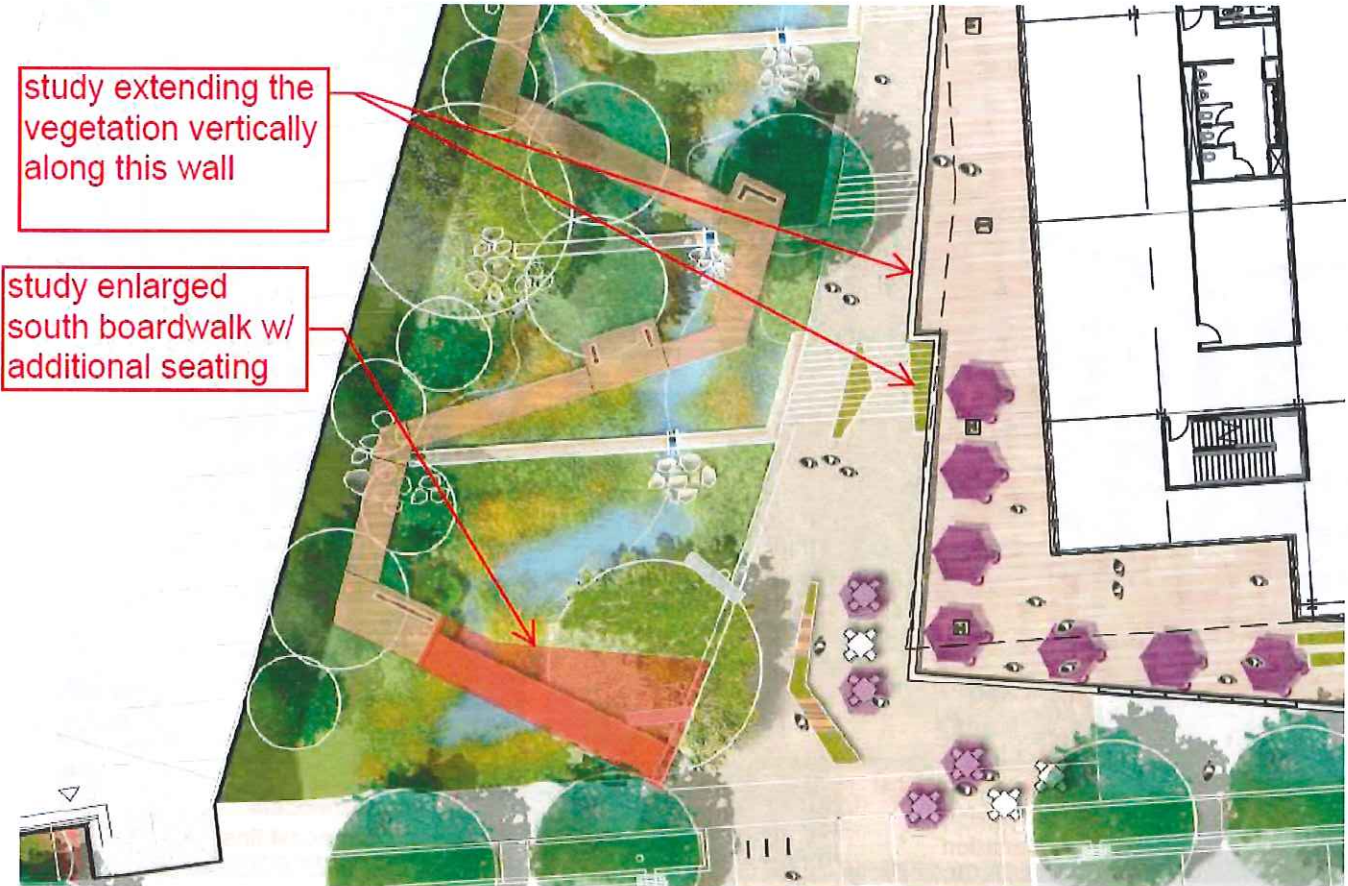
Reference Image 1



Project	Two Merriweather #16-05	Project Number	19.6553.000
Meeting Date	7:30-8:30 PM	This is page	4 of 5
	3/9/2016		

Discussion	Action / Decisions Pending / Follow up
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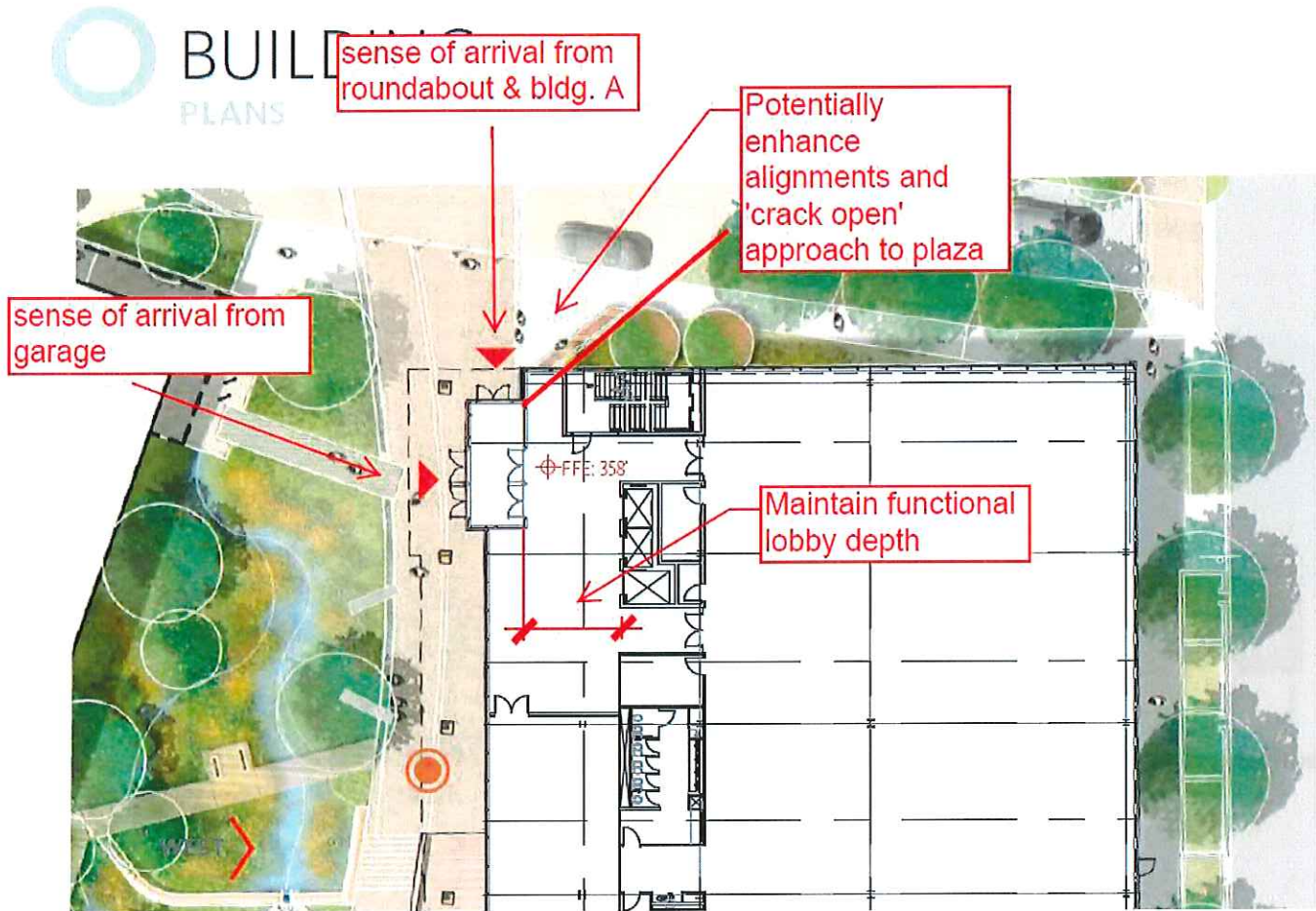
Reference Image 2



Project	Two Merriweather #16-05	Project Number	19.6553.000
Meeting Date	7:30-8:30 PM	This is page	5 of 5
	3/9/2016		

Discussion	Action / Decisions Pending / Follow up
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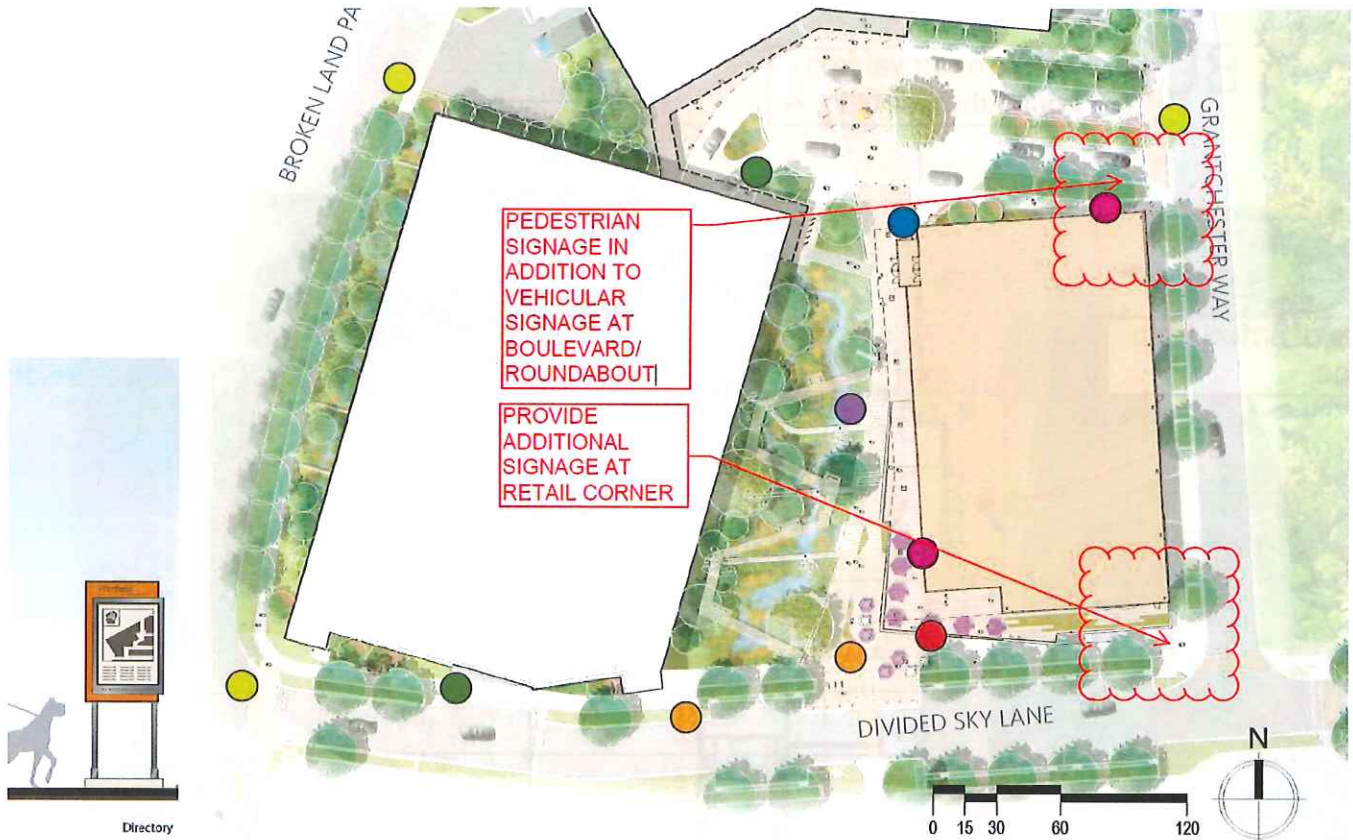
Reference Image 3



Project	Two Merriweather #16-05	Project Number	19.6553.000
Meeting Date	7:30-8:30 PM	This is page	6 of 5
	3/9/2016		

Discussion	Action / Decisions Pending / Follow up
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Reference Image 4



Attachment C
CEPPA Status Summary
SDP-15-068, Crescent Parcels A-1 thru A-3

PRIOR TO SUBMISSION OF THE FIRST FINAL DEVELOPMENT PLAN		
1	HHC completed at its expense an environmental assessment of the three sub-watersheds of Symphony Stream, Wilde Lake and Lake Kittamaqundi located upstream of the Merriweather & Crescent Environmental Enhancements Study area.	Complete
2	HHC will commission at HHC's expense (i) the preparation of the Land Framework component of the Downtown Columbia Sustainability Program and (ii) a detailed outline for the Community Framework component of the Sustainability Program.	Complete
3	HHC will commission at HHC's expense in consultation with Howard County a study evaluating a new Downtown Columbia Route 29 interchange between Route 175 and Broken Land Parkway and options for a connection over Route 29 connecting Downtown Columbia to Oakland Mills, including potential bicycle, transit and multimodal improvements.	Complete
4	HHC will prepare at its expense Downtown-wide Design Guidelines.	Complete
PRIOR TO APPROVAL OF THE FIRST FINAL DEVELOPMENT PLAN		
5	HHC will commission at HHC's expense and in consultation with Howard County one or more feasibility studies for the following: (i) a new Broken Land Parkway/Route 29 north/south collector road connection to Little Patuxent Parkway and (ii) a new Downtown transit center and Downtown Circulator Shuttle.	Complete
6	HHC and Howard County will jointly determine the functions, organizational structure, implementation phasing schedule consistent with the redevelopment phasing schedule, potential funding sources and projected funding needs of the Downtown Columbia Partnership, prior to HHC's establishment of this Partnership. As such, at least fifty percent (50%) of the revenue collected pursuant to CEPPA No. 25 shall be utilized for the implementation of transportation initiatives in the shuttle feasibility study or other direct transit services downtown.	Complete
PRIOR TO APPROVAL OF THE FIRST SITE DEVELOPMENT PLAN		
7	HHC will submit a phasing schedule for implementation of the restoration work on HHC's property and a Site Development Plan for the first phase of the environmental restoration work as described in CEPPA No. 15.	Complete
8	HHC, in collaboration with the County, will establish the Downtown Arts and Culture Commission, an independent nonprofit organization, to promote and support Merriweather Post Pavilion's revitalization in accordance with this Plan and the development of Downtown Columbia as an artistic and cultural center.	Complete
PRIOR TO ISSUANCE OF THE FIRST BUILDING PERMIT		
9	To facilitate the renovation of the Banneker Fire Station, HHC and the County shall cooperate to identify a site for the development of a temporary fire station while the Banneker Fire station is being renovated.	Complete
UPON ISSUANCE OF THE FIRST BUILDING PERMIT		
10	HHC shall contribute \$1.5 million in initial funding for the Downtown Columbia Community Housing Fund. Payment will be contingent upon the expiration of all applicable appeal periods associated with each building permit without an appeal being filed, or if an appeal is filed upon the issuance of a final decision of the courts upholding the issuance of the permit.	Complete
UPON ISSUANCE OF THE BUILDING PERMIT FOR THE 400th RESIDENTIAL UNIT		
11	HHC shall contribute \$1.5 million in additional funding for the Downtown Columbia Community Housing Fund. Payment will be contingent upon the expiration of all applicable appeal periods associated with each building permit without an appeal being filed, or if an appeal is filed upon the issuance of a final decision of the courts upholding the issuance of the permit.	Complete
PRIOR TO ISSUANCE OF A BUILDING PERMIT FOR THE 500,000th SF OF DEVELOPMENT		
12	HHC will complete at its expense the pedestrian and bicycle pathway from the Howard County General Hospital to Blandair Park. In addition, HHC along with the County and community will develop a scope of work for renovation of the existing Route 29 pedestrian bridge. HHC will contribute up to \$500,000 towards the implementation of the selected improvements.	<i>Completed by Bond per Alternative Compliance approved on 8/20/15; pathway construction in progress</i>

13	HHC will enter into and record in the land records of Howard County, Maryland, a declaration of restrictive covenants that shall prohibit the demolition or major exterior alteration of the former Rouse Company Headquarters building.	Complete
PRIOR TO ISSUANCE OF A BUILDING PERMIT FOR THE 1,300,000th SF OF DEVELOPMENT		
14	HHC in cooperation with Howard Transit shall identify a location in Downtown Columbia for a new Howard County Transit Center and shall provide a location either by fee transfer at no cost or a long-term lease for a nominal sum subject to all applicable laws and regulations.	PENDING – <i>no site identified to date</i>
15	HHC will complete environmental restoration projects in the Merriweather-Symphony Woods and Crescent areas.	PENDING – <i>Revised timing approved with FDP-DC-Crescent-1 to time completion of sections of environmental restoration with grading of development areas in the Crescent. Neighborhood. Restoration Plans have been approved with F-15-106.</i>
16	HHC will complete Phase I of the Merriweather Post Pavilion redevelopment program.	Complete
PRIOR TO APPROVAL OF THE SITE DEVELOPMENT PLAN FOR THE 1,375th NEW RESIDENTIAL UNIT		
17	HHC shall, if deemed necessary by the Board of Education, reserve an adequate school site or provide an equivalent location within Downtown Columbia.	PENDING
PRIOR TO ISSUANCE OF A BUILDING PERMIT FOR THE 2,600,000th SF OF DEVELOPMENT		
18	HHC will construct at its expense, the Wilde Lake to Downtown Columbia pedestrian and bicycle pathway.	PENDING
19	HHC will construct at its expense the Lakefront Terrace (steps to the Lake) amenity space and pedestrian promenade.	PENDING
20	HHC will complete Phase II of Merriweather Post Pavilion redevelopment program.	PENDING – under construction
PRIOR TO ISSUANCE OF A BUILDING PERMIT FOR THE 3,900,000th SF OF DEVELOPMENT		
21	HHC will complete Phase III of Merriweather Post Pavilion redevelopment program.	PENDING
22	At least one Downtown Neighborhood Square shall be completed and deeded to Howard County for public land.	PENDING
PRIOR TO ISSUANCE OF A BUILDING PERMIT FOR THE 5,000,000th SF OF DEVELOPMENT		
23	HHC will provide \$1,000,000 towards the initial funding of a Downtown Circulator Shuttle.	PENDING
24	Transfer of Merriweather Post Pavilion to the Downtown Arts and Culture Commission for zero dollar consideration.	PENDING
PRIOR TO THE APPROVAL OF EACH FINAL DEVELOPMENT PLAN		
25	Each owner of property developed with commercial uses shall pay an annual fee of twenty-five cents (\$0.25) per square foot of Gross Leasable Area for office and retail uses and twenty-five cents (\$0.25) per square foot of net floor area for hotels to the Downtown Columbia Partnership.	On-going
UPON ISSUANCE OF ANY BUILDING PERMIT FOR A BUILDING CONTAINING DWELLING UNITS		
26	To fulfill an affordable housing obligation, each developer will pay a per unit fee to the DCCHF in the following amounts: \$2,000/unit for each unit up to and including the 1,500th unit; \$7,000/unit for each unit between the 1,501th unit up to and including the 3,500th unit; \$9,000/unit for each unit between the 3,501st unit up to and including the 5,500th unit.	On-going
ADDITIONAL CEPPA CONTRIBUTION		
27	Each owner of property developed with commercial uses pursuant to the Downtown Revitalization Zoning Regulations shall provide an annual payment to the DCCHF in the amount of five cents (\$0.05) per square foot of Gross Leasable Area for office and retail uses, and five cents (\$0.05) per square foot of net floor area for hotels. The payment will be made annually by the property owner, with the initial payment being made prior to the issuance of an occupancy permit for net new commercial development on the property. The amount of the charge will be subject to annual adjustment based on a builder's index, land value, or other index provided in the implementing legislation.	On-going

Attachment 'D'
Relevant Definitions Relating to Downtown Columbia Revitalization
For SDP-15-068
Site Development Plans for Downtown Columbia Revitalization
(Excerpted from Section 103.0.A. of the Zoning Regulations)

[Council Bill 59-2009 (ZRA-113) Effective April 6, 2010]

Downtown Arts, Cultural and Community Use: Land areas, uses and facilities established for cultural, civic, recreation, educational, environmental, entertainment or community use or benefit, whether or not enclosed and whether publicly or privately owned or operated for profit, including, but not limited to, libraries, fire stations, schools, museums, galleries, artistic work, and transit facilities. Eating, seating and gathering areas that are accessory to these uses are permitted.

Downtown Arts and Entertainment Park: A contiguous area including a large outdoor amphitheater which may be surrounded by a variety of smaller indoor or outdoor artistic and performance spaces, museums, galleries and similar cultural or educational uses in a park-like setting. Ancillary uses such as food vendors, gift shops, small restaurants and supporting infrastructure such as utilities, public and private roadways, multi-modal circulation systems adjacent to public and private roadways, surface parking lots, parking structures, and underground parking are also permitted.

Downtown CEPPA Implementation Chart: The chart and associated text and flexibility provisions contained in the Downtown Columbia Plan which identify the phasing for Downtown Community Enhancements, Programs and Public Amenities.

Downtown Columbia: The following recorded Final Development Plan Phases: Phase 4, Phase 4-A-5, Phase 21, Phase 47-A-7, Phase 52, Phase 62-A-1, Phase 95, Phase 101-A, Phase 105, Phase 111-A-1, Phase 115, Phase 121, Phase 122-A, Phase 139-A-3, Phase 140-A-1, Phase 192-A, Phase 211, Phase 217-A-1, Phase 219, Phase 234, and the area within the described limits included in exhibit A of the Appendix in these regulations.

Downtown Columbia Plan: The General Plan Amendment for Downtown Columbia approved by County Council Bill No. 58-2009.

Downtown Community Commons: Amenity spaces such as plazas, promenades, greens, gardens, squares and other pedestrian-oriented areas, whether publicly or privately owned, that are intended for community interaction and may include spaces for seating, walking, eating, gathering, fountains, public art, way-finding signage, kiosks, or other similar public amenities. Downtown Community Commons can also include walkways that are designed to enhance and be an integral part of the adjacent amenity space, but shall not include any drive lane for vehicular traffic such as private streets, alleys and public roadways for automotive use. Downtown Community Commons must be generally accessible by the public without charge. Included in this category are Downtown Neighborhood Squares. Downtown Community Commons may be integrated into or developed as a part of other uses and may include underground parking, utilities and other infrastructure supporting downtown revitalization.

Downtown Community Enhancements, Programs and Public Amenities (CEPPA): The specific feasibility studies, improvement and management organizations, environmental enhancement programs, and physical improvements identified in the Downtown CEPPA implementation chart contained in the Downtown Columbia Plan.

Downtown Environmental Restoration: Projects within Downtown Columbia that are identified in Columbia Towncenter Merriweather and Crescent Environmental Enhancements Study or Best Management Practices for Symphony Stream and Lake Kittamaquondi Watersheds involving forest restoration and enhancement, reforestation and afforestation, wetland enhancement, and stream restoration activities.

Downtown Environmentally Sensitive Land Area: An area within Downtown Columbia meeting the definition in the Howard County Land Development Regulations of either a floodplain, steep slope, stream or wetland buffers.

Downtown Maximum Building Height Plan: The plan which graphically represents the maximum building height requirements for all Downtown revitalization, as depicted in the Downtown Columbia Plan.

Downtown Mixed-Use: A land-use designation that permits any use or combination of uses permitted under Section 125.A.9.B., including supporting infrastructure, such as utilities, public and private roadways, multi-modal circulation systems adjacent to public and private roadways, surface parking lots, parking structures, and underground parking.

Downtown Neighborhood Concept Plan: A concept plan showing an individual neighborhood identified in the Downtown Columbia Plan that depicts a general layout for proposed public and private streets, block sizes and configurations, maximum building heights and proposed Downtown Community Commons as context for the evaluation of the Final Development Plans.

Downtown Neighborhood Design Guidelines: Urban design guidelines for an individual neighborhood identified in the Downtown Columbia Plan.

Downtown Neighborhood Square: An outdoor amenity space comprised of not less than 25,000 contiguous square feet, exclusive of bike paths and required sidewalks that might be located along its perimeter. A Downtown Neighborhood Square may be covered or partially covered.

Downtown Net New: As applicable, the number of dwellings, hotel and motel rooms, and the amount of gross floor area of commercial office and commercial retail uses that are permitted under the Downtown Revitalization Approval Process after April 6, 2010 in excess of the number of dwellings, hotel and motel rooms, and gross floor area of commercial office and commercial retail uses that are shown on a Site Development Plan for property located within Downtown Columbia that was approved prior to April 6, 2010.

Downtown Open Space Preservation Plan: A plan included in the Downtown Columbia Plan delineating all land in Downtown Columbia designated as open space on a Final Development Plan recorded prior to April 6, 2010 that is required to retain its existing character as: Downtown Environmentally Sensitive Land; Downtown Parkland; Downtown Community Commons; or a Downtown Arts and Entertainment park, as specified in Section 125.A.9.H.

Downtown Parkland: An area generally accessible by the public without charge for active and/or passive recreation purposes which consists primarily of vegetated areas with a natural character, more formal lawns, gardens and walks, pedestrian connections, minor active structured recreation uses such as urban playgrounds, public art, fountains and minimal structures such as cafes and outdoor dining areas, gazebos, pavilions, outdoor stages, and kiosks.

Downtown Primary Amenity Space Framework Diagram: A plan and associated text included in the Downtown Columbia Plan depicting existing and proposed primary amenity and natural spaces in Downtown Columbia.

Downtown Public Art: Original outdoor artwork which is accessible to the public.

Downtown Revitalization: A form of development required in Downtown Columbia after April 6, 2010 in compliance with the applicable provisions of Section 125 that must conform with the recommendations of the Downtown Columbia Plan.

Downtown Revitalization Phasing Plan: A phasing plan included in the Downtown Columbia Plan identifying additional development rights by phase for Downtown Revitalization.

Downtown Signature Building: An existing or proposed structure which requires premiere attention to its architectural design because of its cultural significance or prominent location in relationship to the public realm, such as its position on a street or open space, or as the terminus of a vista.

Downtown-wide Design Guidelines: General urban design guidelines for Downtown Revitalization adopted by the Howard County Council.

Additional definitions pertinent to The Crescent Neighborhood can be found on pages 173-178 (Chapter 7) of The Crescent Neighborhood Design Guidelines.

ATTACHMENT E
SDP-15-068-Crescent Parcel A and E
FDP-DC-Crescent-1 – Adopted Conditions of Approval
for consideration with Criteria B

1. The Petitioner must adequately address all remaining technical comments provided by the Subdivision Review Committee in the letter dated February 20, 2015.
2. The Petitioner must incorporate the changes to the Neighborhood Boundary on the Neighborhood Concept Plan and Final Development Plan and to the Downtown Community Commons calculations on the Neighborhood Concept Plan as shown on Exhibits 6 and 7.
3. The Petitioner must change the language of Merriweather Post Pavilion parking note on Sheet 1 of the Final Development Plan from "*on- or off-site*" to "*within Downtown*".
4. Consideration would be given as the site plans (sic. site development plans) for particularly Area 1 but even the other (sic. development) areas would be looked at in more detail with the idea that there needs to be some kind of a more open area that is less structured that would provide some opportunities for some unstructured recreation.
5. The Petitioner should work to address the off-site forest restoration (SS-S5) as soon as possible.

GENERAL NOTES

- 1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS IF APPLICABLE.
2. THE CONTRACTOR SHALL NOTIFY THE BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 383-1880 AT LEAST 48 HOURS PRIOR TO THE START OF WORK.

- 21. SURETY FOR THE REQUIRED LANDSCAPING IN THE AMOUNT OF \$10,000 SHALL BE POSTED WITH THE DEVELOPER'S AGREEMENTS. LANDSCAPING WITHIN THE MICRO-BORSTENTION FACILITIES WILL BE PROVIDED AS PART OF THE DEPARTMENT OF PUBLIC WORKS BID-RETENTION SURETY.
22. THERE WILL BE 20 STREET TREES PLANTED IN THE BROKEN LAND PARKWAY AND LITTLE PATUXENT PARKWAY RIGHTS OF WAY AND THE 400 TREES SURETY WILL BE POSTED WITH THE COST ESTIMATE WITH THE SDP DEVELOPER'S AGREEMENT.

APPROVED PLANNING BOARD OF HOWARD COUNTY
Date:
APPROVED FOR PUBLIC WATER & SEWERAGE SYSTEM HOWARD COUNTY HEALTH DEPARTMENT
County Health Officer Date
APPROVED FOR HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
Director Date
Chief, Division of Land Development Date
Chief, Development Engineering Division Date

GLW Gutschick Little & Webber, P.A.
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE - SUITE 200 - BURTSDOWNVILLE OFFICE PARK
BURTSDOWNVILLE, MARYLAND 20866

SITE DEVELOPMENT PLAN
DOWNTOWN COLUMBIA
CRESCENT NEIGHBORHOOD
PARCELS 'A-1', 'A-2', 'A-3', AND PARCEL 'E'
MIXED USE GREEN OFFICE, RETAIL AND RESTAURANT BUILDINGS AND TEMPORARY PARKING LOT

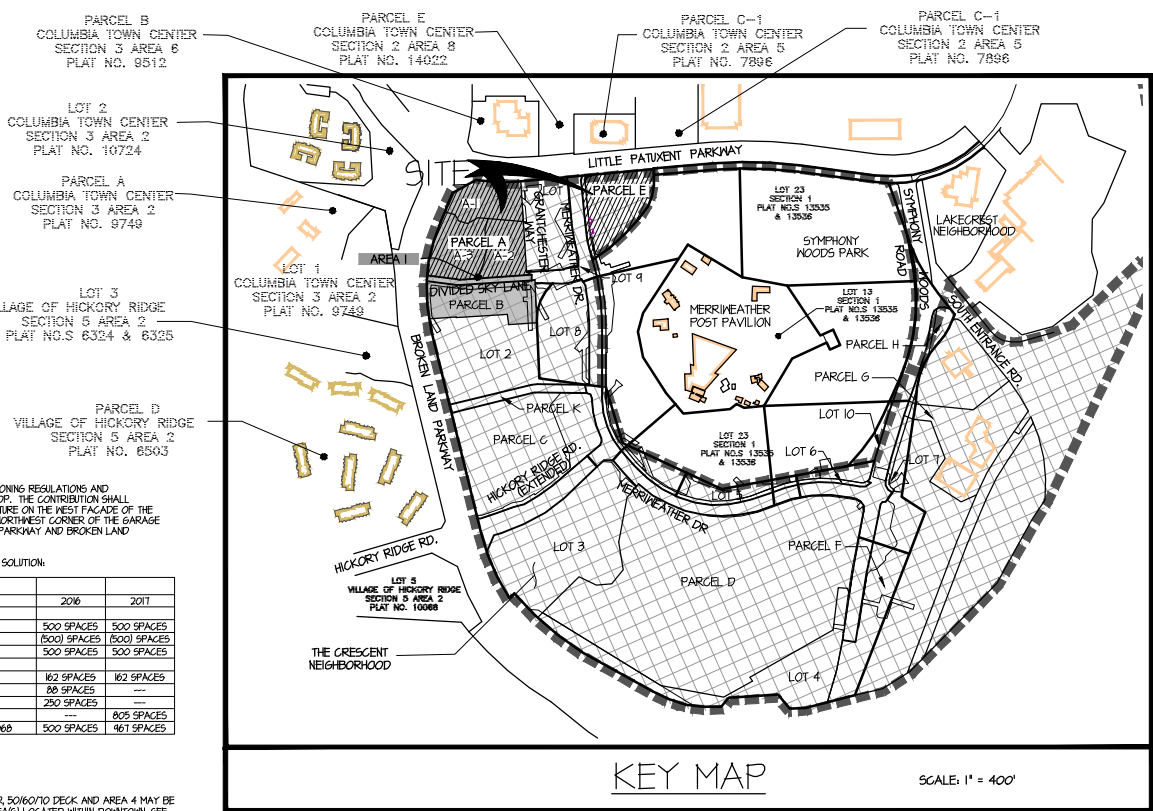
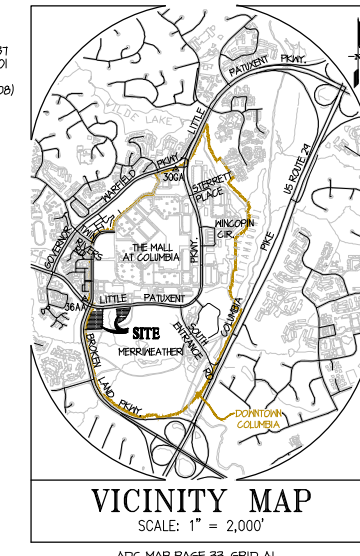


Table with 3 columns: Date, Description, Status. Lists various milestones and permit applications from 2016 to 2017, such as 'Prior to Submission of First FDP' and 'Prior to Issuance of a Building Permit'.

OWNER/PREPARED FOR: THE HOWARD HUGHES CORPORATION
PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
REVISED COVER SHEET: DOWNTOWN COLUMBIA CRESCENT NEIGHBORHOOD PARCELS A-1, A-2, & A-3, AND PARCEL E MIXED USE GREEN OFFICE, RETAIL, AND RESTAURANT BUILDINGS AND TEMPORARY PARKING LOT

HC CONTROL STATIONS

Table with 3 columns: Station ID, Description, Coordinates. Includes stations 306A and 36AA with their respective northings, eastings, and elevations.



- 1. GENERAL SITE DATA
A. TOTAL PROJECT AREA: 278504 SQUARE FEET OR 6.32 AC.
B. LIMIT OF DISTURBED AREA: 248,128 SQUARE FEET OR 5.71 AC.
C. PRESENT ZONING: NT (PDP-DC-CRESCENT-1)

Table with 3 columns: Level, Retail/Rest, Office (SF). Shows floor area breakdown for levels 1, 2-8, and roof for both Parcel A-1 and Parcel A-2.

- 2. PARCEL 'A-1' AND 'A-2' DEVELOPMENT DATA
A. OFFICE: 201871 SF
B. RETAIL LOCATED ON THE FIRST FLOOR
C. RESTAURANT LOCATED ON THE FIRST FLOOR

Table with 3 columns: Level, Retail/Rest, Office (SF). Shows parking structure spaces for levels 1 through 8, including total spaces and estimated parking demand.

- 4. PARKING PROVIDED:
LEVEL 1: 125 SPACES TOTAL
LEVEL 2: 124 SPACES TOTAL
LEVEL 3: 130 SPACES TOTAL
LEVEL 4: 130 SPACES TOTAL
LEVEL 5: 130 SPACES TOTAL
LEVEL 6: 130 SPACES TOTAL
LEVEL 7: 130 SPACES TOTAL
LEVEL 8: 130 SPACES TOTAL

- 5. CUMULATIVE TRIP GENERATION (NET NEW EXTERNAL AM AND PM PEAK HOUR)
*SDP-15-068 - BUILDING A: 351 303
*SDP-15-068 - BUILDING B: 240 211

- 6. CUMULATIVE DOWNTOWN COMMUNITY COMMONS TRACKING CHART
PDP-DC-CRESCENT-1 Downtown Community Commons (DCC) Requirements: 149,909 SF
SDP No. Parcel DCC Area Provided (SF) Surplus by Parcel (SF)

PERMIT INFORMATION CHART with columns for Subdivision Name, Section/Area, Parcel, Plat No., Parcel, Zone, Tax Map, Block, Eleg. Dist., Census Tract, Water Code, Sewer Code.

SCALE: AS SHOWN ZONING: NT G. L. W. FILE No. 15019
DATE: JUNE, 2016 TAX MAP - GRD SHEET: 36 - 01 1 OF 58
ELECTION DISTRICT No. 5 HOWARD COUNTY, MARYLAND

SHEET INDEX

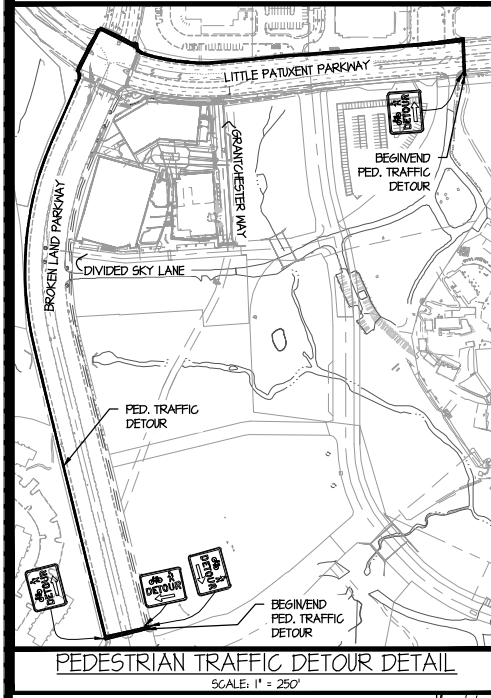
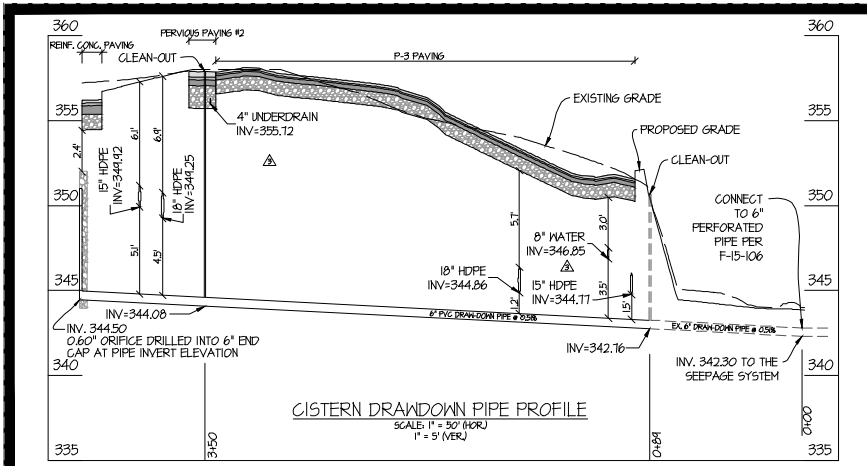
- 1. COVER SHEET
2. SITE DEVELOPMENT PLAN - PARCEL A
3. BUILDING PLANS & ELEVATIONS - I
4. BUILDING PLANS & ELEVATIONS - II
5. GRADING PLAN - PARCEL A

CUMULATIVE TRIP GENERATION table showing AM and PM peak hour trip counts for Building A and B.

ADDRESS CHART table showing addresses for Building A, Building B, and Parking Garage A-3.

NOTE: SEE FINAL PLANS (P-15-098) FOR ADDITIONAL INFORMATION ON IMPROVEMENTS TO THE ADJACENT ROADWAYS.
PURPOSE NOTE: THE REVISIONS MADE TO THIS SHEET REFLECT CHANGES RESULTING FROM THE EXPANSION OF THE BUILDING 'B' FOOTPRINT AND DESIGN.

REVISED COVER SHEET
DOWNTOWN COLUMBIA CRESCENT NEIGHBORHOOD PARCELS A-1, A-2, & A-3, AND PARCEL E MIXED USE GREEN OFFICE, RETAIL, AND RESTAURANT BUILDINGS AND TEMPORARY PARKING LOT
(PART OF TAX PARCEL 327) PLAT NO. 23563-23566



STREET LIGHT SCHEDULE		
LOCATION	TYPE	
6 STA. 15+02.41 BROKEN LAND PKWY	58.50' RT. A	
6 STA. 16+52.25 BROKEN LAND PKWY	58.40' RT. A	

STREET LIGHT TYPES:
A) LED-250 HADCO COBRA FIXTURE MOUNTED AT 30' ON A BRONZE FIBERGLASS POLE USING A 6' ARM

STREET LIGHT NOTES:
1. STREET LIGHTS TO BE CONSISTENT THROUGHOUT DOWNTOWN.

APPROVED PLANNING BOARD OF HOWARD COUNTY

Date: _____

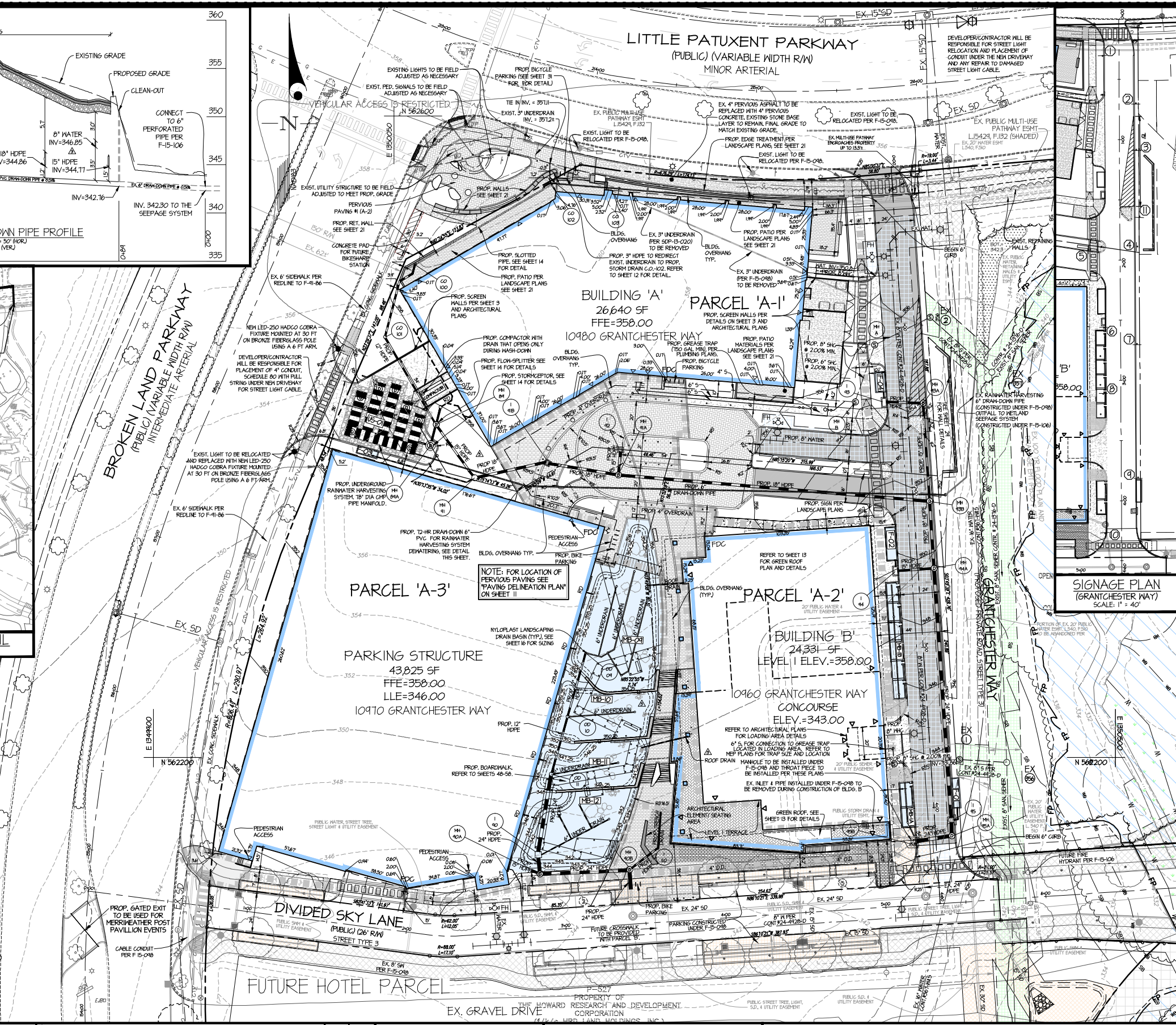
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director _____ Date _____

Chief, Division of Land Development _____ Date _____

Chief, Development Engineering Division _____ Date _____

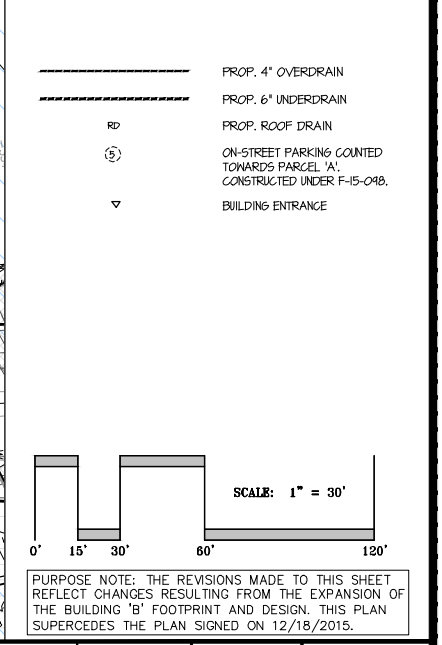
GLWGUTSCHICK LITTLE & WEBBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 200 - BURTONTVILLE OFFICE PARK
 BURTONTVILLE, MARYLAND 20866
 TEL: 301-421-4024 FAX: 301-989-2524



NO.	STA.	OFFSET	TYPE
1	0+30	13.7' R	NO PARKING
2	0+10	13.7' L	DO NOT ENTER
3	1+00	13.7' L	NO PARKING
4	1+04	13.7' L	ONE WAY
5	1+41	27.6' R	DO NOT ENTER
6	2+54	13.7' R	NO PARKING
7	2+50	13.7' L	NO PARKING
8	3+11	13.7' R	NO PARKING
9	3+66	13.7' L	NO PARKING
10	4+30	13.7' R	STOP
11	4+24	13.7' L	NO GO TO LITTLE PATUXENT PARKWAY

LEGEND

- FP 100-YR FLOODPLAIN
- LD LIMITS OF DISTURBANCE
- SB STREAM BUFFER
- MB WETLANDS BUFFER
- PROPOSED BUILDING
- PROPOSED SHM AREA
- PROPOSED PAVING (P-3)
- PROPOSED CONCRETE WALK
- PROPOSED DECORATIVE PAVERS, SEE LANDSCAPE PLANS FOR ADDITIONAL INFORMATION
- ADA ACCESSIBLE AREA & ROUTE
- EX. CONTOUR 366
- PROP. CONTOUR 300
- STORM DRAIN
- SANITARY SEWER
- WATERLINE
- EX. CURB & GUTTER
- CONCRETE CURB & GUTTER
- PROPOSED REVERSE CURB & GUTTER
- SPOT ELEVATION x 70.00
- PROP. ELECTRIC
- PROP. TREELINE
- GISTERN DESIGNATION MDE STANDARD, M-1
- MICRO-BIO RETENTION DESIGNATION MDE STANDARD, M-6
- FILTERRA DESIGNATION
- PROP. 4" OVERDRAIN
- PROP. 6" UNDERDRAIN
- PROP. ROOF DRAIN
- ON-STREET PARKING COUNTED TOWARDS PARCEL 'A', CONSTRUCTED UNDER F-15-04B
- BUILDING ENTRANCE



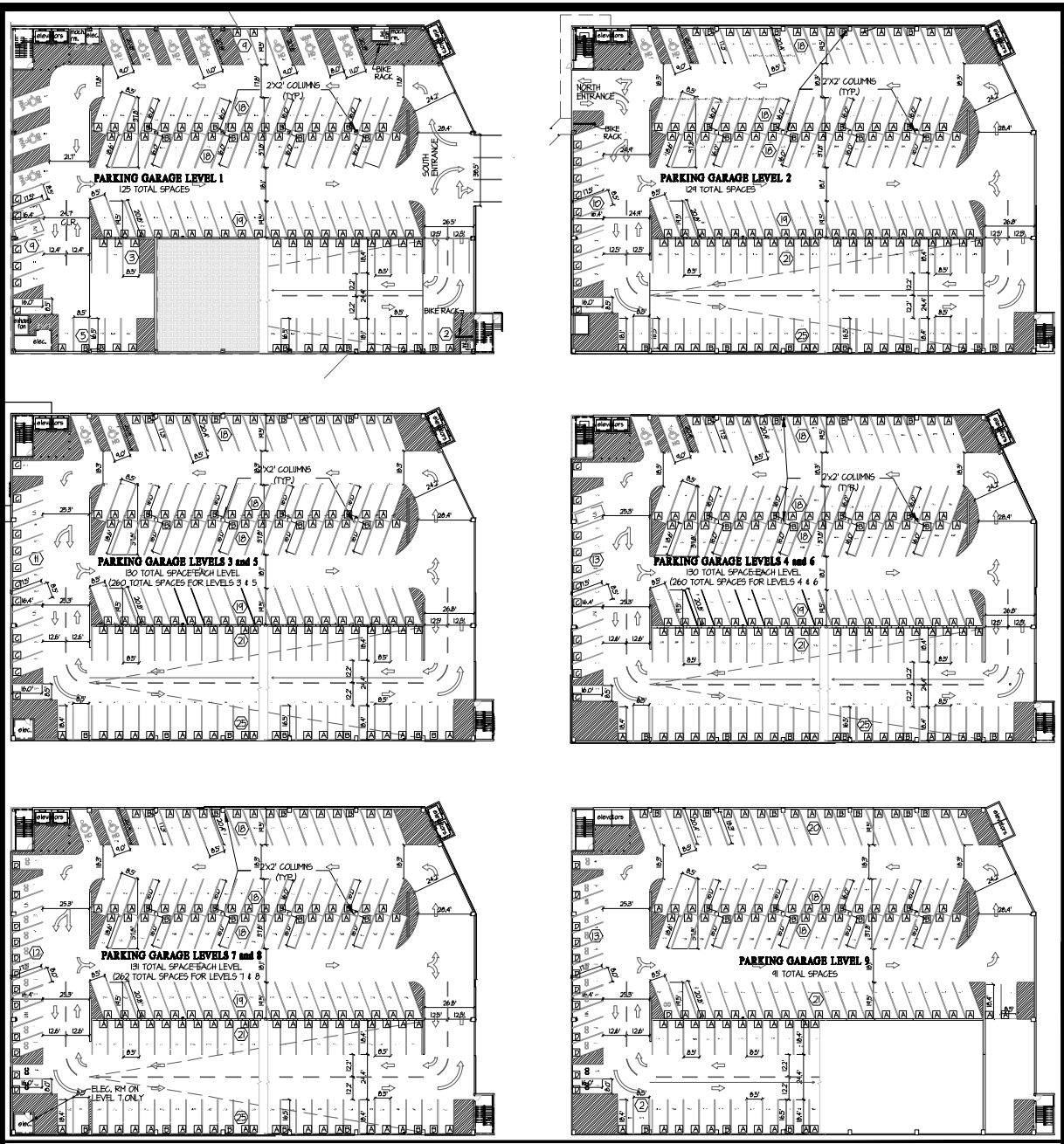
DATE	REVISION	BY	APPR.
2016-03-08	REVISION TO BLDG A SHC; REVISION TO GARAGE NORTH ENTRANCE	GT	NB
2016-05-02	REVISION TO ADD PKG TO GARAGE	GT	NB
2016-06-21	REVISION TO SHEET NUMBERING; DRAINAGE PIPE LAYOUT AND PROFILE; STORM DRAIN LAYOUT; PROPOSED BUILDING B FOOTPRINT AND DESIGN PLAZA LAYOUT; ADDITION OF BOARDWALK OVER MICRO-BIORETENTION FACILITIES	JH	NB

OWNER/PREPARED FOR:
 THE HOWARD HUGHES CORPORATION
 10480 LITTLE PATUXENT PARKWAY
 SUITE 400
 COLUMBIA, MD 21044
 ATTN: MR. ROBERT JENKINS
 410-964-4800

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. J1576
 EXPIRATION DATE: MAY 26, 2018

REVISED SITE DEVELOPMENT PLAN - PARCEL A
DOWNTOWN COLUMBIA
CRESCENT NEIGHBORHOOD
PARCELS A-1, A-2, & A-3, AND PARCEL E
 MIXED USE GREEN OFFICE, RETAIL, AND RESTAURANT BUILDINGS AND TEMPORARY PARKING LOT
 (PART OF TAX PARCEL 327) PLAT NO. 23363-23366
 ELECTION DISTRICT No. 5
 HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE NO.
1"=30'	NT	15019
DATE	TAX MAP - GRD	SHEET
JUNE, 2016	36 - 01	2 OF 58



PARKING STRUCTURE - SPACE LAYOUT SCALE: 1" = 40'

NOTE: EXTERIOR TENANT FIT-OUT MUST COMPLY WITH CRESCENT NEIGHBORHOOD DESIGN GUIDELINES.

APPROVED
PLANNING BOARD OF HOWARD COUNTY
Date: _____

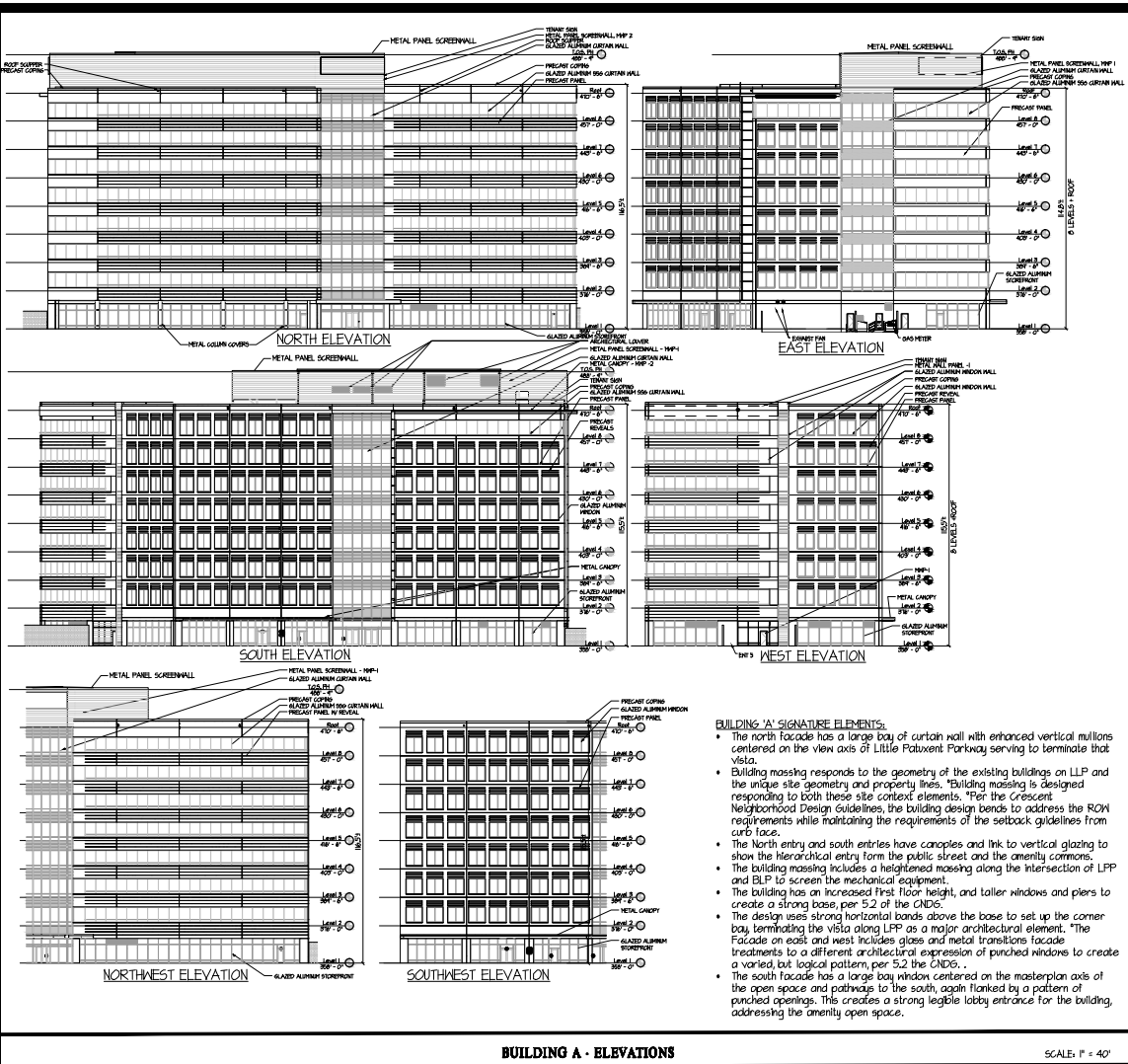
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
Director _____ Date _____
Chief, Division of Land Development _____ Date _____
Chief, Development Engineering Division _____ Date _____

LEVEL	PARKING SPACE TYPE				SUBTOTAL	NON CREDIT *
	STANDARD	LOW HANDICAP CAR	HANDICAP VAN	COMPACT		
1	0	0	4	6	10	0
2	12	0	6	2	20	0
3	124	0	4	2	130	2
4	124	0	4	2	130	2
5	124	0	4	2	130	2
6	124	0	4	2	130	2
7	113	12	4	2	131	2
8	113	12	4	2	131	2
9	14	13	4	0	31	2
TOTAL	1020	37	30	16	1127	15

NOTE: RAMP IS COUNTED IN THE LEVEL BELOW (I.E., RAMP IS INCLUDED ON LEVELS 1-8 BUT NOT ON TOP LEVEL)

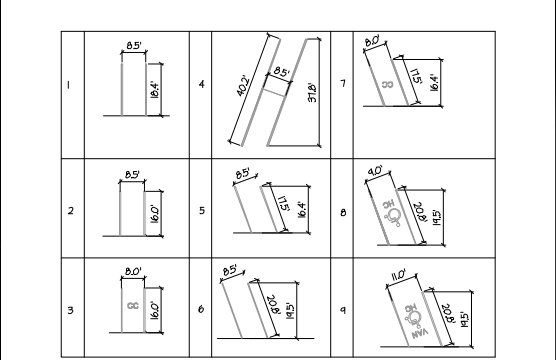
* NON-CREDIT SPACES ARE SPACES BELOW THE MINIMUM STANDARD AND ARE NOT COUNTED TOWARDS THE TOTAL PARKING SPACE REQUIREMENTS.

- PARKING LEGEND**
- NON-CREDIT SPACE (15 TOTAL)
 - ◻ COMPACT SPACE (40 TOTAL)
 - ◻ HANDI-CAP CAR SPACE (10 TOTAL)
 - ◻ HANDI-CAP VAN SPACE (6 TOTAL)
 - ◻ 8.5' X 18' UNOBSTRUCTED (841 TOTAL)
 - ◻ 8.5' X 16' UNOBSTRUCTED (60 TOTAL)
 - ◻ 8.0' X 16' UNOBSTRUCTED (31 TOTAL)

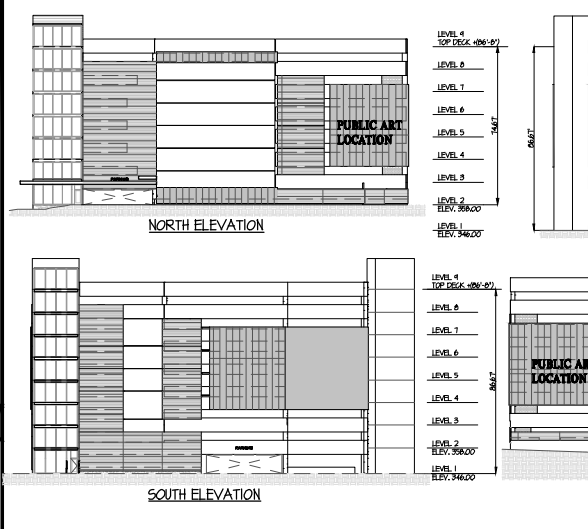
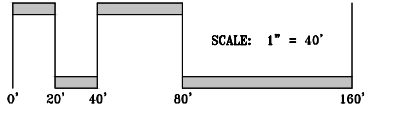


BUILDING A - ELEVATIONS SCALE: 1" = 40'

- BUILDING A SIGNATURE ELEMENTS:**
- The north facade has a large bay of curtain wall with enhanced vertical mullions centered on the view axis of Little Patuxent Parkway serving to terminate that vista.
 - Building massing responds to the geometry of the existing buildings on LLP and the unique site geometry and property lines. Building massing is designed responding to both these site context elements. Per the Crescent Neighborhood Design guidelines, the building design bends to address the ROW requirements while maintaining the requirements of the setback guidelines from curb face.
 - The North entry and south entries have canopies and link to vertical glazing to show the hierarchical entry form the public street and the amenity commons.
 - The building massing includes a heightened massing along the intersection of LLP and BLP to screen the mechanical equipment.
 - The building has an increased first floor height, and taller windows and piers to create a strong base, per 5.2 of the CNDG.
 - The design uses strong horizontal bands above the base to set up the corner bay, terminating the vista along LLP as a major architectural element. The facade on east and west includes glass and metal transitions facade treatments to a different architectural expression of punched windows to create a varied, but logical pattern, per 5.2 the CNDG.
 - The south facade has a large bay window centered on the masterplan axis of the open space and pathway to the south, again flanked by a pattern of punched openings. This creates a strong legible lobby entrance for the building, addressing the amenity open space.



PARKING GEOMETRY



PARKING STRUCTURE - ELEVATIONS SCALE: 1" = 40'

- PARKING STRUCTURE NOTES:**
1. PUBLIC ART AS REQUIRED PER SECTION 125A.9(F)(2) OF THE ZONING REGULATIONS AND FDP-DC-CRESCENT-1 WILL BE PROVIDED ON THE WEST AND NORTH FACADE OF THE PARKING STRUCTURE. ADDITIONAL PUBLIC ART WILL BE EVALUATED FOR LOCATING WITHIN THE PLAZA OPEN SPACE.
 2. SIGNAGE SHALL NOT BE PROVIDED ON THE 9-STORY GLASS STAIRWELLS OF THE GARAGE.
 3. LANDSCAPING PROVIDED ON THE WEST SIDE OF THE PARKING GARAGE SHALL BE COORDINATED WITH PUBLIC ART SO THAT ARTWORK IS NOT OBSTRUCTED OR DIMINISHED.

PURPOSE NOTE: THE REVISIONS MADE TO THIS SHEET REFLECT CHANGES RESULTING FROM THE EXPANSION OF THE BUILDING 'B' FOOTPRINT AND DESIGN. THIS PLAN SUPERCEDES THE PLAN SIGNED ON 12/18/2015.

GLWGUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE - SUITE 200 - BURTNSVILLE OFFICE PARK
BURTNSVILLE, MARYLAND 21066
TEL: 301-421-4024 BALI: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

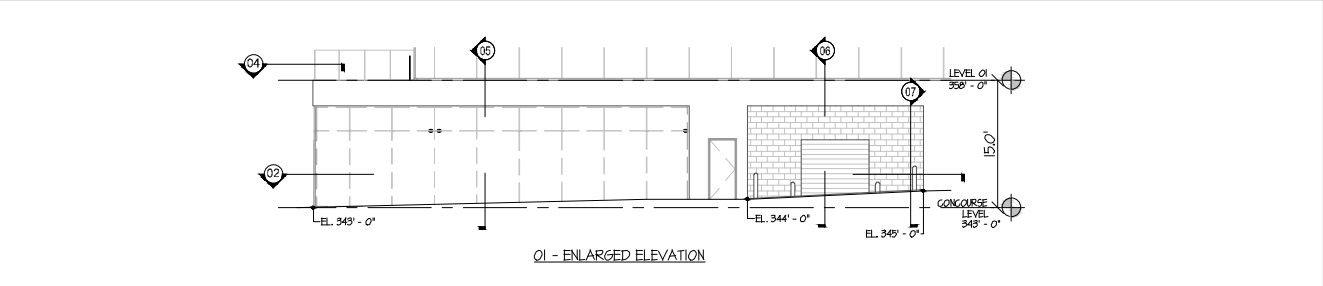
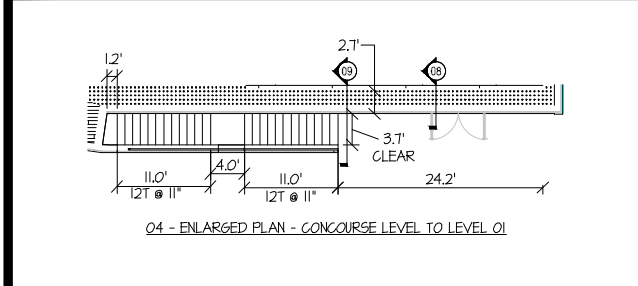
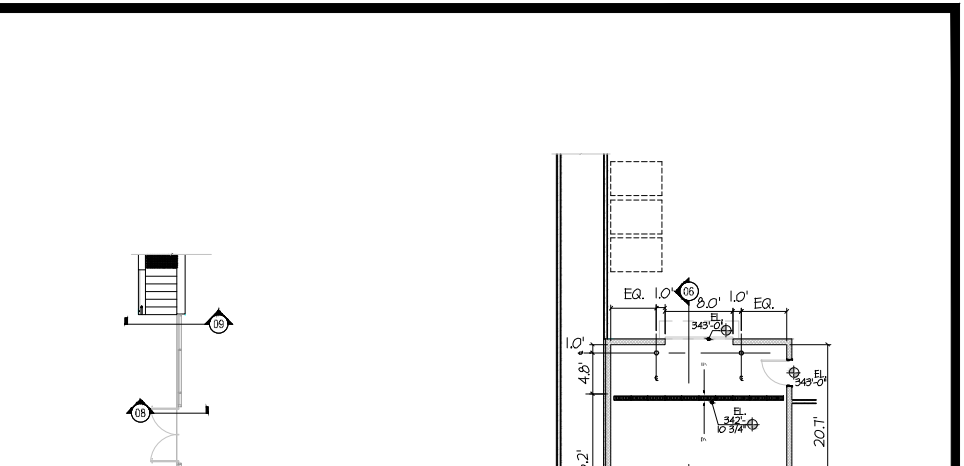
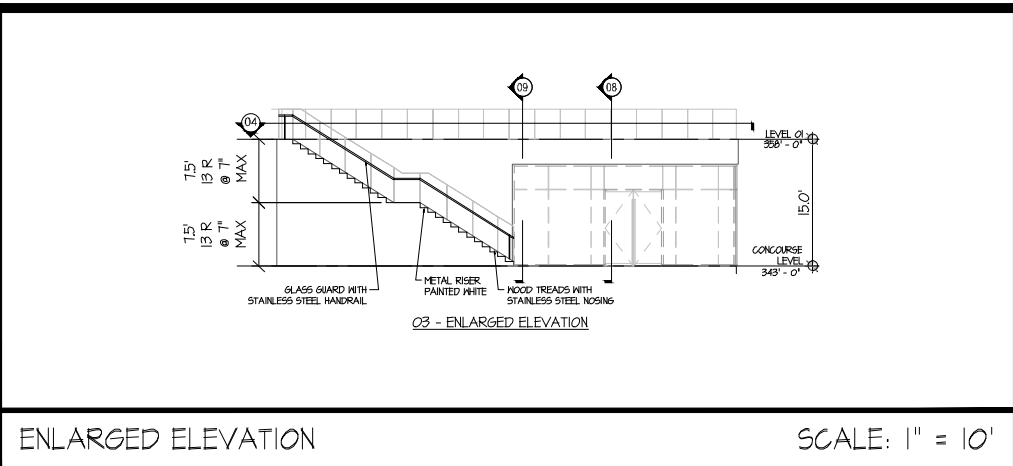
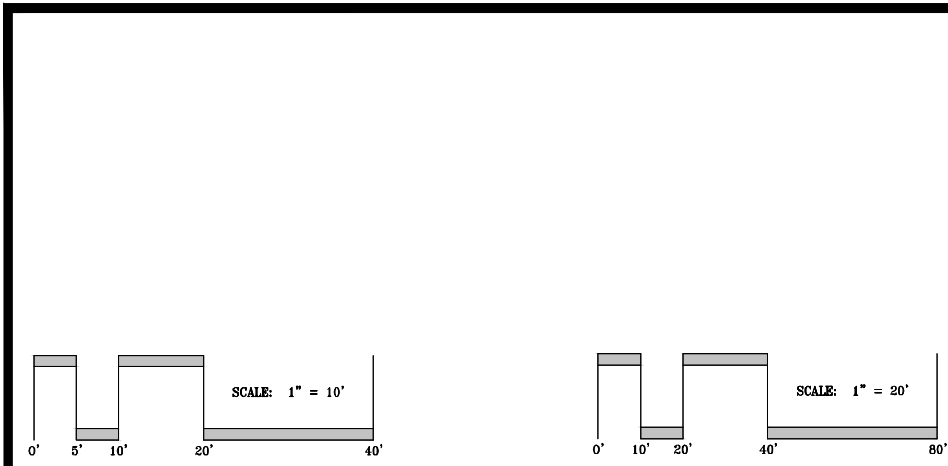
DATE	REVISION	BY	APPR.
2016-06-21	REVISION TO SHEET TITLE AND NUMBERING; REMOVAL OF BUILDING B ELEVATION VIEW; GARAGE FDP NOTE ADDED	JH	NB

OWNER/PREPARED FOR:
THE HOWARD HUGHES CORPORATION
10480 LITTLE PATUXENT PARKWAY
SUITE 400
COLUMBIA, MD 21044
ATTN: MR. ROBERT JENKINS
410-964-4800

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12815.
EXPIRATION DATE: MAY 26, 2018

REVISED BUILDING PLANS & ELEVATIONS - I
DOWNTOWN COLUMBIA
CRESCENT NEIGHBORHOOD
PARCELS A-1, A-2, & A-3, AND PARCEL E
MIXED USE GREEN OFFICE, RETAIL, AND RESTAURANT BUILDINGS AND TEMPORARY PARKING LOT
(PART OF TAX PARCEL 327) PLAT NO. 23363-23366
ELECTION DISTRICT No. 5 HOWARD COUNTY, MARYLAND

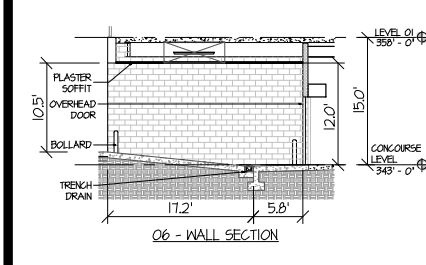
SCALE	ZONING	G. L. W. FILE NO.
AS SHOWN	NT	15019
DATE	TAX MAP - GRD	SHEET
JUNE, 2016	36 - 01	3 OF 58



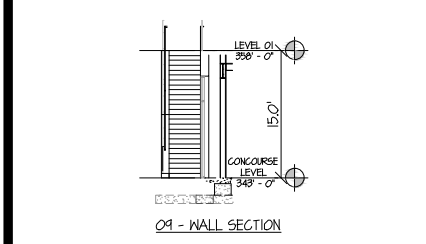
ENLARGED PLAN VIEW SCALE: 1" = 10'

ENLARGED ELEVATION SCALE: 1" = 10'

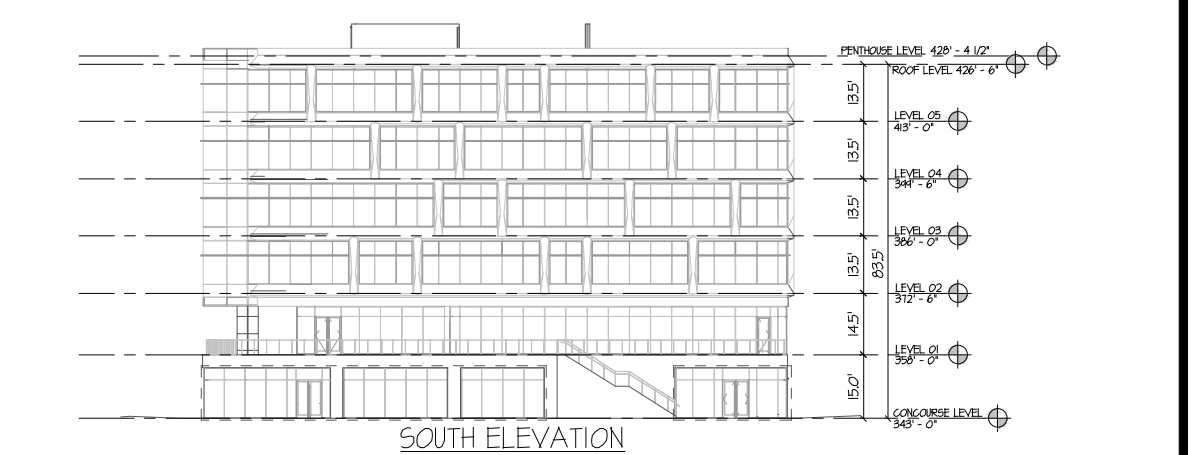
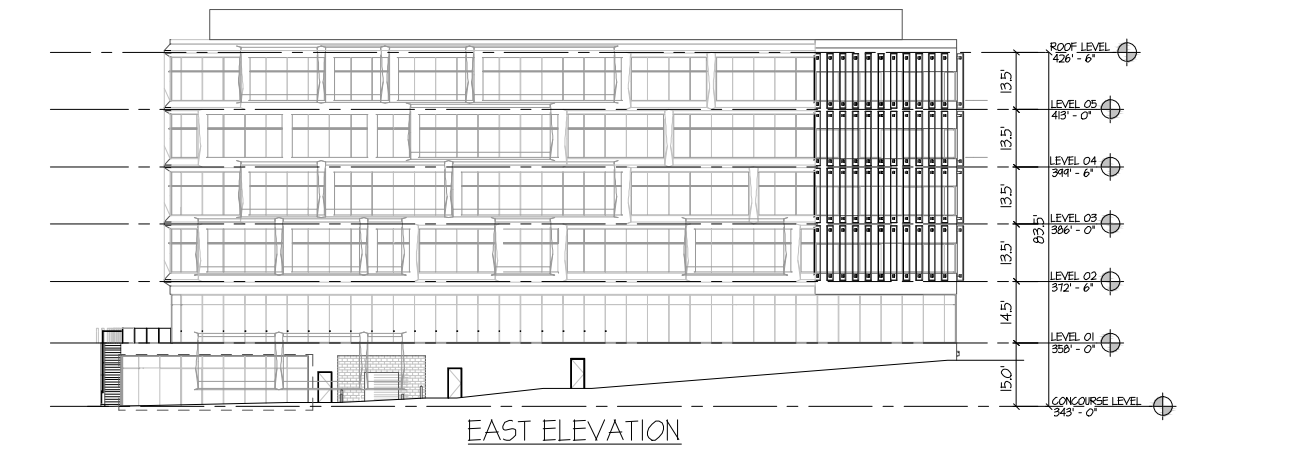
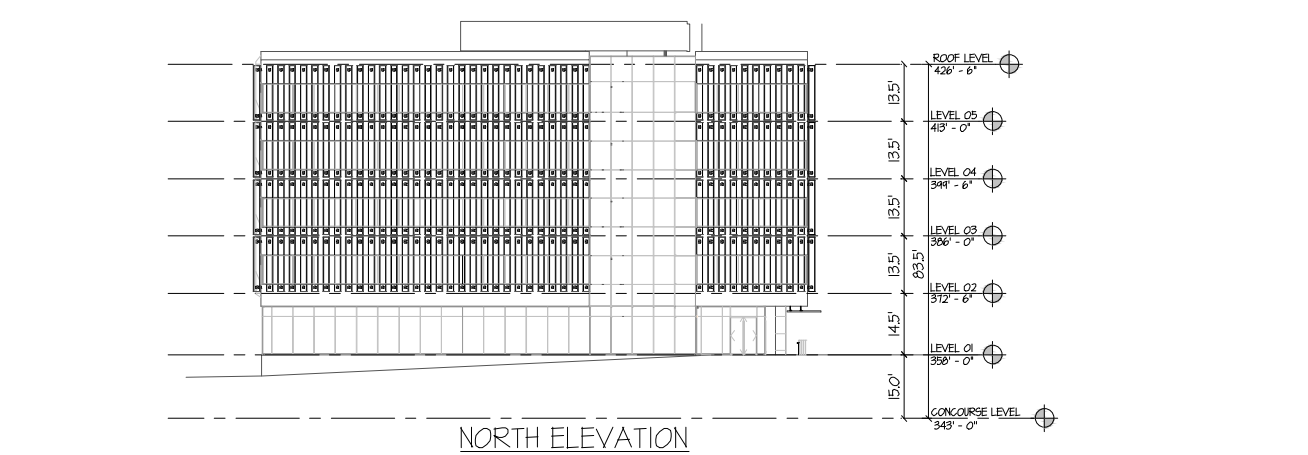
ENLARGED PLAN VIEW OF THE CONCOURSE LEVEL SCALE: 1" = 10'



WALL SECTION SCALE: 1" = 10'



WALL SECTION SCALE: 1" = 10'



BUILDING 'B' ELEVATIONS SCALE: 1" = 20'

BUILDING 'B' ELEVATIONS SCALE: 1" = 20'

APPROVED
PLANNING BOARD OF HOWARD COUNTY
Date: _____

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
Director _____ Date _____
Chief, Division of Land Development _____ Date _____
Chief, Development Engineering Division _____ Date _____

GLWGUTSCHICK LITTLE & WEBBER, P.A.
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE - SUITE 200 - BURTOWNSVILLE OFFICE PARK
BURTOWNSVILLE, MARYLAND 20866
TEL: 301-421-4024 BALI: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

DATE	REVISION	BY	APPR.
2016-06-21	ADDITIONAL SHEET AS A RESULT OF THE EXPANSION OF THE BUILDING 'B' FOOTPRINT AND DESIGN	JH	NB

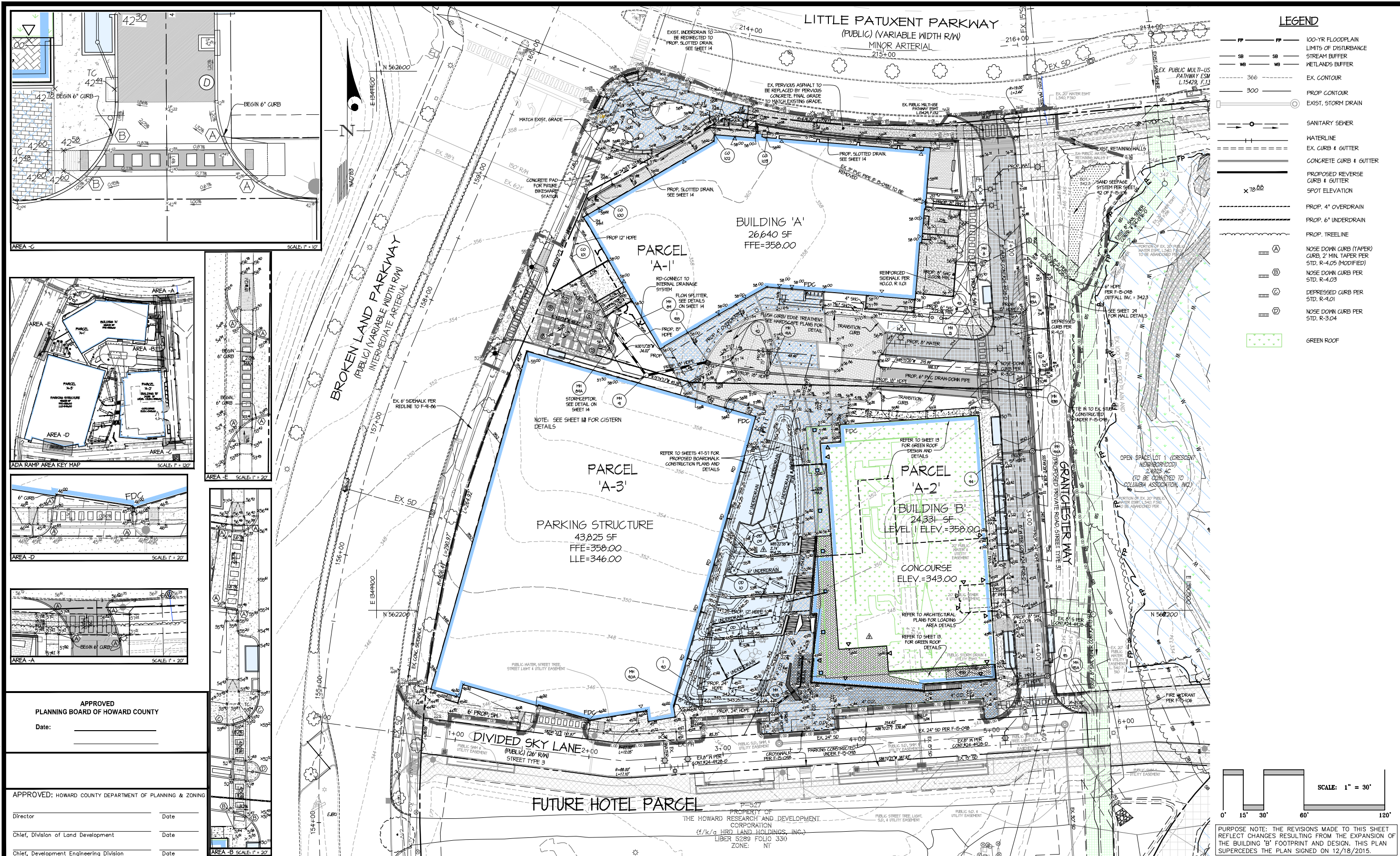
OWNER/PREPARED FOR:
THE HOWARD HUGHES CORPORATION
10480 LITTLE PATUXENT PARKWAY
SUITE 400
COLUMBIA, MD 21044
ATTN: MR. ROBERT JENKINS
410-964-4800

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12815.
EXPIRATION DATE: MAY 26, 2018

PURPOSE NOTE: THIS SHEET HAS BEEN ADDED AS A RESULT OF THE EXPANSION OF THE BUILDING 'B' FOOTPRINT AND DESIGN

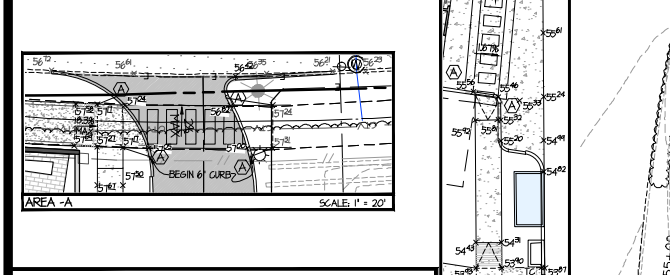
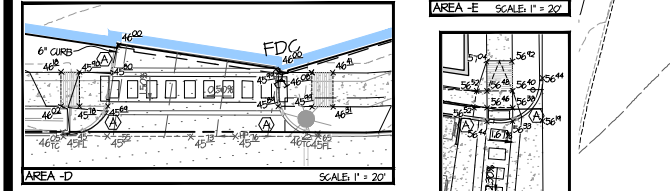
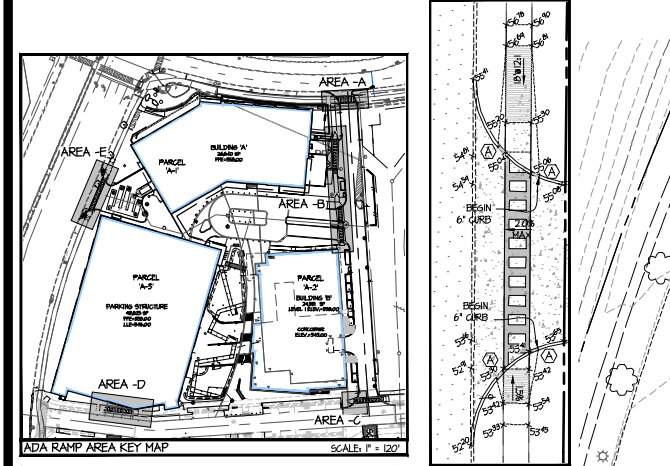
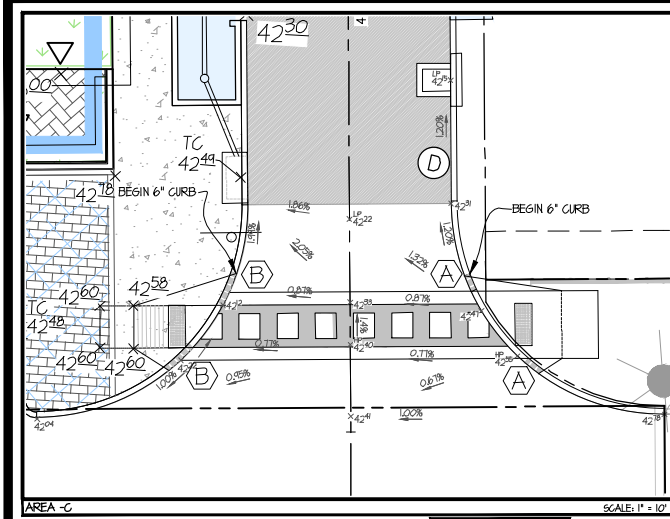
BUILDING PLANS & ELEVATIONS - II
DOWNTOWN COLUMBIA
CRESCENT NEIGHBORHOOD
PARCELS A-1, A-2, & A-3, AND PARCEL E
MIXED USE GREEN OFFICE, RETAIL, AND RESTAURANT BUILDINGS AND TEMPORARY PARKING LOT
(PART OF TAX PARCEL 327) PLAT NO. 23563-23566
ELECTION DISTRICT No. 5

SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	NT	15019
DATE	TAX MAP - GRD	SHEET
JUNE, 2016	36 - 01	4 OF 58



LEGEND

- FF 100-YR FLOODPLAIN
- LD LIMITS OF DISTURBANCE
- SB STREAM BUFFER
- MB METLANDS BUFFER
- 366 EX. CONTOUR
- 300 PROP. CONTOUR
- EXIST. STORM DRAIN
- SANITARY SEWER
- WATERLINE
- EX. CURB & GUTTER
- CONCRETE CURB & GUTTER
- PROPOSED REVERSE CURB & GUTTER
- SPOT ELEVATION
- x 78.00
- PROP. 4" OVERDRAIN
- PROP. 6" UNDERDRAIN
- PROP. TREELINE
- ⊖ NOSE DOWN CURB (TAPER) CURB, 2" MIN. TAPER PER STD. R-4.05 (MODIFIED)
- ⊖ NOSE DOWN CURB PER STD. R-4.03
- ⊖ DEPRESSED CURB PER STD. R-4.01
- ⊖ NOSE DOWN CURB PER STD. R-3.04
- GREEN ROOF



APPROVED PLANNING BOARD OF HOWARD COUNTY

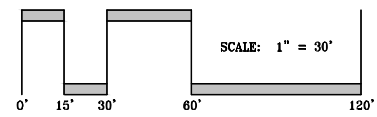
Date: _____

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director _____ Date _____

Chief, Division of Land Development _____ Date _____

Chief, Development Engineering Division _____ Date _____



PURPOSE NOTE: THE REVISIONS MADE TO THIS SHEET REFLECT CHANGES RESULTING FROM THE EXPANSION OF THE BUILDING 'B' FOOTPRINT AND DESIGN. THIS PLAN SUPERCEDES THE PLAN SIGNED ON 12/18/2015.

GLWGUTSCHICK LITTLE & WEBBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 200 - BURTONTVILLE OFFICE PARK
 BURTONTVILLE, MARYLAND 20866
 TEL: 301-421-4024 BAL: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

DATE	REVISION	BY	APPR.
2016-06-21	A. REVISION TO SHEET NUMBERING, REVISED GRADING SURROUNDING BUILDING B, ADDITION OF BOARDWALK ABOVE MICRO B10-RETENTION PONDS	JH	NB

OWNER/PREPARED FOR:
 THE HOWARD HUGHES CORPORATION
 10480 LITTLE PATUXENT PARKWAY
 SUITE 400
 COLUMBIA, MD 21044
 ATTN: MR. ROBERT JENKINS
 410-964-4800

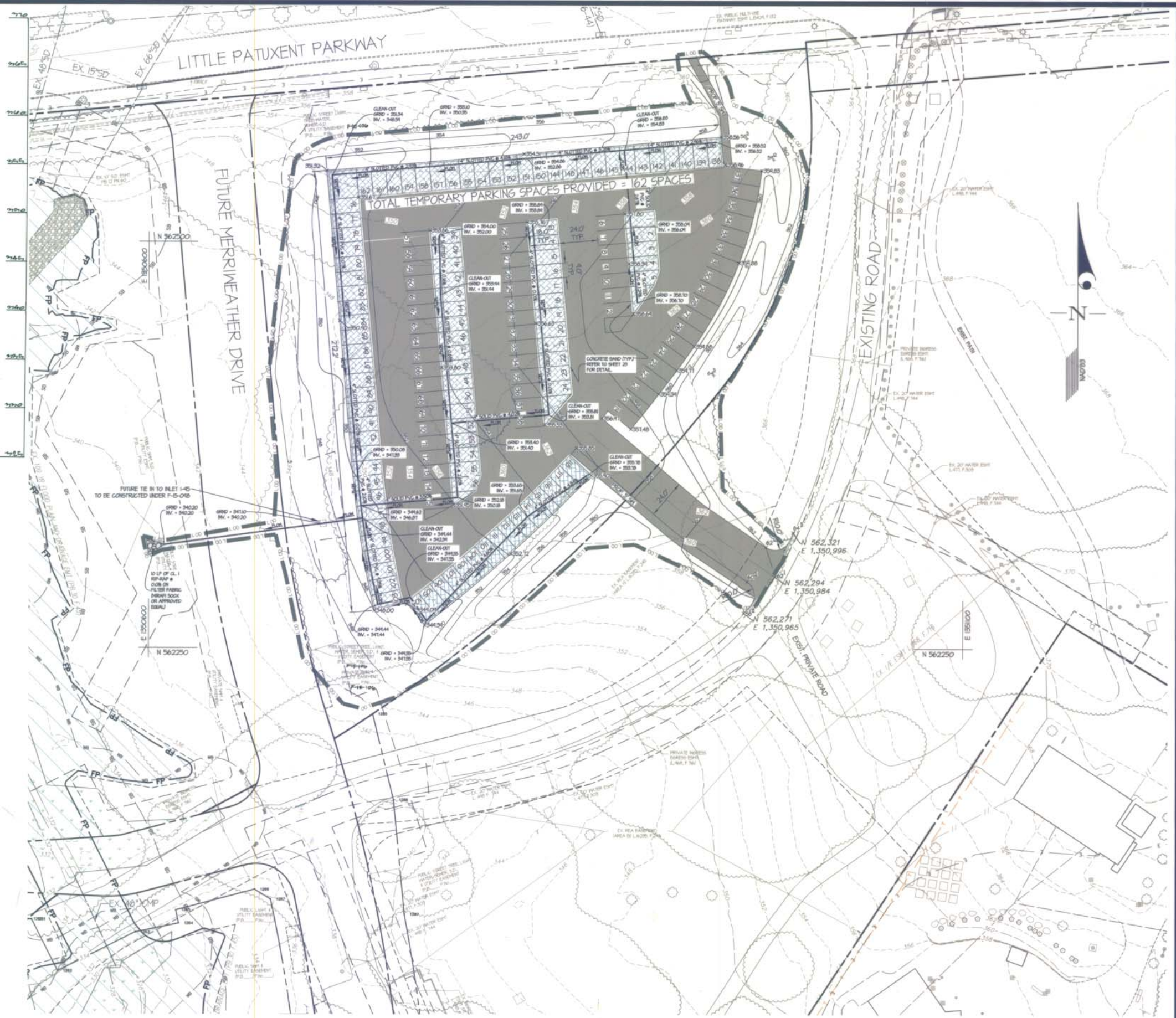
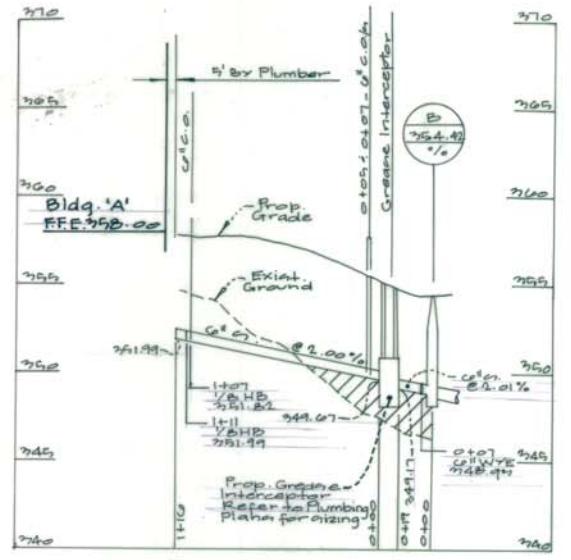
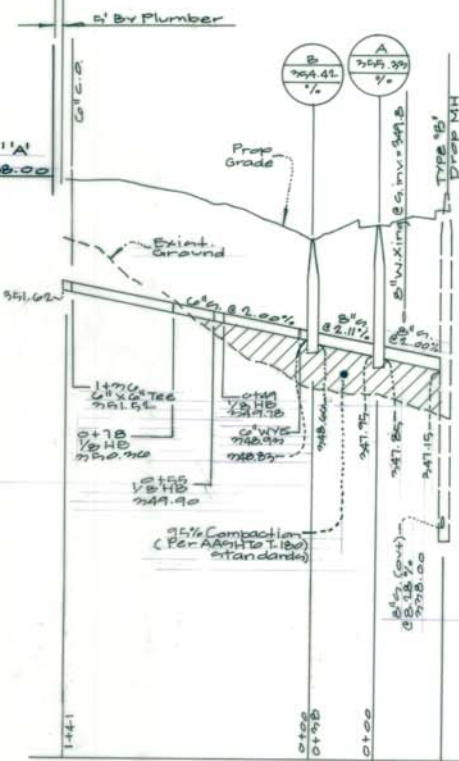
PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12615.
 EXPIRATION DATE: MAY 26, 2018

REVISED GRADING PLAN - PARCEL A
DOWNTOWN COLUMBIA
CRESCENT NEIGHBORHOOD
PARCELS A-1, A-2, & A-3, AND PARCEL E
MIXED USE GREEN OFFICE, RETAIL, AND RESTAURANT BUILDINGS AND TEMPORARY PARKING LOT
 (PART OF TAX PARCEL 327) PLAT NO. 23563-23566
 ELECTION DISTRICT No. 5 HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE NO.
1" = 30'	NT	15019
DATE	TAX MAP - GRD	SHEET
JUNE, 2016	36 - 01	5 OF 58

LEGEND

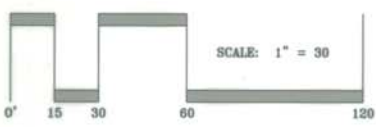
- 100-YR FLOODPLAIN
- STREAM BUFFER
- METLANDS BUFFER
- EX. CONTOUR
- PROP. CONTOUR
- EX. STORM DRAIN
- LIMIT OF DISTURBANCE
- SANITARY SEWER
- WATERLINE
- EX. CURB & GUTTER
- CONCRETE CURB & GUTTER
- PROPOSED REVERSE CURB & GUTTER
- SPOT ELEVATION
- PROP. STORM DRAIN
- PROP. BUILDING
- PROP. PAVING (P-S)
- PROP. CONCRETE WALK
- PROP. PERVIOUS PAVING



APPROVED
PLANNING BOARD OF HOWARD COUNTY
Date: October 18, 2015

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
Director: [Signature] 12-18-15
Date: 12-18-15
Chief, Division of Land Development: [Signature] 12-16-15
Date: 12-16-15
Chief, Development Engineering Division: [Signature]

UNDERDRAIN NOTE:
HOPE EQUIVALENT MAY BE
USED IN LIEU OF PVC
(PER AASHTO M252)



GLWGUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3809 NATIONAL DRIVE - SUITE 200 - BURTONVILLE OFFICE PARK
BURTONVILLE, MARYLAND 20886
TEL: 301-421-4224 FAX: 301-421-4224

DATE	REVISION	BY	APPR.
12-18-15	Rev. into Profiles added to Plan	SB	NB

OWNER/PREPARED FOR:
THE HOWARD HUGHES CORPORATION
10480 LITTLE PATUXENT PARKWAY
SUITE 400
COLUMBIA, MD 21044
ATTN: MR. ROBERT JENKINS
410-964-4800

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE PLANS WERE
PREPARED OR APPROVED BY ME, AND THAT I
AM A DULY LICENSED PROFESSIONAL ENGINEER
UNDER THE LAWS OF THE STATE OF MARYLAND.
LICENSE NO. 12875
EXPIRATION DATE: MAY 28, 2016
12-9-15 [Signature]



SITE DEVELOPMENT & GRADING PLAN - PARCEL E TEMPORARY PARKING AREA
DOWNTOWN COLUMBIA
CRESCENT NEIGHBORHOOD
PARCELS A-1, A-2, & A-3, AND PARCEL E
MIXED USE GREEN OFFICE, RETAIL, AND RESTAURANT BUILDINGS AND TEMPORARY PARKING LOT
(PART OF TAX PARCEL 527) FLAT NO. 23065-23560a
HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
1" = 30'	NT	15019
DATE	TAX MAP - GRID	SHEET
DEC, 2015	36 - 01	6 OF 58

ALL RIGHTS RESERVED. NO PART OF THIS DOCUMENT MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT PERMISSION IN WRITING FROM THE ENGINEER OF RECORD.

LEGEND

- STABILIZED CONSTRUCTION ENTRANCE
- PROPOSED EARTH DIKE
- PROPOSED SILT FENCE
- PROPOSED SUPER SILT FENCE
- EXISTING EARTH DIKE CONSTRUCTED UNDER F-15-04B
- EXISTING SILT FENCE CONSTRUCTED UNDER F-15-04B
- EXISTING SUPER SILT FENCE CONSTRUCTED UNDER F-15-04B
- PROPOSED INLET PROTECTION
- GABION OUTLET STRUCTURE
- STONE OUTLET STRUCTURE
- LIMIT OF DISTURBANCE

SEDIMENT CONTROL NOTE:

EXISTING PERIMETER SEDIMENT CONTROL DEVICES INSTALLED PER F-PLAN, F-15-04B.

LIMIT OF DISTURBANCE NOTE:

LOD SHOWN OFFSET FROM SEDIMENT CONTROL DEVICES FOR CLARITY PURPOSES ONLY. LOD SHALL NOT EXTEND BEYOND THE SEDIMENT CONTROL LIMITS, PROPERTY LINE BOUNDARIES OR OTHER ENVIRONMENTAL CONSTRAINTS.

This Development Plan is approved for Soil Erosion and Sediment Control by the Howard Soil Conservation District.

Howard S.C.D. Date

ENGINEER'S CERTIFICATE

"I HEREBY CERTIFY THAT THIS PLAN FOR SEDIMENT AND EROSION CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT HAS BEEN PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."

ENGINEER'S SIGNATURE DATE

DEVELOPER'S/BUILDER'S CERTIFICATE

"I HEREBY CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN FOR SEDIMENT AND EROSION CONTROL, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT."

SIGNATURE OF DEVELOPER/BUILDER DATE

APPROVED PLANNING BOARD OF HOWARD COUNTY

Date:

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director Date
 Chief, Division of Land Development Date
 Chief, Development Engineering Division Date

GLWGUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 200 - BURTONTVILLE OFFICE PARK
 BURTONTVILLE, MARYLAND 20866
 TEL: 301-421-4024 BAL: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

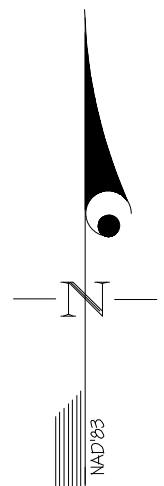
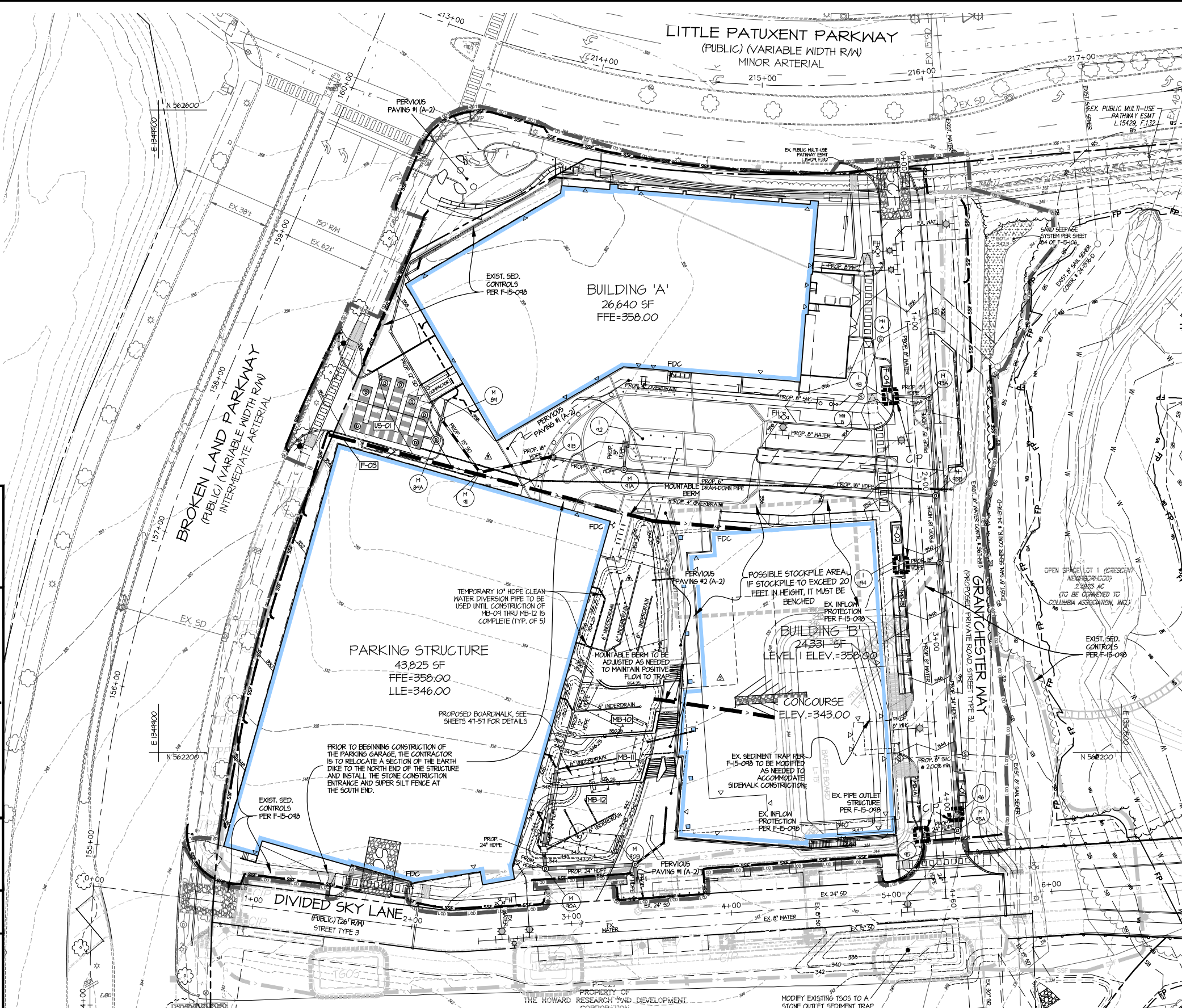
NO.	DATE	REVISION	BY	APPR.
2016-06-21		REVISION TO SHEET NUMBERING; BUILDING B LAYOUT; STORM DRAIN AND DRAINDOWN PIPE LAYOUT; ADDITION OF BOARDWALK	JH	NB

OWNER/PREPARED FOR:
 THE HOWARD HUGHES CORPORATION
 10480 LITTLE PATUXENT PARKWAY
 SUITE 400
 COLUMBIA, MD 21044
 ATTN: MR. ROBERT JENKINS
 410-964-4800

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. J21516, EXPIRATION DATE: MAY 26, 2018.

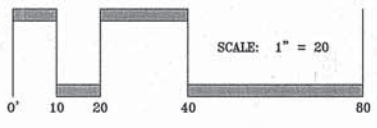
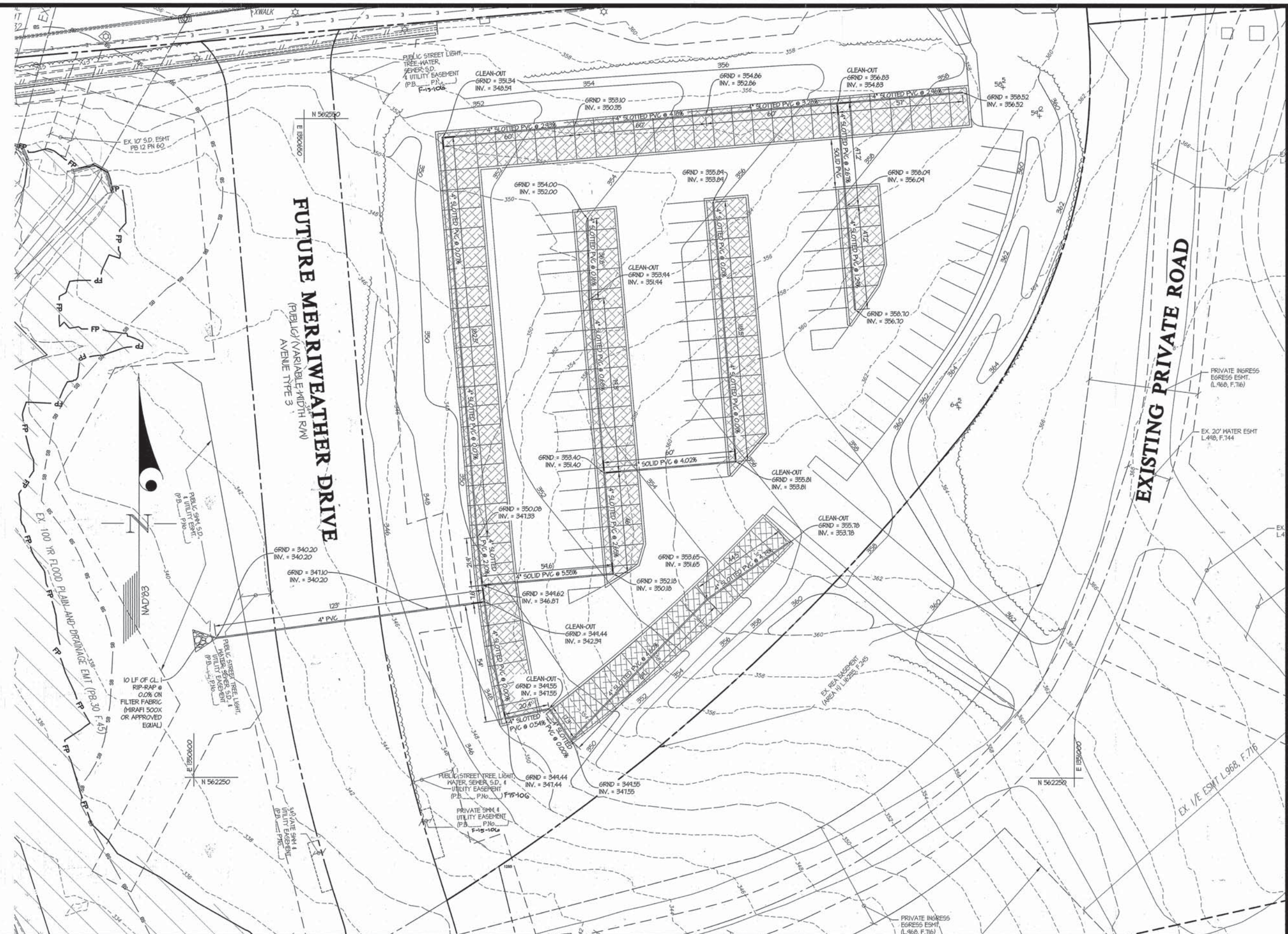
REVISED SEDIMENT CONTROL PLAN - PARCEL A
DOWNTOWN COLUMBIA
CRESCENT NEIGHBORHOOD
PARCELS A-1, A-2, & A-3, AND PARCEL E
MIXED USE GREEN OFFICE, RETAIL, AND RESTAURANT BUILDINGS AND TEMPORARY PARKING LOT
 (PART OF TAX PARCEL 327) PLAT NO. 23563-23566
 ELECTION DISTRICT No. 5 HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE NO.
1" = 30'	NT	15019
DATE	TAX MAP - GRD	SHEET
JUNE, 2016	36 - 01	7 OF 58



PURPOSE NOTE: THE REVISIONS MADE TO THIS SHEET REFLECT CHANGES RESULTING FROM THE EXPANSION OF THE BUILDING 'B' FOOTPRINT AND DESIGN. THIS PLAN SUPERCEDES THE PLAN SIGNED ON 12/18/2015.

L:\CADD\DRAWINGS\11071\11071A\SDP\15019a05 - Sediment Control - Parcel A - Sheet 07.dwg
 PLOTTED: 7/29/2016 10:22 AM, LAST SAVER: 7/29/2016 2:20 PM, PLOTTED BY: jay.hobbs@hobbs.com



APPROVED
 PLANNING BOARD OF HOWARD COUNTY
 Date: October 15, 2015

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
Nicolas Jaffe 12-10-15
 Director Date
Robert Jenkins 12-17-15
 Chief, Division of Land Development Date
John Edick 12-16-15
 Chief, Development Engineering Division Date

GLWGUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
 BURTONSVILLE, MARYLAND 20886
 TEL: 301-421-4024 BAL: 410-860-1800 DC/VA: 301-989-2524 FAX: 301-421-4186

OWNER/PREPARED FOR:
 THE HOWARD HUGHES CORPORATION
 10480 LITTLE PATUXENT PARKWAY
 SUITE 400
 COLUMBIA, MD 21044
 ATTN: MR. ROBERT JENKINS
 410-964-4800

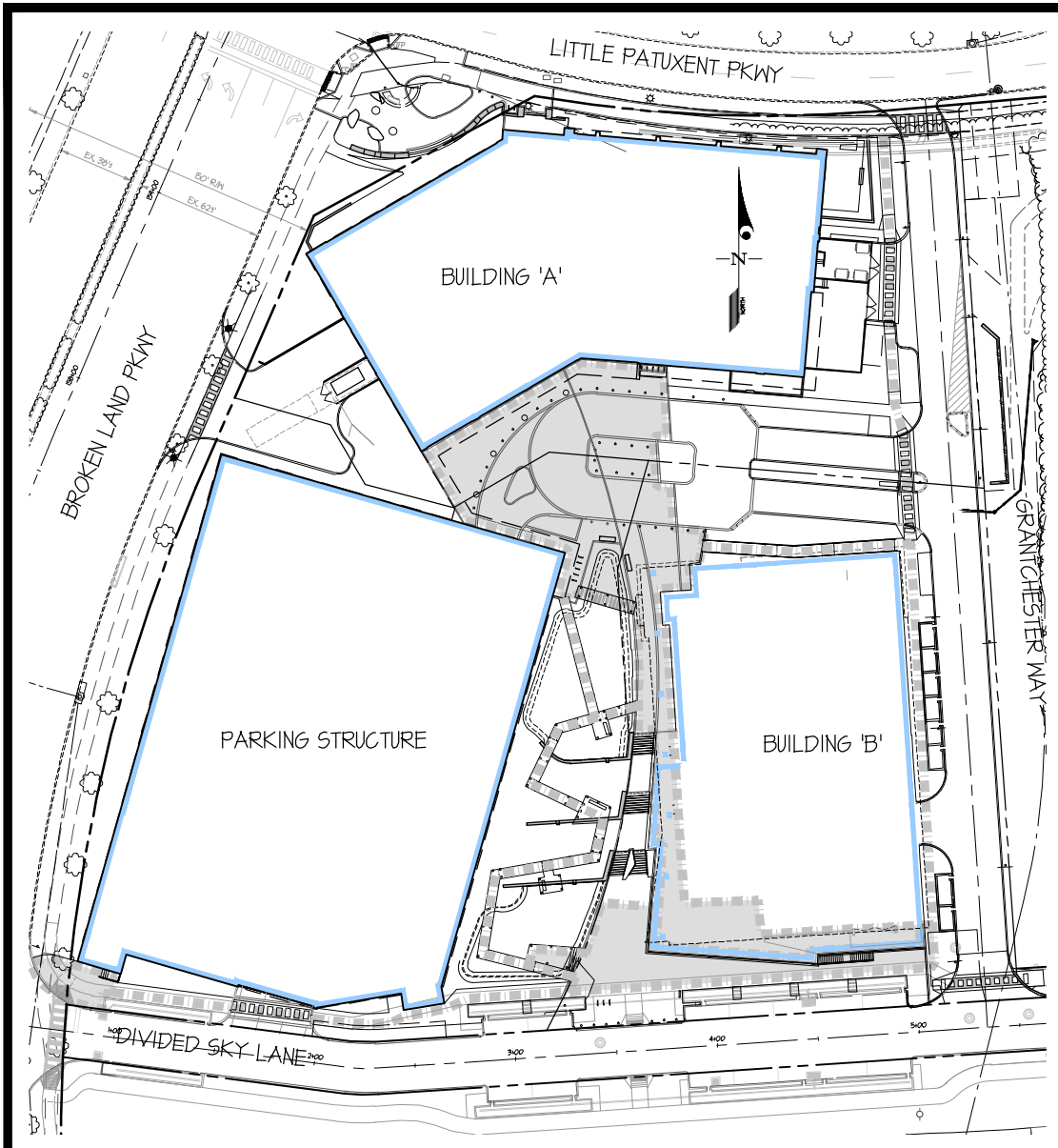
PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
 LICENSE NO. 17475
 EXPIRATION DATE: MAY 23, 2016
 12-9-15



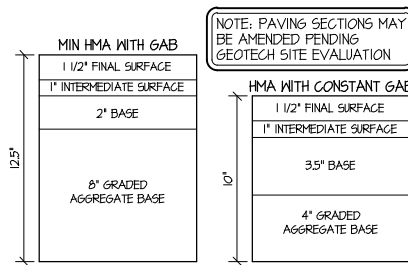
PERVIOUS PAVING UNDERDRAIN PLAN - PARCEL E
DOWNTOWN COLUMBIA
CRESCENT NEIGHBORHOOD
PARCELS A-1, A-2, & A-3, AND PARCEL E
 MIXED USE GREEN OFFICE, RETAIL, AND RESTAURANT BUILDINGS AND TEMPORARY PARKING LOT
 (PART OF TAX PARCEL 527) PLAT NO. 23565-23566
 HOWARD COUNTY, MARYLAND
 ELECTION DISTRICT No. 5

SCALE 1"=20'	ZONING NT	G. L. W. FILE No. 15019
DATE DEC., 2015	TAX MAP - GRID 36 - 01	SHEET 10 OF 58

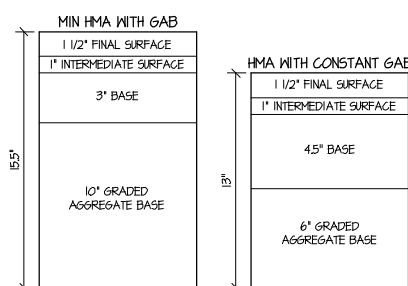
L:\CAD\DRAWINGS\1071\1071\1071\ANS BY GUY\DWG\1071.dwg - Plot - Undergroup Monitor - Perceil E.dwg
 PLOTTED: 12/17/2015 3:33 PM, LAST SAVED: 12/17/2015 3:33 PM, PLOTTED BY: JOY HICKMAN
 © GLW 2013



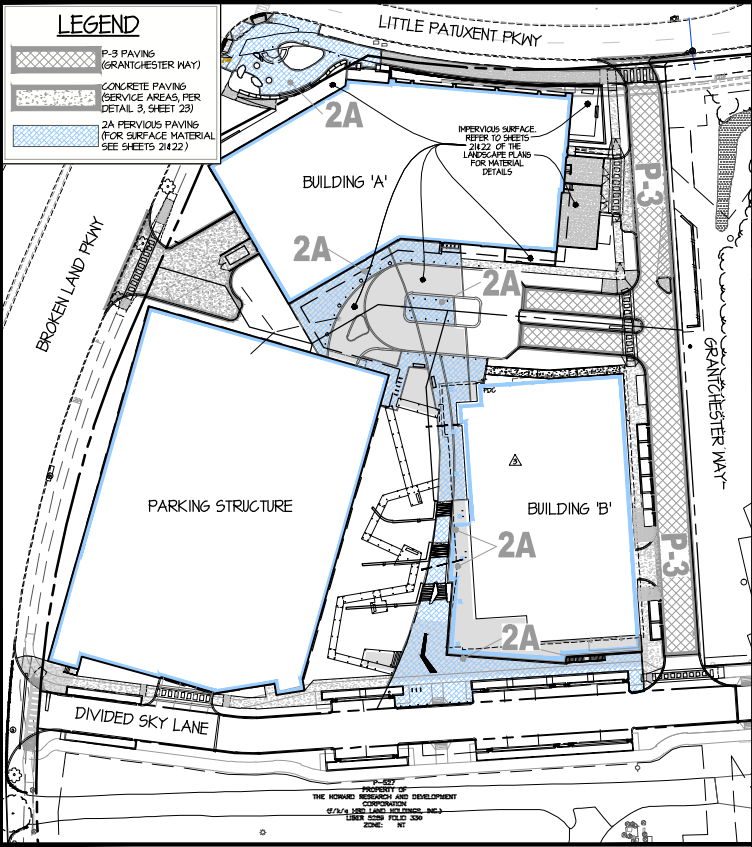
ADA DELINEATION PLAN Δ = ADA ACCESSIBLE AREA & ROUTE $1'' = 40'$



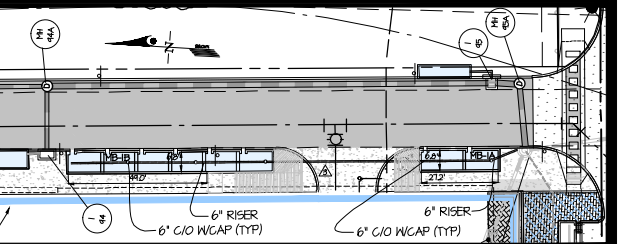
P-2 PAVING SECTION FOR PARCEL E PARKING LOT NOT TO SCALE



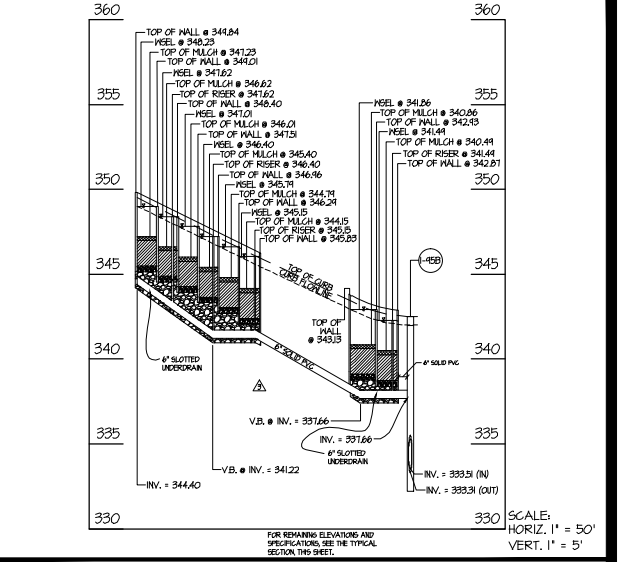
P-3 PAVING SECTION FOR GRANTCHESTER WAY NOT TO SCALE



PAVING DELINEATION PLAN $1'' = 60'$



PLANTERS ALONG GRANTCHESTER WAY $1'' = 30'$

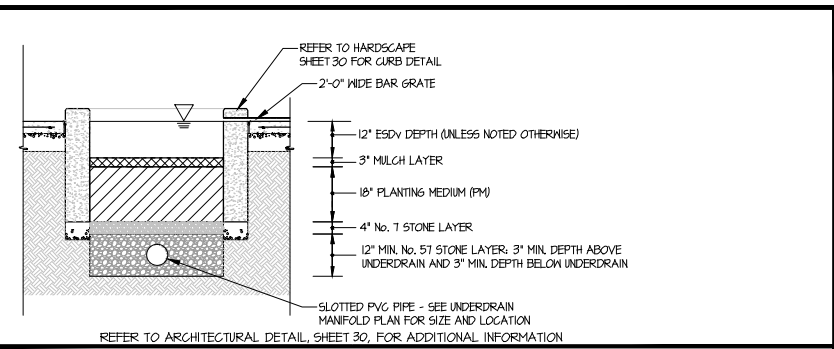


PLANTER PROFILES ALONG GRANTCHESTER WAY SCALE: HORIZ. $1'' = 50'$ VERT. $1'' = 5'$

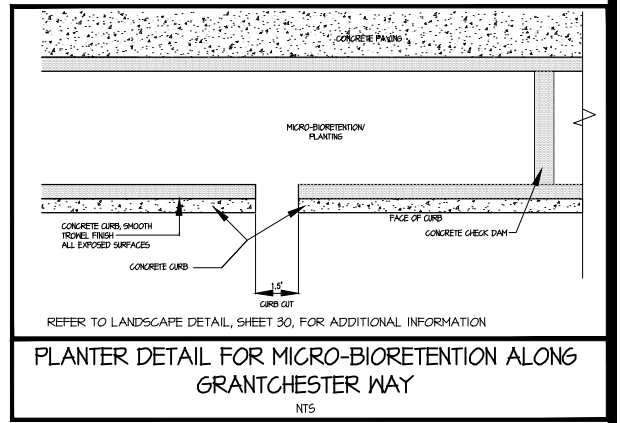
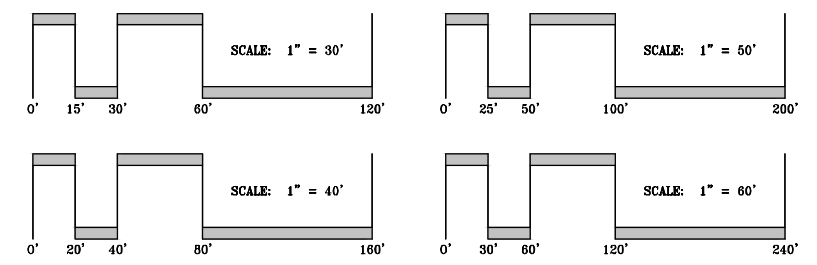
- NOTES:**
1. IN CASE OF DISCREPANCIES BETWEEN THE CHART AND THE PLAN THE PLAN SHALL GOVERN.
 2. ALL RISERS FOR CLEANOUT LOCATIONS SHALL BE PVC WITH REMOVABLE PLUGS.
 3. VERTICAL FITTINGS NOT INCLUDED.
 4. ALL DRAIN RISERS SHALL BE PVC AND HAVE ADS ROUND DROP IN GRATES OR EQUIVALENT AT THE SPECIFIED ELEVATION UNLESS NOTED OTHERWISE.

APPROVED
PLANNING BOARD OF HOWARD COUNTY
Date: _____

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
Director _____ Date _____
Chief, Division of Land Development _____ Date _____
Chief, Development Engineering Division _____ Date _____



PLANTER SECTION FOR MICRO-BIORETENTION ALONG GRANTCHESTER WAY (NTS)



PLANTER DETAIL FOR MICRO-BIORETENTION ALONG GRANTCHESTER WAY NTS

PURPOSE NOTE: THE REVISIONS MADE TO THIS SHEET REFLECT CHANGES RESULTING FROM THE EXPANSION OF THE BUILDING 'B' FOOTPRINT AND DESIGN. THIS PLAN SUPERCEDES THE PLAN SIGNED ON 12/18/2015.

GLWGUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE - SUITE 200 - BURTONTOWNE OFFICE PARK
BURTONTOWNE, MARYLAND 20866
TEL: 301-421-4024 BAL: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

DATE	REVISION	BY	APPR.
2016-06-21	REVISION TO SHEET NUMBERING, REMOVAL OF MB-04 REVISION TO PLANTER BOX PLANS AND PROFILES, REMOVAL OF INTERIM GRADING PLAN, ADDITION OF ADA DELINEATION PLAN	JH	NB

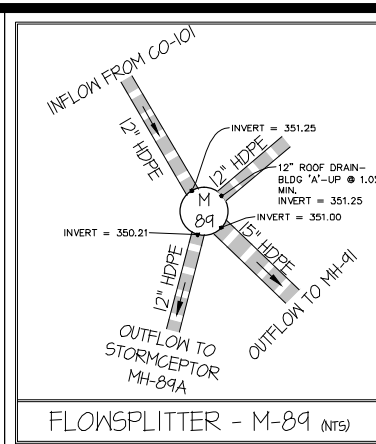
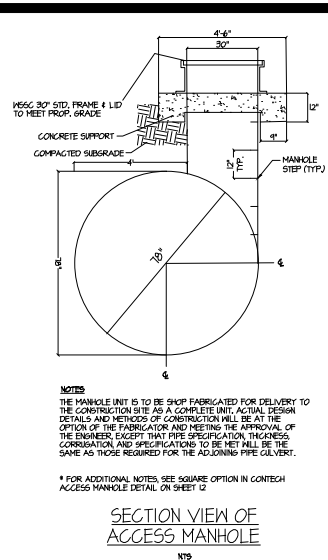
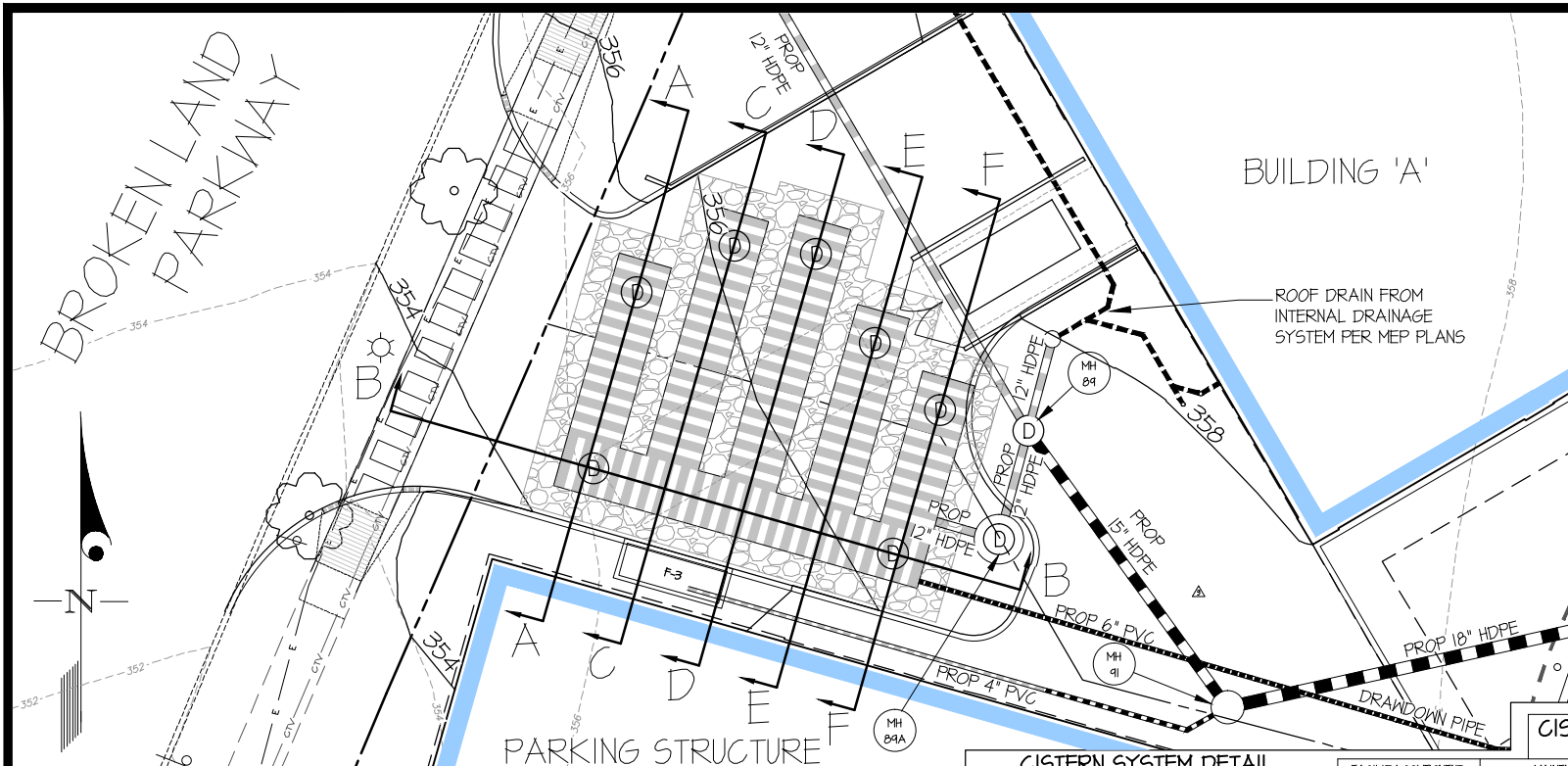
OWNER/PREPARED FOR:
THE HOWARD HUGHES CORPORATION
10480 LITTLE PATUXENT PARKWAY
SUITE 400
COLUMBIA, MD 21044
ATTN: MR. ROBERT JENKINS
410-964-4800

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12815
EXPIRATION DATE: MAY 26, 2018

REVISED PAVING DELINEATION PLAN & PLANTER BOX DETAILS
DOWNTOWN COLUMBIA
CRESCENT NEIGHBORHOOD
PARCELS A-1, A-2, & A-3, AND PARCEL E
MIXED USE GREEN OFFICE, RETAIL, AND RESTAURANT BUILDINGS AND TEMPORARY PARKING LOT
(PART OF TAX PARCEL 327) PLAT NO. 23563-23566
ELECTION DISTRICT No. 5 HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE NO.
AS SHOWN	NT	15019
DATE	TAX MAP - GRD	SHEET
JUNE, 2016	36 - 01	11 OF 58

L:\CAD\DRAWINGS\1071\1071A\PLANS BY G.L.W\SDP\15019\15019-010 - Paving Delineation - Parcel A-3-Sheet 11.dwg, PLOTDATE: 7/26/2016 10:18 AM, LAST SAVE: 7/26/2016 10:18 AM, PLOTTER: B7: s01: h01: h01

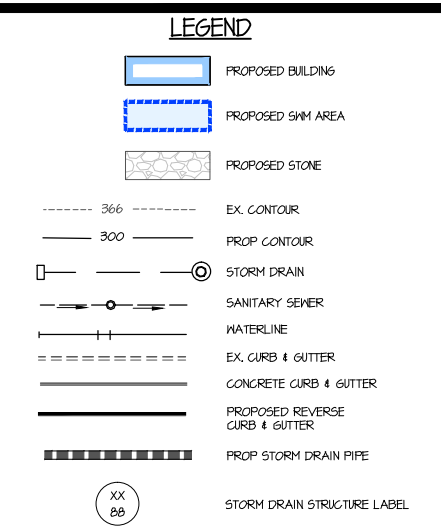
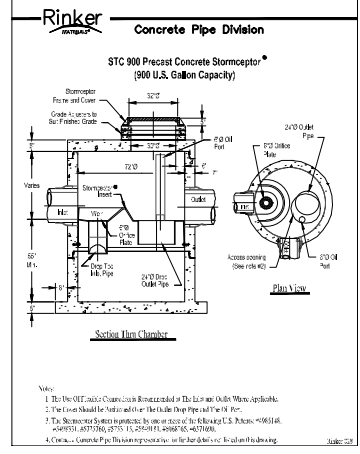


CISTERN NOTES

1. A cistern shall be located under the loading bay.
2. The volume of the cistern shall provide at least 4074 cubic feet of storage.
3. 5714 cubic feet of storage provided.
4. Untreated rainfall up to 2.6 inches shall enter the cistern.
5. Excessive runoff shall be diverted by the splitter structure and will not enter the cistern.
6. A stormceptor has been provided to pre-treat run-off entering the cistern.

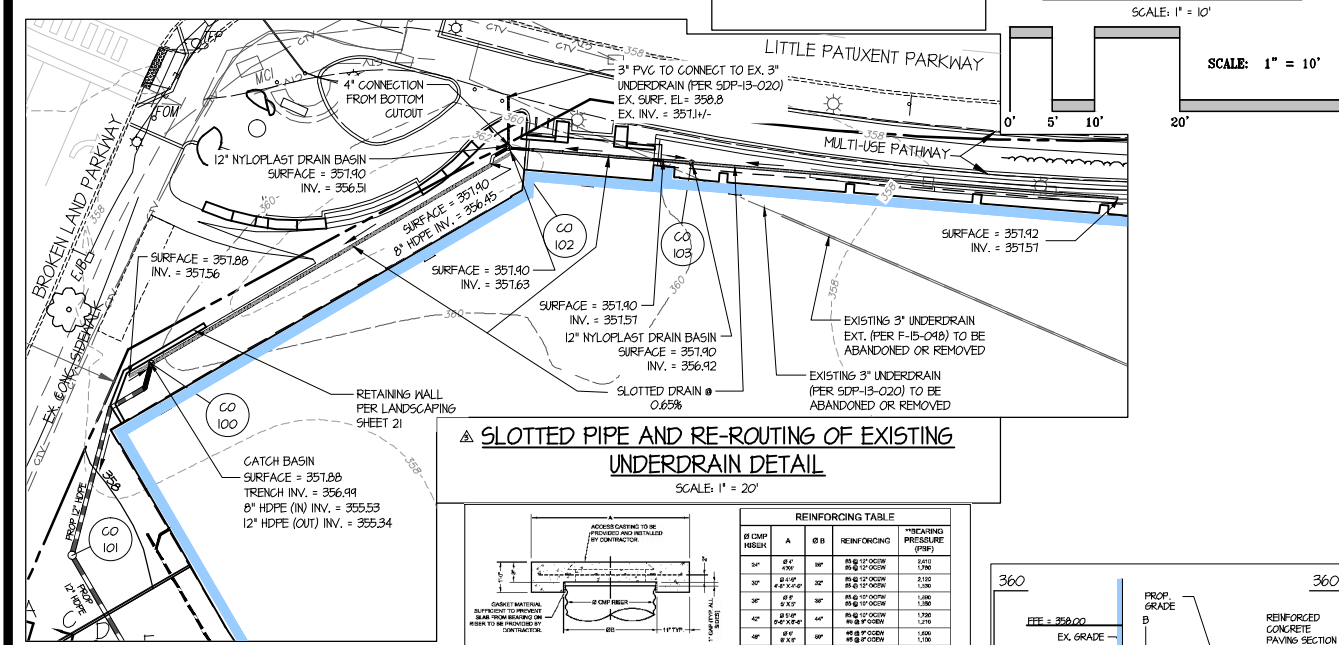
CISTERN OPERATION AND MAINTENANCE SCHEDULE
NOTE: COMPONENTS ARE TO BE INSPECTED QUARTERLY

FACILITY COMPONENT REQUIRING MAINTENANCE	MAINTENANCE ACTIVITY	WHEN MAINTENANCE ACTIVITY IS REQUIRED	EXPECTED FACILITY PERFORMANCE AFTER MAINTENANCE
STORAGE MANIFOLD	TRASH AND DEBRIS REMOVAL, & SEDIMENT REMOVAL.	FLOATABLE OBJECTS OR OTHER DEBRIS IS PRESENT IN THE FILTER OR MANIFOLD SYSTEM.	FILTRATION CAPACITY IS MAXIMIZED.
PIPING FITTINGS AND CONTROL DEVICES.	ENSURE ALL FITTINGS ARE SECURE AND THAT ALL CONTROLS ARE UNBLOCKED. FLUSH WITH WATER.	DRAINAGE SYSTEM IS OBSTRUCTED BY DEBRIS OR SEDIMENT.	SYSTEM FLOWS FREELY.



OPERATION AND MAINTENANCE SCHEDULE FOR PRIVATELY OWNED AND MAINTAINED STORMCEPTOR WATER QUALITY DEVICE

1. THE OWNER SHALL INSPECT THE STORMCEPTOR WATER QUALITY DEVICE PERIODICALLY AND CLEAN IT TO MAINTAIN PROPER OPERATION AND FUNCTION. THE OWNER SHALL INSPECT THE STORMCEPTOR UNIT YEARLY AT A MINIMUM. UTILIZING THE STORMCEPTOR INSPECTION/MONITORING FORM, INSPECTIONS SHALL BE DONE BY USING A CLEAR FLEXIGLASS TUBE (SLUDGE JUDGE) TO EXTRACT A WATER COLUMN SAMPLE WHEN THE SEDIMENT DEPTHS EXCEED THE LEVEL SPECIFIED IN TABLE 6 OF THE STORMCEPTOR TECHNICAL MANUAL. THE STORMCEPTOR UNIT MUST BE CLEANED.
2. THE OWNER SHALL CHECK AND CLEAN IMMEDIATELY THE STORMCEPTOR WATER QUALITY STRUCTURE AFTER PETROLEUM SPILLS. THE OWNER SHALL CONTACT THE APPROPRIATE REGULATORY AGENCIES AND CLEAN THE PETROLEUM SPILLS IN ACCORDANCE WITH ALL APPLICABLE LAWS AND REGULATIONS.
3. THE MAINTENANCE OF THE STORMCEPTOR UNIT SHALL BE DONE USING A VACUUM TRUCK WHICH WILL REMOVE THE WATER, SEDIMENT, DEBRIS, FLOATING HYDROCARBONS AND OTHER MATERIALS IN THE STORMCEPTOR UNIT. THE OWNER SHALL FOLLOW ALL REQUIREMENTS FOR THE PROPER CLEANING AND DISPOSAL OF THE REMOVED MATERIALS AND LIQUID.
4. THE OWNER SHALL CHECK THE INLET AND OUTLET PIPES FOR ANY OBSTRUCTIONS AT LEAST EVERY SIX (6) MONTHS. IF OBSTRUCTIONS ARE FOUND, THE OWNER SHALL HAVE THEM REMOVED. THE OWNER SHALL REPAIR THE STRUCTURAL PARTS OF THE STORMCEPTOR UNIT AS NEEDED.
5. THE OWNER SHALL RETAIN AND MAKE THE STORMCEPTOR INSPECTION/MONITORING FORMS AVAILABLE TO THE HOWARD COUNTY OFFICIALS UPON THEIR REQUEST.



APPROVED PLANNING BOARD OF HOWARD COUNTY

Date: _____

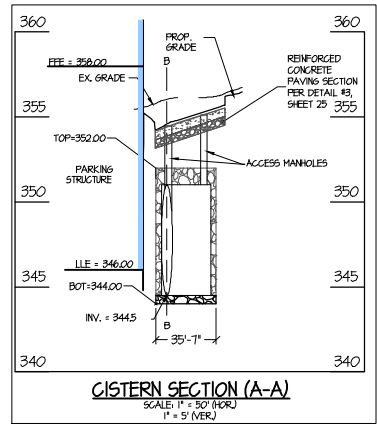
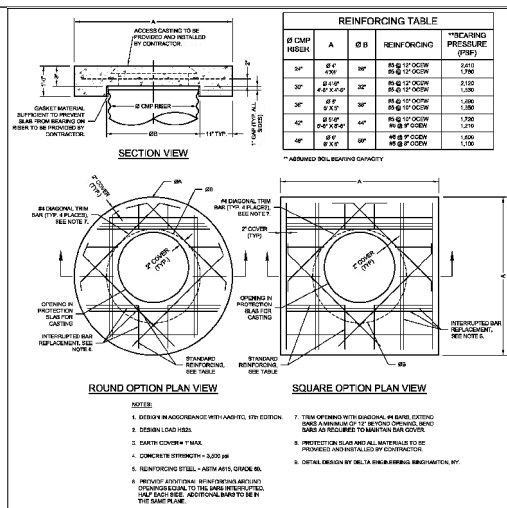
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director _____ Date _____

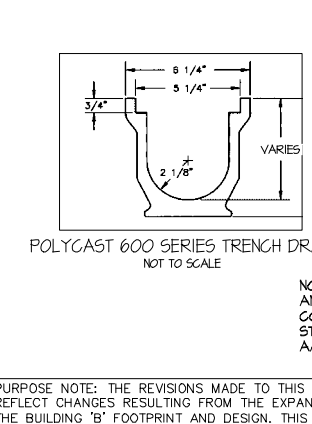
Chief, Division of Land Development _____ Date _____

Chief, Development Engineering Division _____ Date _____

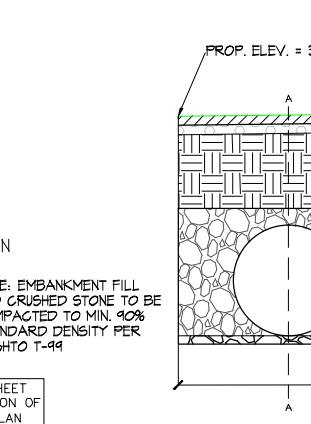
SLOTTED PIPE AND RE-ROUTING OF EXISTING UNDERDRAIN DETAIL
SCALE: 1" = 20"



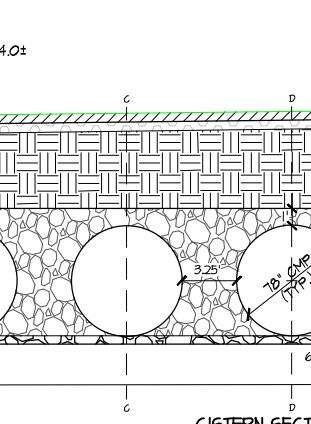
CISTERN SECTION (B-B)
SCALE: 1" = 50" (HOR) 1" = 5" (VER)



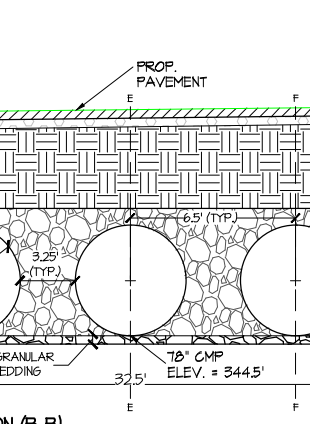
CISTERN SECTION (C-C)
SCALE: 1" = 50" (HOR) 1" = 5" (VER)



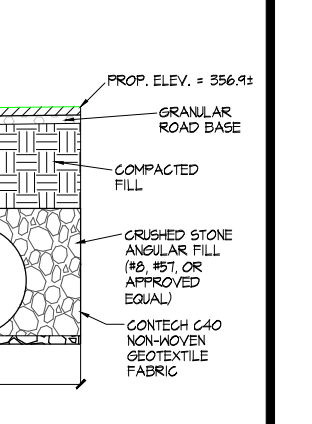
CISTERN SECTION (D-D)
SCALE: 1" = 50" (HOR) 1" = 5" (VER)



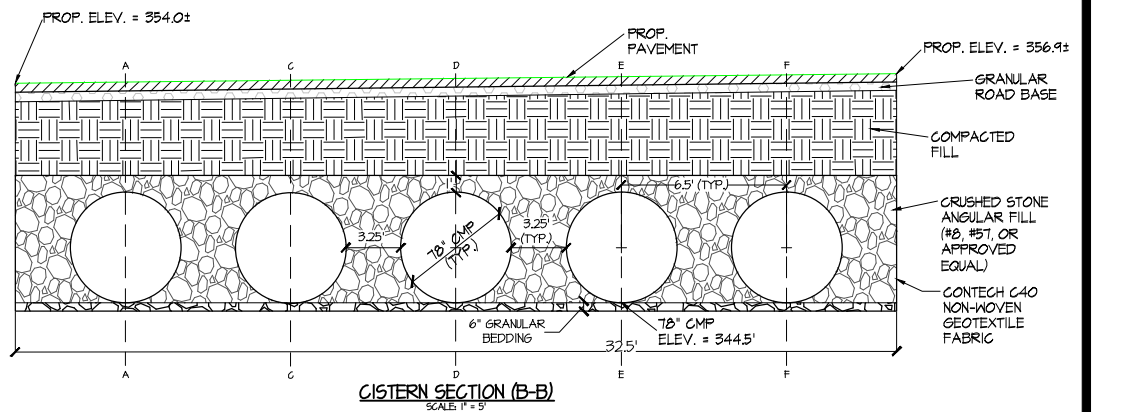
CISTERN SECTION (E-E)
SCALE: 1" = 50" (HOR) 1" = 5" (VER)



CISTERN SECTION (F-F)
SCALE: 1" = 50" (HOR) 1" = 5" (VER)



PURPOSE NOTE: THE REVISIONS MADE TO THIS SHEET REFLECT CHANGES RESULTING FROM THE EXPANSION OF THE BUILDING 'B' FOOTPRINT AND DESIGN. THIS PLAN SUPERCEDES THE PLAN SIGNED ON 12/18/2015.



GLWGUTSCHICK LITTLE & WEBBER, P.A.
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE - SUITE 250 - BURTONTVILLE OFFICE PARK
BURTONTVILLE, MARYLAND 20866
TEL: 301-421-4024 BAL: 410-880-1200 DC/VA: 301-989-2524 FAX: 301-421-4186

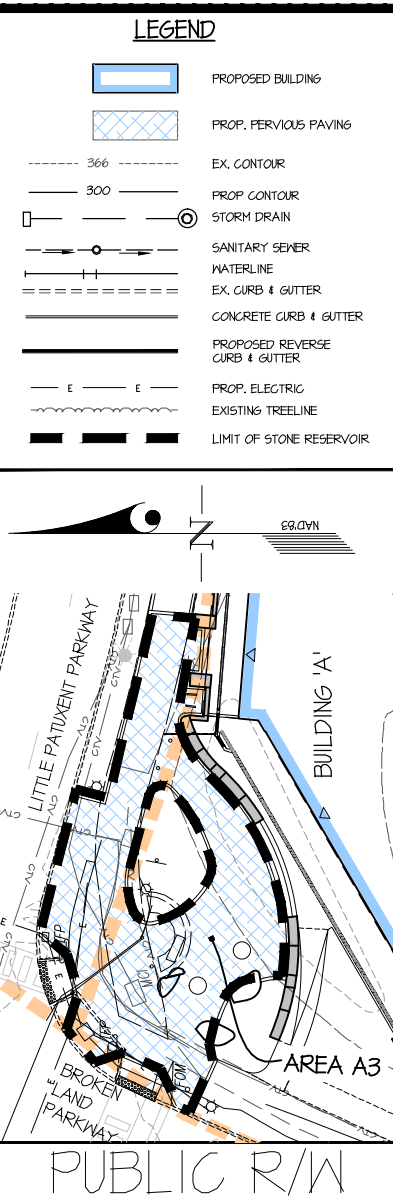
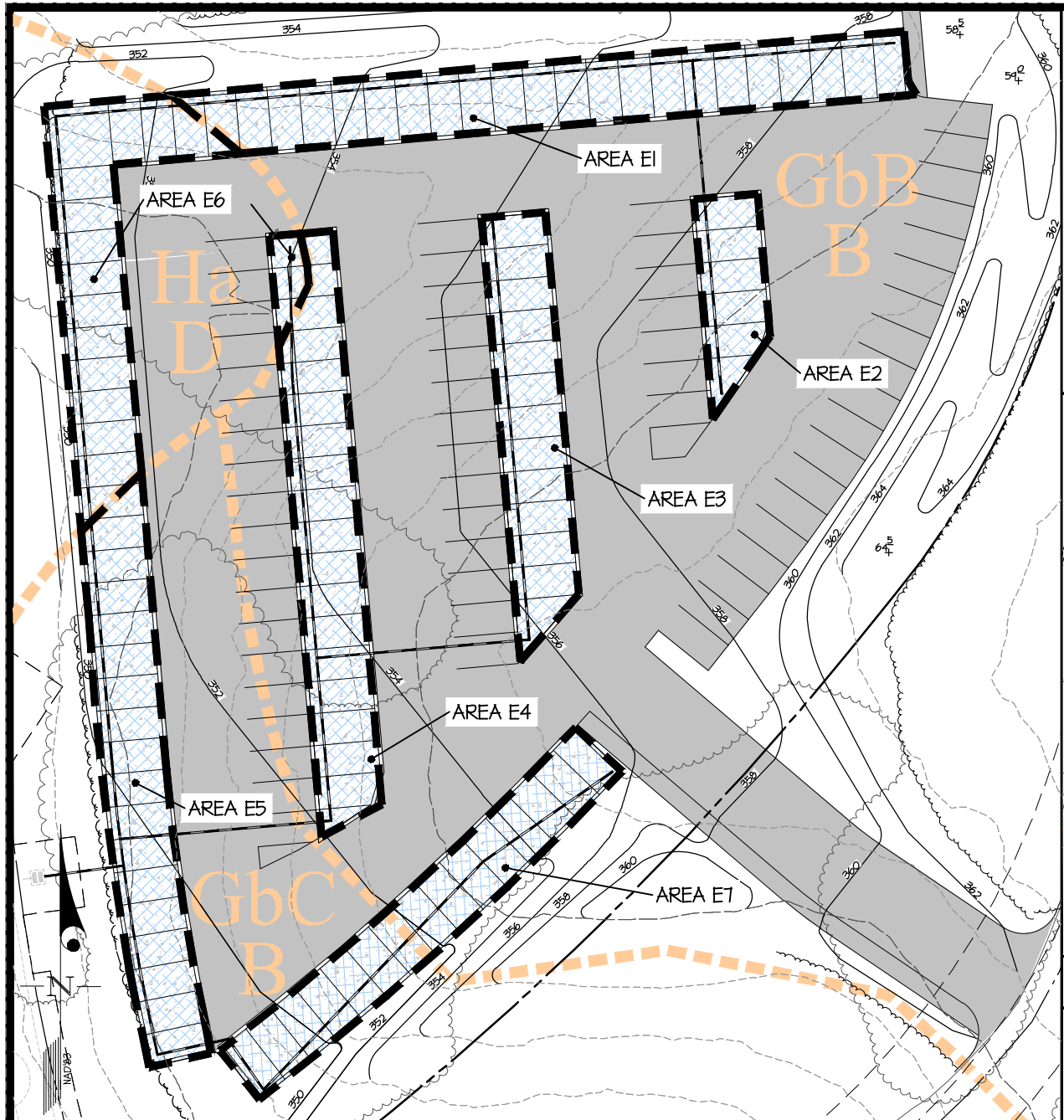
DATE	REVISION	BY	APPR.
2016-06-21	REVISION TO SHEET NUMBERING, REVISION OF DRAIN-DOWN PIPE, TRENCH DRAIN AND STORM DRAIN PIPES	JH	NE

OWNER/PREPARED FOR:
THE HOWARD HUGHES CORPORATION
10480 LITTLE PATUXENT PARKWAY
SUITE 400
COLUMBIA, MD 21044
ATTN: MR. ROBERT JENKINS
410-964-4800

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12515.
EXPIRATION DATE: MAY 26, 2018

REVISED ESD FACILITIES PLAN & SECTIONS
DOWNTOWN COLUMBIA CRESCENT NEIGHBORHOOD PARCELS A-1, A-2, & A-3, AND PARCEL E MIXED USE GREEN OFFICE, RETAIL, AND RESTAURANT BUILDINGS AND TEMPORARY PARKING LOT
(PART OF TAX PARCEL 327) PLAT NO. 23563-23566
ELECTION DISTRICT No. 5 HOWARD COUNTY, MARYLAND

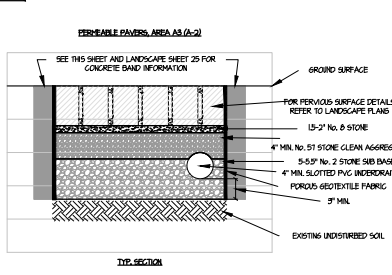
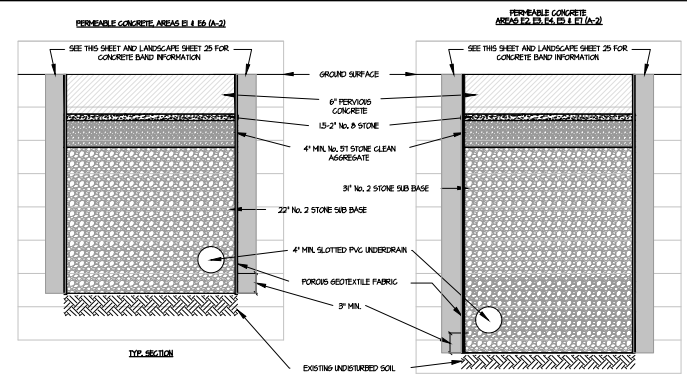
SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	NT	15019
DATE	TAX MAP - GRD	SHEET
JUNE, 2016	36 - 01	14 OF 58



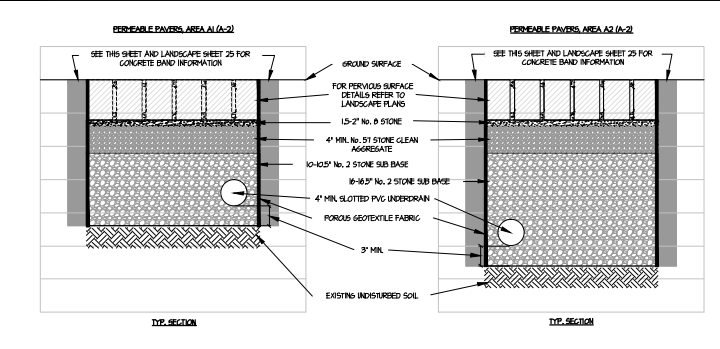
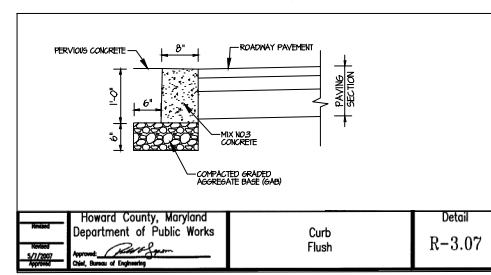
PARCEL 'E'

APPROVED
PLANNING BOARD OF HOWARD COUNTY
Date: _____

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
Director _____ Date _____
Chief, Division of Land Development _____ Date _____
Chief, Development Engineering Division _____ Date _____



PARCEL 'A'



PURPOSE NOTE: THE REVISIONS MADE TO THIS SHEET REFLECT CHANGES RESULTING FROM THE EXPANSION OF THE BUILDING 'B' FOOTPRINT AND DESIGN. THIS PLAN SUPERCEDES THE PLAN SIGNED ON 12/18/2015.

GLWGUTSCHICK LITTLE & WEBBER, P.A.
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE - SUITE 200 - BURTONTVILLE OFFICE PARK
BURTONTVILLE, MARYLAND 20866
TEL: 301-421-4024 BALI: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

DATE	REVISION	BY	APPR.
2016-06-21	REVISION TO PARCEL 'A' LIMITS OF PERVIOUS PAVING	JH	NE

OWNER/PREPARED FOR:
THE HOWARD HUGHES CORPORATION
10480 LITTLE PATUXENT PARKWAY
SUITE 400
COLUMBIA, MD 21044
ATTN: MR. ROBERT JENKINS
410-964-4800







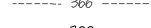
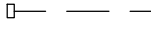
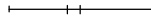


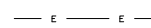



PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12515.
EXPIRATION DATE: MAY 26, 2018

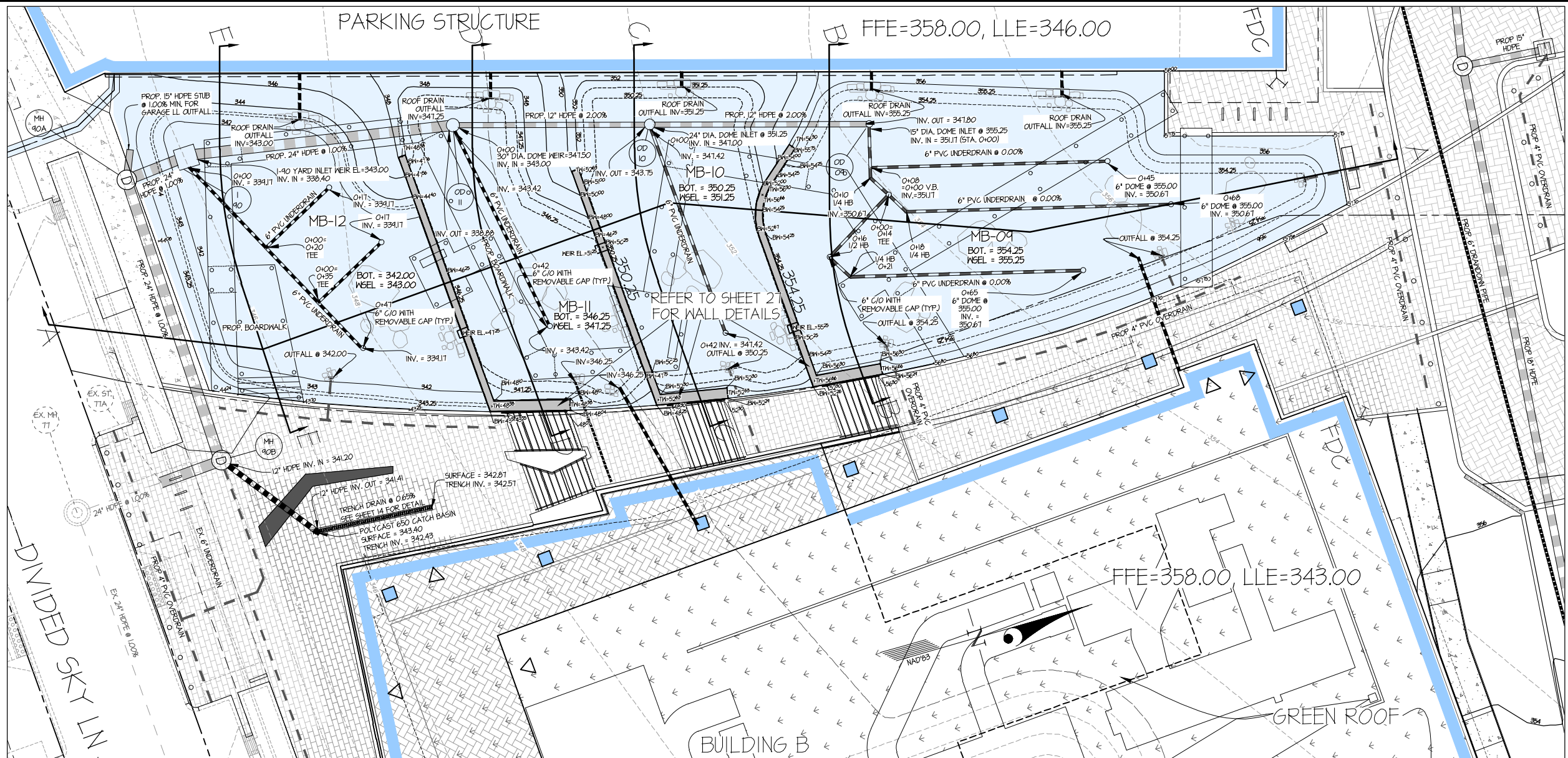
REVISION ESD FACILITIES PLAN & SECTIONS
**DOWNTOWN COLUMBIA
CRESCENT NEIGHBORHOOD
PARCELS A-1, A-2, & A-3, AND PARCEL E**
MIXED USE GREEN OFFICE, RETAIL, AND RESTAURANT BUILDINGS AND TEMPORARY PARKING LOT
(PART OF TAX PARCEL 327) PLAT NO. 23563-23566
ELECTION DISTRICT No. 5
HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
1" = 20'	NT	15019
DATE	TAX MAP - GRD	SHEET
JUNE, 2016	36 - 01	15 OF 58

L:\CAD\DRAWINGS\11074\11074.DWG PLANS BY: G.L.W. (SDP) 15019.dwg - Permeable Paver Sections-Sheet 15.dwg
PLOT DATE: 7/26/2016 10:44 AM, LAST SAVE: 7/26/2016 10:41 AM, PLOTTED: B1, 100% resolution

LEGEND

-  PROPOSED BUILDING
-  PROPOSED SWM AREA
-  OPEN AREA
-  PROPOSED PAVING
-  PROPOSED CONCRETE WALK
-  PROPOSED SPECIAL PAVING
-  366 EX. CONTOUR
-  300 PROP. CONTOUR
-  STORM DRAIN
-  SANITARY SEWER
-  WATERLINE
-  EX. CURB & GUTTER
-  PROPOSED REVERSE CURB & GUTTER
-  x 76.82 SPOT ELEVATION
-  PROP. ELECTRIC



- NOTES:**
1. RETAINING WALL DETAILS AND CALCULATIONS PER STRUCTURAL ENGINEER. REFER TO SHEET 24.
 2. REFER TO SHEET 12 FOR MICRO-BIORETENTION MEDIA TYPICAL SECTIONS.
 3. REFER TO STRUCTURAL AND ARCHITECTURAL PLANS FOR WATERPROOFING OF WALLS ADJACENT TO STORMWATER MANAGEMENT DEVICES.

PURPOSE NOTE: THE REVISIONS MADE TO THIS SHEET REFLECT CHANGES RESULTING FROM THE EXPANSION OF THE BUILDING 'B' FOOTPRINT AND DESIGN. THIS PLAN SUPERCEDES THE PLAN SIGNED ON 12/18/2015.

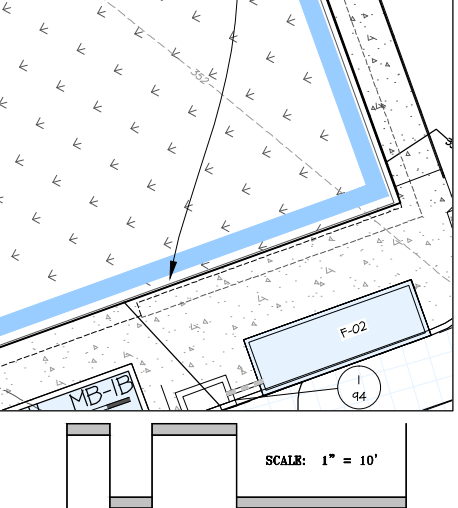
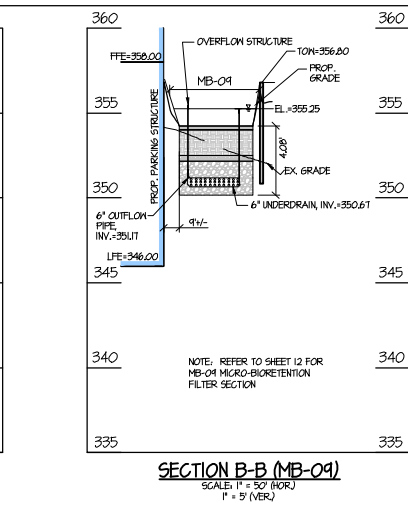
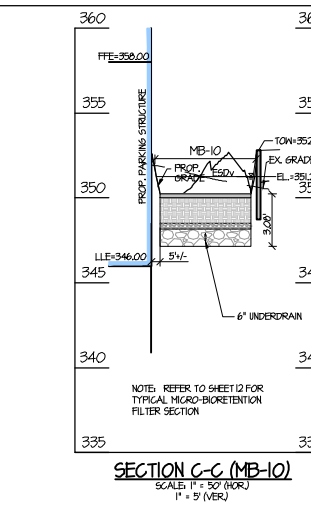
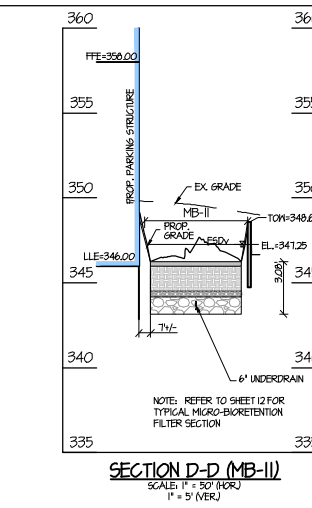
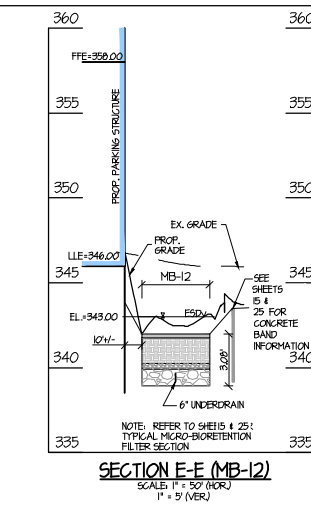
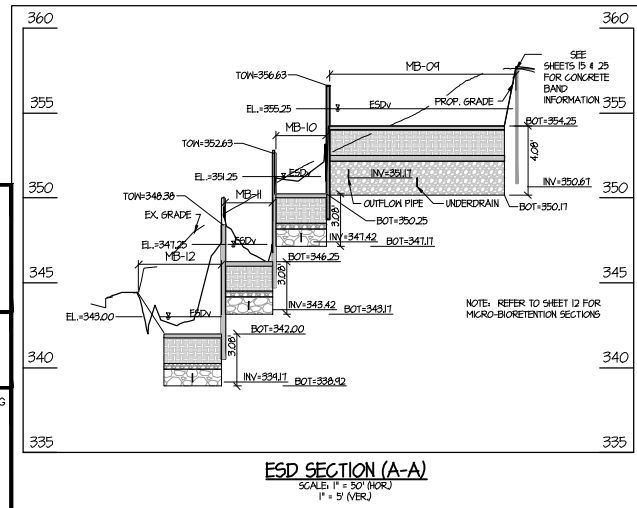
APPROVED
PLANNING BOARD OF HOWARD COUNTY
 Date: _____

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director _____ Date _____

Chief, Division of Land Development _____ Date _____

Chief, Development Engineering Division _____ Date _____



GLWGUTSCHICK LITTLE & WEBBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 200 - BURTOWNSVILLE OFFICE PARK
 BURTOWNSVILLE, MARYLAND 20866
 TEL: 301-421-4024 BAL: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

DATE	REVISION	BY	APPR.
2016-06-21	REVISION TO SHEET NUMBERING, REVISED GRADINGS SURROUNDING BUILDING B, ADDITION OF BOARDWALK ABOVE MICRO-BIO-RETENTION PONDS	JH	MB

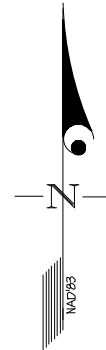
OWNER/PREPARED FOR:
 THE HOWARD HUGHES CORPORATION
 10480 LITTLE PATUXENT PARKWAY
 SUITE 400
 COLUMBIA, MD 21044
 ATTN: MR. ROBERT JENKINS
 410-964-4800

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12345.
 EXPIRATION DATE: MAY 26, 2018

REVISED ESD FACILITIES PLAN & SECTIONS
DOWNTOWN COLUMBIA
CRESCENT NEIGHBORHOOD
PARCELS A-1, A-2, & A-3, AND PARCEL E
MIXED USE GREEN OFFICE, RETAIL, AND RESTAURANT BUILDINGS AND TEMPORARY PARKING LOT
 (PART OF TAX PARCEL 327) PLAT NO. 23563-23566
 ELECTION DISTRICT No. 5
 HOWARD COUNTY, MARYLAND

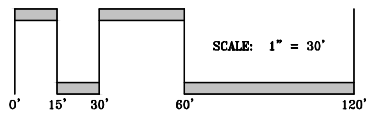
SCALE	ZONING	G. L. W. FILE No.
1" = 10'	NT	15019
DATE	TAX MAP - GRD	SHEET
JUNE, 2016	36 - 01	16 OF 58

L:\CADD\DRAWINGS\11074\11074.PLANE BY: GUYA\GUYA 15019.dwg - ESD Facilities Plan-Sheet 16.dwg
 PLOTTED: 7/26/2016 10:55 AM, LAST SAVE: 7/26/2016 10:55 AM, PLOTTED: 8/1/2016 10:55 AM



STORM DRAIN DRAINAGE AREA INFORMATION			
DA #	STRUCTURE (VIA ROOF DRAINS)	AREA (AC)	% IMP.
1	M-89	0.11	0%
2	I-93	0.17	00%
3	I-96	0.19	75%
4	I-94	0.27	81%
5	I-91B/A-92	0.31	100%
6	I-90	1.48	14%
8	I-95	0.13	85%
4	OVERDRAN	0.02	100%

- LEGEND**
- # DRAINAGE AREA IDENTIFICATION
 - DRAINAGE DIVIDE
 - XX
BB STRUCTURE LABEL
 - PROPOSED STORM DRAIN PIPE



PURPOSE NOTE: THE REVISIONS MADE TO THIS SHEET REFLECT CHANGES RESULTING FROM THE EXPANSION OF THE BUILDING 'B' FOOTPRINT AND DESIGN. THIS PLAN SUPERCEDES THE PLAN SIGNED ON 12/18/2015.

APPROVED
PLANNING BOARD OF HOWARD COUNTY
 Date: _____

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director	Date
Chief, Division of Land Development	Date
Chief, Development Engineering Division	Date

GLW Gutschick Little & Weber, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 220 - BURTOWNSVILLE OFFICE PARK
 BURTOWNSVILLE, MARYLAND 20866
 TEL: 301-421-4024 BAL: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

DATE	REVISION	BY	APPR.
2016-06-27	REVISION TO SHEET NUMBERING; CHANGES TO DRAINAGE AREAS ASSOCIATED WITH BUILDING B; ADDITIONAL DRAINS IN SOUTHERN PLAZA AREA; REVISIONS TO DRAINAGE AREA INFORMATION TABLE	JH	NB

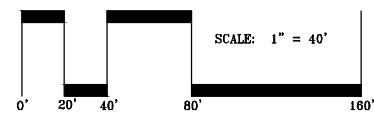
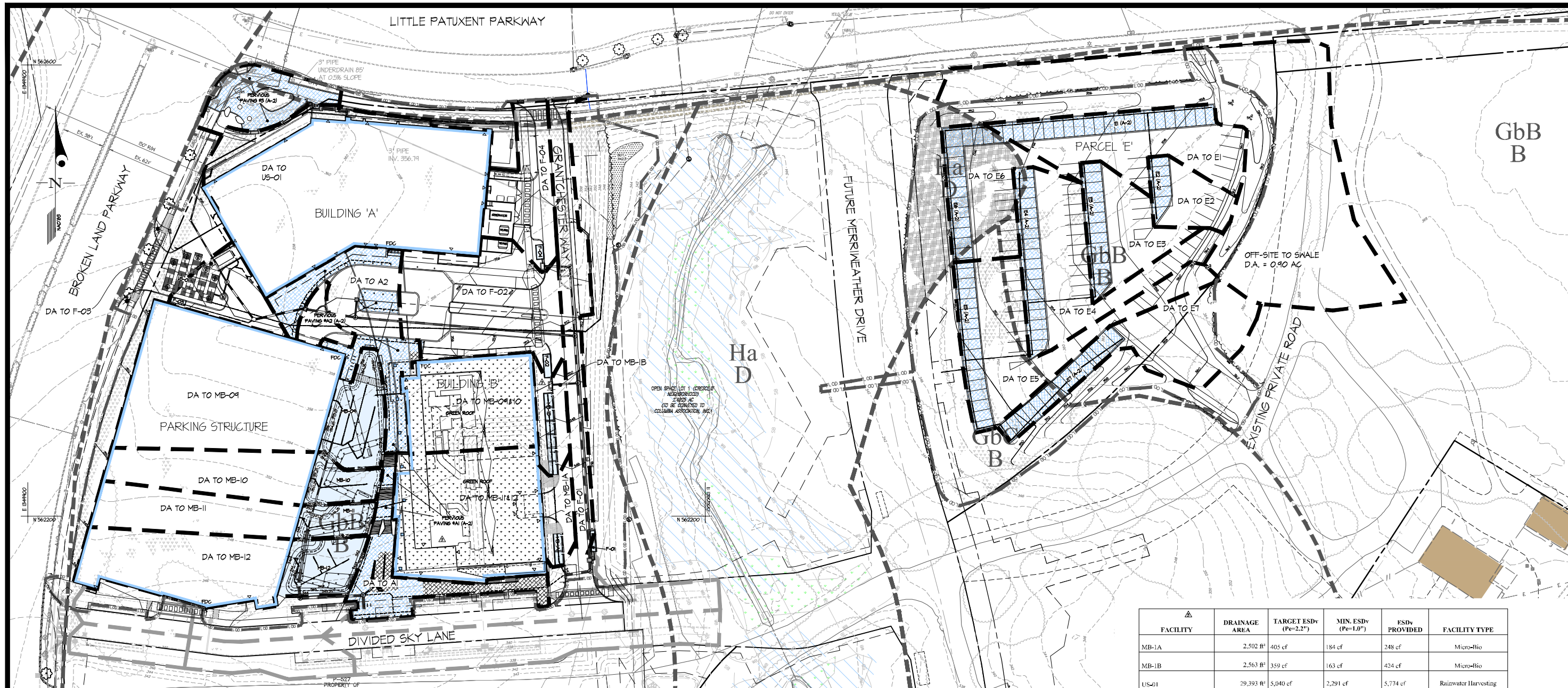
OWNER/PREPARED FOR:
 THE HOWARD HUGHES CORPORATION
 10480 LITTLE PATUXENT PARKWAY
 SUITE 400
 COLUMBIA, MD 21044
 ATTN: MR. ROBERT JENKINS
 410-964-4800

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12815.
 EXPIRATION DATE: MAY 26, 2018.

REVISED STORM DRAIN DRAINAGE AREA MAP
DOWNTOWN COLUMBIA
CRESCENT NEIGHBORHOOD
PARCELS A-1, A-2, & A-3, AND PARCEL E
MIXED USE GREEN OFFICE, RETAIL, AND RESTAURANT BUILDINGS AND TEMPORARY PARKING LOT
 (PART OF TAX PARCEL 327) PLAT NO. 23363-23366
 ELECTION DISTRICT No. 5
 HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
1"=30'	NT	15019
DATE	TAX MAP - GRD	SHEET
JUNE, 2016	36 - 01	17 OF 58

L:\CAD\DRAWINGS\11071\11071.DWG PLANS BY G.L.W./S.P. 5/10/16 15:00:00 - DAM - Parcel A-Sheet 17.dwg
 PLOTTED: 7/29/16 10:22 AM, LAST SAVE: 7/29/16 10:12 AM, PLOTTED: B1: job: howardcounty



APPROVED
PLANNING BOARD OF HOWARD COUNTY
 Date: _____

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Director _____ Date _____
 Chief, Division of Land Development _____ Date _____
 Chief, Development Engineering Division _____ Date _____

GLWGUTSCHICK LITTLE & WEBBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 200 - BURTONGVILLE OFFICE PARK
 BURTONGVILLE, MARYLAND 20866
 TEL: 301-421-4024 BAL: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

STORMWATER MANAGEMENT FOR PARCEL E				
FACILITY	DRAINAGE AREA	ESDv (Pe=1.97")	ESDv (Pe=1")	ESDv PROVIDED
E1	10573	1050	533	1218
E2	3670	505	256	364
E3	6320	986	500	743
E4	11020	1657	841	2097
E5	11407	1779	903	2252
E6	7618	1188	603	1404
E7	9700	823	418	1040
TOTAL	60308	REQ: 7988	N/A	9118

STORMWATER MANAGEMENT FOR PUBLIC PATH IMPROVEMENT				
FACILITY	DRAINAGE AREA	ESDv (Pe=1.80")	ESDv (Pe=1")	ESDv PROVIDED
3 (A-2)	5720	691	217	691
TOTAL	5720	REQ: 224	N/A	691

LEGEND

- 1.00 --- 1.00 --- LIMITS OF DISTURBANCE
- [Blue Box] PROPOSED BUILDING
- [Blue Hatched Box] PROP. PERVIOUS PAVING
- [Blue Dotted Box] "K" > 0.35, SLOPE > 5%
- [Blue Triangles] SLOPE > 5%
- 366 --- EX. CONTOUR
- 300 --- PROP. CONTOUR
- (Circle with X) --- STORM DRAIN
- (Circle with S) --- SANITARY SEWER
- (Circle with W) --- WATERLINE
- (Dashed Line) --- EX. CURB & GUTTER
- (Solid Line) --- CONCRETE CURB & GUTTER
- (Wavy Line) --- EX. TREELINE
- (Dashed Line) --- PROP. TREELINE
- [US-##] CISTERN DESIGNATION MPE STANDARD, M-1
- [MB-##] MICRO-BIO RETENTION DESIGNATION MPE STANDARD, M-6
- [F-##] FILTERRA DESIGNATION
- [A-A-2] PERVIOUS PAVEMENT DESIGNATION MPE STANDARD, A-2
- (Dashed Line) --- EX. DRAINAGE AREA
- (Dashed Line) --- PROP. DRAINAGE AREA
- (Dashed Line) --- SOIL BOUNDARY

PURPOSE NOTE: THE REVISIONS MADE TO THIS SHEET REFLECT CHANGES RESULTING FROM THE EXPANSION OF THE BUILDING 'B' FOOTPRINT AND DESIGN. THIS PLAN SUPERCEDES THE PLAN SIGNED ON 12/18/2015.

FACILITY	DRAINAGE AREA	TARGET ESDv (Pe=2.2")	MIN. ESDv (Pe=1.0")	ESDv PROVIDED	FACILITY TYPE
MB-1A	2,502 ft ²	405 cf	184 cf	248 cf	Micro-Bio
MB-1B	2,563 ft ²	359 cf	163 cf	424 cf	Micro-Bio
US-01	29,393 ft ²	5,040 cf	2,291 cf	5,774 cf	Rainwater Harvesting
CR-01 - Part of Treatment Chain for Building 'B'	24,400 ft ²	4,250 cf	1,932 cf	2,546 cf	Green Roof
MB-09 - Part of Treatment Chain for Building 'B'	24,377 ft ²	3,533 cf	1,606 cf	5,480 cf	Micro-Bio
MB-10 - Part of Treatment Chain for Building 'B'	9,141 ft ²	1,245 cf	566 cf	2,106 cf	Micro-Bio
MB-11 - Part of Treatment Chain for Building 'B'	8,434 ft ²	1,138 cf	517 cf	1,832 cf	Micro-Bio
MB-12 - Part of Treatment Chain for Building 'B'	13,570 ft ²	1,829 cf	831 cf	2,711 cf	Micro-Bio
F-01	7,740 ft ²	926 cf	421 cf	421 cf	Filterra
F-02	13,011 ft ²	1,680 cf	763 cf	763 cf	Filterra
F-03	4,200 ft ²	336 cf	153 cf	153 cf	Filterra
F-04	7,420 ft ²	1,102 cf	501 cf	501 cf	Filterra
Permeable Pavement A1 - South/Lower Plaza and Stair Landings	4,849 ft ²	845 cf	384 cf	998 cf	Permeable Paving
Permeable Pavement A2 - North/Upper Plaza and Building 'A' Adjacent Areas	7,942 ft ²	1,335 cf	607 cf	1,485 cf	Permeable Paving
Subtotal	159,542 ft²	24,021 cf		25,440 cf	

NO.	DATE	REVISION	BY	APPR.
2016-06-21		REVISION TO SHEET NUMBERING; SWM DRAINAGE AREAS; SWM TABLE; CHANGES DUE TO BUILDING B LAYOUT AND SURROUNDING DESIGN REMOVAL OF MB-02 THRU MB-04	JH	NB

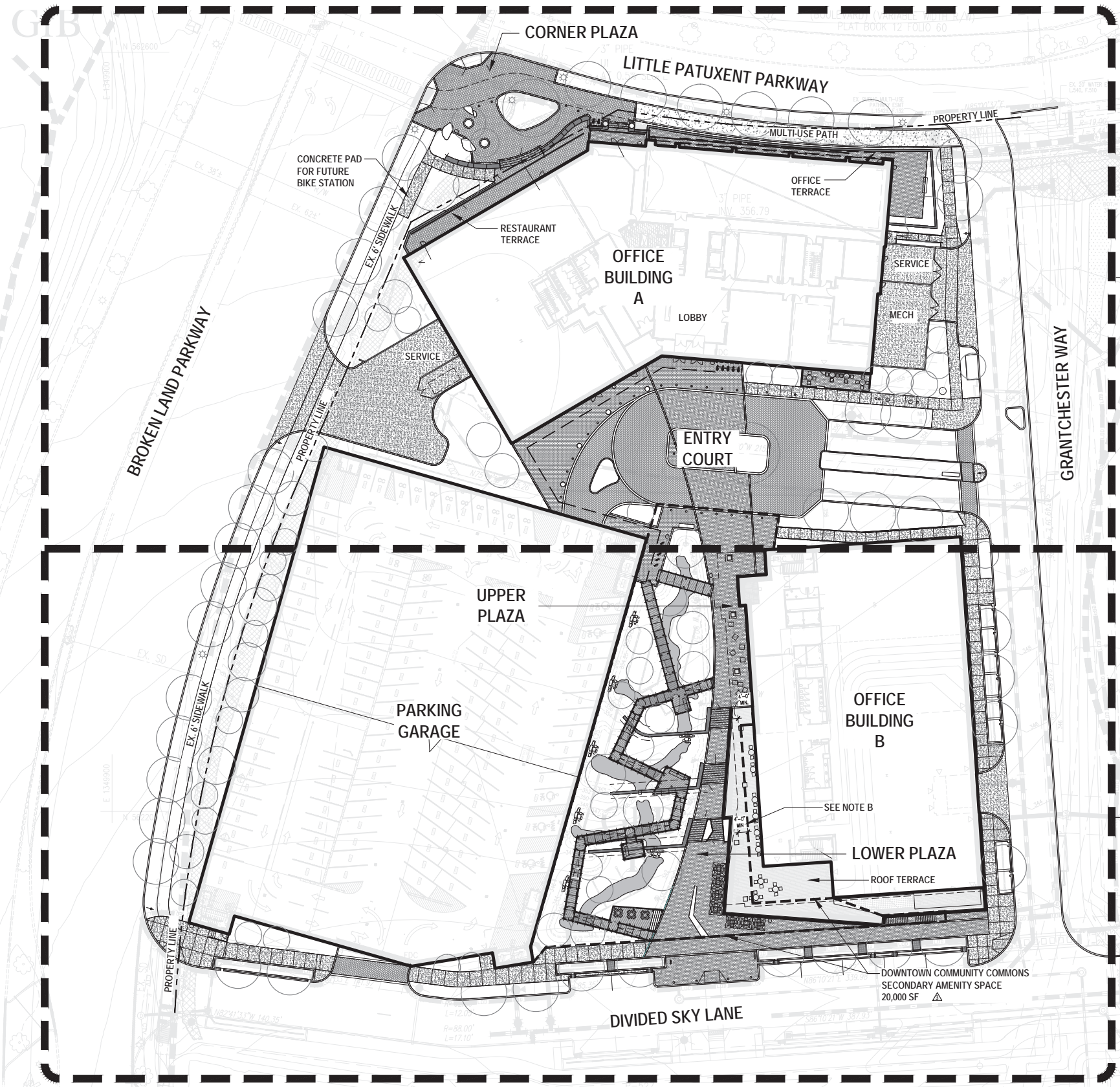
NO.	DATE	REVISION	BY	APPR.

OWNER/PREPARED FOR:
 THE HOWARD HUGHES CORPORATION
 10480 LITTLE PATUXENT PARKWAY
 SUITE 400
 COLUMBIA, MD 21044
 ATTN: MR. ROBERT JENKINS
 410-964-4800

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12815.
 EXPIRATION DATE: MAY 26, 2018

REVISED SWM DRAINAGE AREA AND SOIL TYPES MAP
DOWNTOWN COLUMBIA
CRESCENT NEIGHBORHOOD
PARCELS A-1, A-2, & A-3, AND PARCEL E
MIXED USE GREEN OFFICE, RETAIL, AND RESTAURANT BUILDINGS AND TEMPORARY PARKING LOT
 (PART OF TAX PARCEL 327) PLAT NO. 23563-23566
 ELECTION DISTRICT No. 5 HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
1"=40'	NT	15019
DATE	TAX MAP - GRD	SHEET
JUNE, 2016	36 - 01	18 OF 58



NOTE A:

1. THIS PLAN WAS PREPARED ACCORDING TO THE ALTERNATIVE COMPLIANCE SECTION OF THE LANDSCAPE MANUAL. THE LANDSCAPE PLANS HAVE BEEN PREPARED BY A REGISTERED LANDSCAPE ARCHITECT AND ARE CERTIFIED TO MEET THE DESIGN INTENT OF THE CRESCENT NEIGHBORHOOD DESIGN GUIDELINES.
2. FINANCIAL SURETY FOR REQUIRED PLANTING HAS BEEN POSTED IN THE AMOUNT OF \$13,770 FOR THE 10 SHADE TREES (\$300 ea.), 36 ORNAMENTAL/EVERGREEN TREES (\$150 ea.), AND 179 SHRUBS (\$30 ea.) (PLEASE NOTE THAT SURETY WOULD BE FOR ALL TREES AND SHRUBS OUTSIDE OF THE BIORETENTION)
3. FINANCIAL SURETY FOR TREES TO BE PLANTED IN THE BROKEN LAND PARKWAY AND LITTLE PATUXENT PARKWAY RIGHTS-OF-WAY WILL BE POSTED WITH THE COST ESTIMATE WITH THE DPW DEVELOPER'S AGREEMENT (20 STREET TREES @ \$300 EACH).
4. AT THE TIME OF PLANT INSTALLATION, ALL SHRUBS AND TREES LISTED AND APPROVED ON THE LANDSCAPE PLAN SHALL COMPLY WITH THE PROPER HEIGHT REQUIREMENT IN ACCORDANCE WITH THE HOWARD COUNTY LANDSCAPE MANUAL. IN ADDITION, NO SUBSTITUTIONS OR RELOCATIONS OF THE REQUIRED PLANTINGS MAY BE MADE WITHOUT PRIOR REVIEW AND APPROVAL FROM THE DEPARTMENT OF PLANNING AND ZONING. ANY DEVIATION FROM THE APPROVED LANDSCAPE PLAN MAY RESULT IN DENIAL OR DELAY IN THE RELEASE OF THE LANDSCAPE SURETY UNTIL SUCH TIME AS ALL REQUIRED MATERIALS ARE PLANTED AND/OR REVISIONS ARE MADE TO THE APPLICABLE PLANS.
5. THE OWNER, TENANTS AND/OR THEIR AGENTS SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE REQUIRED LANDSCAPING INCLUDING PLANT MATERIALS AND BERMS, FENCES AND WALLS. ALL PLANT MATERIALS SHALL BE MAINTAINED IN GOOD GROWING CONDITION, AND WHEN NECESSARY, REPLACED WITH NEW MATERIALS TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE REGULATIONS. ALL OTHER REQUIRED LANDSCAPING SHALL BE PERMANENTLY MAINTAINED IN GOOD CONDITION, AND WHEN NECESSARY REPAIRED OR REPLACED.

NOTE B: THERE SHALL BE A CONTINUOUS AND PREDICTABLE 4 FOOT MINIMUM CLEAR PEDESTRIAN ZONE ALONG THE TERRACE PATIO. FURNITURE IS TO BE BY FUTURE TENANT AND MAY VARY FROM CURRENT LAYOUT.

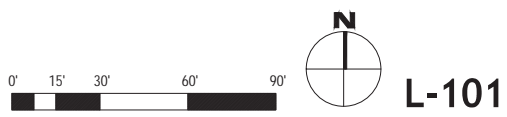
▲ TOTAL DOWNTOWN COMMUNITY COMMONS FULL BUILD-OUT OF SITE PLAN: 20,000 SF
 REF. SHEET 11 FOR INTERIM CONDITION DETAILS
 REF. F-15-098 FOR DIVIDED SKY LANE PLANS

CERTIFICATION NOTE:
 I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL FOR NEW TOWN ALTERNATIVE COMPLIANCE AND THE CRESCENT NEIGHBORHOOD DESIGN GUIDELINES. I/WE FURTHER CERTIFY THAT UPON COMPLETION A LETTER OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

DEVELOPER'S/OWNER'S NAME

 DEVELOPER'S/OWNER'S NAME

PURPOSE NOTE: THE REVISIONS MADE TO THIS SHEET REFLECT CHANGES RESULTING FROM THE EXPANSION OF THE BUILDING 'B' FOOTPRINT AND DESIGN. THIS PLAN SUPERCEDES THE PLAN SIGNED ON 12/18/2015.



APPROVED
 PLANNING BOARD OF HOWARD COUNTY
 Date: _____

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Director _____ Date _____
 Chief, Division of Land Development _____ Date _____
 Chief, Development Engineering Division _____ Date _____

DESIGN COLLECTIVE
 ARCHITECTURE, PLANNING, INTERIORS
 WWW.DESIGNCOLLECTIVE.COM
 601 EAST PRATT STREET, SUITE 300
 BALTIMORE, MARYLAND 21202
 T: 410.685.6655 F: 410.539.6242

DES.	DRN.	CHK.

DATE	REVISION	BY	APP'R.
6/27/2016	▲ REVISIONS TO BUILDING B & SURROUNDING AREA	MM	AD

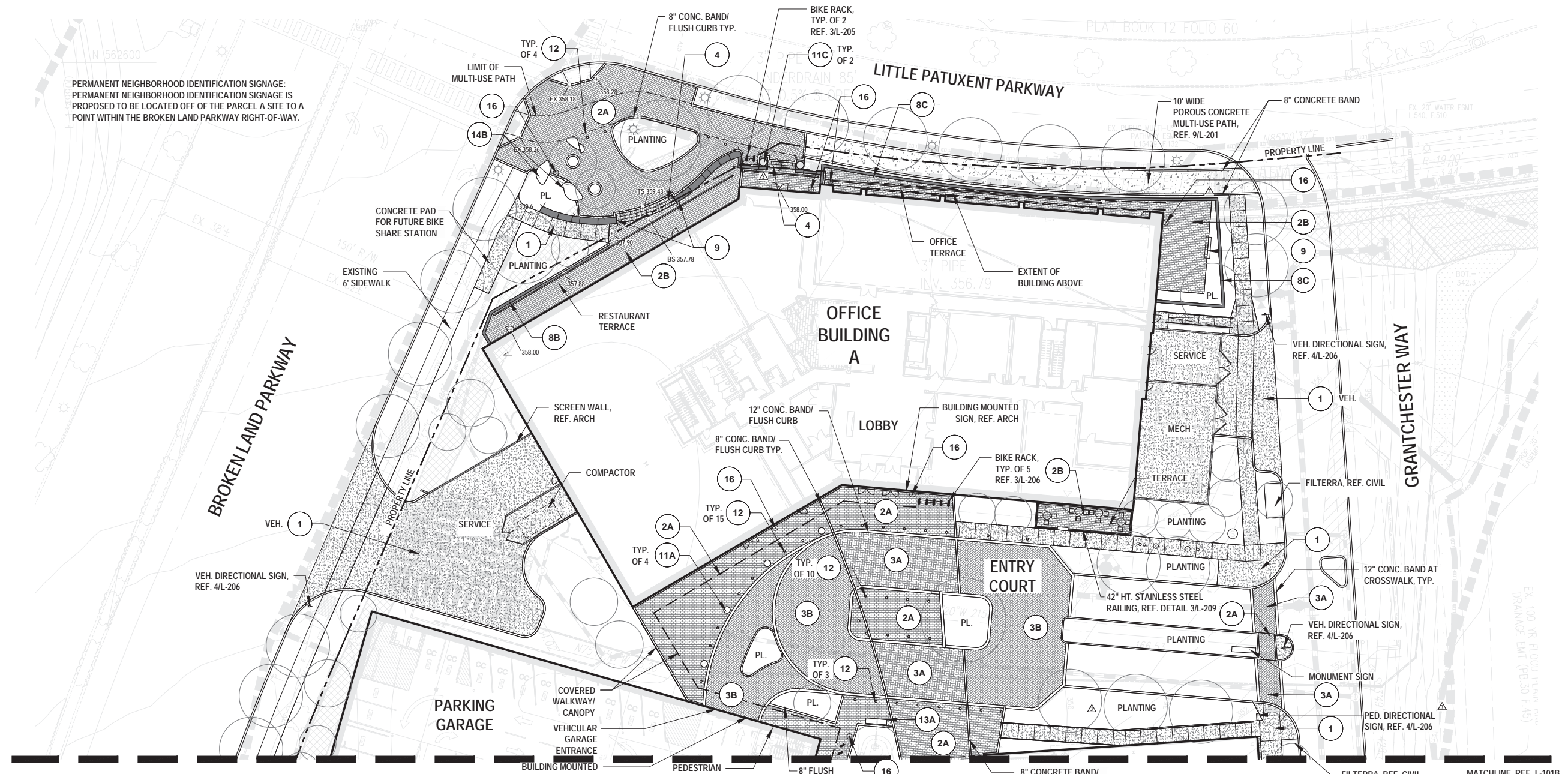
OWNER/PREPARED FOR:
 THE HOWARD HUGHES CORPORATION
 10480 LITTLE PATUXENT PARKWAY
 SUITE 400
 COLUMBIA, MD 21044
 ATTN: MR. ROBERT JENKINS
 (410) 964-4800

REVISED LANDSCAPE KEY PLAN
 DOWNTOWN COLUMBIA
 CRESCENT NEIGHBORHOOD
 PARCELS A-1, A-2, & A-3, AND PARCEL E
 MIXED USE GREEN OFFICE, RETAIL AND RESTAURANT BUILDINGS AND TEMPORARY PARKING LOT
 (PART OF TAX PARCEL 527); PLAT No. _____
 ELECTION DISTRICT No. 5

SCALE
 1"=30'
 ZONING
 NT
 G. L. W. FILE No.
 15019
 DATE
 JUNE, 2016
 TAX MAP - GRID
 36 - 01
 SHEET
 20 OF 58
 HOWARD COUNTY, MARYLAND

L-101

PERMANENT NEIGHBORHOOD IDENTIFICATION SIGNAGE:
PERMANENT NEIGHBORHOOD IDENTIFICATION SIGNAGE IS
PROPOSED TO BE LOCATED OFF OF THE PARCEL A SITE TO A
POINT WITHIN THE BROKEN LAND PARKWAY RIGHT-OF-WAY.



MATERIALS LEGEND

- 1 2
L-201 CONCRETE PAVING - PEDESTRIAN SECTION
COLOR: STANDARD GREY
FINISH: LIGHT SANDBLAST, MEDIUM BROOM FINISH
- 2 CONCRETE UNIT PAVER - PEDESTRIAN SECTION
- 2A 4
L-201 MANUFACTURER: HANOVER ARCHITECTURAL PRODUCTS
STYLE: PERMEABLE 3 1/4" X 18"
COLOR: MATRIX #M3070, TUDOR FINISH PATTERN: RUNNING BOND
- 2B 6
L-201 MANUFACTURER: HANOVER ARCHITECTURAL PRODUCTS
STYLE: PLANKSTONE 6" X 18" X 2"
COLOR: MATRIX #M3070, TUDOR FINISH PATTERN: RUNNING BOND
- 3 8
L-201 CONCRETE UNIT PAVER - VEHICULAR SECTION
- 3A MANUFACTURER: HANOVER
STYLE: PREST PAVER 4" X 8" X 3 1/4"
COLOR: MATRIX #M3070, TUDOR FINISH PATTERN: HERRINGBONE
- 3B MANUFACTURER: HANOVER
STYLE: PREST PAVER 4" X 8" X 3 1/4"
COLOR: NATURAL, TUDOR FINISH PATTERN: HERRINGBONE
- 4 1
L-202 STONE STAIRS
SUPPLIER: LUCK STONE
MATERIAL: CLEARVIEW, SANDBLAST FINISH

- 5 TERRAZZO SCATING - STONE BLOCK
SUPPLIER: LUCK STONE
MATERIAL: CLEARVIEW, REF. DETAIL FOR FINISH
- 6 MICRO-BIORETENTION (MBR)
REF. CIVIL
- 7 MICRO-BIORETENTION PLANTER
VEHICLE: CONCRETE - MICRO-BIORETENTION PLANTER
WALL CAP: LUCKSTONE - CLEARVIEW - SAWN ALL FACES
- 8 WALL - THIN STONE VENEER
VENEER: LUCKSTONE - MASTERCUT NATURAL VENEER STONE - CLEARVIEW
WALL CAP: LUCKSTONE - CLEARVIEW - SAWN ALL FACES
- 8A 1
L-203 WEIR WALL
- 8B 1
L-204 RESTAURANT TERRACE WALL
- 8C 2
L-204 OFFICE TERRACE WALL
- 8D 3
L-204 ENTRANCE PIER

- 9 2
L-203 SEAT WALL - STONE BLOCK
SUPPLIER: LUCK STONE
FLAG STONE STEPPING STONES PER PLAN
MATERIAL: CLEARVIEW
- 10 BRIDGE
METAL GRATE
- 10A AT MICRO-BIORETENTION
MANUFACTURER: F&B
SIZE: 100
- 10B AT OFFICER WATER PLANTER
MANUFACTURER: F&B
SIZE: 100
- 11 ORNAMENTAL POT
MATERIAL: PRECAST
- 11A CIRCULAR
36" HT.
- 11B SQUARE
24" HT.
- 11C BOWL
24" HT.

- 12 ML18
L-410 ILLUMINATED BOLLARD
REF. LIGHTING PLAN L-401A
- 13 BENCH
- 13A 2
L-206 MANUFACTURER: LANDSCAPE FORMS
STYLE: NEOLIVIANO
- 13B CUSTOM WOOD BENCH
FABRICATED FROM TREE ON SITE
- 14 RIVER ROCK CHANNEL
- 14A RIVER ROCK MIX:
50% - 2" RIVER ROCK
50% - 4"-6" RIVER ROCK GREY
- 14B AGESSE DOORBELLS
GREEN MARKED WITH THE FOLLOWING RANGE:
GREEN MARK - 10" X 10" X 1.5" MAX. 36" X 48" X 24"
- 15 1
L-205 STREET STORMWATER PLANTER
NOTE: REFERENCE CIVIL DRAWINGS FOR MICRO-BIORETENTION DETAILS & ADA RAMP
- 16 1
L-206 WASTE/RECYCLING RECEPTACLE

CERTIFICATION NOTE:
IWE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL
BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE
HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL FOR NEW
TOWN ALTERNATIVE COMPLIANCE AND THE CRESCENT
NEIGHBORHOOD DESIGN GUIDELINES. IWE FURTHER CERTIFY THAT
UPON COMPLETION A LETTER OF LANDSCAPE INSTALLATION,
ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT
MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF
PLANNING AND ZONING.

DEVELOPER'S/OWNER'S NAME

DEVELOPER'S/OWNER'S NAME

PURPOSE NOTE: THE REVISIONS MADE TO THIS SHEET
REFLECT CHANGES RESULTING FROM THE EXPANSION OF
THE BUILDING 'B' FOOTPRINT AND DESIGN. THIS PLAN
SUPERCEDES THE PLAN SIGNED ON 12/18/2015.

APPROVED
PLANNING BOARD OF HOWARD COUNTY

Date: _____

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director _____ Date _____

Chief, Division of Land Development _____ Date _____

Chief, Development Engineering Division _____ Date _____

DESIGN COLLECTIVE
ARCHITECTURE, PLANNING, INTERIORS
601 EAST PRATT STREET, SUITE 300
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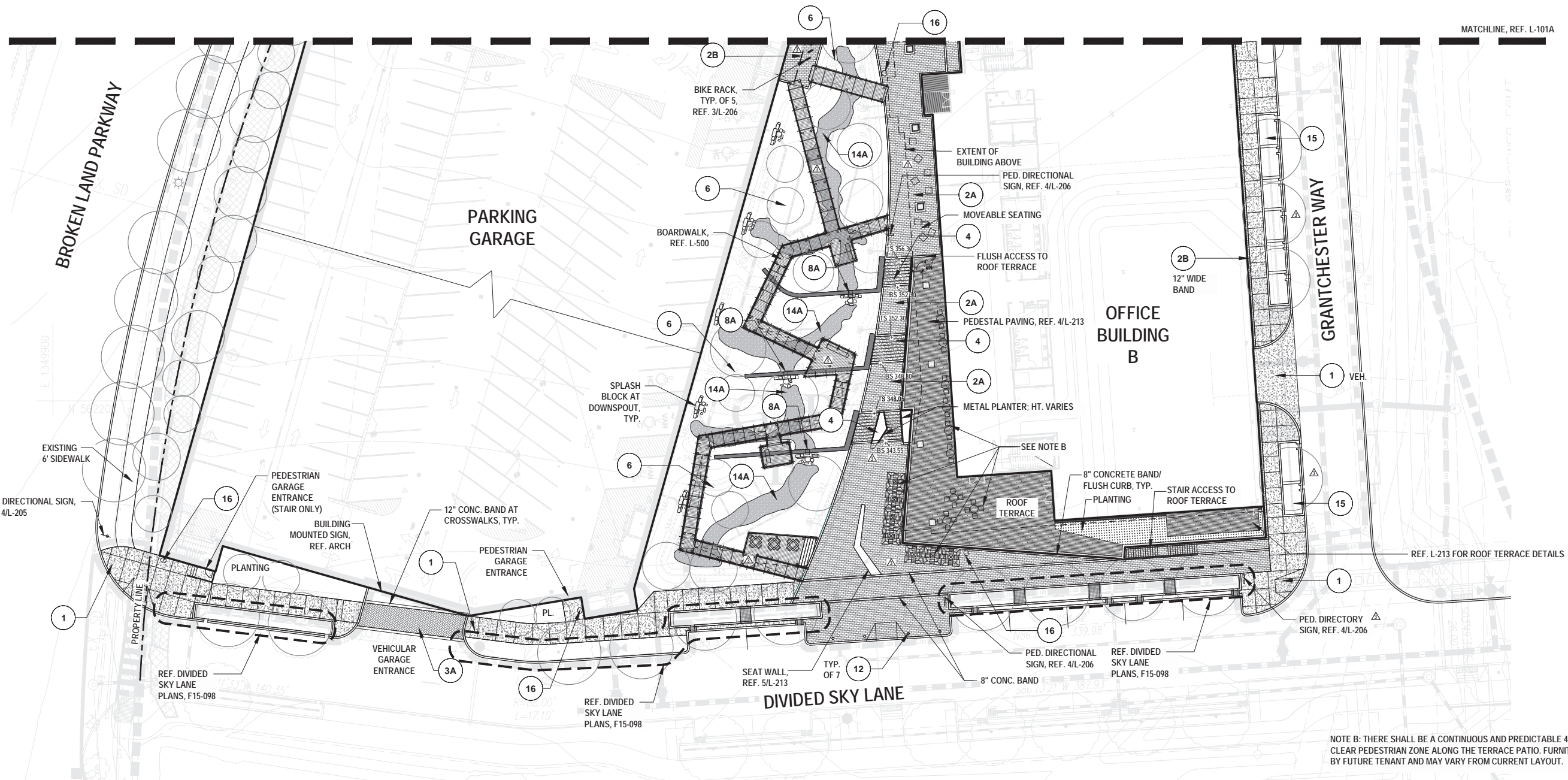
DATE	REVISION	BY	APP'R.
1/15/2016	REVISION TO WALKWAY	JH	NB
6/27/2016	REVISIONS TO BUILDING B & SURROUNDING AREA	MM	AD

OWNER/PREPARED FOR:
THE HOWARD HUGHES CORPORATION
10480 LITTLE PATUXENT PARKWAY
SUITE 400
COLUMBIA, MD 21044
ATTN: MR. ROBERT JENKINS
(410) 964-4800

REVISED HARDSCAPE PLAN A
DOWNTOWN COLUMBIA
CRESCENT NEIGHBORHOOD
PARCELS A-1, A-2, & A-3, AND PARCEL E
MIXED USE GREEN OFFICE, RETAIL AND RESTAURANT BUILDINGS AND TEMPORARY PARKING LOT
(PART OF TAX PARCEL 527); PLAT No.
ELECTION DISTRICT No. 5 HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
1"=20'	NT	15019
DATE	TAX MAP - GRID	SHEET
JUNE, 2016	36 - 01	21 OF 58

L-101A



PURPOSE NOTE: THE REVISIONS MADE TO THIS SHEET REFLECT CHANGES RESULTING FROM THE EXPANSION OF THE BUILDING 'B' FOOTPRINT AND DESIGN. THIS PLAN SUPERCEDES THE PLAN SIGNED ON 12/18/2015.

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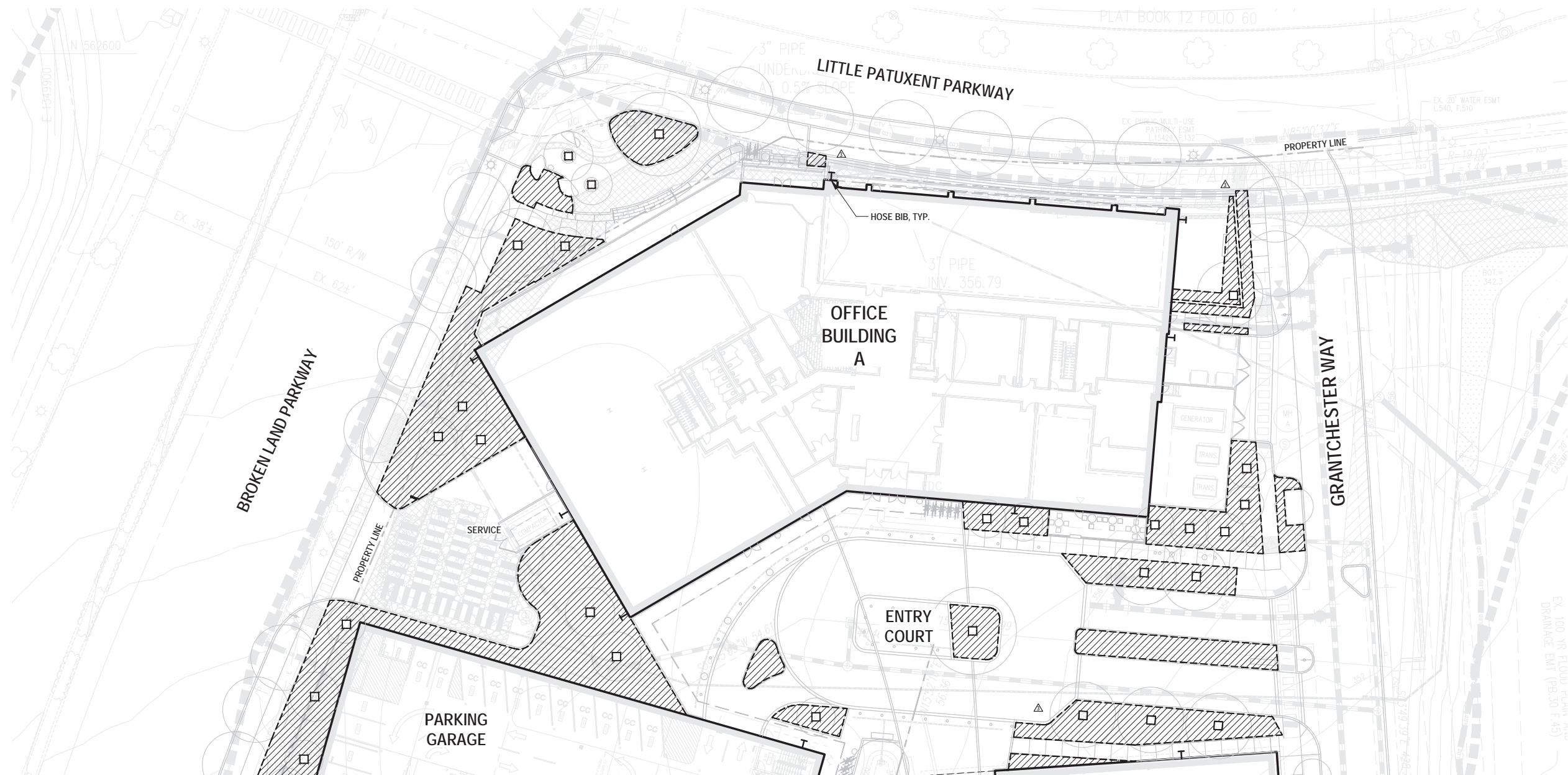
DEVELOPER'S/OWNER'S NAME

DEVELOPER'S/OWNER'S NAME

REVISED HARDSCAPE PLAN B

**DOWNTOWN COLUMBIA
CRESCENT NEIGHBORHOOD
PARCELS A-1, A-2, & A-3, AND PARCEL E**
MIXED USE GREEN OFFICE, RETAIL AND RESTAURANT BUILDINGS AND TEMPORARY PARKING LOT
(PART OF TAX PARCEL 527); PLAT No. _____
ELECTION DISTRICT No. 5

SCALE	ZONING	G. L. W. FILE No.
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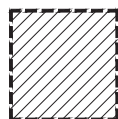


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APPROVED
PLANNING BOARD OF HOWARD COUNTY
 Date: _____

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Director _____ Date _____
 Chief, Division of Land Development _____ Date _____
 Chief, Development Engineering Division _____ Date _____

IRRIGATION LEGEND



ZONE 1 : SUBTERRANEAN DRIP IRRIGATION



ZONE 2 : TREE BUBBLER IRRIGATION
 [2 BUBBLERS PER TREE]



HOSE BIB

THIS PLAN IS SCHEMATIC ONLY. DESIGN OF IRRIGATION SYSTEM BY OTHERS. AREAS TO BE IRRIGATED WITH NON-POTABLE WATER.

LANDSCAPE IRRIGATION

- ZONE 1 - SUBTERRANEAN DRIP IRRIGATION ON SEPARATE VALVE(S)
- ZONE 2 - POP UP FLOOD BUBBLERS - FOR TREES - ON SEPARATE VALVE(S)

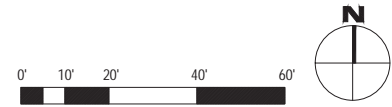
NOTES:

- THE EXTENT OF THE LANDSCAPE WILL BE IRRIGATED USING A HIGH-EFFICIENCY AUTOMATIC IRRIGATION SYSTEM TO MEET LEED-NC 2009 WE C1, OPERATED BY CONTROLLER(S), LOCATION TO BE APPROVED BY LANDSCAPE ARCHITECT.
- FLOW CONTROL WILL BE ADDRESSED BY THE USE OF A FLOW SENSOR AND MASTER VALVE. WATER USAGE WILL BE MANAGED THROUGH THE CORRECT VALVING OF ZONES 1-2 AND PROPER USE OF IRRIGATION DRIP LINES AND BUBBLERS.
- DRIP TUBING SHALL BE INSTALLED SO THAT EMITTERS AT LEAST MEET MANUFACTURER'S REQUIREMENTS FOR SPACING AND FLOW BASED ON PLANT TYPE, SOIL CONDITIONS, ETC. IF NECESSARY, CONTRACTOR SHALL ADJUST SPACING TIGHTER TO ENSURE THAT ADEQUATE WETTING PATTERN OCCURS THROUGHOUT SOIL (ALL SOIL MUST GET WET).
- FINAL IRRIGATION DESIGN AND EQUIPMENT LOCATION TO BE APPROVED BY LANDSCAPE ARCHITECT, INCLUDING: BACKFLOW PREVENTOR, IRRIGATION CONTROLLER, VALVE BOXES, RAIN SENSOR, HOSE BIBS, ETC.
- IRRIGATION CONTROLLER TO BE LOCATED IN MECHANICAL ROOM AS APPROVED BY LANDSCAPE ARCHITECT.
- ALL VALVE BOXES TO BE LOCATED IN PLANTING AREAS AS APPROVED BY LANDSCAPE ARCHITECT.
- CONTRACTOR TO ACCOMMODATE IRRIGATION LATERALS AND CONDUIT THROUGH SLEEVING IN PAVING, WALLS, AND STAIRS. COORDINATE AS NEEDED.

CERTIFICATION NOTE:
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DEVELOPER'S/OWNER'S NAME

 DEVELOPER'S/OWNER'S NAME



L-110A

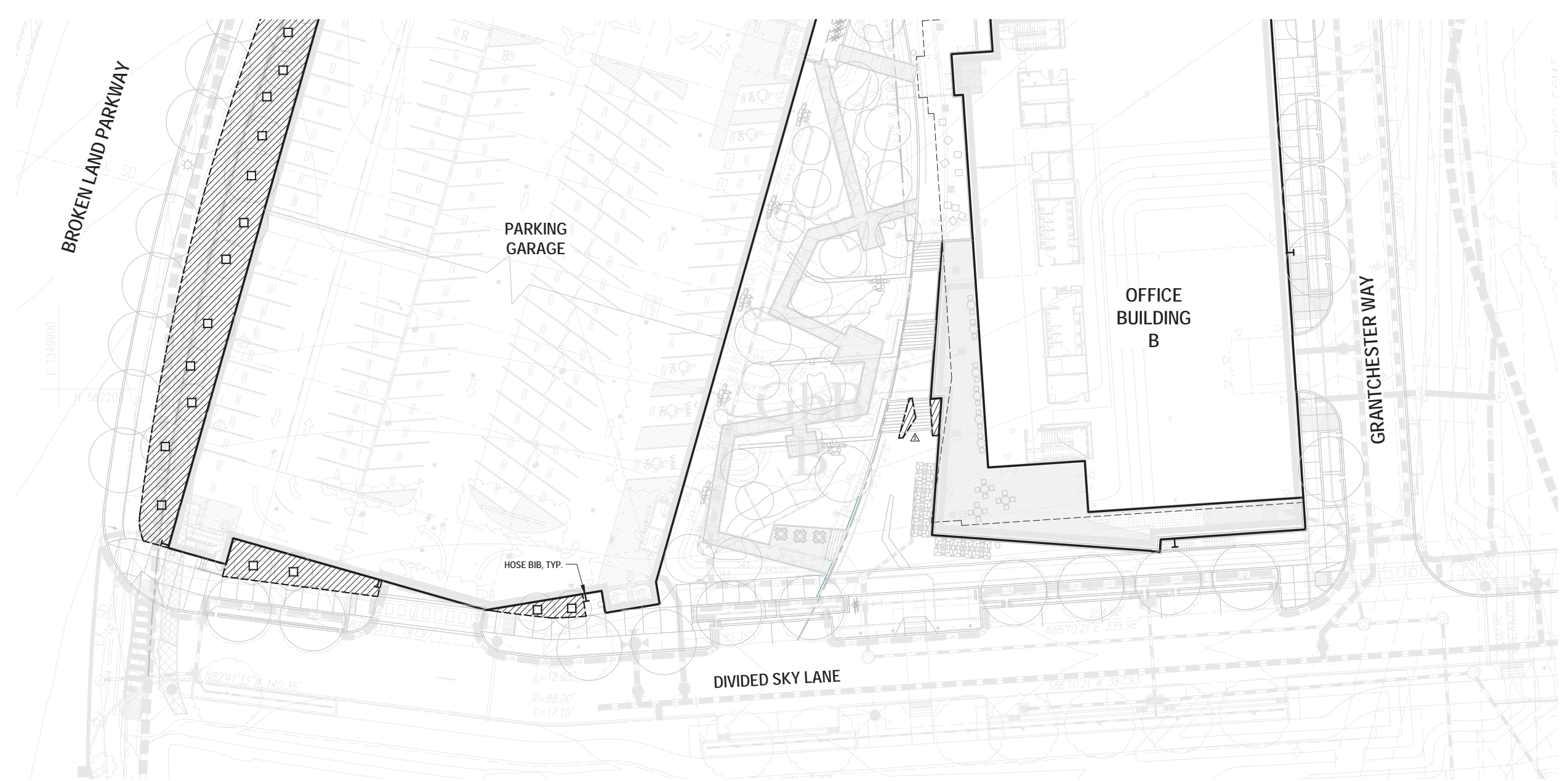
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DATE	REVISION	BY	APP'R.
6/27/2016	REVISIONS TO BUILDING B & SURROUNDING AREA	MM	AD

OWNER/PREPARED FOR:
 THE HOWARD HUGHES CORPORATION
 10480 LITTLE PATUXENT PARKWAY
 SUITE 400
 COLUMBIA, MD 21044
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REVISED IRRIGATION PLAN A
DOWNTOWN COLUMBIA
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 HOWARD COUNTY, MARYLAND

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1"=20'	NT	15019
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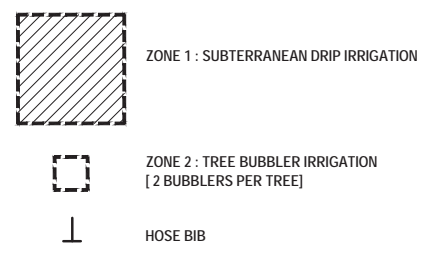


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APPROVED
PLANNING BOARD OF HOWARD COUNTY
Date: _____

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
Director _____ Date _____
Chief, Division of Land Development _____ Date _____
Chief, Development Engineering Division _____ Date _____

IRRIGATION LEGEND



THIS PLAN IS SCHEMATIC ONLY. DESIGN OF IRRIGATION SYSTEM BY OTHERS. AREAS TO BE IRRIGATED WITH NON-POTABLE WATER.

LANDSCAPE IRRIGATION

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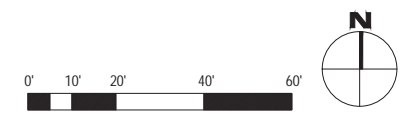
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- CONTRACTOR TO ACCOMMODATE IRRIGATION LATERALS AND CONDUIT THROUGH SLEEVING IN PAVING, WALLS, AND STAIRS. COORDINATE AS NEEDED.

CERTIFICATION NOTE:
I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL FOR NEW TOWN ALTERNATIVE COMPLIANCE AND THE CRESCENT NEIGHBORHOOD DESIGN GUIDELINES. I/WE FURTHER CERTIFY THAT UPON COMPLETION A LETTER OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

DEVELOPER'S/OWNER'S NAME

DEVELOPER'S/OWNER'S NAME



L-110B

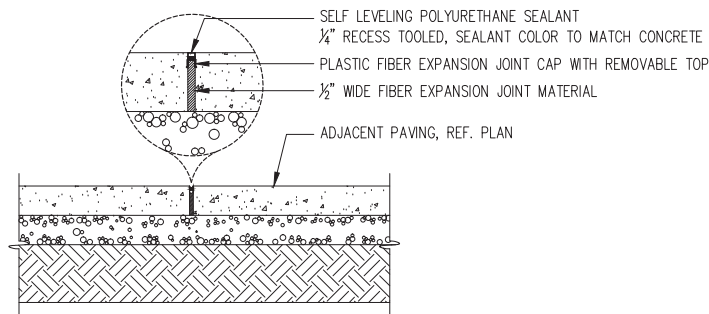
DESIGN COLLECTIVE
ARCHITECTURE, PLANNING, INTERIORS
WWW.DESIGNCOLLECTIVE.COM
601 EAST PRATT STREET, SUITE 300
BALTIMORE, MARYLAND 21202
T: 410.685.6655 F: 410.539.6242

DATE	REVISION	BY	APP'R.
6/27/2016	REVISIONS TO BUILDING B & SURROUNDING AREA	MM	AD

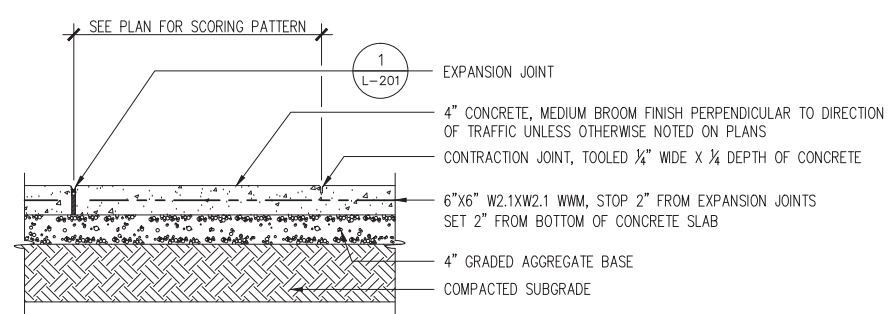
OWNER/PREPARED FOR:
THE HOWARD HUGHES CORPORATION
10480 LITTLE PATUXENT PARKWAY
SUITE 400
COLUMBIA, MD 21044
ATTN: MR. ROBERT JENKINS
(410) 964-4800

REVISED IRRIGATION PLAN B
DOWNTOWN COLUMBIA
CRESCENT NEIGHBORHOOD
PARCELS A-1, A-2, & A-3, AND PARCEL E
MIXED USE GREEN OFFICE, RETAIL AND RESTAURANT BUILDINGS AND TEMPORARY PARKING LOT
(PART OF TAX PARCEL 527); PLAT No. _____
ELECTION DISTRICT No. 5
HOWARD COUNTY, MARYLAND

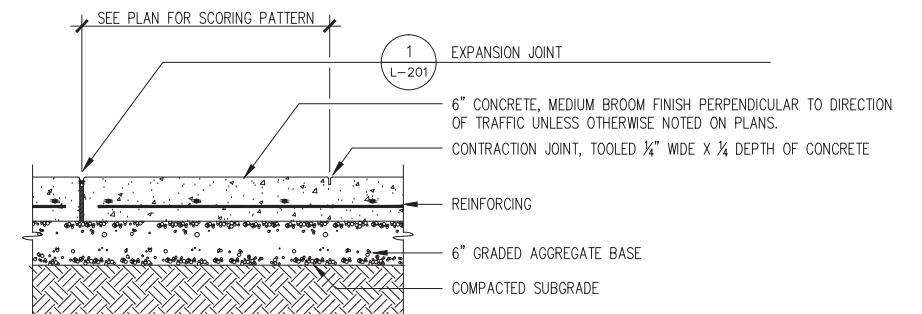
SCALE	ZONING	G. L. W. FILE No.
1"=20'	NT	15019
DATE	TAX MAP - GRID	SHEET
JUNE, 2016	36 - 01	24 OF 58



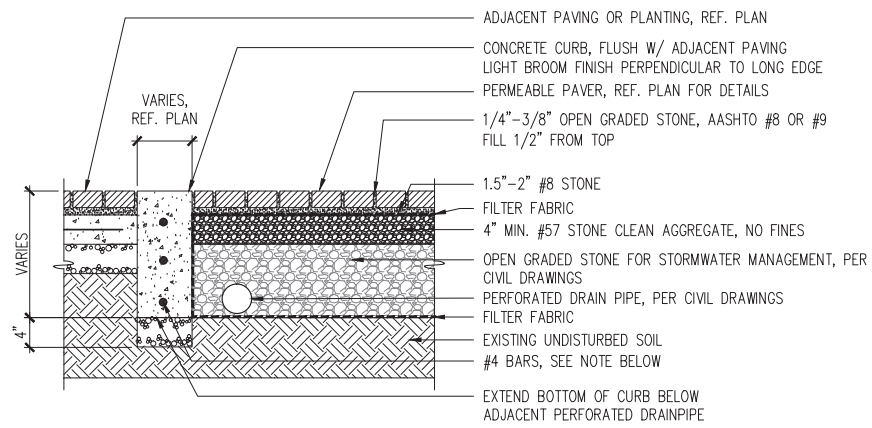
1 EXPANSION JOINT - CONCRETE
 1" = 1'-0"



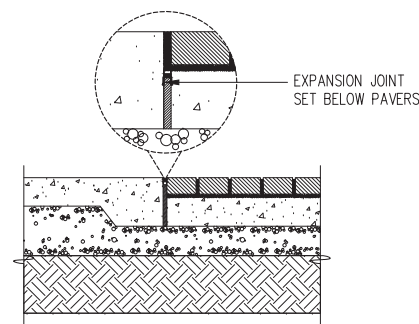
2 CONCRETE PAVING - PED. SECTION
 1" = 1'-0"



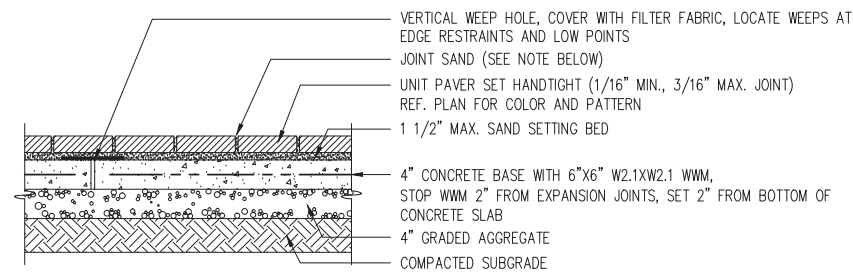
3 CONCRETE PAVING - VEH. SECTION
 1" = 1'-0"



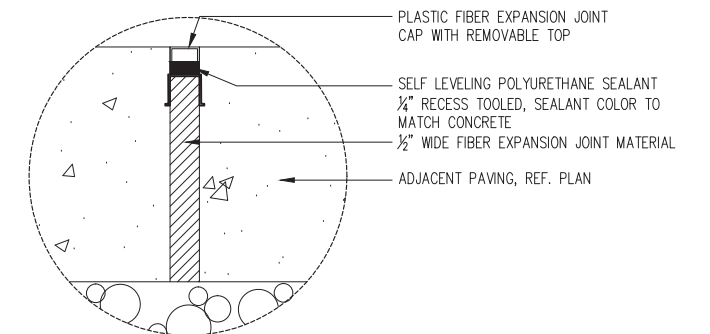
4 UNIT PAVER (PERMEABLE) - PED. SECTION
 1" = 1'-0"



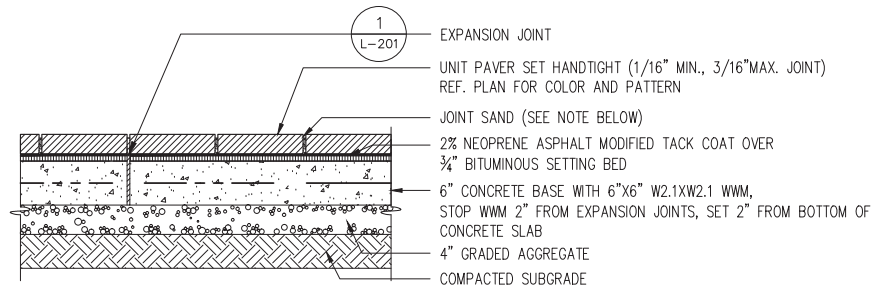
5 EXPANSION JOINT - PAVERS
 1" = 1'-0"



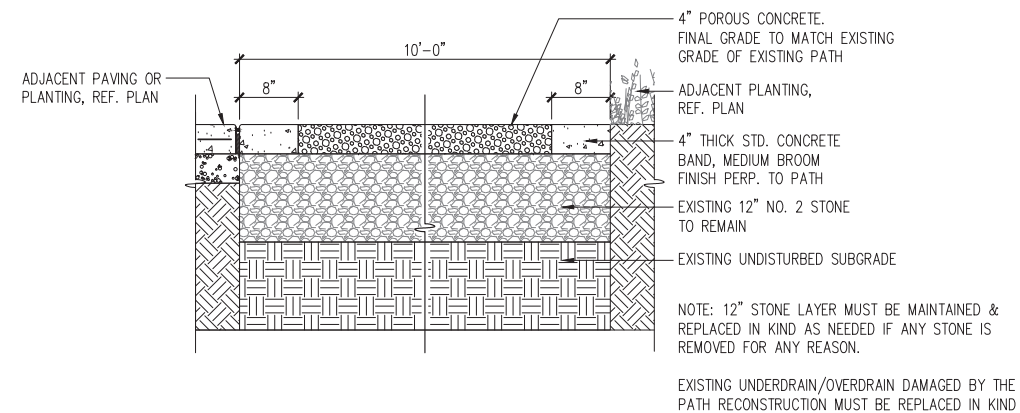
6 UNIT PAVER (IMPERVIOUS) - PED. SECTION
 1" = 1'-0"



7 EXPANSION JOINT - ENLARGEMENT
 1" = 1'-0"



8 UNIT PAVER - VEH. SECTION
 1" = 1'-0"



9 POROUS CONCRETE - MULTI-USE PATH
 1" = 1'-0"

CERTIFICATION NOTE:
 I/W/E CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL FOR NEW TOWN ALTERNATIVE COMPLIANCE AND THE CRESCENT NEIGHBORHOOD DESIGN GUIDELINES. I/W/E FURTHER CERTIFY THAT UPON COMPLETION A LETTER OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

DEVELOPER/SOWNER'S NAME
 DEVELOPER/SOWNER'S NAME

APPROVED
 PLANNING BOARD OF HOWARD COUNTY
 Date: _____

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Director _____ Date _____
 Chief, Division of Land Development _____ Date _____
 Chief, Development Engineering Division _____ Date _____

NOTE:
 * SLOPE PAVERS 1/4" PER FOOT MIN. FOR DRAINAGE
 * EXTEND BASE 4" BEYOND LIMITS OF PAVERS
 * JOINT SAND: APPLY SAND, SWEEP JOINTS, REMOVE LARGE SAND PARTICLES FROM SURFACE, REPEAT PROCESS 3 TIMES MIN.

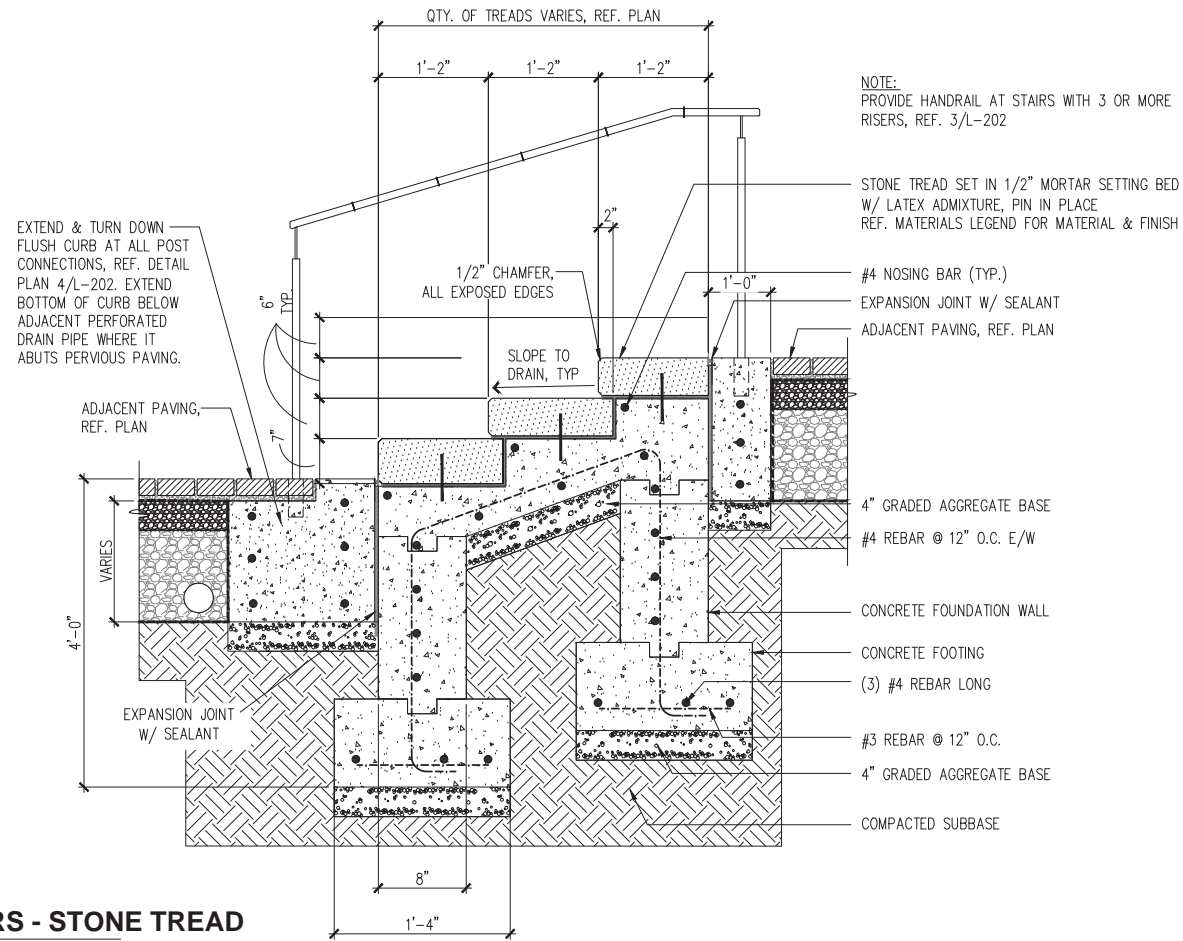
PURPOSE NOTE: THE REVISIONS MADE TO THIS SHEET REFLECT CHANGES RESULTING FROM THE EXPANSION OF THE BUILDING 'B' FOOTPRINT AND DESIGN. THIS PLAN SUPERCEDES THE PLAN SIGNED ON 12/18/2015.

L-201

DES.	DRN.	CHK.	DATE	REVISION	BY	APP'R.

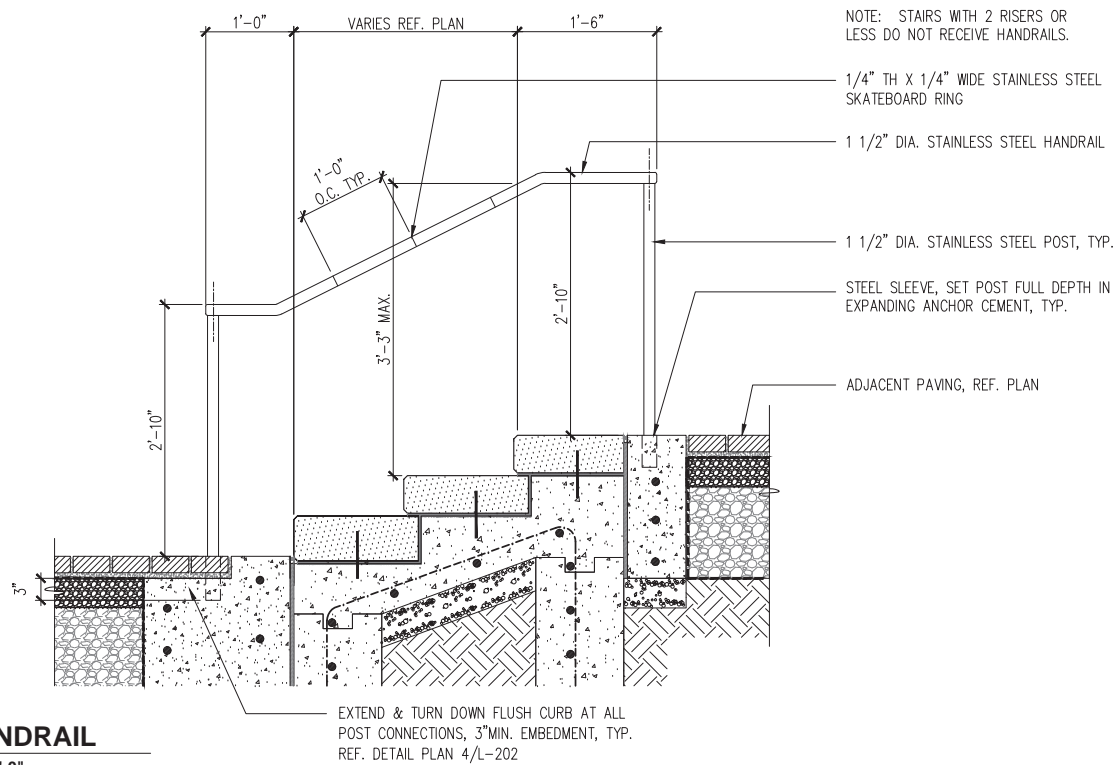
OWNER/PREPARED FOR:
 THE HOWARD HUGHES CORPORATION
 10480 LITTLE PATUXENT PARKWAY
 SUITE 400
 COLUMBIA, MD 21044
 ATTN: MR. ROBERT JENKINS
 (410) 964-4800

REVISED HARDSCAPE DETAILS		
DOWNTOWN COLUMBIA CRESCENT NEIGHBORHOOD PARCELS A-1, A-2, & A-3, AND PARCEL E MIXED USE GREEN OFFICE, RETAIL AND RESTAURANT BUILDINGS AND TEMPORARY PARKING LOT (PART OF TAX PARCEL 527); PLAT No.		
SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	NT	15019
DATE	TAX MAP - GRID	SHEET
JUNE, 2016	36 - 01	25 OF 58
ELECTION DISTRICT No. 5 HOWARD COUNTY, MARYLAND		



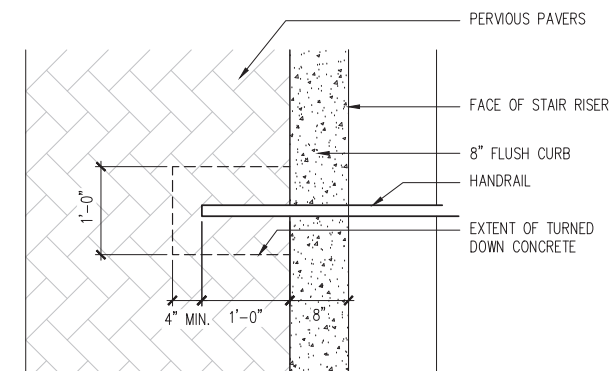
1 STAIRS - STONE TREAD
1" = 1'-0"

2 SEAT WALL - TERRACED STONE
1" = 1'-0"



3 HANDRAIL
1" = 1'-0"

4 PLAN @ HANDRAIL
1" = 1'-0"



CERTIFICATION NOTE:
I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL FOR NEW TOWN ALTERNATIVE COMPLIANCE AND THE CRESCENT NEIGHBORHOOD DESIGN GUIDELINES. I/WE FURTHER CERTIFY THAT UPON COMPLETION A LETTER OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

DEVELOPER'S/OWNER'S NAME

DEVELOPER'S/OWNER'S NAME

PURPOSE NOTE: THE REVISIONS MADE TO THIS SHEET REFLECT CHANGES RESULTING FROM THE EXPANSION OF THE BUILDING 'B' FOOTPRINT AND DESIGN. THIS PLAN SUPERCEDES THE PLAN SIGNED ON 12/18/2015.

L-202

APPROVED
PLANNING BOARD OF HOWARD COUNTY

Date: _____

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director _____ Date _____

Chief, Division of Land Development _____ Date _____

Chief, Development Engineering Division _____ Date _____

DESIGN COLLECTIVE		
ARCHITECTURE, PLANNING, INTERIORS		
601 EAST PRATT STREET, SUITE 300		
BALTIMORE, MARYLAND 21202		
T: 410.685.6655 F: 410.539.6242		
DES.	DRN.	CHK.
DATE	REVISION	BY APPR.

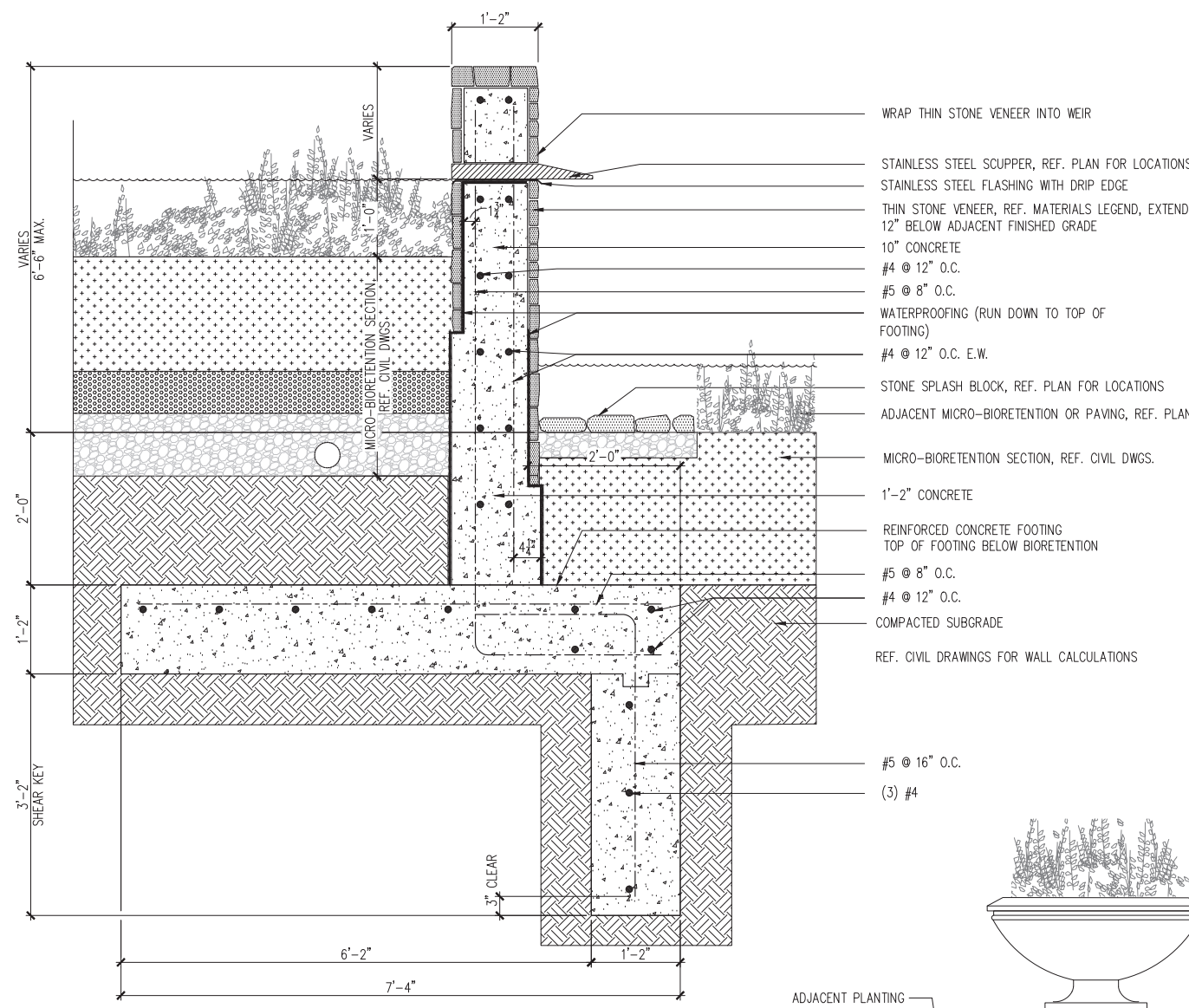
6/27/2016	REVISIONS TO BUILDING B & SURROUNDING AREA	MM	AD

OWNER/PREPARED FOR:
THE HOWARD HUGHES CORPORATION
10480 LITTLE PATUXENT PARKWAY
SUITE 400
COLUMBIA, MD 21044
ATTN: MR. ROBERT JENKINS
(410) 964-4800

REVISED STAIR DETAILS

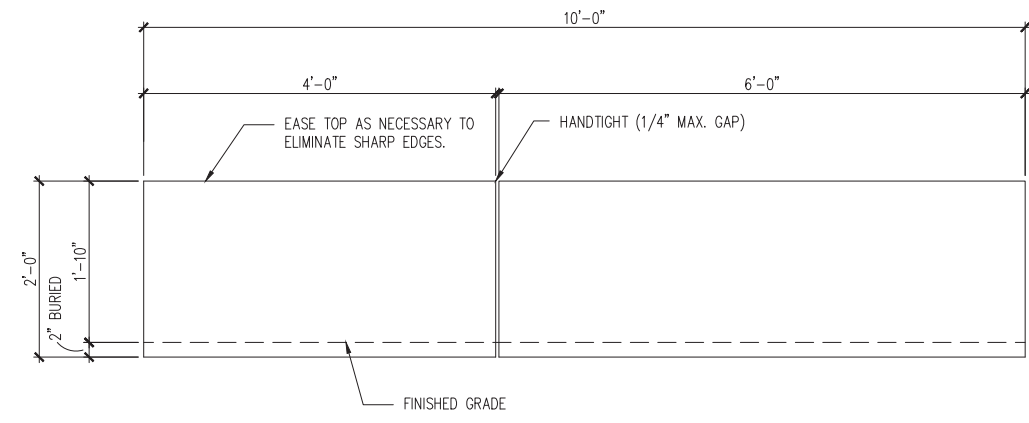
DOWNTOWN COLUMBIA
CRESCENT NEIGHBORHOOD
PARCELS A-1, A-2, & A-3, AND PARCEL E
MIXED USE GREEN OFFICE, RETAIL AND RESTAURANT BUILDINGS AND TEMPORARY PARKING LOT
(PART OF TAX PARCEL 527); PLAT No. _____
ELECTION DISTRICT No. 5

SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	NT	15019
DATE	TAX MAP - GRID	SHEET
JUNE, 2016	36 - 01	26 OF 58

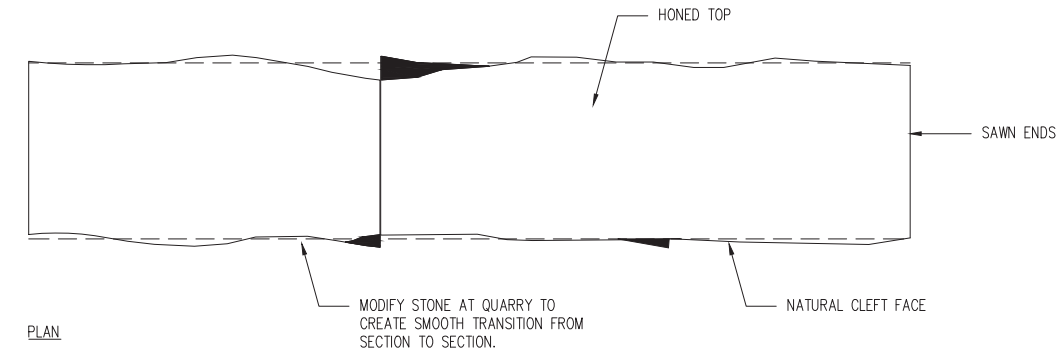


1 MICRO-BIORETENTION WALL
1" = 1'-0"

- WRAP THIN STONE VENEER INTO WEIR
- STAINLESS STEEL SCUPPER, REF. PLAN FOR LOCATIONS
- STAINLESS STEEL FLASHING WITH DRIP EDGE
- THIN STONE VENEER, REF. MATERIALS LEGEND, EXTEND 12" BELOW ADJACENT FINISHED GRADE
- 10" CONCRETE
- #4 @ 12" O.C.
- #5 @ 8" O.C.
- WATERPROOFING (RUN DOWN TO TOP OF FOOTING)
- #4 @ 12" O.C. E.W.
- STONE SPLASH BLOCK, REF. PLAN FOR LOCATIONS
- ADJACENT MICRO-BIORETENTION OR PAVING, REF. PLAN
- MICRO-BIORETENTION SECTION, REF. CIVIL DWGS.
- 1'-2" CONCRETE
- REINFORCED CONCRETE FOOTING
TOP OF FOOTING BELOW BIORETENTION
- #5 @ 8" O.C.
- #4 @ 12" O.C.
- COMPACTED SUBGRADE
- REF. CIVIL DRAWINGS FOR WALL CALCULATIONS

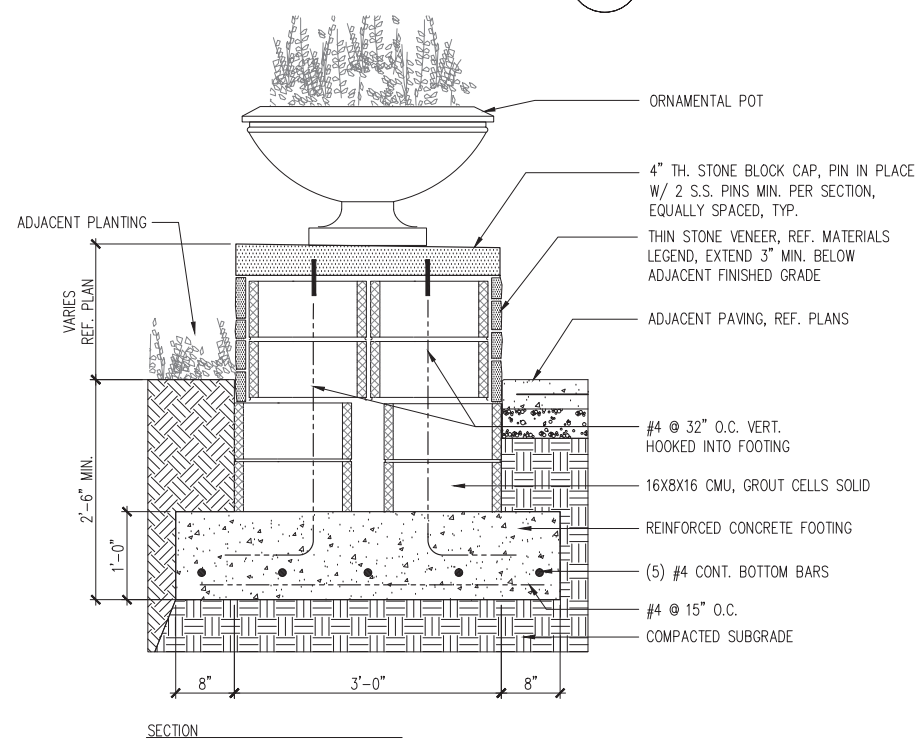


ELEVATION



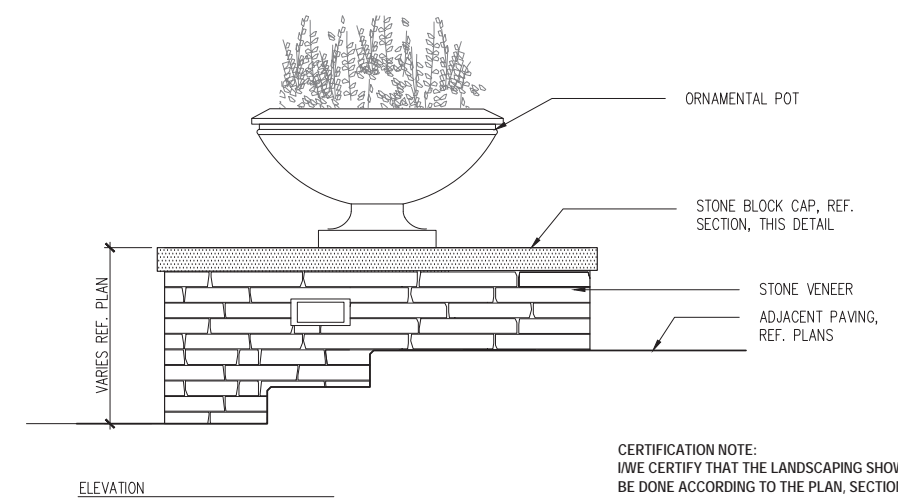
PLAN

2 SEAT WALL
1" = 1'-0"



SECTION

3 WALL - ENTRANCE PIER
1" = 1'-0"



ELEVATION

CERTIFICATION NOTE:
I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL FOR NEW TOWN ALTERNATIVE COMPLIANCE AND THE CRESCENT NEIGHBORHOOD DESIGN GUIDELINES. I/WE FURTHER CERTIFY THAT UPON COMPLETION A LETTER OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

DEVELOPER'S/OWNER'S NAME
DEVELOPER'S/OWNER'S NAME

PURPOSE NOTE: THE REVISIONS MADE TO THIS SHEET REFLECT CHANGES RESULTING FROM THE EXPANSION OF THE BUILDING 'B' FOOTPRINT AND DESIGN. THIS PLAN SUPERCEDES THE PLAN SIGNED ON 12/18/2015.

L-203

APPROVED
PLANNING BOARD OF HOWARD COUNTY

Date: _____

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director: _____ Date: _____

Chief, Division of Land Development: _____ Date: _____

Chief, Development Engineering Division: _____ Date: _____

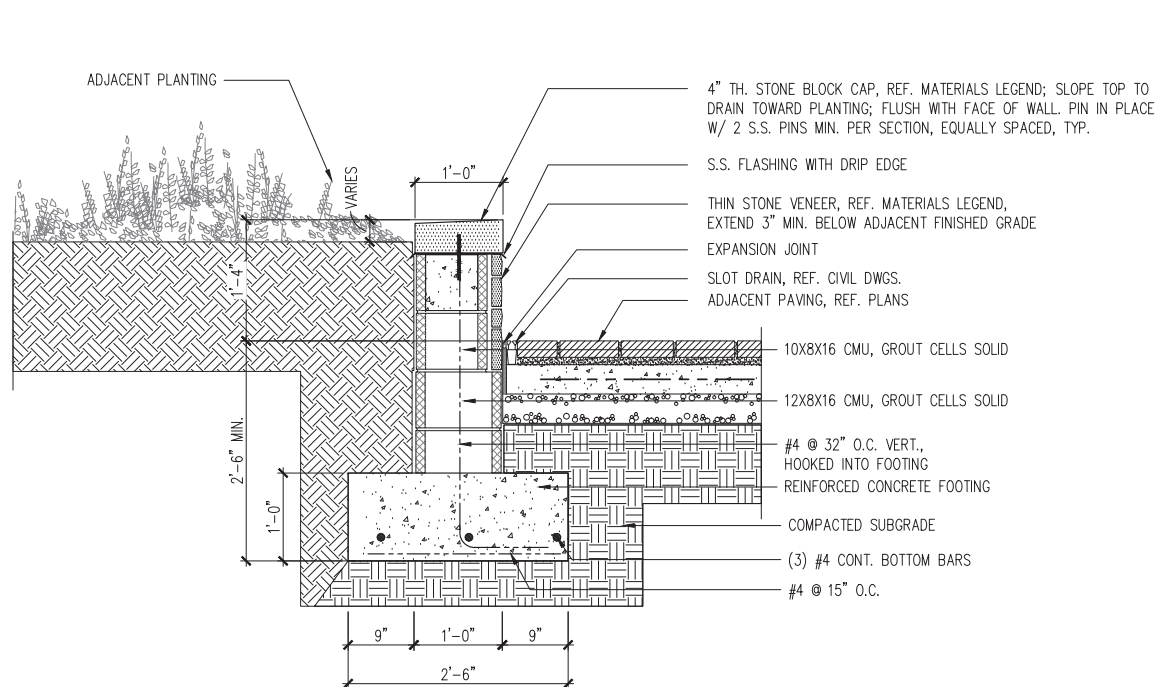
DESIGN COLLECTIVE
ARCHITECTURE, PLANNING, INTERIORS
601 EAST PRATT STREET, SUITE 300
BALTIMORE, MARYLAND 21202
T: 410.685.6655 F: 410.539.6242

DATE	REVISION	BY	APP'R.
6/27/2016	REVISIONS TO BUILDING B & SURROUNDING AREA	MM	AD

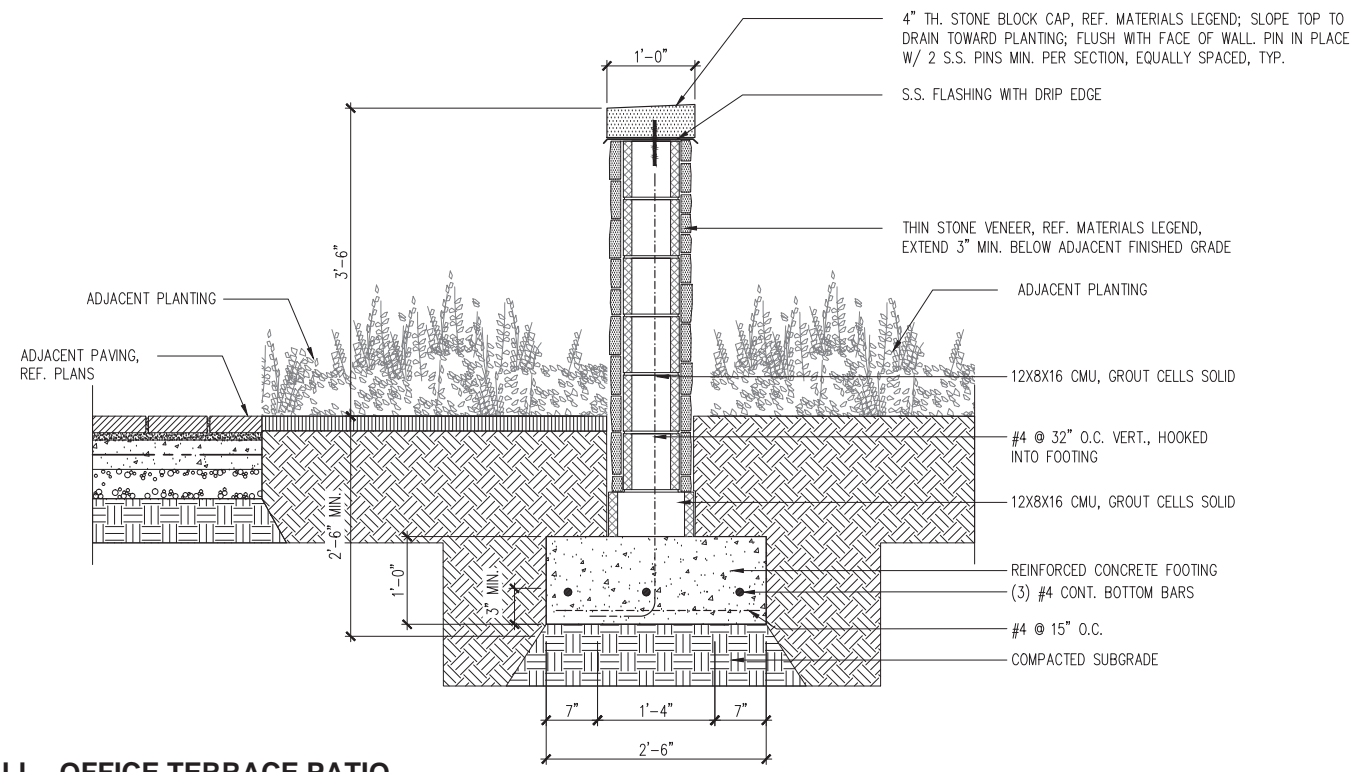
OWNER/PREPARED FOR:
THE HOWARD HUGHES CORPORATION
10480 LITTLE PATUXENT PARKWAY
SUITE 400
COLUMBIA, MD 21044
ATTN: MR. ROBERT JENKINS
(410) 964-4800

REVISED WALL DETAILS - I
DOWNTOWN COLUMBIA
CRESCENT NEIGHBORHOOD
PARCELS A-1, A-2, & A-3, AND PARCEL E
MIXED USE GREEN OFFICE, RETAIL AND RESTAURANT BUILDINGS AND TEMPORARY PARKING LOT
(PART OF TAX PARCEL 527); PLAT No. _____
ELECTION DISTRICT No. 5

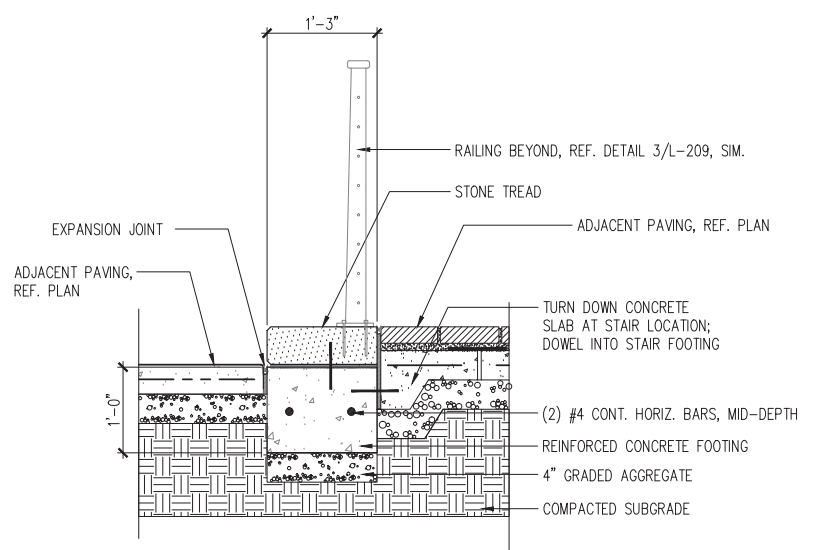
SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	NT	15019
DATE	TAX MAP - GRID	SHEET
JUNE, 2016	36 - 01	27 OF 58



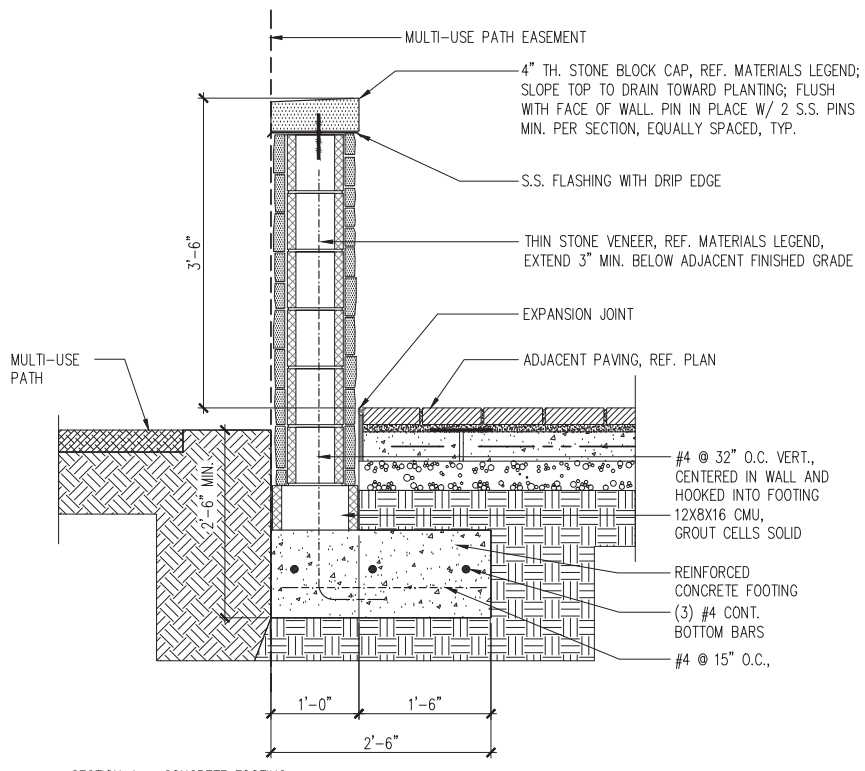
1 WALL - RESTAURANT TERRACE
1" = 1'-0"



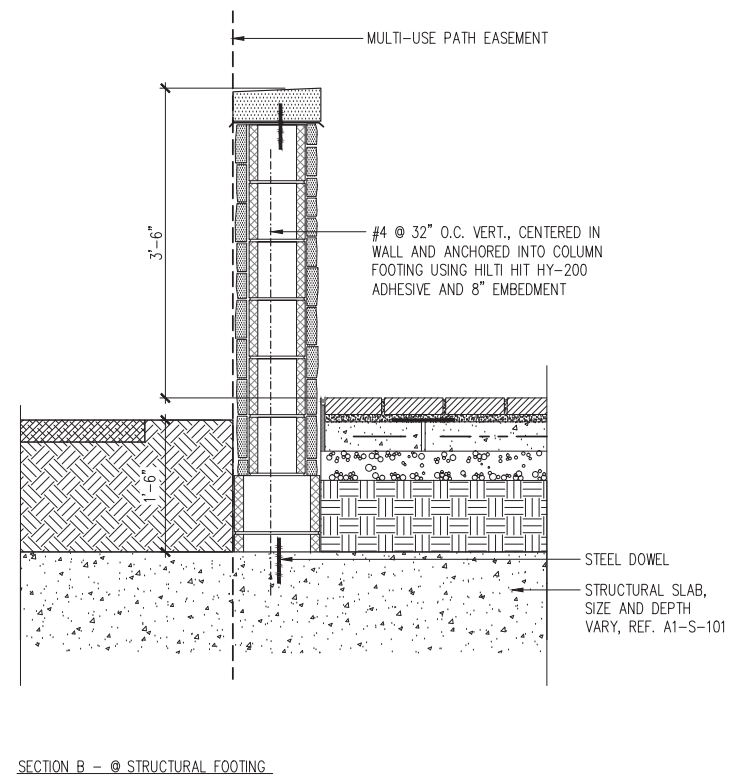
2 WALL - OFFICE TERRACE PATIO
1" = 1'-0"



3 WALL - ENTRANCE PATIO
1" = 1'-0"



4 WALL - OFFICE TERRACE
1" = 1'-0"



CERTIFICATION NOTE:
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DEVELOPER'S/OWNER'S NAME
DEVELOPER'S/OWNER'S NAME

APPROVED
PLANNING BOARD OF HOWARD COUNTY
Date: _____

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
Director: _____ Date: _____
Chief, Division of Land Development: _____ Date: _____
Chief, Development Engineering Division: _____ Date: _____

DES.	DRN.	CHK.	DATE	REVISION	BY	APP'R.

OWNER/PREPARED FOR: THE HOWARD HUGHES CORPORATION 10480 LITTLE PATUENT PARKWAY SUITE 400 COLUMBIA, MD 21044 ATTN: MR. ROBERT JENKINS (410) 964-4800

REVISED WALL DETAILS - II DOWNTOWN COLUMBIA CRESCENT NEIGHBORHOOD PARCELS A-1, A-2, & A-3, AND PARCEL E MIXED USE GREEN OFFICE, RETAIL AND RESTAURANT BUILDINGS AND TEMPORARY PARKING LOT (PART OF TAX PARCEL 527); PLAT No. ELECTION DISTRICT No. 5 HOWARD COUNTY, MARYLAND

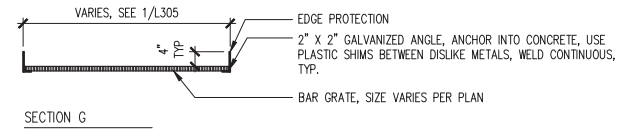
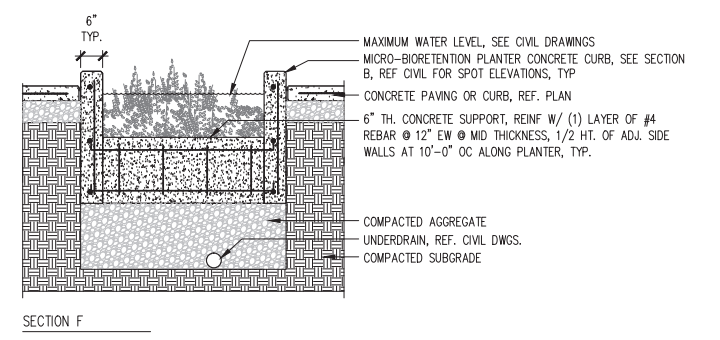
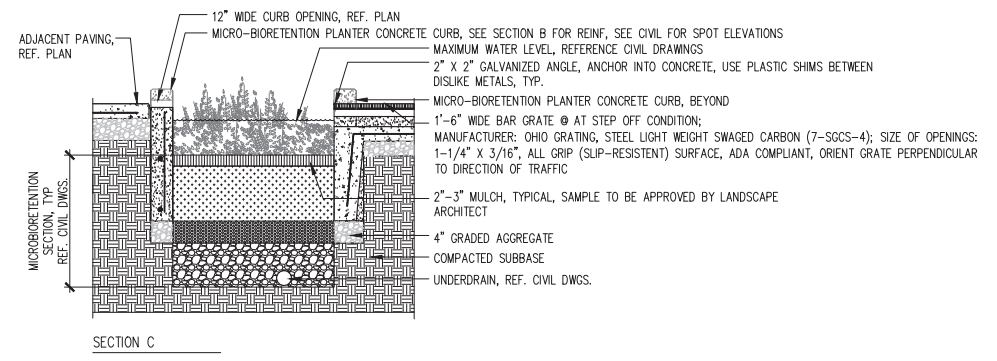
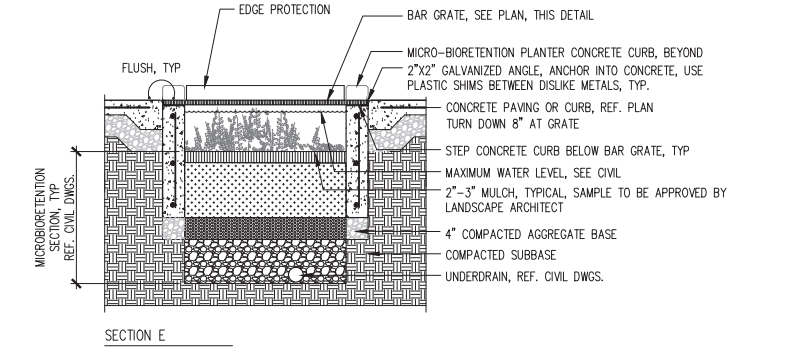
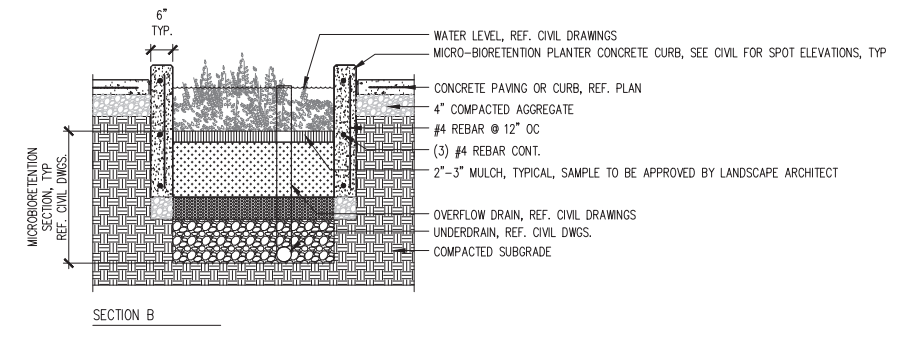
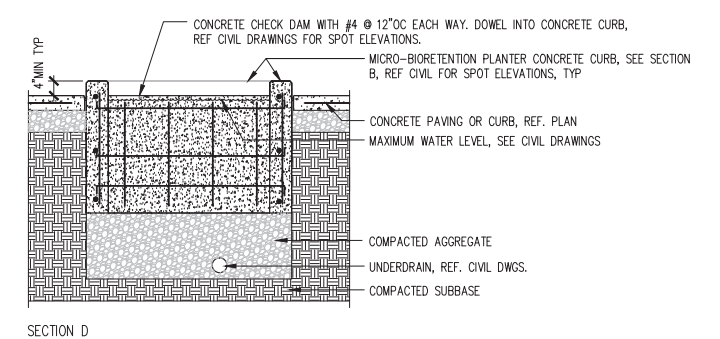
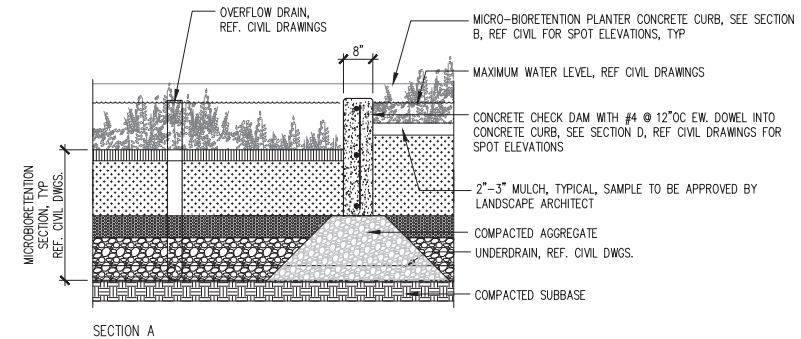
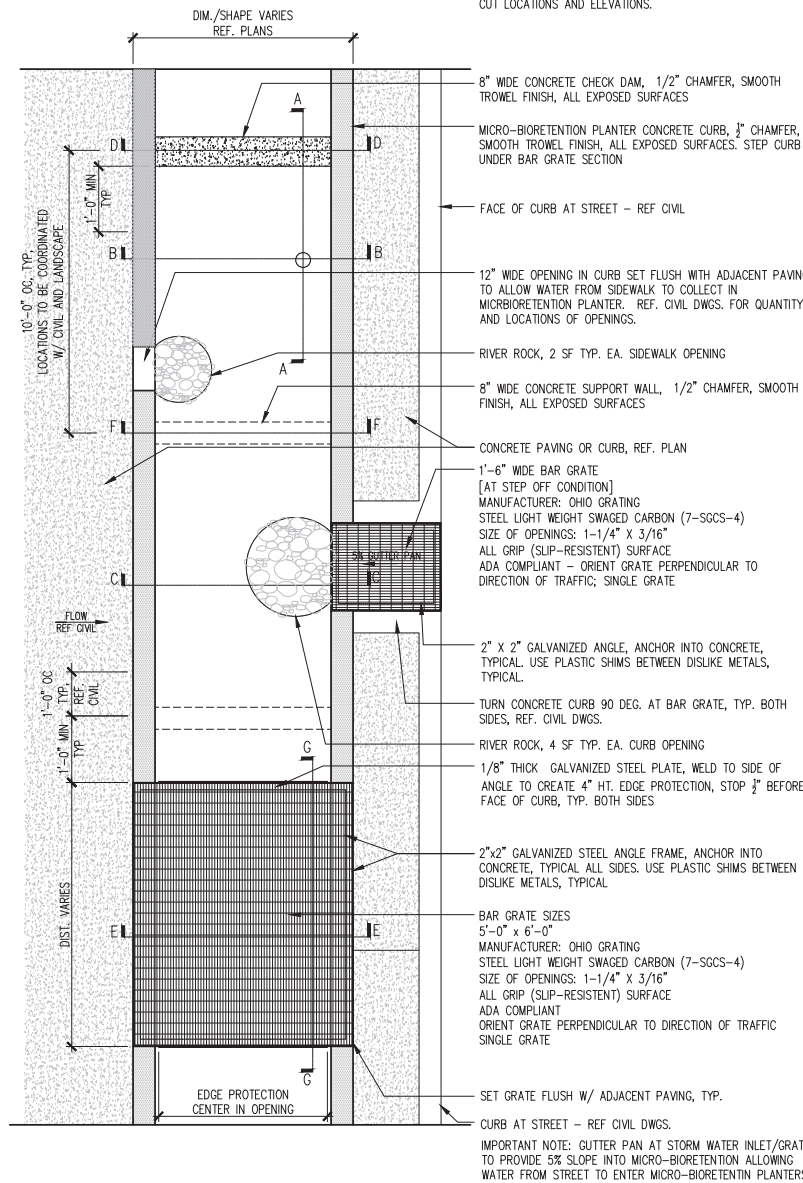
SCALE AS SHOWN	ZONING NT	G. L. W. FILE No. 15019
DATE JUNE, 2016	TAX MAP - GRID 36 - 01	SHEET 28 OF 58

L-204

RIVER ROCK

MATERIAL: BLUE/GREY RIVER ROCK
 SIZE: 50% 2" RIVER ROCK
 50% 4-6" RIVER ROCK

NOTE: PLAN ENLARGEMENT REPRESENTS A PARTIAL TYP. SECTION. REF. CIVIL DWGS. FOR CURB, WEIR WALL AND CURB CUT LOCATIONS AND ELEVATIONS.



1 STORMWATER PLANTER
 1/2" = 1'-0"

APPROVED
 PLANNING BOARD OF HOWARD COUNTY

Date: _____

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director _____ Date _____

Chief, Division of Land Development _____ Date _____

Chief, Development Engineering Division _____ Date _____

CERTIFICATION NOTE:
 I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL FOR NEW TOWN ALTERNATIVE COMPLIANCE AND THE CRESCENT NEIGHBORHOOD DESIGN GUIDELINES. I/WE FURTHER CERTIFY THAT UPON COMPLETION A LETTER OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

DEVELOPER'S/OWNER'S NAME _____

DEVELOPER'S/OWNER'S NAME _____

PURPOSE NOTE: THE REVISIONS MADE TO THIS SHEET REFLECT CHANGES RESULTING FROM THE EXPANSION OF THE BUILDING 'B' FOOTPRINT AND DESIGN. THIS PLAN SUPERCEDES THE PLAN SIGNED ON 12/18/2015.

L-205

DESIGN COLLECTIVE
 ARCHITECTURE, PLANNING, INTERIORS
 WWW.DESIGNCOLLECTIVE.COM

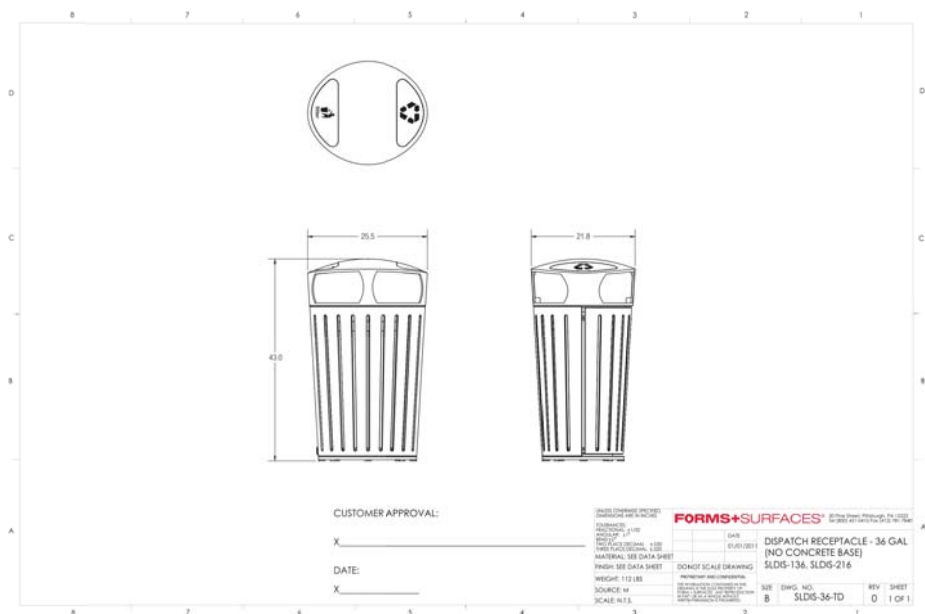
601 EAST PRATT STREET, SUITE 300
 BALTIMORE, MARYLAND 21202
 T: 410.685.6655 F: 410.539.6242

DES.	DRN.	CHK.	DATE	REVISION	BY	APP'R.

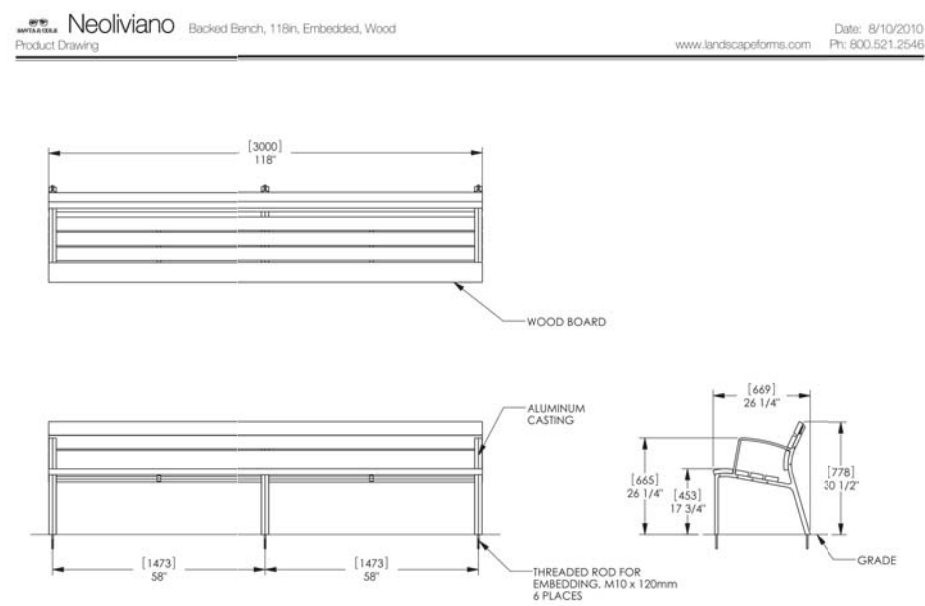
OWNER/PREPARED FOR:
 THE HOWARD HUGHES CORPORATION
 10480 LITTLE PATUXENT PARKWAY
 SUITE 400
 COLUMBIA, MD 21044
 ATTN: MR. ROBERT JENKINS
 (410) 964-4800

REVISED STREETScape DETAILS
 DOWNTOWN COLUMBIA
 CRESCENT NEIGHBORHOOD
 PARCELS A-1, A-2, & A-3, AND PARCEL E
 MIXED USE GREEN OFFICE, RETAIL AND RESTAURANT BUILDINGS AND TEMPORARY PARKING LOT
 (PART OF TAX PARCEL 527); PLAT No. _____
 ELECTION DISTRICT No. 5

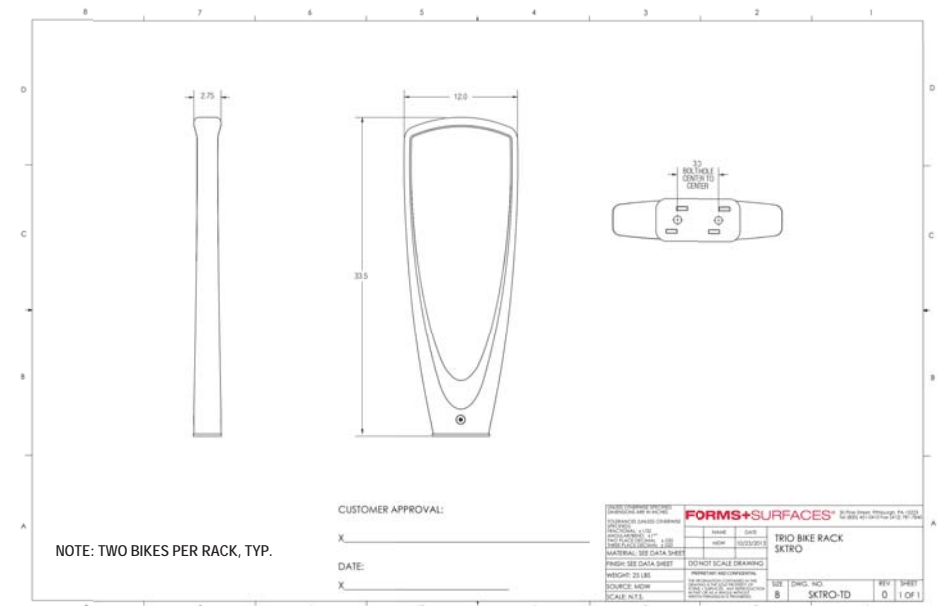
SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	NT	15019
DATE	TAX MAP - GRID	SHEET
JUNE, 2016	36 - 01	30 OF 58



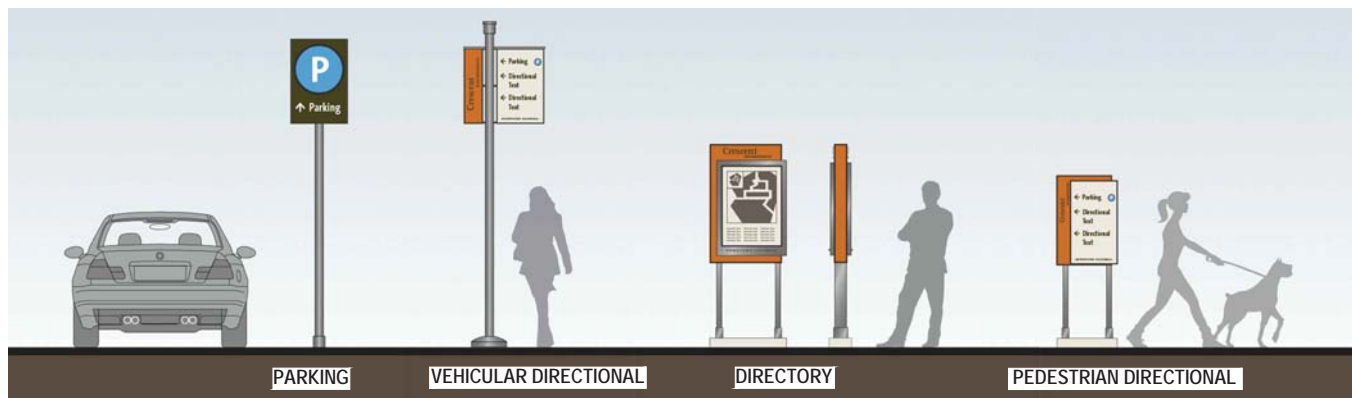
1 WASTE/RECYCLING RECEPTACLE



2 STREET BENCH



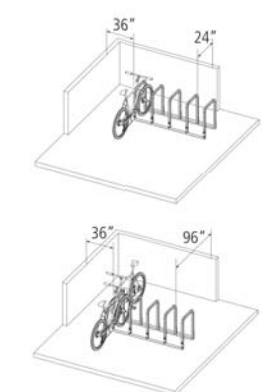
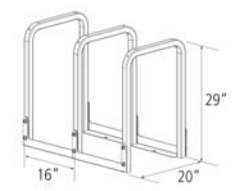
3 BIKE RACK - SITE



4 SIGNAGE

U-LOCK IT[™] Submittal Sheet

- CAPACITY:** 2 Bikes per hoop, 3 hoop minimum for stability.
- MATERIALS:** Hoop: 1.5" 16g sq. tube, Connectors: Tlg plate
- FINISHES:**
 - Powder Coat: Our powder coat finish assures a high level of adhesion and durability by following these steps: 1. Sandblast, 2. Epoxy primer electrostatically applied, 3. Final thick TGIC polyester powder coat.
 - Galvanized: An after fabrication hot dipped galvanized finish is our standard option.
- MOUNT OPTIONS:**
 - Surface: All connections and mounting parts have pre-threaded mounting holes (except the feet). No drilling or tapping required.



5 BIKE RACK - GARAGE

APPROVED
PLANNING BOARD OF HOWARD COUNTY

Date: _____

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director _____ Date _____

Chief, Division of Land Development _____ Date _____

Chief, Development Engineering Division _____ Date _____

DESIGN COLLECTIVE
ARCHITECTURE, PLANNING, INTERIORS
WWW.DESIGNCOLLECTIVE.COM

601 EAST PRATT STREET, SUITE 300
BALTIMORE, MARYLAND 21202
T: 410.685.6655 F: 410.539.6242

DES.	DRN.	CHK.

DATE	REVISION	BY	APP'R.
6/27/2016	ADDITIONAL SHEET	MM	AD

OWNER/PREPARED FOR:
THE HOWARD HUGHES CORPORATION
10480 LITTLE PATUXENT PARKWAY
SUITE 400
COLUMBIA, MD 21044
ATTN: MR. ROBERT JENKINS
(410) 964-4800

SITE FURNISHING DETAILS

DOWNTOWN COLUMBIA
CRESCENT NEIGHBORHOOD
PARCELS A-1, A-2, & A-3, AND PARCEL E
MIXED USE GREEN OFFICE, RETAIL AND RESTAURANT BUILDINGS AND TEMPORARY PARKING LOT
(PART OF TAX PARCEL 527); PLAT No. _____

ELECTION DISTRICT No. 5

HOWARD COUNTY, MARYLAND

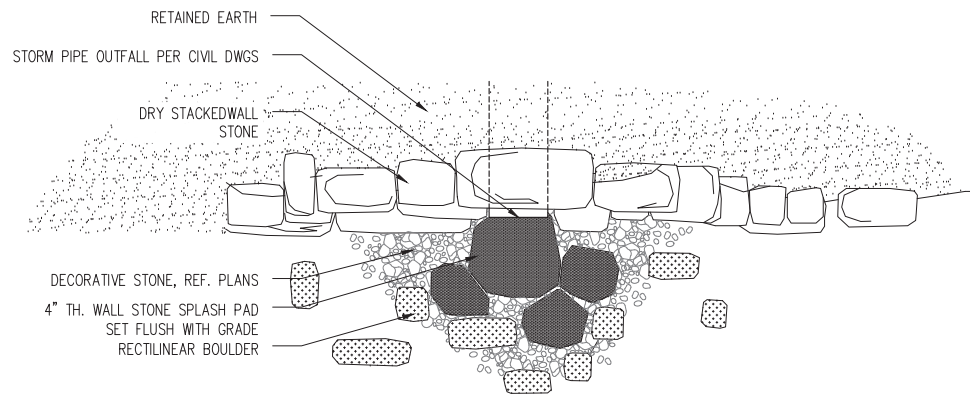
SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	NT	15019
DATE	TAX MAP - GRID	SHEET
JUNE, 2016	36 - 01	31 OF 58

CERTIFICATION NOTE:
I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL FOR NEW TOWN ALTERNATIVE COMPLIANCE AND THE CRESCENT NEIGHBORHOOD DESIGN GUIDELINES. I/WE FURTHER CERTIFY THAT UPON COMPLETION A LETTER OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

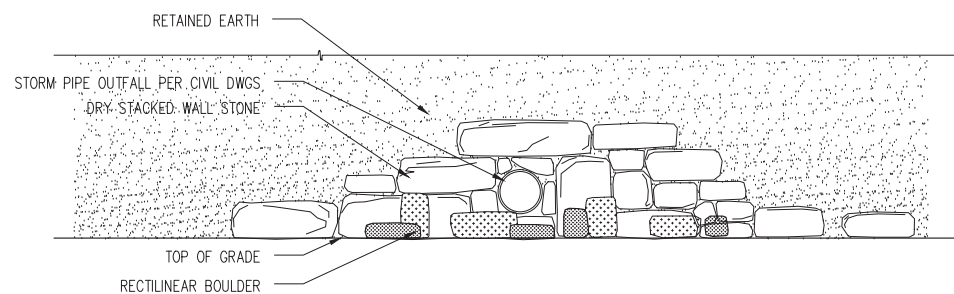
DEVELOPER'S/OWNER'S NAME _____

DEVELOPER'S/OWNER'S NAME _____

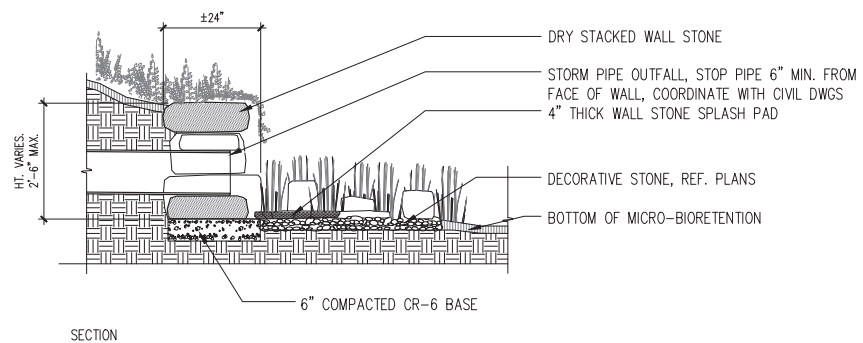
PURPOSE NOTE: THIS SHEET HAS BEEN ADDED AS A RESULT OF THE EXPANSION OF THE BUILDING "B" FOOTPRINT AND DESIGN"



PLAN



ELEVATION



SECTION

DOWNSPOUT RIPRAP LEGEND:

TYPE: STONE SALVAGED FROM ADJACENT SITE EXCAVATION; TO BE HAND SELECTED BY LANDSCAPE ARCHITECT

FINISH: DRY STACKED, ROUGH CUT, DIMENSIONAL OF VARYING SIZES
MIN: 6"x12"x12", MAX. 12"x24"x36"

JOINTS: 1/2" MORTAR JOINTS FLUSH IN FIELD.

DIMENSIONS: MIN: 6"x12"x12", MAX. 12"x24"x36"

NOTES:

A) LANDSCAPE ARCHITECT TO APPROVE SHOP DRAWINGS

B) LANDSCAPE ARCHITECT TO RECEIVE AND APPROVE STONE SAMPLES

CERTIFICATION NOTE:
I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL FOR NEW TOWN ALTERNATIVE COMPLIANCE AND THE CRESCENT NEIGHBORHOOD DESIGN GUIDELINES. I/WE FURTHER CERTIFY THAT UPON COMPLETION A LETTER OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

DEVELOPER'S/OWNER'S NAME

DEVELOPER'S/OWNER'S NAME

PURPOSE NOTE: THIS SHEET HAS BEEN ADDED AS A RESULT OF THE EXPANSION OF THE BUILDING 'B' FOOTPRINT AND DESIGN"

L-207

APPROVED
PLANNING BOARD OF HOWARD COUNTY

Date: _____

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director: _____ Date: _____

Chief, Division of Land Development: _____ Date: _____

Chief, Development Engineering Division: _____ Date: _____

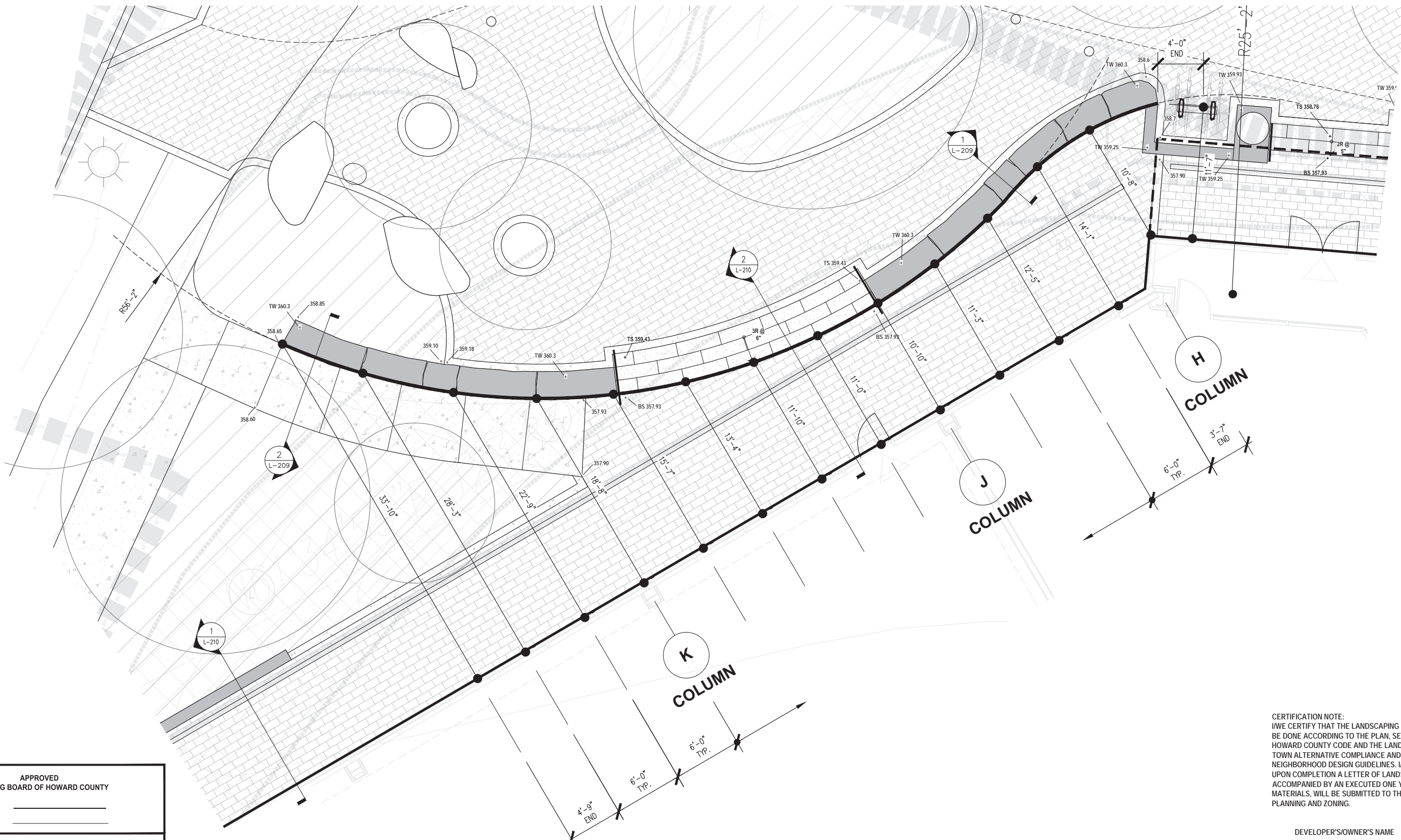
1 **DOWNSPOUT OUTFALL RIPRAP**
1/2" = 1'-0"

DESIGN COLLECTIVE ARCHITECTURE, PLANNING, INTERIORS WWW.DESIGNCOLLECTIVE.COM			6/27/2016	△ ADDITIONAL SHEET	MM	AD
DES.	DRN.	CHK.	DATE	REVISION	BY	APP'R.

OWNER/PREPARED FOR: THE HOWARD HUGHES CORPORATION 10480 LITTLE PATUENT PARKWAY SUITE 400 COLUMBIA, MD 21044 ATTN: MR. ROBERT JENKINS (410) 964-4800		
---	--	--

DRAINAGE DETAILS DOWNTOWN COLUMBIA CRESCENT NEIGHBORHOOD PARCELS A-1, A-2, & A-3, AND PARCEL E MIXED USE GREEN OFFICE, RETAIL AND RESTAURANT BUILDINGS AND TEMPORARY PARKING LOT (PART OF TAX PARCEL 527); PLAT No. _____ ELECTION DISTRICT No. 5		
---	--	--

SCALE AS SHOWN	ZONING NT	G. L. W. FILE No. 15019
DATE JUNE, 2016	TAX MAP - GRID 36 - 01	SHEET 32 OF 58



1 SEATWALL LAYOUT PLAN - @ NORTHWEST PLAZA
 1/4"=1'-0"

CERTIFICATION NOTE:
 I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL FOR NEW TOWN ALTERNATIVE COMPLIANCE AND THE CRESCENT NEIGHBORHOOD DESIGN GUIDELINES. I/WE FURTHER CERTIFY THAT UPON COMPLETION A LETTER OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

DEVELOPER'S/OWNER'S NAME

 DEVELOPER'S/OWNER'S NAME

PURPOSE NOTE: THIS SHEET HAS BEEN ADDED AS A RESULT OF THE EXPANSION OF THE BUILDING 'B' FOOTPRINT AND DESIGN"

0' 2' 4' 8' 12'

L-208

APPROVED
 PLANNING BOARD OF HOWARD COUNTY

Date: _____

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director: _____ Date: _____

Chief, Division of Land Development: _____ Date: _____

Chief, Development Engineering Division: _____ Date: _____

DESIGN COLLECTIVE
 ARCHITECTURE, PLANNING, INTERIORS
 WWW.DESIGNCOLLECTIVE.COM

601 EAST PRATT STREET, SUITE 300
 BALTIMORE, MARYLAND 21202
 T: 410.685.6655 F: 410.539.6242

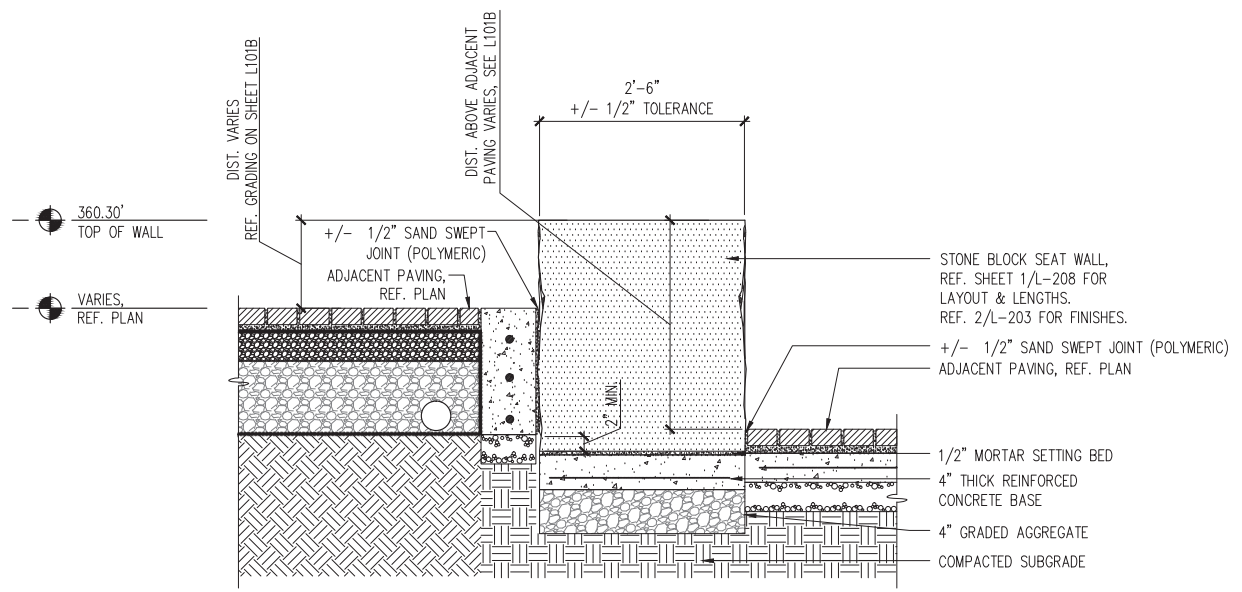
DES.	DRN.	CHK.

DATE	REVISION	BY	APP'R.
6/27/2016	ADDITIONAL SHEET	MM	AD

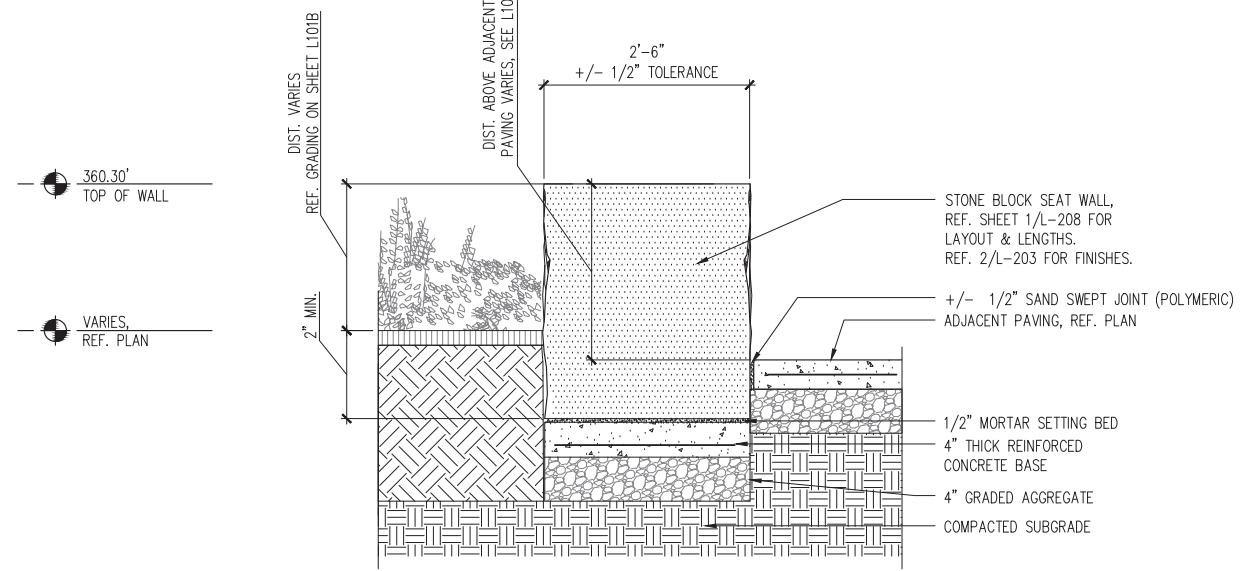
OWNER/PREPARED FOR:
 THE HOWARD HUGHES CORPORATION
 10480 LITTLE PATUXENT PARKWAY
 SUITE 400
 COLUMBIA, MD 21044
 ATTN: MR. ROBERT JENKINS
 (410) 964-4800

CORNER PLAZA - PLAN
 DOWNTOWN COLUMBIA
 CRESCENT NEIGHBORHOOD
 PARCELS A-1, A-2, & A-3, AND PARCEL E
 MIXED USE GREEN OFFICE, RETAIL AND RESTAURANT BUILDINGS AND TEMPORARY PARKING LOT
 (PART OF TAX PARCEL 527); PLAT No. _____
 ELECTION DISTRICT No. 5

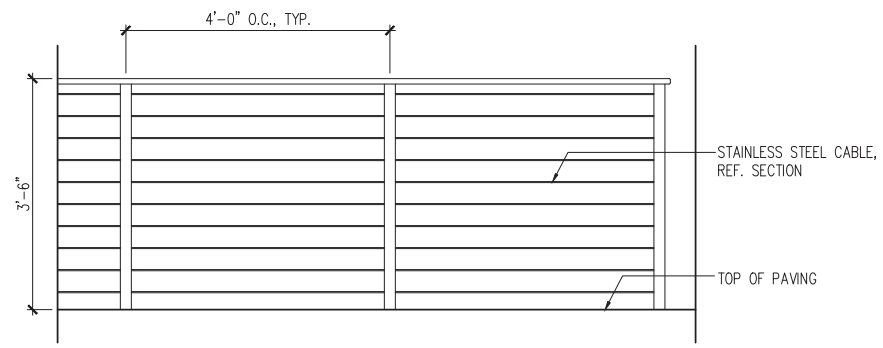
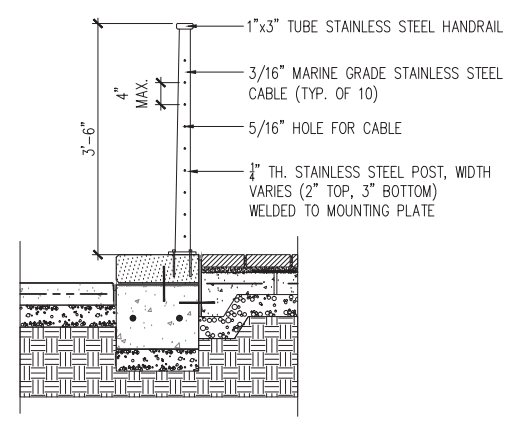
SCALE	ZONING	G. L. W. FILE No.
1/4"=1'-0"	NT	15019
DATE	TAX MAP - GRID	SHEET
JUNE, 2016	36 - 01	33 OF 58



1 SEATWALL - SECTION A @ NORTHWEST PLAZA
1" = 1'-0"



2 SEATWALL - SECTION B @ NORTHWEST PLAZA
1" = 1'-0"



3 GUARDRAIL @ BUILDING A - SOUTHEAST PATIO
3/4" = 1'-0"

CERTIFICATION NOTE:
I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL FOR NEW TOWN ALTERNATIVE COMPLIANCE AND THE CRESCENT NEIGHBORHOOD DESIGN GUIDELINES. I/WE FURTHER CERTIFY THAT UPON COMPLETION A LETTER OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

DEVELOPER'S/OWNER'S NAME

DEVELOPER'S/OWNER'S NAME

PURPOSE NOTE: THIS SHEET HAS BEEN ADDED AS A RESULT OF THE EXPANSION OF THE BUILDING 'B' FOOTPRINT AND DESIGN"

L-209

APPROVED
PLANNING BOARD OF HOWARD COUNTY

Date: _____

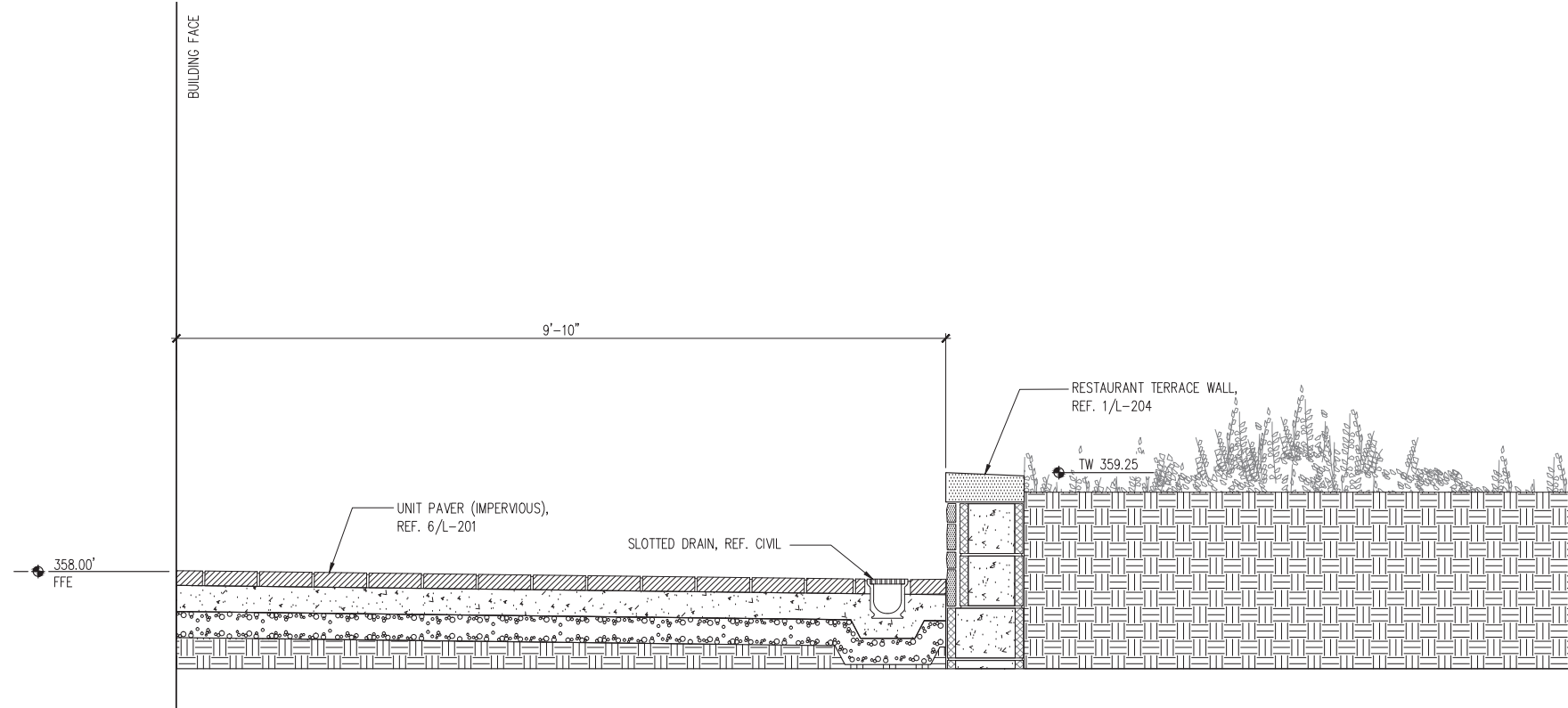
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director: _____ Date: _____

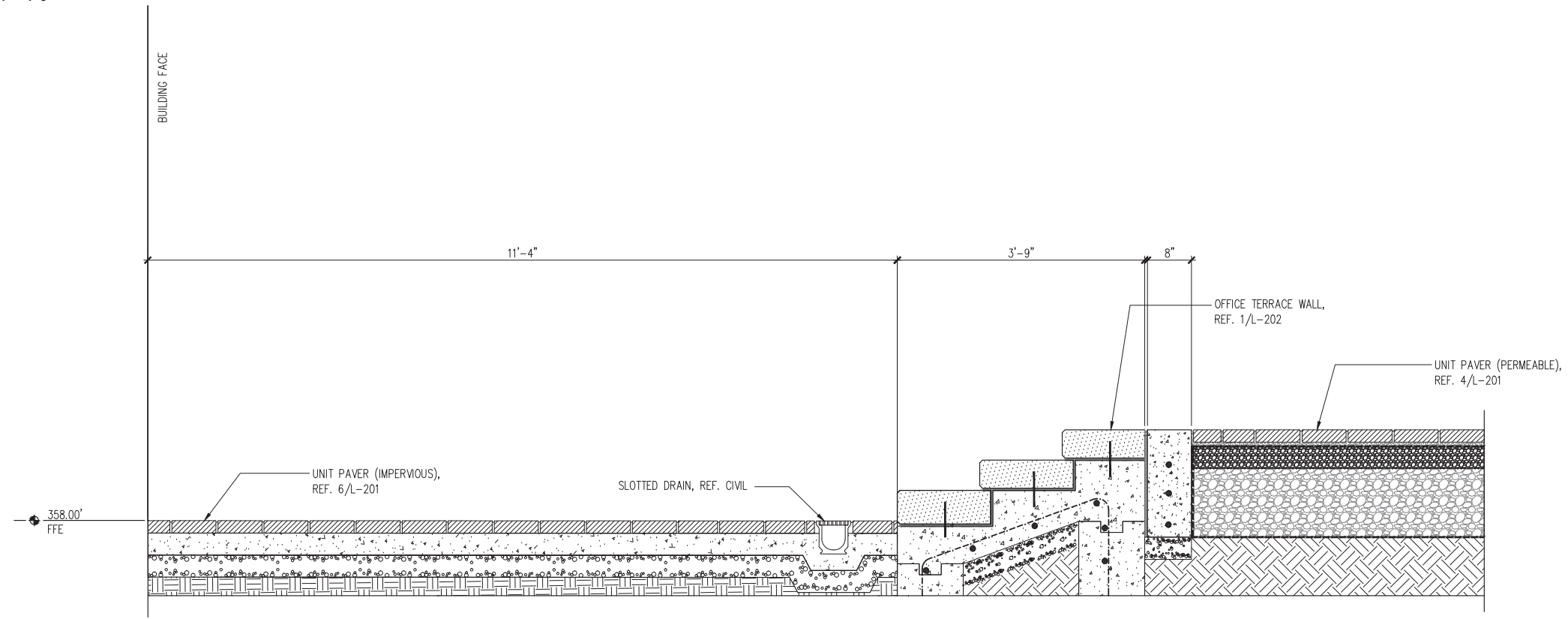
Chief, Division of Land Development: _____ Date: _____

Chief, Development Engineering Division: _____ Date: _____

DESIGN COLLECTIVE ARCHITECTURE, PLANNING, INTERIORS WWW.DESIGNCOLLECTIVE.COM 601 EAST PRATT STREET, SUITE 300 BALTIMORE, MARYLAND 21202 T: 410.685.6655 F: 410.539.6242	6/27/2016	ADDITIONAL SHEET	MM	AD	OWNER/PREPARED FOR: THE HOWARD HUGHES CORPORATION 10480 LITTLE PATUENT PARKWAY SUITE 400 COLUMBIA, MD 21044 ATTN: MR. ROBERT JENKINS (410) 964-4800	CORNER PLAZA - DETAILS DOWNTOWN COLUMBIA CRESCENT NEIGHBORHOOD PARCELS A-1, A-2, & A-3, AND PARCEL E MIXED USE GREEN OFFICE, RETAIL AND RESTAURANT BUILDINGS AND TEMPORARY PARKING LOT (PART OF TAX PARCEL 527); PLAT No. _____ ELECTION DISTRICT No. 5	SCALE AS SHOWN	ZONING NT	G. L. W. FILE No. 15019
	DES.	DRN.	CHK.	DATE	REVISION	BY	APP'R.	DATE JUNE, 2016	TAX MAP - GRID 36 - 01



1 RESTAURANT TERRACE - 1 @ BUILDING A
1" = 1'-0"



2 RESTAURANT TERRACE - 2 @ BUILDING A
1" = 1'-0"

CERTIFICATION NOTE:
I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL FOR NEW TOWN ALTERNATIVE COMPLIANCE AND THE CRESCENT NEIGHBORHOOD DESIGN GUIDELINES. I/WE FURTHER CERTIFY THAT UPON COMPLETION A LETTER OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

DEVELOPER'S/OWNER'S NAME

DEVELOPER'S/OWNER'S NAME

PURPOSE NOTE: THIS SHEET HAS BEEN ADDED AS A RESULT OF THE EXPANSION OF THE BUILDING "B" FOOTPRINT AND DESIGN"

L-210

APPROVED
PLANNING BOARD OF HOWARD COUNTY
Date: _____

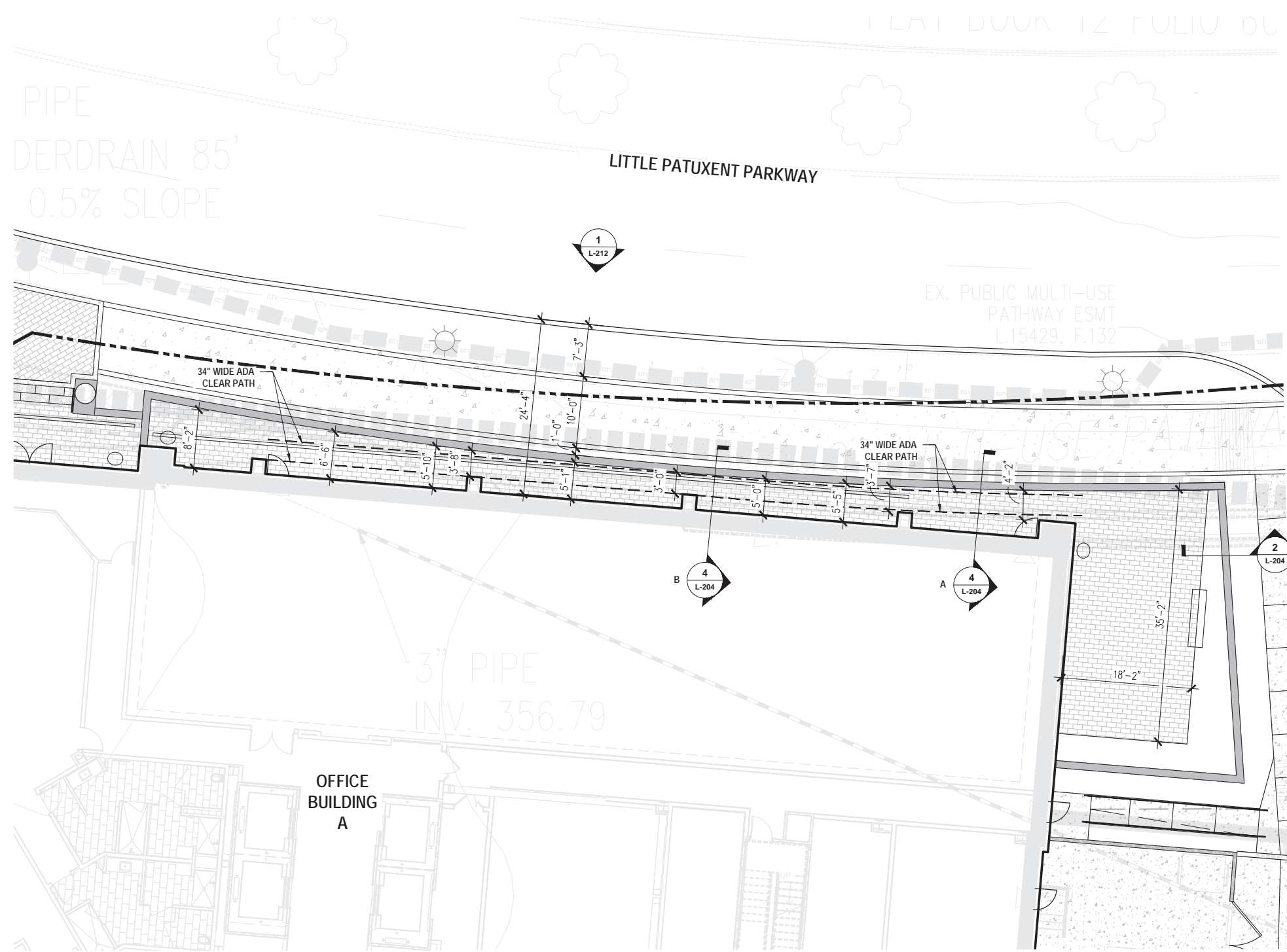
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
Director _____ Date _____
Chief, Division of Land Development _____ Date _____
Chief, Development Engineering Division _____ Date _____

DESIGN COLLECTIVE	6/27/2016	ADDITIONAL SHEET	MM	AD
ARCHITECTURE, PLANNING, INTERIORS WWW.DESIGNCOLLECTIVE.COM	601 EAST PRATT STREET, SUITE 300 BALTIMORE, MARYLAND 21202 T: 410.685.6655 F: 410.539.6242			
DES.	DRN.	CHK.	DATE	REVISION
				BY
				APP'R.

OWNER/PREPARED FOR:	
THE HOWARD HUGHES CORPORATION 10480 LITTLE PATUXENT PARKWAY SUITE 400 COLUMBIA, MD 21044 ATTN: MR. ROBERT JENKINS (410) 964-4800	

RESTAURANT TERRACE - SECTIONS	
DOWNTOWN COLUMBIA CRESCENT NEIGHBORHOOD PARCELS A-1, A-2, & A-3, AND PARCEL E MIXED USE GREEN OFFICE, RETAIL AND RESTAURANT BUILDINGS AND TEMPORARY PARKING LOT (PART OF TAX PARCEL 527); PLAT No. _____	
ELECTION DISTRICT No. 5	HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	NT	15019
DATE	TAX MAP - GRID	SHEET
JUNE, 2016	36 - 01	35 OF 58



1 OFFICE TERRACE ENLARGEMENT PLAN - @ BUILDING A
1/4"=1'-0"

REF. L-101A FOR MATERIALS

CERTIFICATION NOTE:
I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL FOR NEW TOWN ALTERNATIVE COMPLIANCE AND THE CRESCENT NEIGHBORHOOD DESIGN GUIDELINES. I/WE FURTHER CERTIFY THAT UPON COMPLETION A LETTER OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

DEVELOPER'S/OWNER'S NAME

DEVELOPER'S/OWNER'S NAME

PURPOSE NOTE: THIS SHEET HAS BEEN ADDED AS A RESULT OF THE EXPANSION OF THE BUILDING 'B' FOOTPRINT AND DESIGN"



L-211

APPROVED
PLANNING BOARD OF HOWARD COUNTY
Date: _____

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
Director _____ Date _____
Chief, Division of Land Development _____ Date _____
Chief, Development Engineering Division _____ Date _____

DESIGN COLLECTIVE
ARCHITECTURE, PLANNING, INTERIORS
WWW.DESIGNCOLLECTIVE.COM
601 EAST PRATT STREET, SUITE 300
BALTIMORE, MARYLAND 21202
T: 410.685.6655 F: 410.539.6242

DES.	DRN.	CHK.	DATE	REVISION	BY	APP'R.

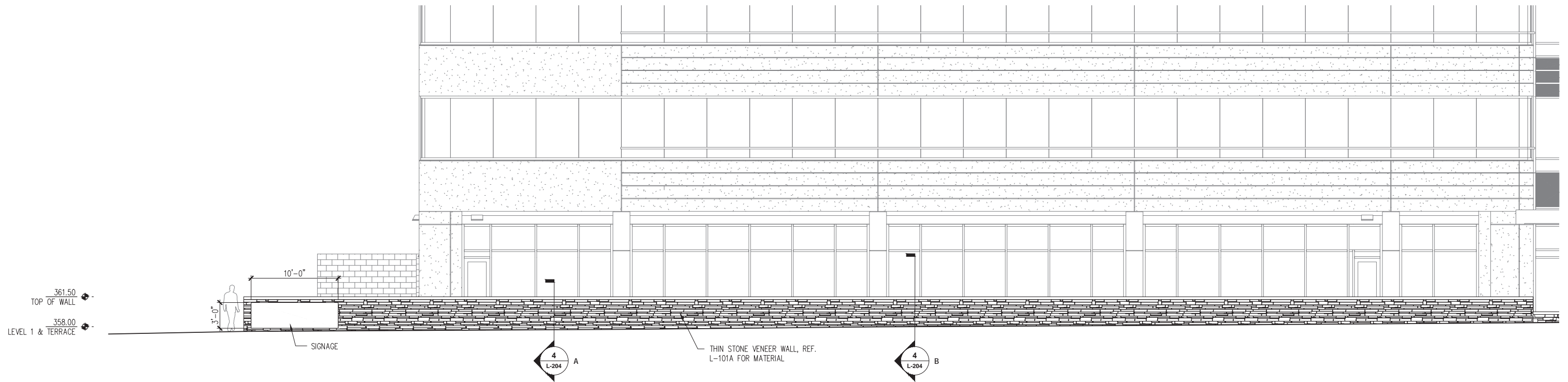
DATE	REVISION	BY	APP'R.
6/27/2016	ADDITIONAL SHEET	MM	AD

OWNER/PREPARED FOR:
THE HOWARD HUGHES CORPORATION
10480 LITTLE PATUXENT PARKWAY
SUITE 400
COLUMBIA, MD 21044
ATTN: MR. ROBERT JENKINS
(410) 964-4800

OFFICE TERRACE - PLAN
DOWNTOWN COLUMBIA
CRESCENT NEIGHBORHOOD
PARCELS A-1, A-2, & A-3, AND PARCEL E
MIXED USE GREEN OFFICE, RETAIL AND RESTAURANT BUILDINGS AND TEMPORARY PARKING LOT
(PART OF TAX PARCEL 527); PLAT No. _____
ELECTION DISTRICT No. 5

HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
1/8"=1'-0"	NT	15019
DATE	TAX MAP - GRID	SHEET
JUNE, 2016	36 - 01	36 OF 58



1 PATIO TERRACE - ELEVATION @ BUILDING A
3/16" = 1'-0"

CERTIFICATION NOTE:
I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL FOR NEW TOWN ALTERNATIVE COMPLIANCE AND THE CRESCENT NEIGHBORHOOD DESIGN GUIDELINES. I/WE FURTHER CERTIFY THAT UPON COMPLETION A LETTER OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

DEVELOPER'S/OWNER'S NAME

DEVELOPER'S/OWNER'S NAME

PURPOSE NOTE: THIS SHEET HAS BEEN ADDED AS A RESULT OF THE EXPANSION OF THE BUILDING "B" FOOTPRINT AND DESIGN"

L-212

APPROVED
PLANNING BOARD OF HOWARD COUNTY

Date: _____

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director: _____ Date: _____

Chief, Division of Land Development: _____ Date: _____

Chief, Development Engineering Division: _____ Date: _____

DESIGN COLLECTIVE
ARCHITECTURE, PLANNING, INTERIORS
WWW.DESIGNCOLLECTIVE.COM

601 EAST PRATT STREET, SUITE 300
BALTIMORE, MARYLAND 21202
T: 410.685.6655 F: 410.539.6242

DES.	DRN.	CHK.

DATE	REVISION	BY	APP'R.
6/27/2016	ADDITIONAL SHEET	MM	AD

OWNER/PREPARED FOR:
THE HOWARD HUGHES CORPORATION
10480 LITTLE PATUXENT PARKWAY
SUITE 400
COLUMBIA, MD 21044
ATTN: MR. ROBERT JENKINS
(410) 964-4800

OFFICE TERRACE - NORTH ELEVATION

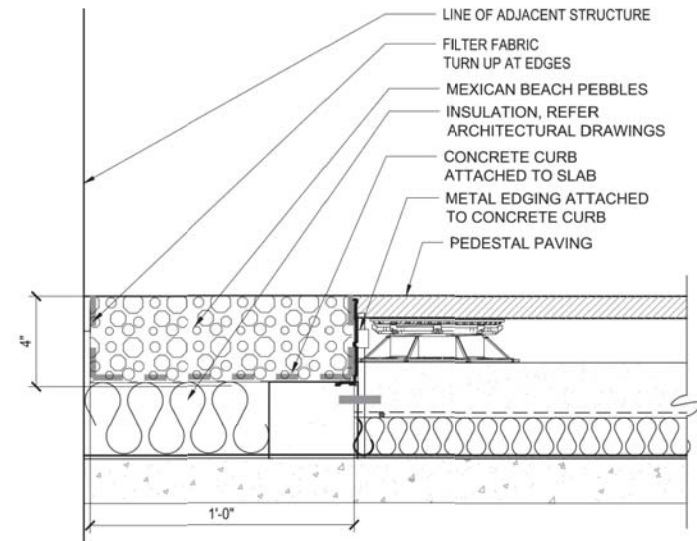
DOWNTOWN COLUMBIA
CRESCENT NEIGHBORHOOD

PARCELS A-1, A-2, & A-3, AND PARCEL E
MIXED USE GREEN OFFICE, RETAIL AND RESTAURANT BUILDINGS AND TEMPORARY PARKING LOT
(PART OF TAX PARCEL 527); PLAT No. _____

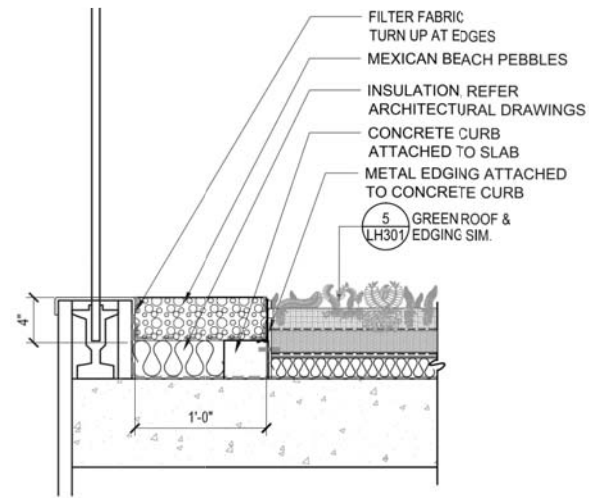
ELECTION DISTRICT No. 5

HOWARD COUNTY, MARYLAND

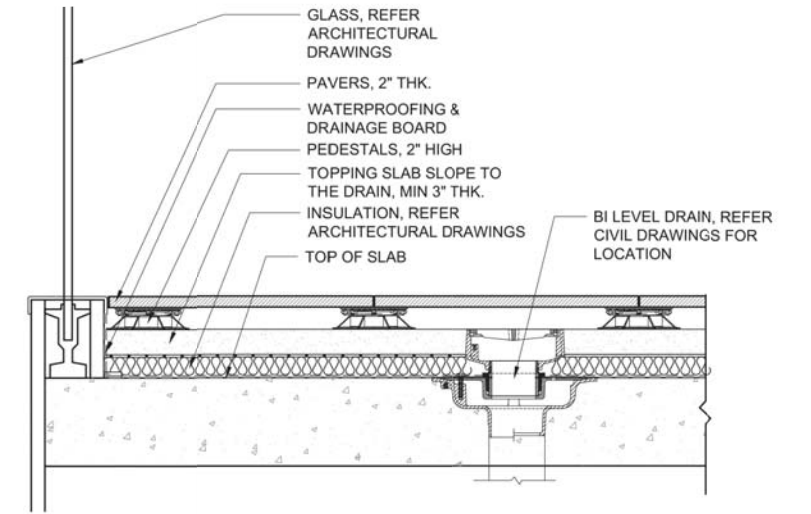
SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	NT	15019
DATE	TAX MAP - GRID	SHEET
JUNE, 2016	36 - 01	37 OF 58



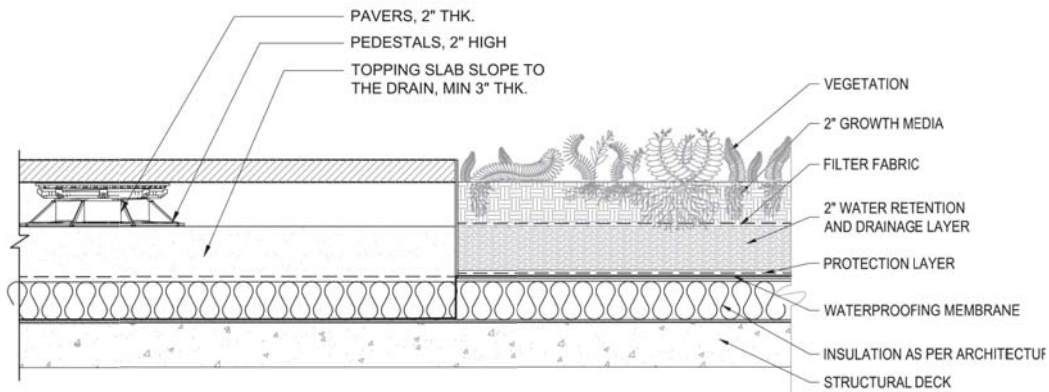
1 BUILDING EDGE DETAIL @ BUILDING B TERRACE
3" = 1'-0"



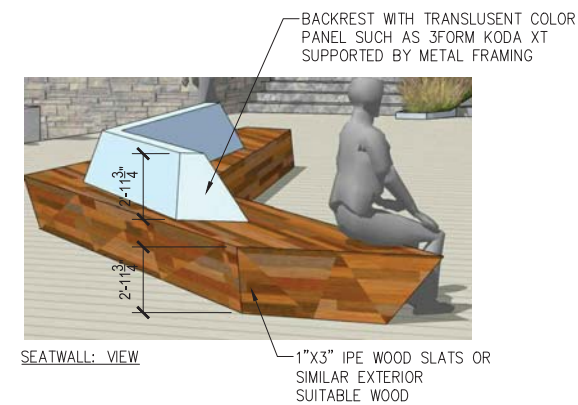
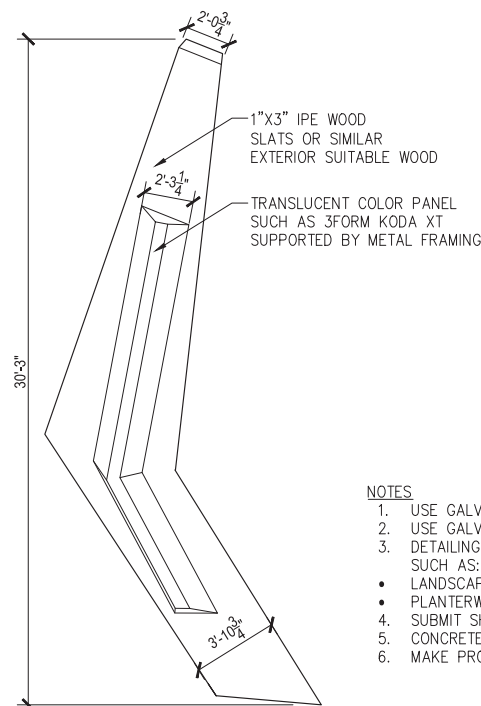
2 EDGE DETAIL @ BUILDING B TERRACE
1-1/2" = 1'-0"



3 HANDRAIL EDGE DETAIL @ BUILDING B TERRACE
1-1/2" = 1'-0"



4 GREEN ROOF & EDGING @ BUILDING B TERRACE
3" = 1'-0"



- NOTES**
- USE GALVANIZED STEEL SECTION FOR ALL METAL FRAMING.
 - USE GALVANIZED STEEL HARDWARE FOR ALL CONNECTIONS
 - DETAILING BUILT PIECE FROM MANUFACTURERS SUCH AS:
 - LANDSCAPE FORMS
 - PLANTERWORK
 - SUBMIT SHOP DRAWINGS FOR REVIEW AND APPROVAL
 - CONCRETE FOUNDATION TO SUPPORT STEEL FRAMEWORK
 - MAKE PROVISION FOR LIGHTING INSIDE THE BACKREST

CERTIFICATION NOTE:
I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL FOR NEW TOWN ALTERNATIVE COMPLIANCE AND THE CRESCENT NEIGHBORHOOD DESIGN GUIDELINES. I/WE FURTHER CERTIFY THAT UPON COMPLETION A LETTER OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

DEVELOPER'S/OWNER'S NAME

DEVELOPER'S/OWNER'S NAME

5 SEATWALL @ LOWER PLAZA
1/4" = 1'-0"

PURPOSE NOTE: THIS SHEET HAS BEEN ADDED AS A RESULT OF THE EXPANSION OF THE BUILDING "B" FOOTPRINT AND DESIGN"

L-213

APPROVED PLANNING BOARD OF HOWARD COUNTY	
Date:	_____
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING	
Director	Date
Chief, Division of Land Development	Date
Chief, Development Engineering Division	Date

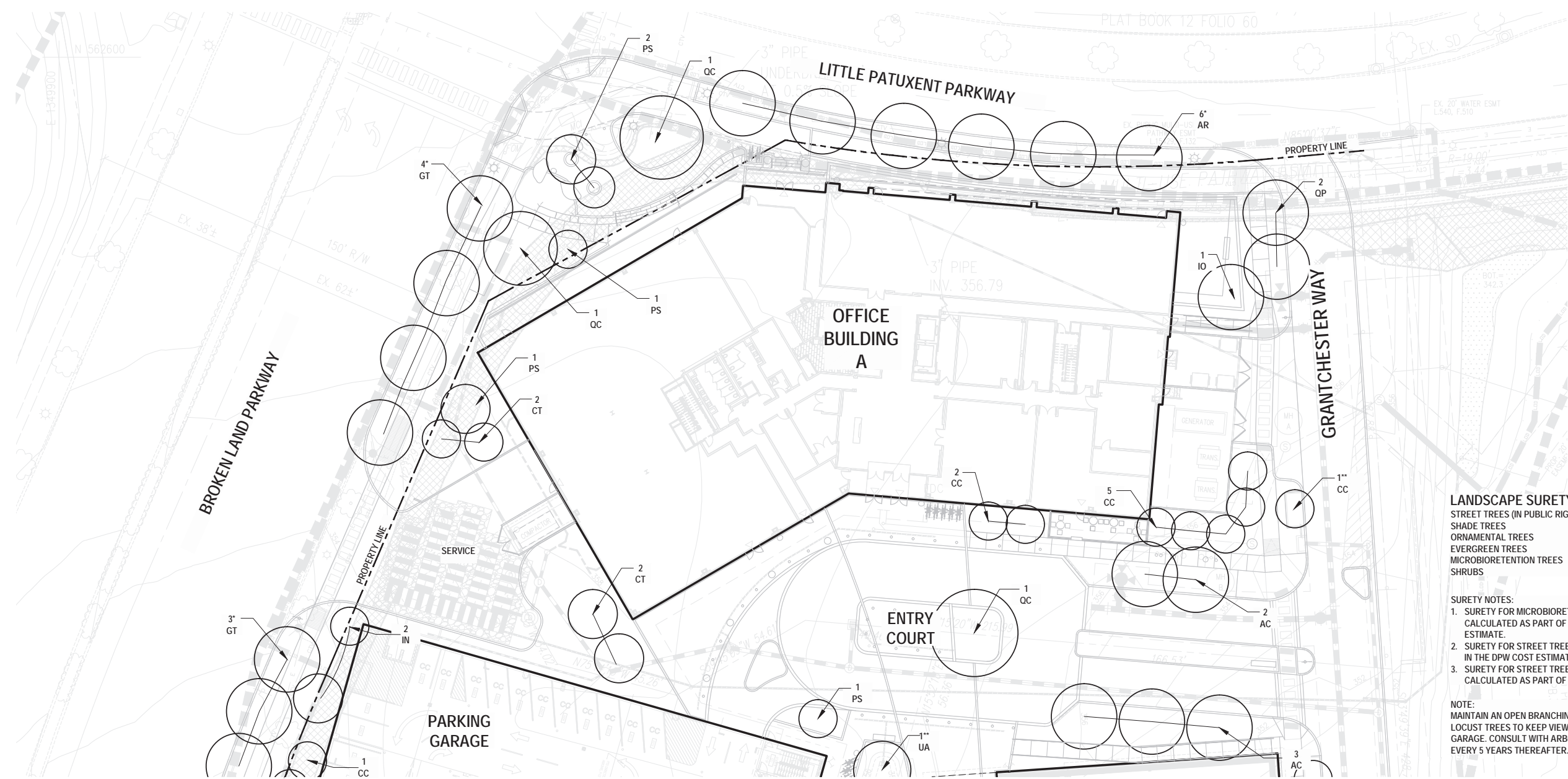
DESIGN COLLECTIVE			
ARCHITECTURE, PLANNING, INTERIORS			
601 EAST PRATT STREET, SUITE 300			
BALTIMORE, MARYLAND 21202			
WWW.DESIGNCOLLECTIVE.COM			
T: 410.685.6655 F: 410.539.6242			
DES.	DRN.	CHK.	
DATE	REVISION	BY	APP'R.

6/27/2016	ADDITIONAL SHEET	MM	AD

OWNER/PREPARED FOR:
THE HOWARD HUGHES CORPORATION
10480 LITTLE PATUXENT PARKWAY
SUITE 400
COLUMBIA, MD 21044
ATTN: MR. ROBERT JENKINS
(410) 964-4800

ROOF TERRACE - DETAILS
DOWNTOWN COLUMBIA
CRESCENT NEIGHBORHOOD
PARCELS A-1, A-2, & A-3, AND PARCEL E
MIXED USE GREEN OFFICE, RETAIL AND RESTAURANT BUILDINGS AND TEMPORARY PARKING LOT
(PART OF TAX PARCEL 527); PLAT No. _____
ELECTION DISTRICT No. 5

SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	NT	15019
DATE	TAX MAP - GRID	SHEET
JUNE, 2016	36 - 01	38 OF 58



LANDSCAPE SURETY QUANTITIES

STREET TREES (IN PUBLIC RIGHT-OF-WAY)	20
SHADE TREES	10
ORNAMENTAL TREES	24
EVERGREEN TREES	12
MICROBIORETENTION TREES	24
SHRUBS	179

- SURETY NOTES:**
- SURETY FOR MICROBIORETENTION PLANTING WILL BE CALCULATED AS PART OF STORMWATER MANAGEMENT COST ESTIMATE.
 - SURETY FOR STREET TREES ON PUBLIC ROADS IS INCLUDED IN THE DPW COST ESTIMATE.
 - SURETY FOR STREET TREES ON PRIVATE ROADS SHOULD BE CALCULATED AS PART OF THE DPZ COST ESTIMATE.
- NOTE:**
MAINTAIN AN OPEN BRANCHING CANOPY STRUCTURE ON HONEY LOCUST TREES TO KEEP VIEWS OPEN TO ART ON PARKING GARAGE. CONSULT WITH ARBORIST FOR INITIAL PRUNING AND EVERY 5 YEARS THEREAFTER.

TREE LIST

STREET TREES (*)

Qty.	Key	Name	Size	Root
6	AR	Acer rubrum 'October Glory' October Glory Red Maple	3" Cal.	B&B
14	GT	Gleditsia triacanthos inermis 'Shademaster' Shademaster Honey Locust	4" Cal.	B&B

SHADE/FLOWERING/EVERGREEN TREES

Qty.	Key	Name	Size	Root
5	AC	Aesculus x carnea Red Horse Chestnut	3" Cal.	B&B
13	CC	Cercis canadensis Eastern Redbud	16' Ht.	B&B
4	CF	Cornus florida 'Cherokee Princess' Cherokee Princess Dogwood	16' Ht.	B&B
4	CT	Chamaecyparis thyoides Atlantic White Cedar	12' Ht.	B&B
1	IO	Ilex opaca American Holly	4" Cal.	B&B
7	IN	Ilex x 'Nellie R Stevens' Nellie Stevens Holly	14' Ht.	B&B
7	PS	Prunus serrulata 'Kwanzan' Kwanzan Cherry	16' Ht.	B&B
3	QC	Quercus coccinea Scarlet Oak	5" Cal.	B&B
2	QP	Quercus phellos Willow Oak	3" Cal.	B&B

MICRO-BIORETENTION TREES ()**

Qty.	Key	Name	Size	Root	Comments
7	BN	Betula nigra 'Cully' Heritage River Birch	3" Cal.	B&B	Single stem
3	CT	Chamaecyparis thyoides Atlantic White Cedar	12' Ht.	B&B	Multi-Stem
2	CC	Cercis canadensis Eastern Redbud	16' Ht.	B&B	
1	IO	Ilex opaca American Holly	4" Cal.	B&B	
5	MV	Magnolia virginiana Sweetbay Mangolia	16' Ht.	B&B	
3	NS	Nyssa sylvatica Black Tupelo	4" Cal.	B&B	
2	UA	Ulmus americana 'Princeton' Princeton Elm	5" Cal.	B&B	
1	AR	Acer rubrum Red Maple	5" Cal.	B&B	

CERTIFICATION NOTE:
I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL FOR NEW TOWN ALTERNATIVE COMPLIANCE AND THE CRESCENT NEIGHBORHOOD DESIGN GUIDELINES. I/WE FURTHER CERTIFY THAT UPON COMPLETION A LETTER OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

DEVELOPER'S/OWNER'S NAME

DEVELOPER'S/OWNER'S NAME

APPROVED
PLANNING BOARD OF HOWARD COUNTY

Date: _____

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director _____ Date _____
Chief, Division of Land Development _____ Date _____
Chief, Development Engineering Division _____ Date _____

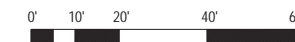
DESIGN COLLECTIVE
ARCHITECTURE, PLANNING, INTERIORS
WWW.DESIGNCOLLECTIVE.COM
601 EAST PRATT STREET, SUITE 300
BALTIMORE, MARYLAND 21202
T: 410.685.6655 F: 410.539.6242

DATE	REVISION	BY	APP'R.
6/27/2016	REVISIONS TO BUILDING B & SURROUNDING AREA	MM	AD

OWNER/PREPARED FOR:
THE HOWARD HUGHES CORPORATION
10480 LITTLE PATUXENT PARKWAY
SUITE 400
COLUMBIA, MD 21044
ATTN: MR. ROBERT JENKINS
(410) 964-4800

REVISED TREE PLAN A

DOWNTOWN COLUMBIA
CRESCENT NEIGHBORHOOD
PARCELS A-1, A-2, & A-3, AND PARCEL E
MIXED USE GREEN OFFICE, RETAIL AND RESTAURANT BUILDINGS AND TEMPORARY PARKING LOT
(PART OF TAX PARCEL 527); PLAT No.
ELECTION DISTRICT No. 5

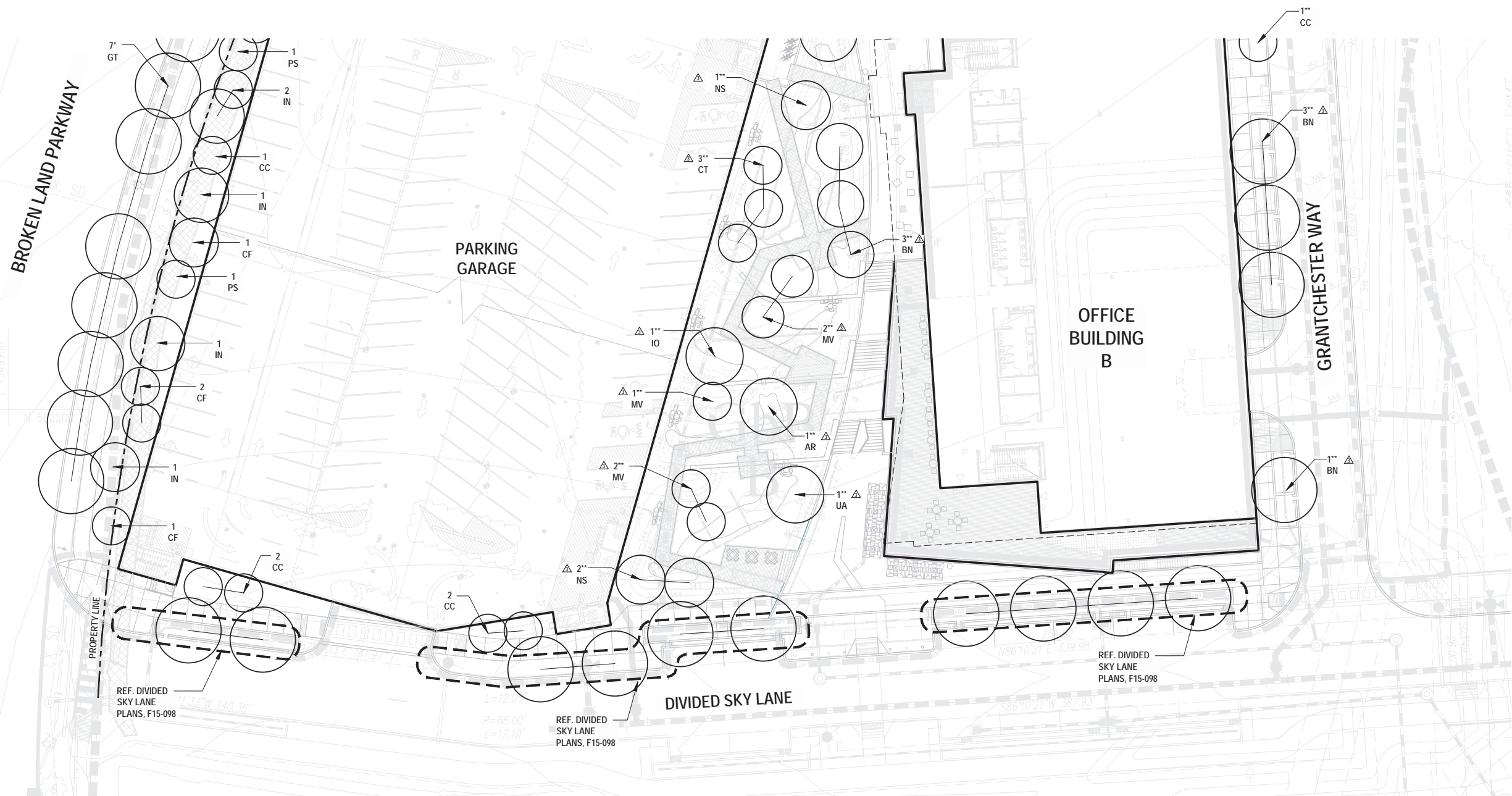


PURPOSE NOTE: THE REVISIONS MADE TO THIS SHEET REFLECT CHANGES RESULTING FROM THE EXPANSION OF THE BUILDING 'B' FOOTPRINT AND DESIGN. THIS PLAN SUPERCEDES THE PLAN SIGNED ON 12/18/2015.



L-301A

SCALE	ZONING	G. L. W. FILE No.
1"=20'	NT	15019
DATE	TAX MAP - GRID	SHEET
JUNE, 2016	36 - 01	39 OF 58



TREE LIST

STREET TREES (*)

Qty.	Key	Name	Size	Root
6	AR	Acer rubrum 'October Glory' October Glory Red Maple	3" Cal.	B&B
14	GT	Gleditsia triacanthos inermis 'Shademaster' Shademaster Honey Locust	4" Cal.	B&B

SHADE/FLOWERING/EVERGREEN TREES

Qty.	Key	Name	Size	Root
5	AC	Aesculus x carnea Red Horse Chestnut	3" Cal.	B&B
13	CC	Cercis canadensis Eastern Redbud	16' Ht.	B&B
4	CF	Cornus florida 'Cherokee Princess' Cherokee Princess Dogwood	16' Ht.	B&B
4	CT	Chamaecyparis thyoides Atlantic White Cedar	12' Ht.	B&B
1	IO	Ilex opaca American Holly	4" Cal.	B&B
7	IN	Ilex x 'Nellie R Stevens' Nellie Stevens Holly	14' Ht.	B&B
7	PS	Prunus serrulata 'Kwanzan' Kwanzan Cherry	16' Ht.	B&B
3	QC	Quercus coccinea Scarlet Oak	5" Cal.	B&B
2	QP	Quercus phellos Willow Oak	3" Cal.	B&B

MICRO-BIORETENTION TREES ()**

Qty.	Key	Name	Size	Root	Comments
7	BN	Betula nigra 'Cully' Heritage River Birch	3" Cal.	B&B	Single stem
3	CT	Chamaecyparis thyoides Atlantic White Cedar	12' Ht.	B&B	Multi-Stem
2	CC	Cercis canadensis Eastern Redbud	16' Ht.	B&B	
1	IO	Ilex opaca American Holly	4" Cal.	B&B	
5	MV	Magnolia virginiana Sweetbay Mangolia	16' Ht.	B&B	
3	NS	Nyssa sylvatica Black Tupelo	4" Cal.	B&B	
2	UA	Ulmus americana 'Princeton' Princeton Elm	5" Cal.	B&B	
1	AR	Acer rubrum Red Maple	5" Cal.	B&B	

CERTIFICATION NOTE:
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DEVELOPER'S/OWNER'S NAME

DEVELOPER'S/OWNER'S NAME

APPROVED
PLANNING BOARD OF HOWARD COUNTY
Date: _____

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
Director _____ Date _____
Chief, Division of Land Development _____ Date _____
Chief, Development Engineering Division _____ Date _____



PURPOSE NOTE: THE REVISIONS MADE TO THIS SHEET REFLECT CHANGES RESULTING FROM THE EXPANSION OF THE BUILDING 'B' FOOTPRINT AND DESIGN. THIS PLAN SUPERCEDES THE PLAN SIGNED ON 12/18/2015.



L-301B

DESIGN COLLECTIVE
ARCHITECTURE, PLANNING, INTERIORS
WWW.DESIGNCOLLECTIVE.COM
601 EAST PRATT STREET, SUITE 300
BALTIMORE, MARYLAND 21202
T: 410.685.6655 F: 410.539.6242

DATE	REVISION	BY	APP'R.
6/27/2016	REVISIONS TO BUILDING B & SURROUNDING AREA	MM	AD

OWNER/PREPARED FOR:
THE HOWARD HUGHES CORPORATION
10480 LITTLE PATUXENT PARKWAY
SUITE 400
COLUMBIA, MD 21044
ATTN: MR. ROBERT JENKINS
(410) 964-4800

REVISED TREE PLAN B
DOWNTOWN COLUMBIA
CRESCENT NEIGHBORHOOD
PARCELS A-1, A-2, & A-3, AND PARCEL E
MIXED USE GREEN OFFICE, RETAIL AND RESTAURANT BUILDINGS AND TEMPORARY PARKING LOT
(PART OF TAX PARCEL 527); PLAT No. _____
ELECTION DISTRICT No. 5

SCALE	ZONING	G. L. W. FILE No.
1"=20'	NT	15019
DATE	TAX MAP - GRID	SHEET
JUNE, 2016	36 - 01	40 OF 58



LITTLE PATUXENT PARKWAY

MERRILWEATHER DRIVE
(AVENUE TYPE VARIABLE WIDTH R/W)

SHRUB LIST

Qty.	Key	Name	Size	Height	Root
179	IG	Ilex glabra Inkberry	7 Gal.	36"-42"	Cont.

CERTIFICATION NOTE:
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DEVELOPER'S/OWNER'S NAME

DEVELOPER'S/OWNER'S NAME

PURPOSE NOTE: THE REVISIONS MADE TO THIS SHEET REFLECT CHANGES RESULTING FROM THE EXPANSION OF THE BUILDING 'B' FOOTPRINT AND DESIGN. THIS PLAN SUPERCEDES THE PLAN SIGNED ON 12/18/2015.



L-302C



APPROVED
PLANNING BOARD OF HOWARD COUNTY

Date: _____

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director _____ Date _____
Chief, Division of Land Development _____ Date _____
Chief, Development Engineering Division _____ Date _____

DESIGN COLLECTIVE
ARCHITECTURE, PLANNING, INTERIORS
WWW.DESIGNCOLLECTIVE.COM
601 EAST PRATT STREET, SUITE 300
BALTIMORE, MARYLAND 21202
T: 410.685.6655 F: 410.539.6242

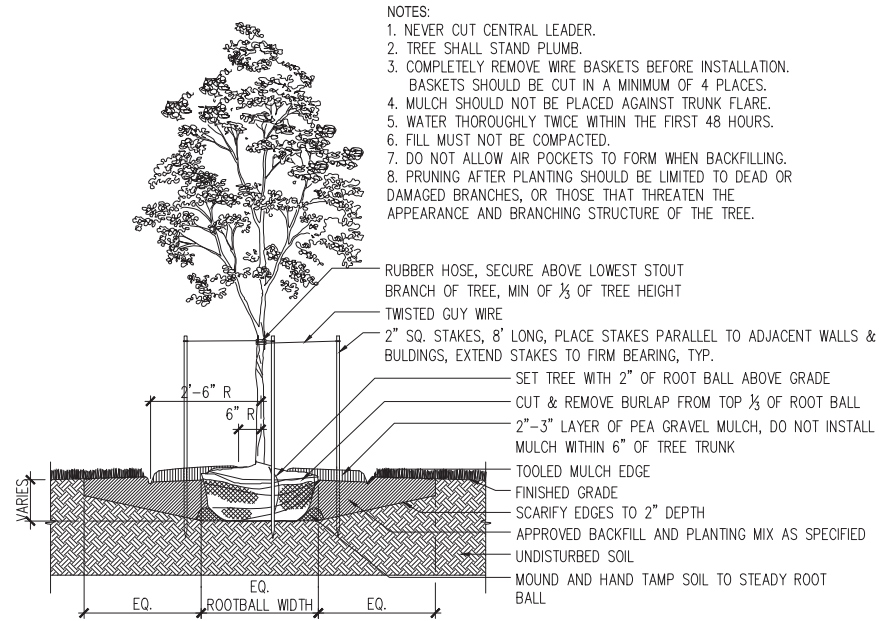
DES.	DRN.	CHK.

DATE	REVISION	BY	APP'R.
6/27/2016	REVISIONS TO BUILDING B & SURROUNDING AREA	MM	AD

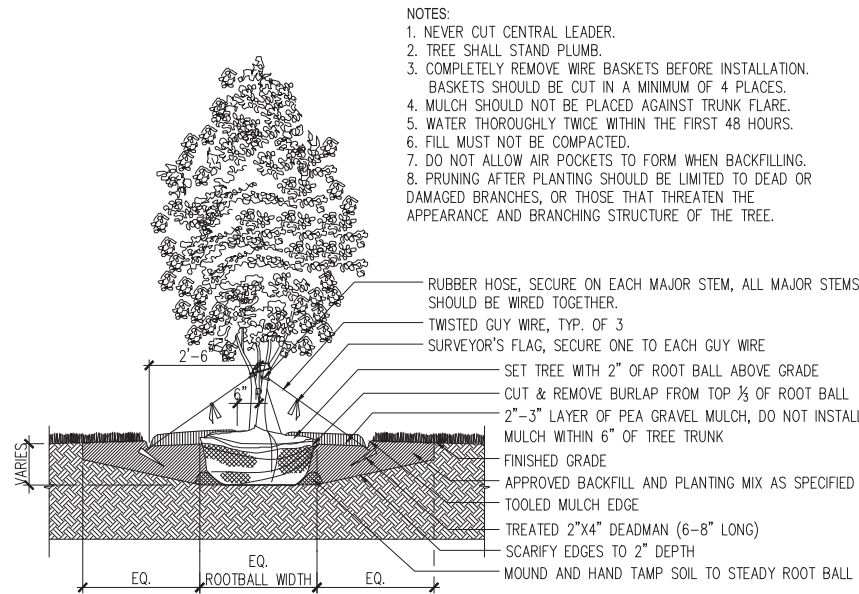
OWNER/PREPARED FOR:
THE HOWARD HUGHES CORPORATION
10480 LITTLE PATUXENT PARKWAY
SUITE 400
COLUMBIA, MD 21044
ATTN: MR. ROBERT JENKINS
(410) 964-4800

REVISED UNDERSTORY PLANTING PLAN C
DOWNTOWN COLUMBIA
CRESCENT NEIGHBORHOOD
PARCELS A-1, A-2, & A-3, AND PARCEL E
MIXED USE GREEN OFFICE, RETAIL AND RESTAURANT BUILDINGS AND TEMPORARY PARKING LOT
(PART OF TAX PARCEL 527); PLAT No. _____
ELECTION DISTRICT No. 5

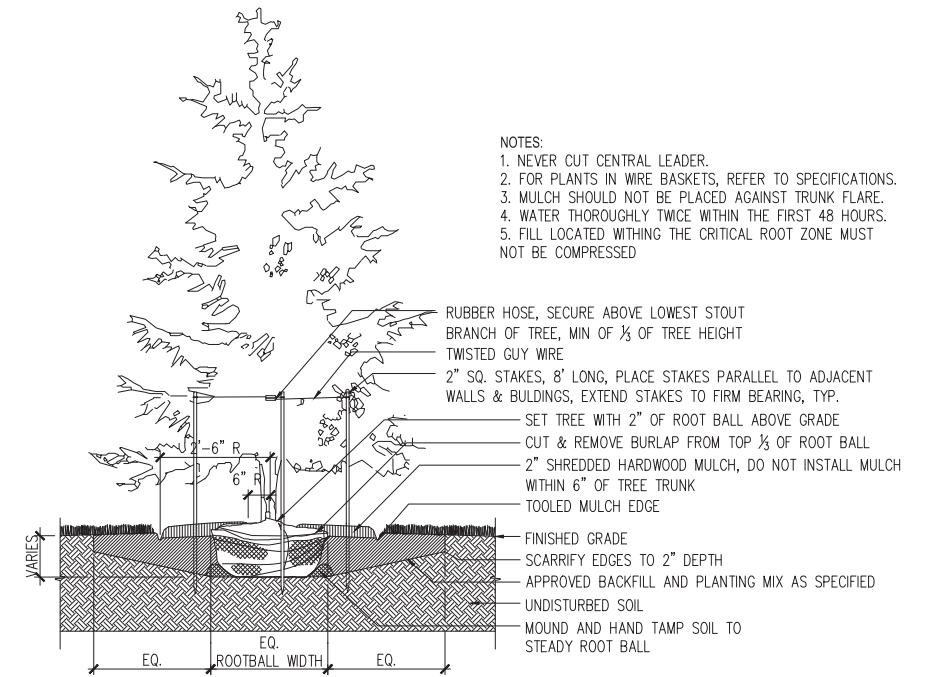
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1"=20'	NT	15019
DATE	TAX MAP - GRID	SHEET
JUNE, 2016	36 - 01	43 OF 58



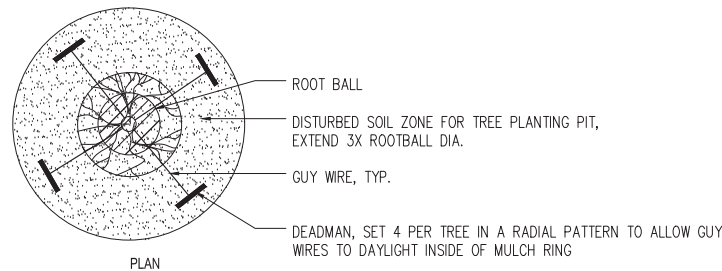
1 DECIDUOUS TREE PLANTING
 1/2" = 1'-0"



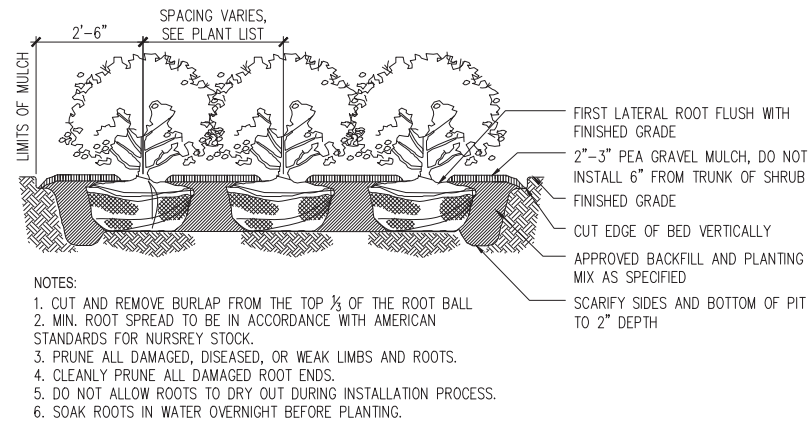
2 MULTI-STEM TREE PLANTING
 1/2" = 1'-0"



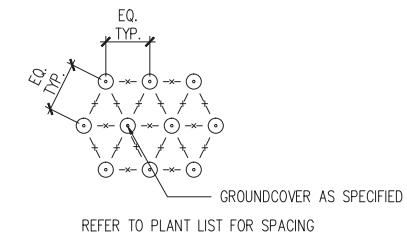
3 EVERGREEN TREE PLANTING
 1/2" = 1'-0"



4 STAKED PLAN ENLARGEMENT
 1/2" = 1'-0"



5 SHRUB PLANTING
 1/2" = 1'-0"



6 PLANT SPACING DIAGRAM
 1/2" = 1'-0"

CERTIFICATION NOTE:
 I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL FOR NEW TOWN ALTERNATIVE COMPLIANCE AND THE CRESCENT NEIGHBORHOOD DESIGN GUIDELINES. I/WE FURTHER CERTIFY THAT UPON COMPLETION A LETTER OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

DEVELOPER'S/OWNER'S NAME

 DEVELOPER'S/OWNER'S NAME

PURPOSE NOTE: THE REVISIONS MADE TO THIS SHEET REFLECT CHANGES RESULTING FROM THE EXPANSION OF THE BUILDING 'B' FOOTPRINT AND DESIGN. THIS PLAN SUPERCEDES THE PLAN SIGNED ON 12/18/2015.

L-310

APPROVED
 PLANNING BOARD OF HOWARD COUNTY
 Date: _____

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Director _____ Date _____
 Chief, Division of Land Development _____ Date _____
 Chief, Development Engineering Division _____ Date _____

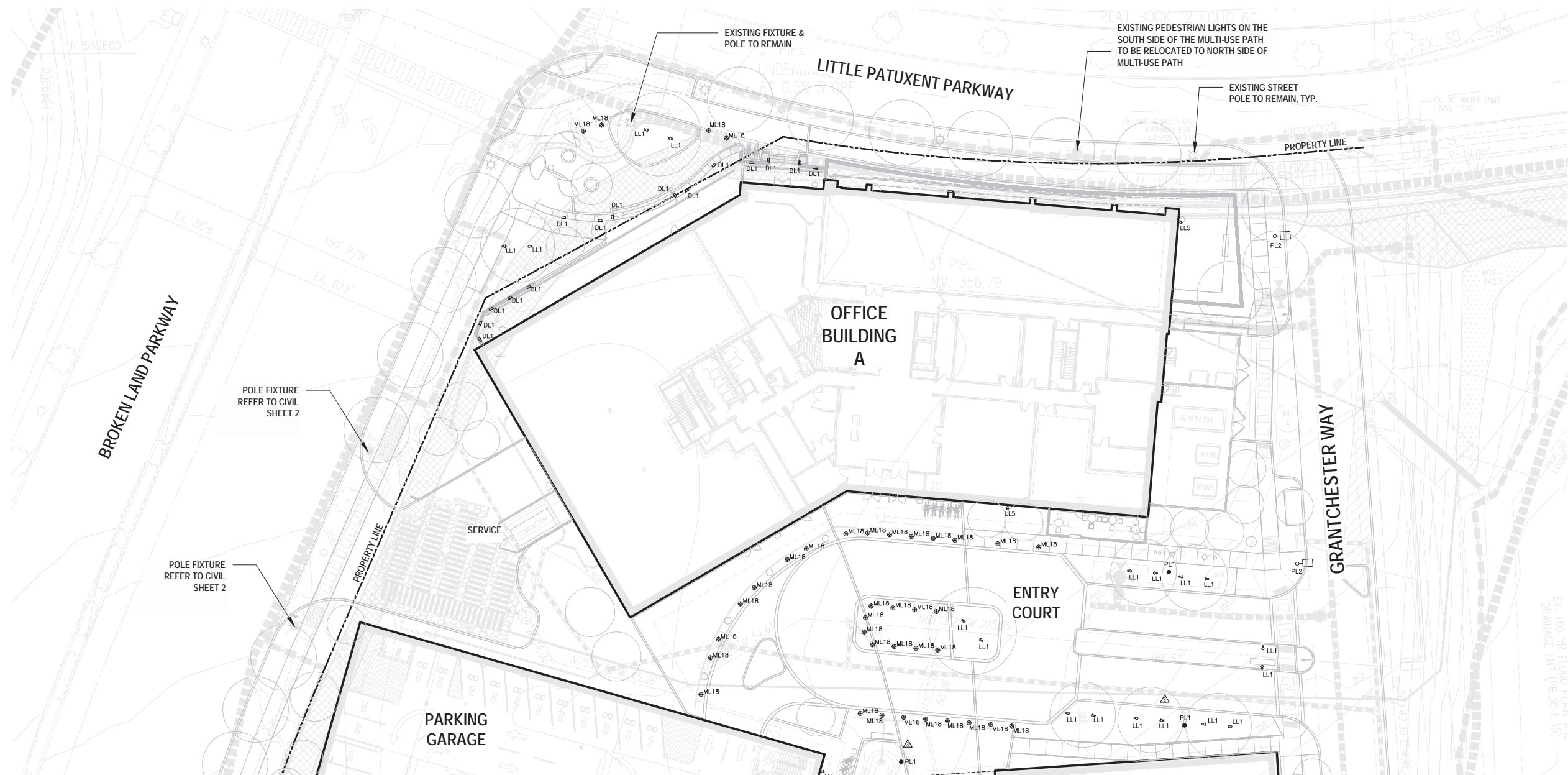
DES.	DRN.	CHK.
------	------	------

DATE	REVISION	BY	APP'R.
6/27/2016	REVISIONS TO BUILDING B & SURROUNDING AREA	MM	AD

OWNER/PREPARED FOR:
 THE HOWARD HUGHES CORPORATION
 10480 LITTLE PATUXENT PARKWAY
 SUITE 400
 COLUMBIA, MD 21044
 ATTN: MR. ROBERT JENKINS
 (410) 964-4800

REVISED PLANTING DETAILS
 DOWNTOWN COLUMBIA
 CRESCENT NEIGHBORHOOD
 PARCELS A-1, A-2, & A-3, AND PARCEL E
 MIXED USE GREEN OFFICE, RETAIL AND RESTAURANT BUILDINGS AND TEMPORARY PARKING LOT
 (PART OF TAX PARCEL 527); PLAT No. _____
 ELECTION DISTRICT No. 5

SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	NT	15019
DATE	TAX MAP - GRID	SHEET
JUNE, 2016	36 - 01	44 OF 58



APPROVED
 PLANNING BOARD OF HOWARD COUNTY
 Date: _____

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Director _____ Date _____
 Chief, Division of Land Development _____ Date _____
 Chief, Development Engineering Division _____ Date _____

DESIGN COLLECTIVE
 ARCHITECTURE, PLANNING, INTERIORS
 WWW.DESIGNCOLLECTIVE.COM
 601 EAST PRATT STREET, SUITE 300
 BALTIMORE, MARYLAND 21202
 T: 410.685.6655 F: 410.539.6242

DATE	REVISION	BY	APP'R.
1/15/2016	REVISION TO WALKWAY AND LIGHTS	JH	NB
6/27/2016	REVISIONS TO BUILDING B & SURROUNDING AREA	MM	AD

OWNER/PREPARED FOR:
 THE HOWARD HUGHES CORPORATION
 10480 LITTLE PATUXENT PARKWAY
 SUITE 400
 COLUMBIA, MD 21044
 ATTN: MR. ROBERT JENKINS
 (410) 964-4800

REVISED LIGHTING PLAN A
 DOWNTOWN COLUMBIA
 CRESCENT NEIGHBORHOOD
 PARCELS A-1, A-2, & A-3, AND PARCEL E
 MIXED USE GREEN OFFICE, RETAIL AND RESTAURANT BUILDINGS AND TEMPORARY PARKING LOT
 (PART OF TAX PARCEL 527); PLAT No. _____
 ELECTION DISTRICT No. 5

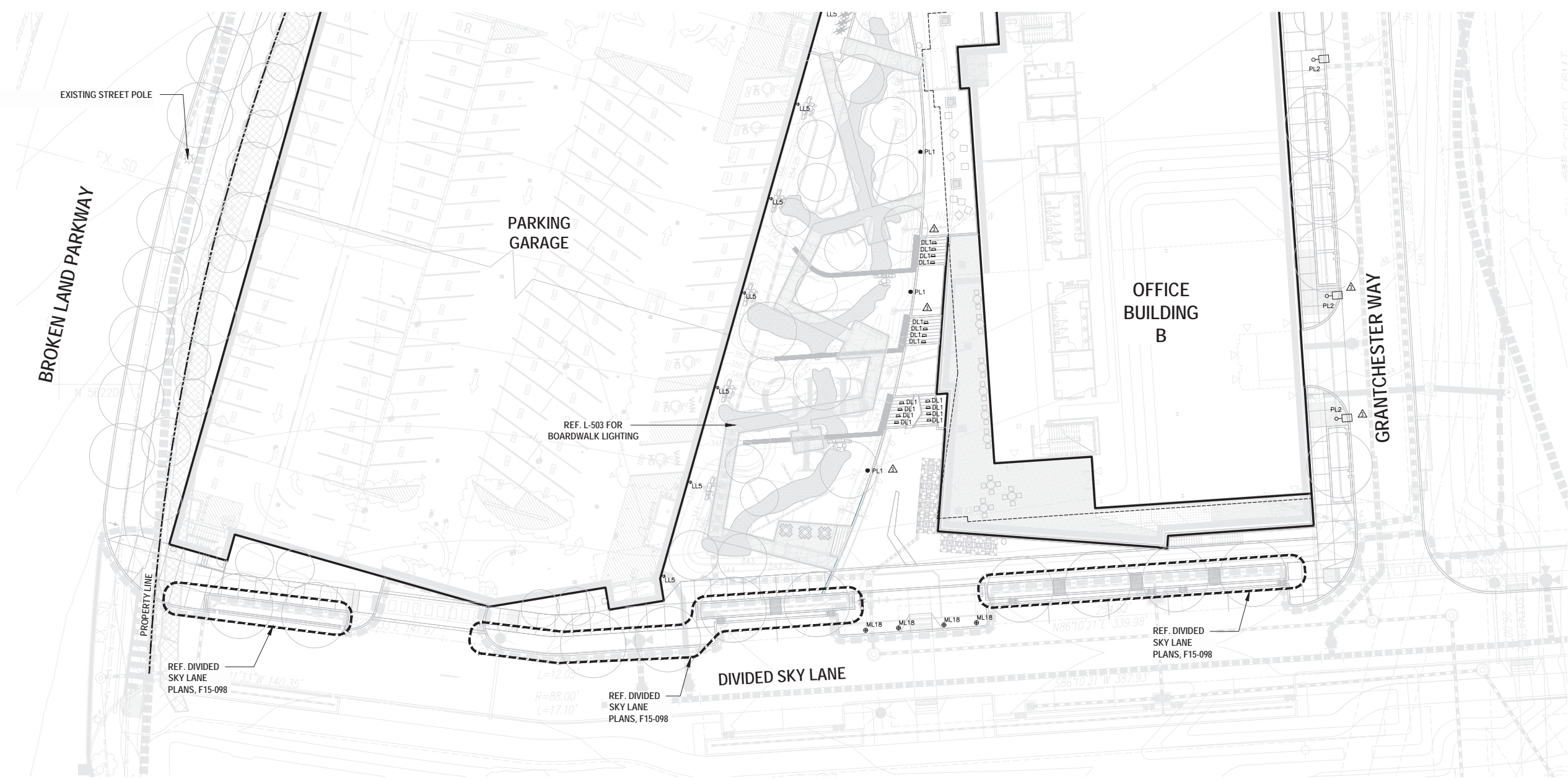
HOWARD COUNTY, MARYLAND

PURPOSE NOTE: THE REVISIONS MADE TO THIS SHEET REFLECT CHANGES RESULTING FROM THE EXPANSION OF THE BUILDING 'B' FOOTPRINT AND DESIGN. THIS PLAN SUPERCEDES THE PLAN SIGNED ON 12/18/2015.

0' 10' 20' 40' 60'

L-401A

SCALE	ZONING	G. L. W. FILE No.
1"=20'	NT	15019
DATE	TAX MAP - GRID	SHEET
JUNE, 2016	36 - 01	45 OF 58



APPROVED
PLANNING BOARD OF HOWARD COUNTY

Date: _____

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director: _____ Date: _____

Chief, Division of Land Development: _____ Date: _____

Chief, Development Engineering Division: _____ Date: _____

PURPOSE NOTE: THE REVISIONS MADE TO THIS SHEET REFLECT CHANGES RESULTING FROM THE EXPANSION OF THE BUILDING 'B' FOOTPRINT AND DESIGN. THIS PLAN SUPERCEDES THE PLAN SIGNED ON 12/18/2015.

0' 10' 20' 40' 60'

L-401B

DESIGN COLLECTIVE
ARCHITECTURE, PLANNING, INTERIORS
WWW.DESIGNCOLLECTIVE.COM

601 EAST PRATT STREET, SUITE 300
BALTIMORE, MARYLAND 21202
T: 410.685.6655 F: 410.539.6242

DATE	REVISION	BY	APP'R.
6/27/2016	REVISIONS TO BUILDING B & SURROUNDING AREA	MM	AD

OWNER/PREPARED FOR:
THE HOWARD HUGHES CORPORATION
10480 LITTLE PATUXENT PARKWAY
SUITE 400
COLUMBIA, MD 21044
ATTN: MR. ROBERT JENKINS
(410) 964-4800

REVISED LIGHTING PLAN B
DOWNTOWN COLUMBIA
CRESCENT NEIGHBORHOOD
PARCELS A-1, A-2, & A-3, AND PARCEL E
MIXED USE GREEN OFFICE, RETAIL AND RESTAURANT BUILDINGS AND TEMPORARY PARKING LOT
(PART OF TAX PARCEL 527); PLAT No. _____
ELECTION DISTRICT No. 5

SCALE
1"=20'

DATE
JUNE, 2016

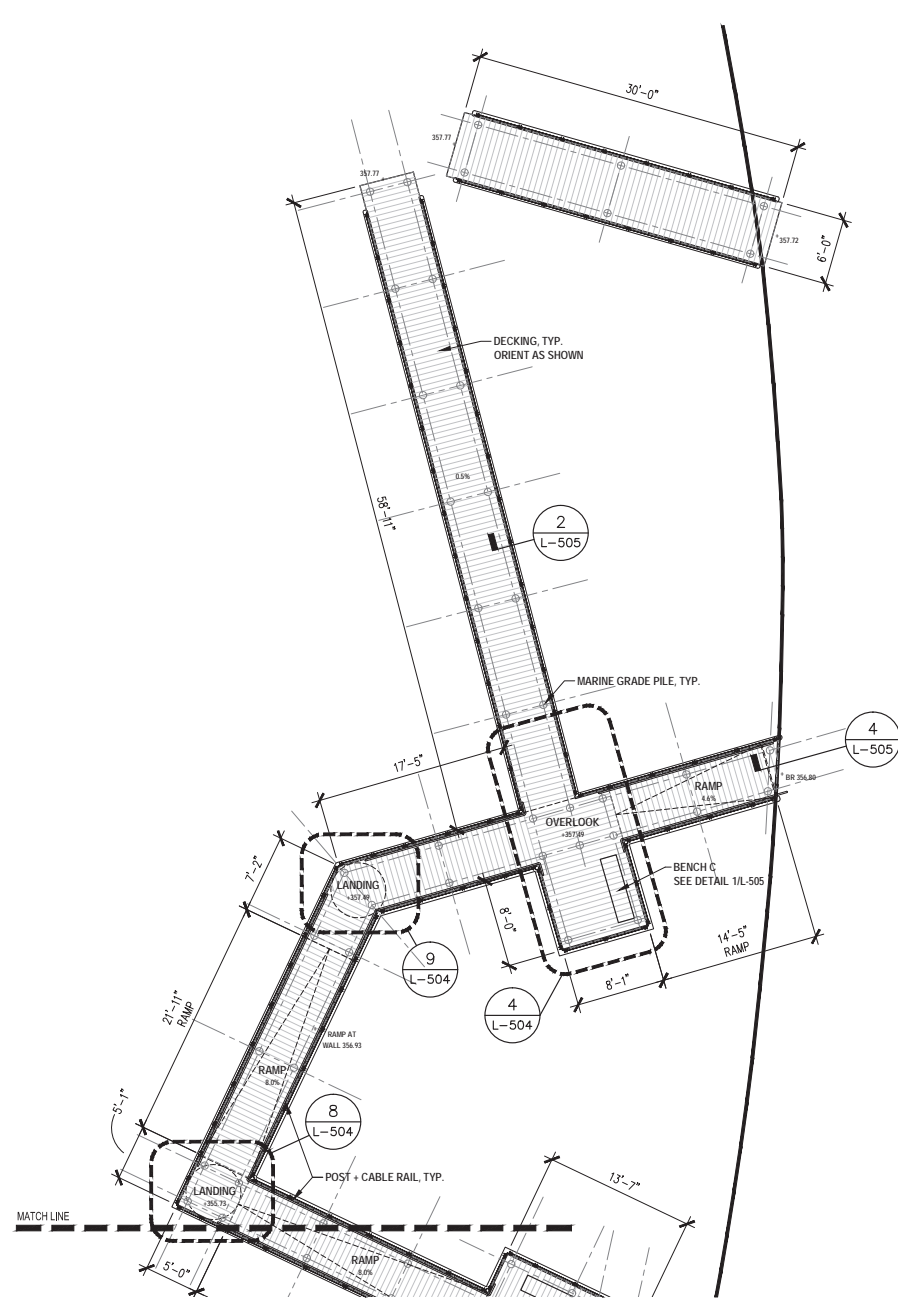
ZONING
NT

TAX MAP - GRID
36 - 01

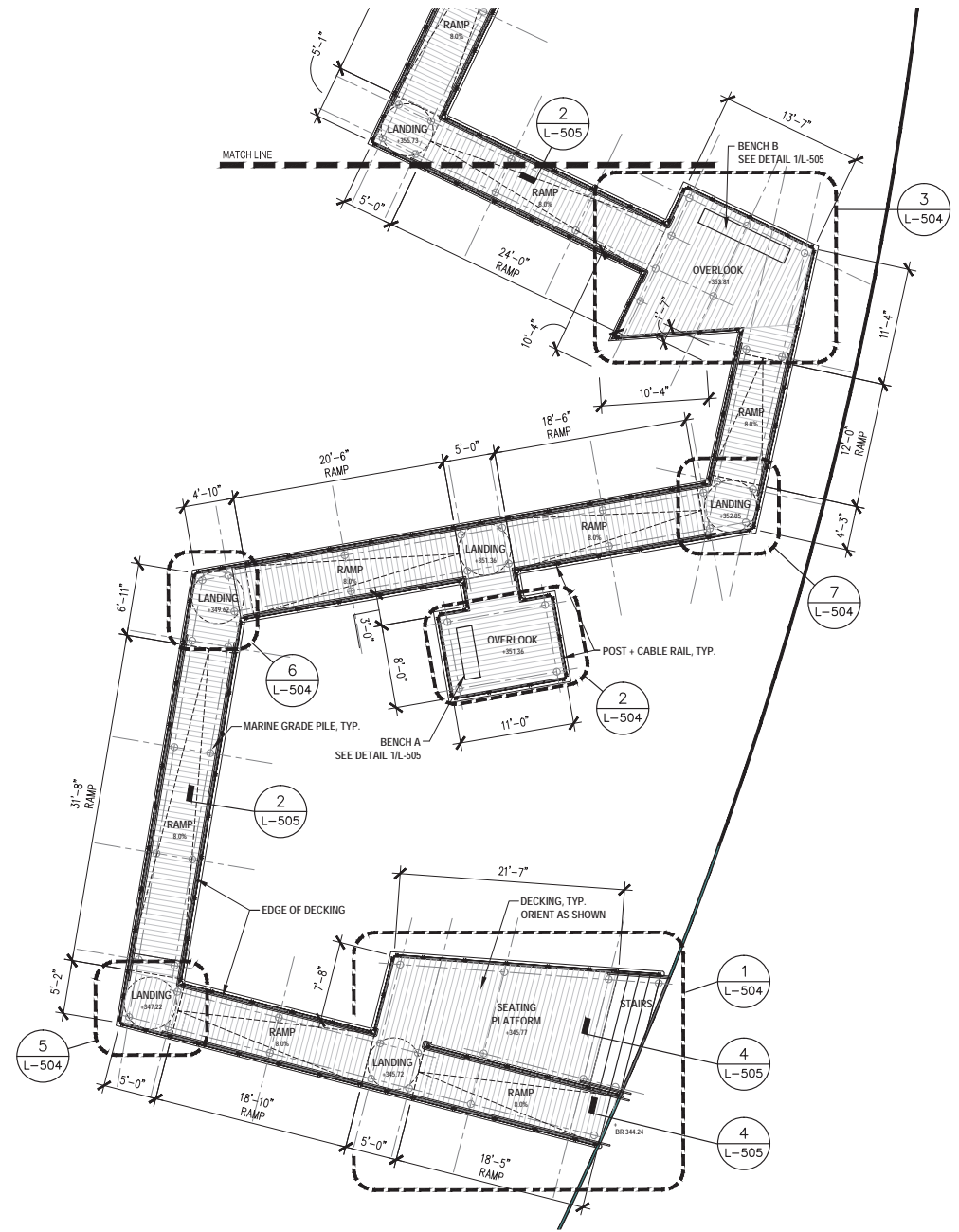
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15019

SHEET
46 OF 58

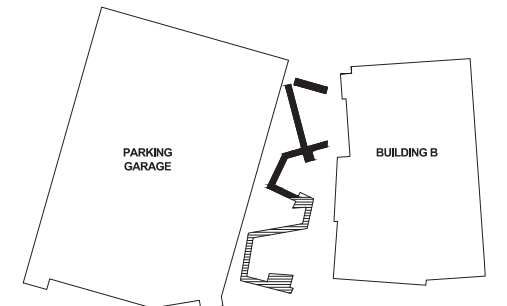
HOWARD COUNTY, MARYLAND



1 NORTH BOARDWALK PLAN
1/8" = 1'-0"



2 SOUTH BOARDWALK PLAN
1/8" = 1'-0"



KEY PLAN
 ■ NORTH BOARDWALK PLAN
 ■ SOUTH BOARDWALK PLAN

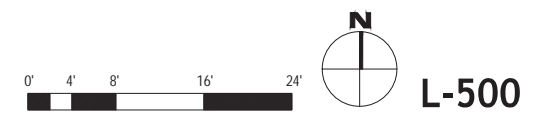
CERTIFICATION NOTE:
 I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL FOR NEW TOWN ALTERNATIVE COMPLIANCE AND THE CRESCENT NEIGHBORHOOD DESIGN GUIDELINES. I/WE FURTHER CERTIFY THAT UPON COMPLETION A LETTER OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

DEVELOPER'S/OWNER'S NAME

DEVELOPER'S/OWNER'S NAME

NOTE: REF. S101 AND S102 FOR BOARDWALK PILING AND FRAMING PLANS

PURPOSE NOTE: THIS SHEET HAS BEEN ADDED AS A RESULT OF THE EXPANSION OF THE BUILDING 'B' FOOTPRINT AND DESIGN"



L-500

APPROVED
PLANNING BOARD OF HOWARD COUNTY
 Date: _____

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Director _____ Date _____
 Chief, Division of Land Development _____ Date _____
 Chief, Development Engineering Division _____ Date _____

BOARDWALK MATERIALS (DECKING + RAILING):

DECKING
 MATERIAL: 1"x6" PRESSURE TREATED DECKING
 ATTACHMENT: HIDDEN FASTENER SYSTEM

CABLE RAILING
 MANUFACTURER: WAGNER RAILING SYSTEMS OR APPROVED EQUAL
 MODEL: ULTRA-TEC CABLE RAILING KIT SYSTEM
 COMPONENTS: TYPE 316 STAINLESS STEEL CABLE (3/16" DIA.) PLATFORMS/HORIZONTAL RUNS - 262 SERIES RAMP - 262 SERIES W BEVELED WASHERS EACH KIT TO INCLUDE ONE TENSIONER AND A SWAGELESS STOP END

HANDRAIL
 MANUFACTURER: WAGNER RAILING SYSTEMS OR APPROVED EQUAL
 MODEL: LUMENRAIL W LEDPOD LIGHTING AT EACH POST
 COMPONENTS: TYPE 316 STAINLESS STEEL CABLE
 SHOP DRAWINGS: PROVIDE SHOP DRAWINGS IDENTIFYING ALL MANUFACTURER RECOMMENDED COMPONENTS.

NOTES:
 CABLE SPAN MAY NOT EXCEED 25 FEET
 POST SPACING NOT TO EXCEED 48" O.C. TO MAINTAIN CABLE SPANS WITH MINIMUM DEFLECTION.

SHOP DRAWINGS:
 PROVIDE SHOP DRAWINGS IDENTIFYING ALL MANUFACTURER RECOMMENDED COMPONENTS. LOCATION OF ALL FITTINGS TO BE IDENTIFIED ON PLAN.

DESIGN COLLECTIVE
 ARCHITECTURE, PLANNING, INTERIORS
 WWW.DESIGNCOLLECTIVE.COM
 601 EAST PRATT STREET, SUITE 300
 BALTIMORE, MARYLAND 21202
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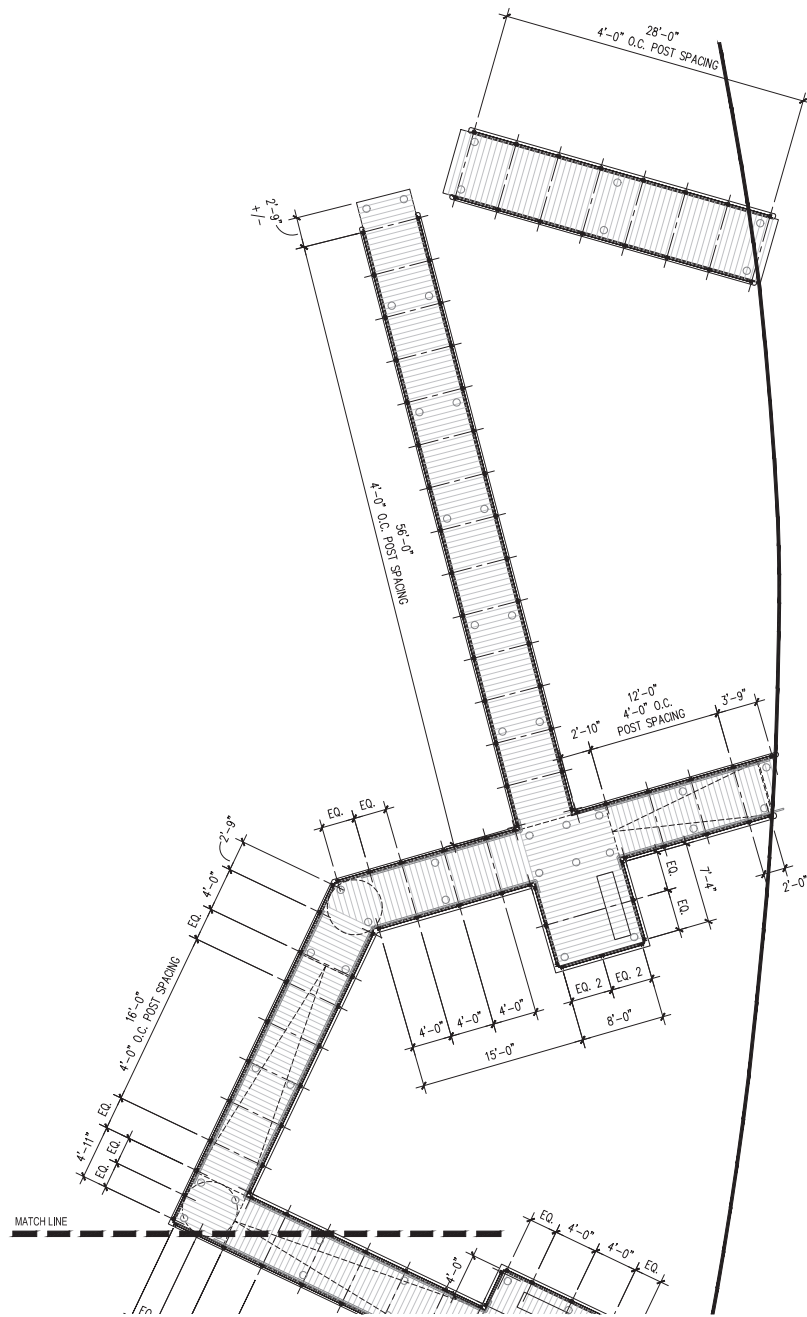
DATE	REVISION	BY	APP'R.
6/27/2016	ADDITIONAL SHEET	MM	AD

OWNER/PREPARED FOR:
 THE HOWARD HUGHES CORPORATION
 10480 LITTLE PATUXENT PARKWAY
 SUITE 400
 COLUMBIA, MD 21044
 ATTN: MR. ROBERT JENKINS
 (410) 964-4800

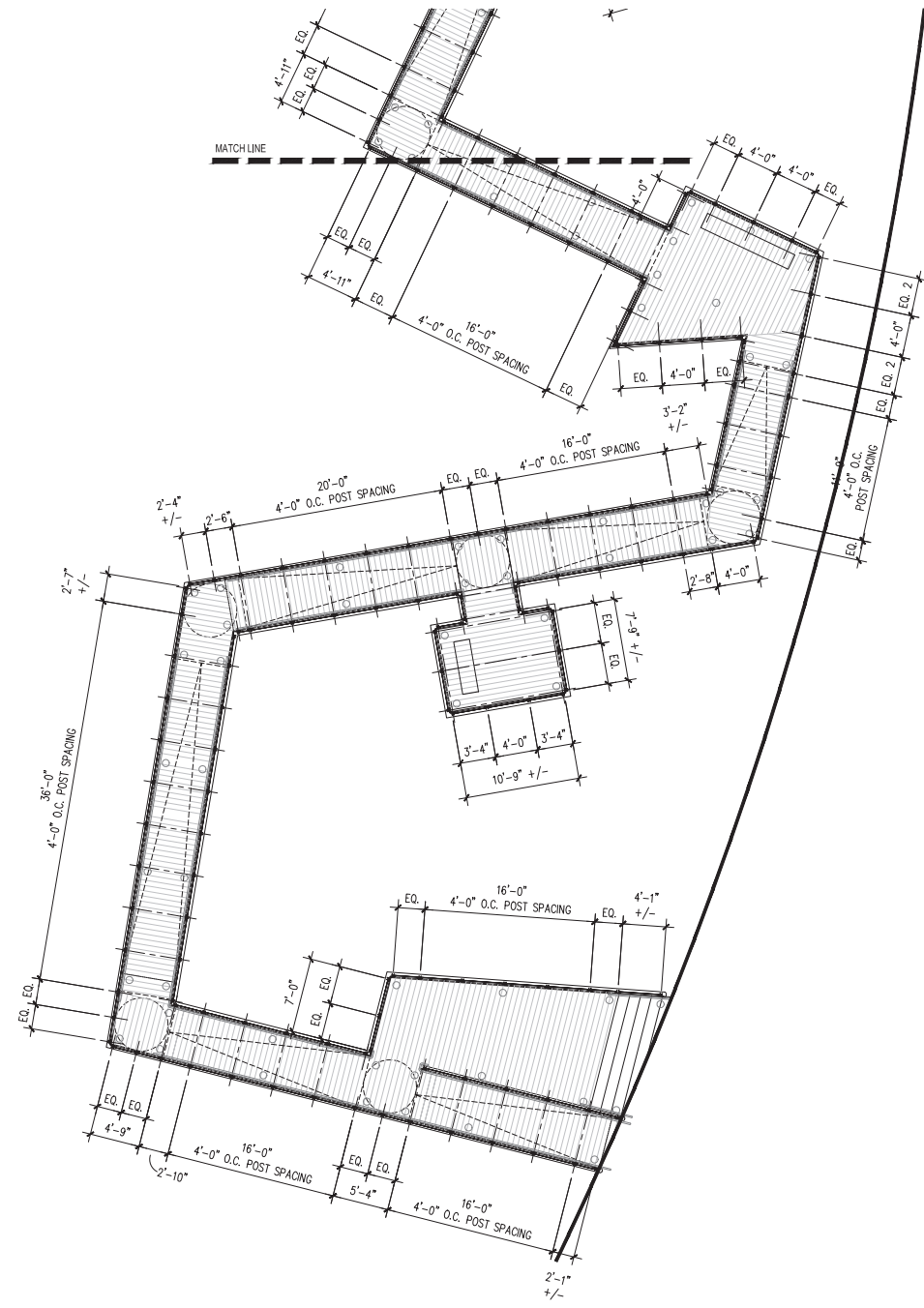
BOARDWALK - DECKING PLAN
 DOWNTOWN COLUMBIA
 CRESCENT NEIGHBORHOOD
 PARCELS A-1, A-2, & A-3, AND PARCEL E
 MIXED USE GREEN OFFICE, RETAIL AND RESTAURANT BUILDINGS AND TEMPORARY PARKING LOT
 (PART OF TAX PARCEL 527); PLAT No. _____
 ELECTION DISTRICT No. 5

SCALE
 1/8" = 1'-0"
 DATE
 JUNE, 2016
 ZONING
 NT
 TAX MAP - GRID
 36 - 01
 SHEET
 48 OF 58

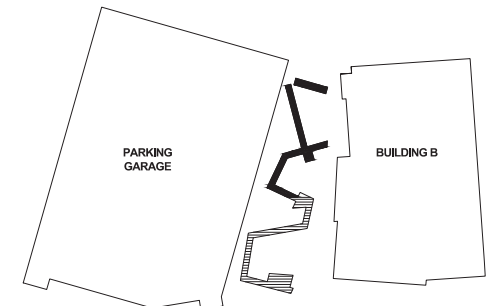
G. L. W. FILE No.
 15019
 HOWARD COUNTY, MARYLAND
 SDP-15-068



1 NORTH BOARDWALK PLAN
1/8" = 1'-0"



2 SOUTH BOARDWALK PLAN
1/8" = 1'-0"



KEY PLAN
 ■ NORTH BOARDWALK PLAN
 ▨ SOUTH BOARDWALK PLAN

CERTIFICATION NOTE:
 I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL FOR NEW TOWN ALTERNATIVE COMPLIANCE AND THE CRESCENT NEIGHBORHOOD DESIGN GUIDELINES. I/WE FURTHER CERTIFY THAT UPON COMPLETION A LETTER OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

DEVELOPER'S/OWNER'S NAME

DEVELOPER'S/OWNER'S NAME

APPROVED
 PLANNING BOARD OF HOWARD COUNTY

Date: _____

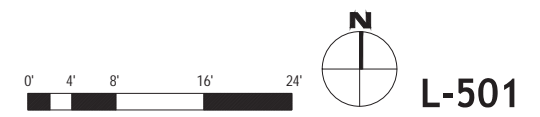
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director: _____ Date: _____

Chief, Division of Land Development: _____ Date: _____

Chief, Development Engineering Division: _____ Date: _____

PURPOSE NOTE: THIS SHEET HAS BEEN ADDED AS A RESULT OF THE EXPANSION OF THE BUILDING 'B' FOOTPRINT AND DESIGN"



DESIGN COLLECTIVE
 ARCHITECTURE, PLANNING, INTERIORS
 WWW.DESIGNCOLLECTIVE.COM

601 EAST PRATT STREET, SUITE 300
 BALTIMORE, MARYLAND 21202
 T: 410.685.6655 F: 410.539.6242

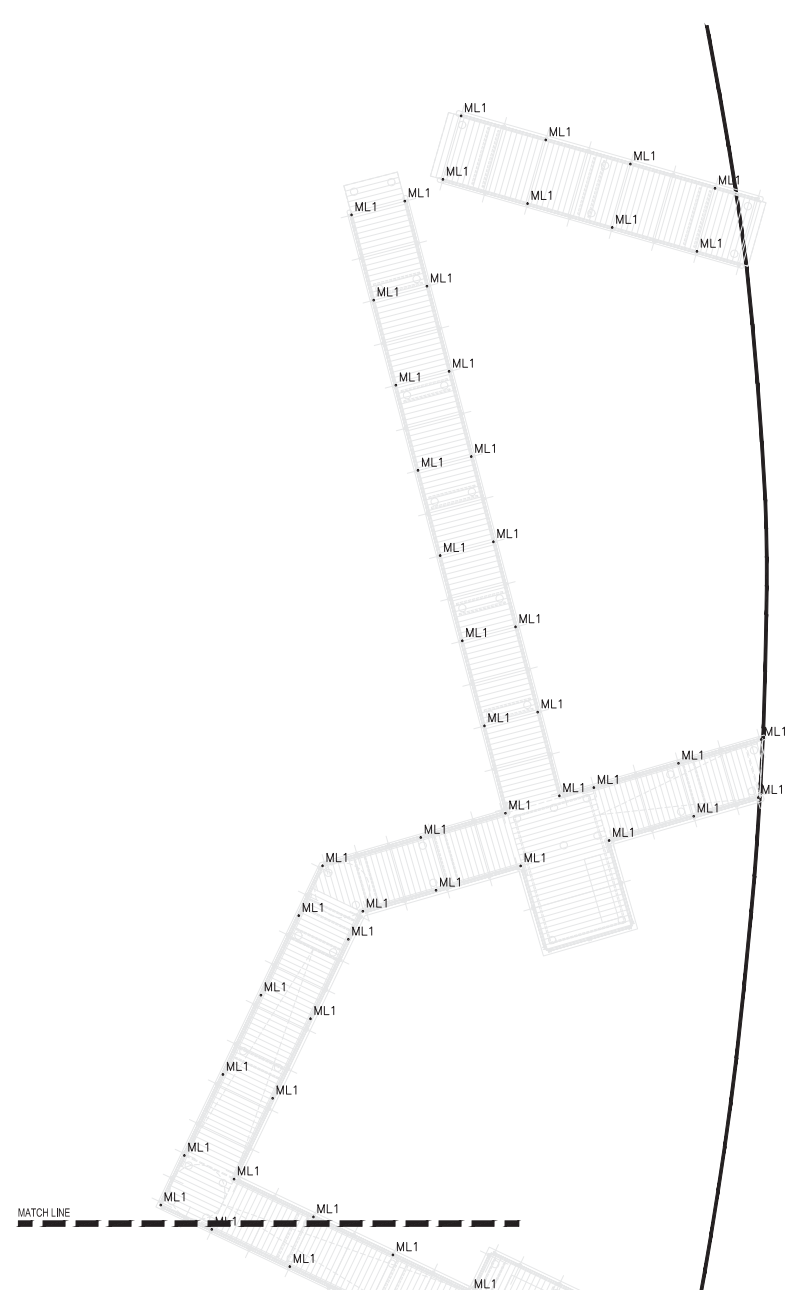
DATE	REVISION	BY	APP'R.
6/27/2016	ADDITIONAL SHEET	MM	AD

OWNER/PREPARED FOR:
 THE HOWARD HUGHES CORPORATION
 10480 LITTLE PATUXENT PARKWAY
 SUITE 400
 COLUMBIA, MD 21044
 ATTN: MR. ROBERT JENKINS
 (410) 964-4800

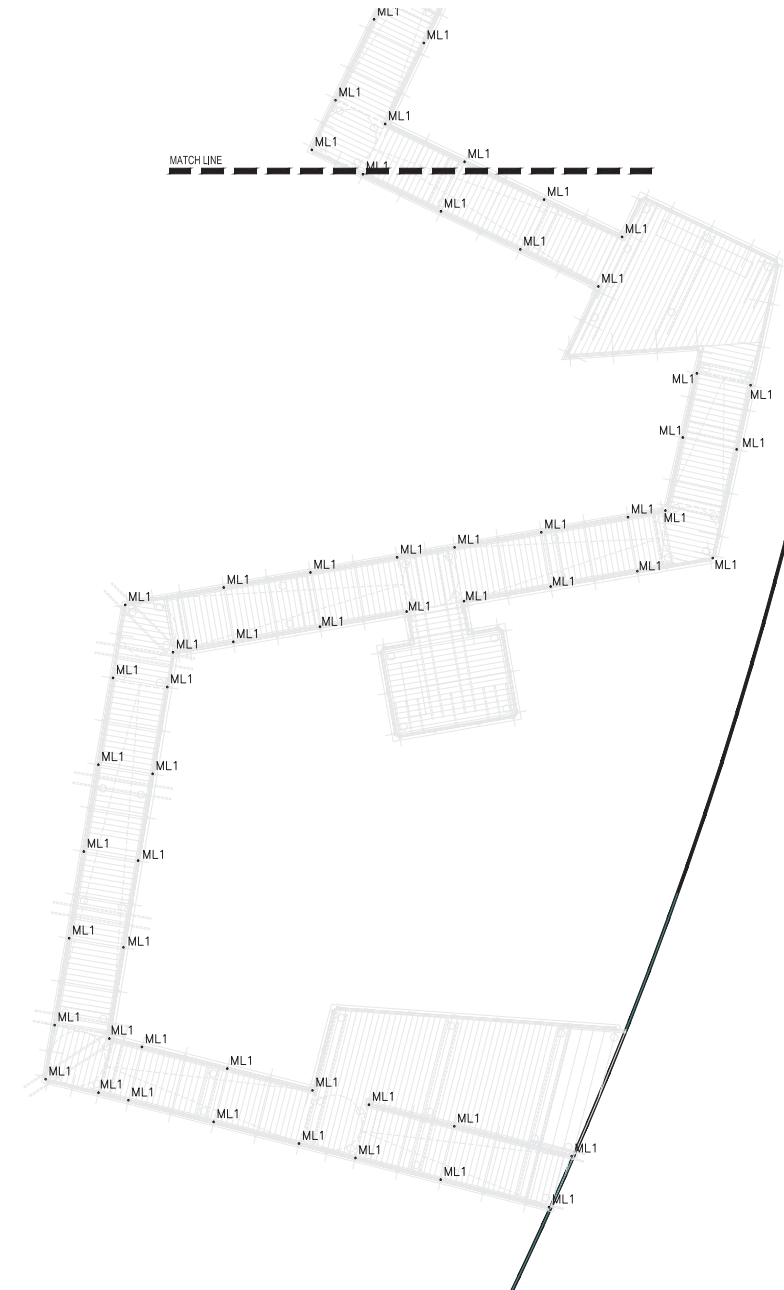
BOARDWALK - POST + RAILING PLAN
 DOWNTOWN COLUMBIA
 CRESCENT NEIGHBORHOOD
 PARCELS A-1, A-2, & A-3, AND PARCEL E
 MIXED USE GREEN OFFICE, RETAIL AND RESTAURANT BUILDINGS AND TEMPORARY PARKING LOT
 (PART OF TAX PARCEL 527); PLAT No. _____
 ELECTION DISTRICT No. 5

SCALE	ZONING	G. L. W. FILE No.
1/8" = 1'-0"	NT	15019
DATE	TAX MAP - GRID	SHEET
JUNE, 2016	36 - 01	49 OF 58

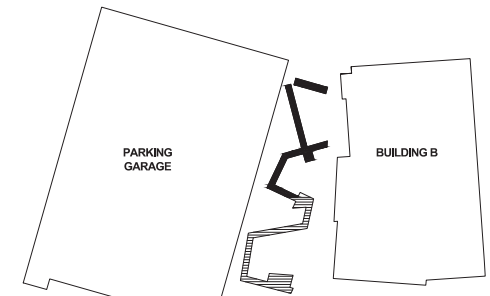
HOWARD COUNTY, MARYLAND





1 NORTH BOARDWALK PLAN
1/8" = 1'-0"



2 SOUTH BOARDWALK PLAN
1/8" = 1'-0"



KEY PLAN
 NORTH BOARDWALK PLAN
 SOUTH BOARDWALK PLAN

CERTIFICATION NOTE:
 I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL FOR NEW TOWN ALTERNATIVE COMPLIANCE AND THE CRESCENT NEIGHBORHOOD DESIGN GUIDELINES. I/WE FURTHER CERTIFY THAT UPON COMPLETION A LETTER OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

DEVELOPER'S/OWNER'S NAME

DEVELOPER'S/OWNER'S NAME

PURPOSE NOTE: THIS SHEET HAS BEEN ADDED AS A RESULT OF THE EXPANSION OF THE BUILDING 'B' FOOTPRINT AND DESIGN"



L-502

APPROVED
 PLANNING BOARD OF HOWARD COUNTY
 Date: _____

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Director _____ Date _____
 Chief, Division of Land Development _____ Date _____
 Chief, Development Engineering Division _____ Date _____

DESIGN COLLECTIVE		
ARCHITECTURE, PLANNING, INTERIORS 601 EAST PRATT STREET, SUITE 300 BALTIMORE, MARYLAND 21202 WWW.DESIGNCOLLECTIVE.COM T: 410.685.6655 F: 410.539.6242		
DES.	DRN.	CHK.

DATE	REVISION	BY	APP'R.
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BOARDWALK - LIGHTING PLAN
 DOWNTOWN COLUMBIA
 CRESCENT NEIGHBORHOOD
 PARCELS A-1, A-2, & A-3, AND PARCEL E
 MIXED USE GREEN OFFICE, RETAIL AND RESTAURANT BUILDINGS AND TEMPORARY PARKING LOT
 (PART OF TAX PARCEL 527); PLAT No. _____
 ELECTION DISTRICT No. 5

SCALE
 1/8" = 1'-0"

DATE
 JUNE, 2016

ZONING
 NT

TAX MAP - GRID
 36 - 01

G. L. W. FILE No.
 15019

SHEET
 50 OF 58

HOWARD HUGHES BOARDWALK COLUMBIA, MARYLAND			TLP PROJECT NUMBER: XXXXX.00	TLP ISSUE DATE: 05/03/16				
LIGHTING FIXTURE SCHEDULE								
TYPE	MTG.	DESCRIPTION	LAMPING		WATTAGE PER FIXTURE	VOLTS	MANUFACTURER	CATALOG NUMBER
			QTY.	LAMP DESIGNATION				
ML1	SURF	LED RAILING LIGHT SYSTEM, 1.66 OR 1.90 INCH ADA-COMPLIANT DIAMETER X LENGTH AS SHOWN ON ARCHITECTURAL DRAWINGS. HANDRAIL WITH INTEGRAL LEDS MOUNTED IN DOWNLIGHT POSITION. LED MODULES SHALL HAVE A SYMMETRICAL LIGHT DISTRIBUTION. OVERALL FINISH TO BE SELECTED BY DESIGN PROFESSIONAL. PROVIDE REMOTE LED DRIVERS IN ACCESSIBLE LOCATIONS THAT SHALL BE COORDINATED WITH LANDSCAPE ARCHITECT WITHIN NEMA 3R ENCLOSURES. REFER TO ARCHITECTURAL DRAWINGS FOR MOUNTING DETAILS. ENTIRE RAIL SYSTEM TO BE U.L. WET LOCATION RATED. ELECTRICAL CONTRACTOR SHALL COORDINATE ALL COMPONENTS OF THE RAIL SYSTEM WITH THE DESIGN PROFESSIONAL AND VERIFY ALL LENGTHS IN FIELD PRIOR TO ORDERING. PROVIDE SCALED AND DIMENSIONED DRAWINGS OF ALL RAILING LAYOUTS INDICATING QUANTITY AND LOCATION OF REMOTE DRIVERS AND LED POD LOCATIONS PRIOR TO RELEASE OF ORDER. REFER TO ARCHITECTURAL DRAWINGS FOR HANDRAIL DETAILS AND ADDITIONAL SPECIFICATIONS FOR HANDRAIL SYSTEM. PROVIDE REMOTE POWER SUPPLIES SIZED AS REQUIRED FOR THE RUN LENGTHS SHOWN ON DRAWINGS. POWER SUPPLIES SHALL BE MOUNTED IN ACCESSIBLE BUT DISCRETE LOCATIONS. POWER SUPPLIES TO BE U.L. WET LOCATION LISTED. ELECTRICAL CONTRACTOR SHALL PROVIDE ALL NECESSARY FEEDS, CONNECTORS, AND MOUNTING ACCESSORIES AS REQUIRED FOR A COMPLETE AND FULLY FUNCTIONING SYSTEM. LED REQUIREMENTS: NOMINAL 140 INITIAL DELIVERED LUMENS, L70 OF 50,000 HOURS, 3,000K CCT, 80+ CRI, AND A 5-YEAR WARRANTY.	LEDS BY MANUFACTURER	1.5	WAGNER	LULP-[RAIL SIZE]-30K-S-[RAIL WALL THICKNESS]-[VOLT]		

GENERAL NOTES:

- ALL LIGHTING FIXTURES, LAMPS AND RELATED DEVICES FURNISHED UNDER THIS CONTRACT SHALL CARRY THE APPROVAL LABEL OF UL OR ETL FOR THE SPECIFIC APPLICATION IN WHICH THEY ARE USED.
- THE STATEMENT "FINISH TO BE SELECTED BY DESIGN PROFESSIONAL" SHALL BE INTERPRETED TO MEAN THAT THE FINISH OF THE LUMINAIRE SHALL MATCH THE APPEARANCE OF A PAINT CHIP, COLOR NUMBER, OR METAL SWATCH FURNISHED BY THE DESIGN PROFESSIONAL DURING THE SUBMITTAL REVIEW PROCESS.
- WHITE L.E.D.'S SHALL MEET, AT A MINIMUM, CHROMATICITY STANDARDS SET BY ANSI/NEMA/ANSI C79.377-2011. L.E.D. LUMEN MAINTENANCE SHALL BE MEASURED IN ACCORDANCE WITH IESNA LM-80 STANDARDS. PHOTOMETRIC TESTING FOR SOLID STATE LUMINAIRES SHALL BE IN ACCORDANCE WITH IESNA LM-79 STANDARDS.
- CONTRACTOR SHALL CONFIRM FIXTURE VOLTAGES, CEILING TRIMS, AND MOUNTING HARDWARE ARE COMPATIBLE WITH THEIR APPLICATION AS DETERMINED BY THE DESIGN PROFESSIONAL PRIOR TO ORDERING FIXTURES.
- CONTRACTOR SHALL SELECT, FURNISH AND INSTALL THE CORRECT SIZE OF SECONDARY WIRING FROM REMOTE TRANSFORMERS AND/OR REMOTE BALLASTS AS REQUIRED TO KEEP VOLTAGE DROP IN THE SECONDARY WIRING BELOW 3% OF RATED VOLTAGE.
- CONTRACTOR SHALL PROVIDE LABOR AND EQUIPMENT FOR FOCUSING OF ADJUSTABLE FIXTURES AND PRESETTING OF LIGHTING CONTROL SYSTEMS. FOCUSING AND PRESETTING SHALL BE DONE IN THE PRESENCE OF THE DESIGN PROFESSIONAL. CONTRACTOR SHALL FOCUS LIGHTING AFTER DARK IF DIRECTED BY THE OWNER'S REPRESENTATIVE. UNLESS OTHERWISE NOTED, CONTRACTOR SHALL PROVIDE AT LEAST ONE DAY OF A FACTORY-TRAINED AND CERTIFIED TECHNICIAN TO PROVIDE WARRANTY START UP AND PROGRAMMING FOR ALL LIGHTING CONTROL SYSTEMS AND PROGRAMMABLE LIGHTING FIXTURES.
- CONTRACTOR SHALL PROVIDE THE FOLLOWING WITH THEIR BID:
 - THE UNIT PRICE, WITHOUT LAMP, FOR EACH LIGHTING FIXTURE TYPE LISTED WITHIN THE LIGHTING FIXTURE SCHEDULE. THE UNIT PRICE SHALL BE FOR ONE OF THE LISTED MANUFACTURERS FOR THAT PARTICULAR FIXTURE. THE MANUFACTURER SHALL BE IDENTIFIED. SUBSTITUTIONS FOR FIXTURES PROVIDED BY MANUFACTURERS NOT LISTED IN THE SCHEDULE ARE NOT ACCEPTABLE. SEE BELOW FOR REQUIREMENTS ASSOCIATED WITH SUBMITTING LIGHTING FIXTURE SUBSTITUTIONS.
 - THE TOTAL QUANTITY OF EACH FIXTURE TYPE WITH THE EXTENDED COST FOR THAT QUANTITY.
 - THE UNIT PRICE, TYPE, AND QUANTITY OF LAMPS.
- WITHIN 21 DAYS OF CONTRACT AWARD, THE CONTRACTOR SHALL FURNISH SUBMITTALS FOR ALL SPECIFIED LIGHTING FIXTURES FOR REVIEW BY THE DESIGN PROFESSIONAL. THE SUBMITTALS SHALL INCLUDE LUMINAIRE CATALOG CUTS, SUBMITTAL SHEETS, OR MANUFACTURERS SHOP DRAWINGS INDICATING THE FOLLOWING:
 - MANUFACTURER'S NAME AND COMPLETE CATALOG NUMBER
 - FIXTURE TYPE, DIMENSIONS AND FINISHES
 - FIXTURE PHOTOMETRIC TEST DATA FROM AN INDEPENDENT TEST LABORATORY
 - FIXTURE ACCESSORIES, COMPONENTS, AND HARDWARE WHEN SPECIFIED
 - LAMP TYPE, QUANTITY, WATTAGE, LUMEN OUTPUT, RATED LIFE, COLOR TEMPERATURE, COLOR RENDERING INDEX AND BEAM SPREAD AS APPLICABLE
 - BALLAST TYPE AND FIXTURE VOLTAGE

SUBMITTALS FOR LIGHTING FIXTURES MOUNTED WITHIN ARCHITECTURAL COVES OR CASEWORK, VARIABLE LENGTH FIXTURES, AND FOR NON-STANDARD, OR CUSTOM FIXTURES, SHALL ALSO INCLUDE SCALED DRAWINGS SHOWING THE LAYOUT AND DIMENSIONS OF ALL FIXTURE COMPONENTS AND ACCESSORIES, THE METHOD OF INSTALLATION, AND A COMPLETE BILL OF MATERIALS.
- LIGHTING FIXTURE SUBSTITUTION REQUESTS MUST BE SENT TO AND RECEIVED BY THE LIGHTING DESIGNER FOR REVIEW 14 DAYS PRIOR TO BID DATE. FAILURE TO SUBMIT WITHIN THIS DEADLINE SHALL CONSTITUTE A GUARANTEE THAT THE SPECIFIED FIXTURES WILL BE SUPPLIED. THE SUBMITTAL SHALL INCLUDE THE FOLLOWING:
 - SIX HARD COPIES OF THE SUBMITTALS REQUIRED ABOVE FOR BOTH THE SPECIFIED FIXTURE AND THE PROPOSED SUBSTITUTION.
 - ONE NON-RETURNABLE WORKING SAMPLE OF THE PROPOSED SUBSTITUTE FIXTURE WITH CORD & PLUG CONNECTION FOR 120 VOLT OPERATION, AND SPECIFIED LAMP(S).
 - CONTRACTOR'S STATEMENT INDICATING THE EFFECT OF THE SUBSTITUTION ON THE CONSTRUCTION SCHEDULE COMPARED TO THE SCHEDULE WITHOUT THE APPROVAL OF THE PROPOSED SUBSTITUTION.
 - CONTRACTOR'S CERTIFICATION STATING THAT THE PROPOSED SUBSTITUTION CONFORMS TO THE REQUIREMENTS OF THE CONTRACT DOCUMENTS IN EVERY RESPECT AND IS APPROPRIATE FOR THE APPLICATIONS INDICATED IN THE DOCUMENTS.
 - CONTRACTOR'S CERTIFICATION STATING THAT ANY MODIFICATIONS TO ANY BUILDING SYSTEM OR EQUIPMENT THAT MAY RESULT FROM THE PROPOSED LIGHTING FIXTURE SUBSTITUTION WILL BE DESIGNED AND CONSTRUCTED AT THE CONTRACTOR'S EXPENSE.
 - CONTRACTOR'S WAIVER OF RIGHTS TO ADDITIONAL PAYMENT OR TIME THAT MAY BECOME NECESSARY SHOULD THE PROPOSED SUBSTITUTION FAIL TO PERFORM IN A MANNER THAT MATCHES THE SPECIFIED FIXTURE.
 - CONTRACTOR-NET UNIT PRICE FOR THE SPECIFIED FIXTURE AND FOR THE PROPOSED SUBSTITUTE FIXTURE.

THE LIGHTING DESIGNER SHALL BE REIMBURSED BY THE CONTRACTOR FOR ALL OF THE DESIGNER'S TIME ASSOCIATED WITH THE REVIEW OF THE PROPOSED FIXTURE SUBSTITUTION(S). PAYMENT SHALL BE MADE IN ADVANCE OF THE REVIEW, BASED ON THE DESIGNER'S ESTIMATE OF THE REQUIRED TIME. THE PAYMENT SHALL BE BASED ON THE DESIGNER'S STANDARD HOURLY RATES FOR THE PERSONNEL INVOLVED IN THE REVIEW.

DEFINITIONS:

- CORRELATED COLOR TEMPERATURE (CCT): THE ABSOLUTE TEMPERATURE, MEASURED IN DEGREES KELVIN, OF A BLACKBODY RADIATOR HAVING CHROMATICITY RESEMBLING THAT OF AN ELECTRIC LIGHT SOURCE. FOR LED SOURCES CCT SHALL NOT DEVIATE FROM THE REFERENCE COLOR TEMPERATURE BY NO MORE THAN THREE MACADAM ELLIPSES, AS DEFINED BY NEMA/ANSI/ANSI C38.377-2011
- COLOR RENDERING INDEX (CRI): MEASURE OF COLOR SHIFT OBJECTS UNDERGO WHEN ILLUMINATED BY AN ELECTRIC LIGHT SOURCE AS COMPARED WITH THE COLOR OF THE SAME OBJECTS ILLUMINATED BY A REFERENCE SOURCE AT THE SAME COLOR TEMPERATURE. CRI VALUES FOR ELECTRIC LIGHT SOURCES RANGE FROM APPROXIMATELY 20 (LOW PRESSURE SODIUM) TO 99 (HALOGEN). CRI VALUES FOR LED SOURCES SHALL BE MEASURED AFTER 6000 HOURS AND SHALL NOT DEVIATE MORE THAN 3 POINTS FROM THE RATED VALUE.
- LED LIGHT ENGINE: THE COMBINED LED LIGHT SOURCE AND ITS ASSOCIATED ELECTRONIC DRIVER. THE LED LIGHT ENGINE MAY HAVE AN INTEGRAL DRIVER OR THE DRIVER MAY BE HOUSED IN A SEPARATE ENCLOSURE.
- LED DRIVER: CONTROL DEVICE THAT MAINTAINS CONSTANT AMOUNT OF CURRENT TO THE LED LIGHT SOURCE. LED DRIVERS GENERALLY OPERATE AT 12VDC OR 24VDC. SOME DRIVERS ARE DESIGNED TO ACCEPT BRANCH CIRCUIT VOLTAGE RANGING FROM 120VAC THROUGH 277VAC OR MAY REQUIRE A SEPARATE TRANSFORMER.
- TRANSFORMER: ELECTROMAGNETIC OR ELECTRONIC DEVICE THAT STEPS DOWN PRIMARY VOLTAGE TO A LOWER SECONDARY VOLTAGE. GENERALLY SECONDARY VOLTAGE WILL BE 12V OR 24V
- DIMMING: THE REDUCTION OF LIGHT INTENSITY OF A LIGHT SOURCE. ALL SOURCES SHALL HAVE A SMOOTH, FLICKER-FREE AND CONTINUOUS DIMMING CURVE AS NOTED IN LUMINAIRE DESCRIPTION. LED SOURCES MAY BE DIMMED BY EITHER CONSTANT CURRENT REDUCTION (CCR) OR BY PULSE WIDTH MODULATION (PWM) DIMMING FOR CONSTANT CURRENT DRIVERS.
- RATED LUMEN MAINTENANCE LIFE: THE ELAPSED OPERATING TIME OVER WHICH AN LED LIGHT SOURCE WILL MAINTAIN THE PERCENTAGE OF ITS INITIAL LUMEN OUTPUT
L70: TIME, IN HOURS, TO 70% LUMEN MAINTENANCE
L50: TIME, IN HOURS, TO 50% LUMEN MAINTENANCE

CERTIFICATION NOTE:
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DEVELOPER'S/OWNER'S NAME

DEVELOPER'S/OWNER'S NAME

PURPOSE NOTE: THIS SHEET HAS BEEN ADDED AS A RESULT OF THE EXPANSION OF THE BUILDING "B" FOOTPRINT AND DESIGN"

L-503

APPROVED
PLANNING BOARD OF HOWARD COUNTY
Date: _____

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
Director _____ Date _____
Chief, Division of Land Development _____ Date _____
Chief, Development Engineering Division _____ Date _____

DESIGN COLLECTIVE
ARCHITECTURE, PLANNING, INTERIORS
WWW.DESIGNCOLLECTIVE.COM
601 EAST PRATT STREET, SUITE 300
BALTIMORE, MARYLAND 21202
T: 410.685.6655 F: 410.539.6242

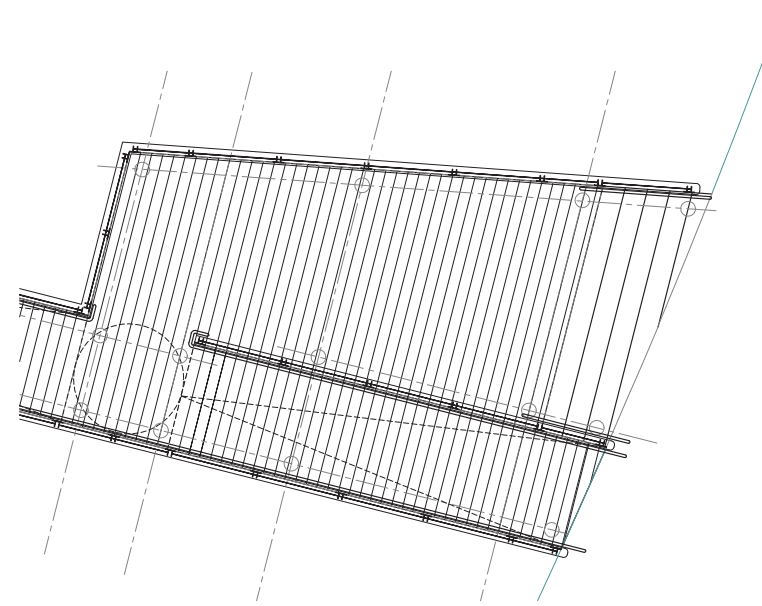
DES.	DRN.	CHK.	DATE	REVISION	BY	APP'R.

6/27/2016	▲ ADDITIONAL SHEET	MM	AD

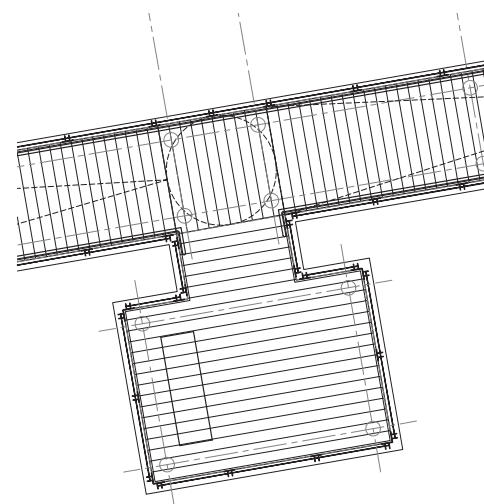
OWNER/PREPARED FOR:
THE HOWARD HUGHES CORPORATION
10480 LITTLE PATUXENT PARKWAY
SUITE 400
COLUMBIA, MD 21044
ATTN: MR. ROBERT JENKINS
(410) 964-4800

BOARDWALK - LIGHTING SCHEDULE
DOWNTOWN COLUMBIA
CRESCENT NEIGHBORHOOD
PARCELS A-1, A-2, & A-3, AND PARCEL E
MIXED USE GREEN OFFICE, RETAIL AND RESTAURANT BUILDINGS AND TEMPORARY PARKING LOT
(PART OF TAX PARCEL 527); PLAT No. _____
ELECTION DISTRICT No. 5

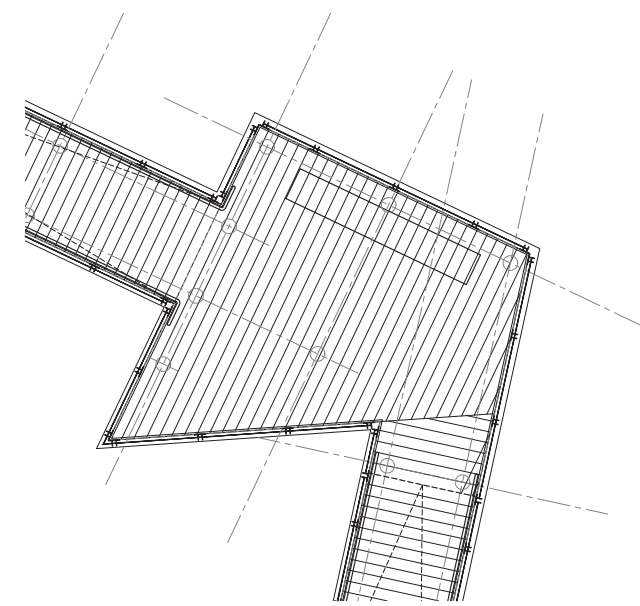
SCALE	ZONING	G. L. W. FILE No.
DATE	TAX MAP - GRID	SHEET
JUNE, 2016	36 - 01	51 OF 58



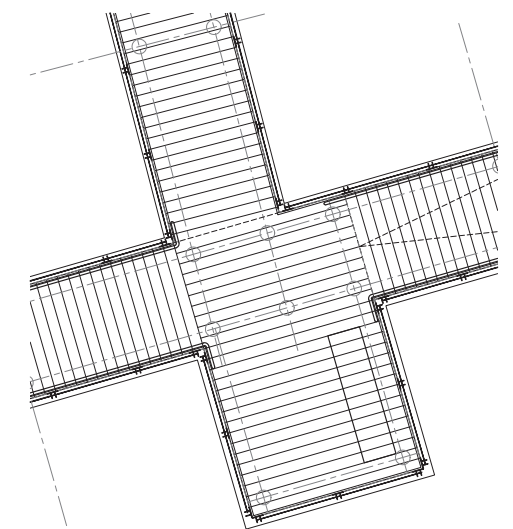
1 ENLARGEMENT PLAN - A
1/4" = 1'-0"



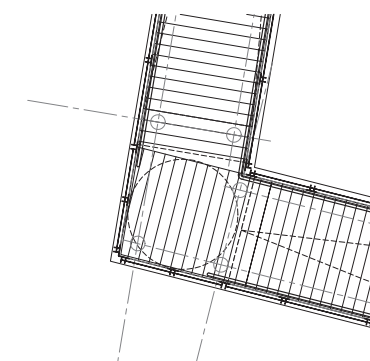
2 ENLARGEMENT PLAN - B
1/4" = 1'-0"



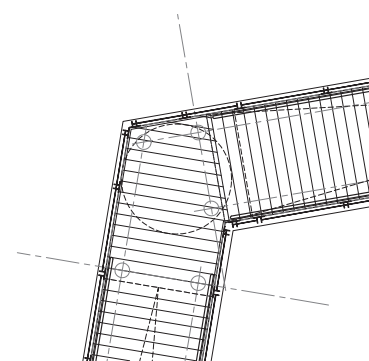
3 ENLARGEMENT PLAN - C
1/4" = 1'-0"



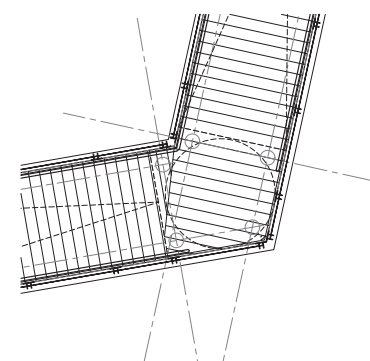
4 ENLARGEMENT PLAN - D
1/4" = 1'-0"



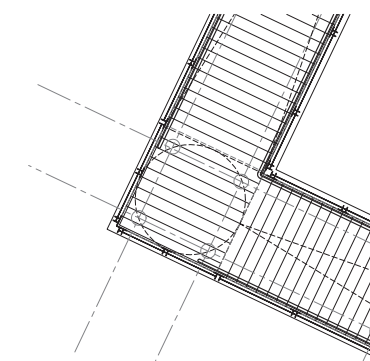
5 ENLARGEMENT PLAN - E
1/4" = 1'-0"



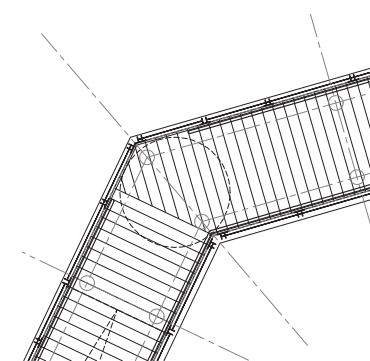
6 ENLARGEMENT PLAN - F
1/4" = 1'-0"



7 ENLARGEMENT PLAN - G
1/4" = 1'-0"



8 ENLARGEMENT PLAN - H
1/4" = 1'-0"



9 ENLARGEMENT PLAN - I
1/4" = 1'-0"

NOTE: ABOVE ENLARGEMENTS ILLUSTRATE DIRECTION OF DECKING AT TRANSITION AREAS

CERTIFICATION NOTE:
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DEVELOPER'S/OWNER'S NAME

DEVELOPER'S/OWNER'S NAME

PURPOSE NOTE: THIS SHEET HAS BEEN ADDED AS A RESULT OF THE EXPANSION OF THE BUILDING 'B' FOOTPRINT AND DESIGN"



L-504

APPROVED
PLANNING BOARD OF HOWARD COUNTY

Date: _____

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director _____ Date _____

Chief, Division of Land Development _____ Date _____

Chief, Development Engineering Division _____ Date _____

DESIGN COLLECTIVE
ARCHITECTURE, PLANNING, INTERIORS
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DES.	DRN.	CHK.

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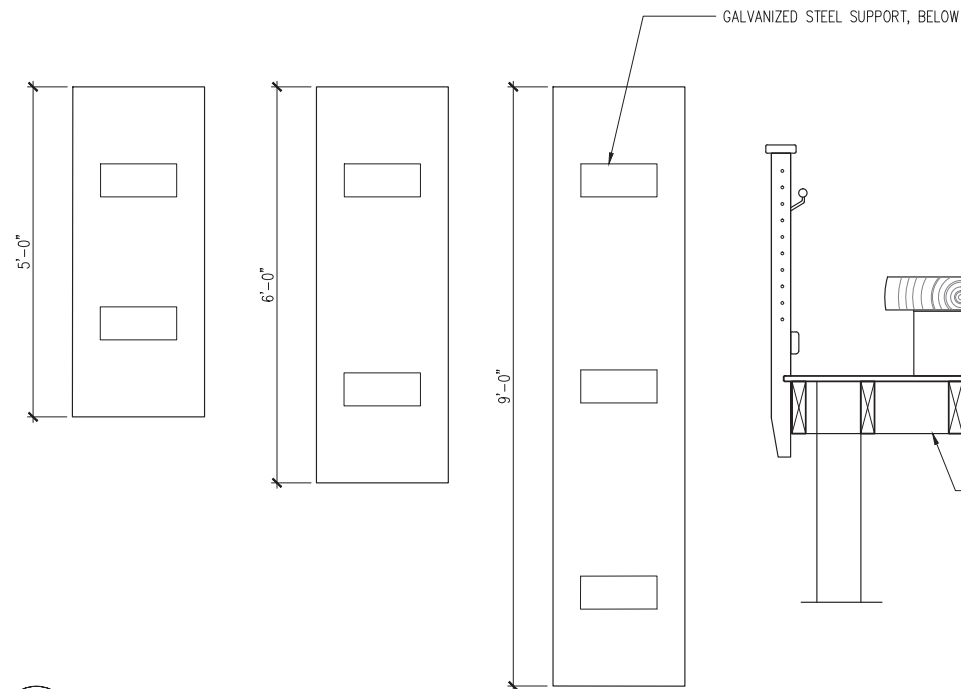
BOARDWALK - ENLARGEMENT PLANS
DOWNTOWN COLUMBIA
CRESCENT NEIGHBORHOOD
PARCELS A-1, A-2, & A-3, AND PARCEL E
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SCALE AS SHOWN
DATE JUNE, 2016

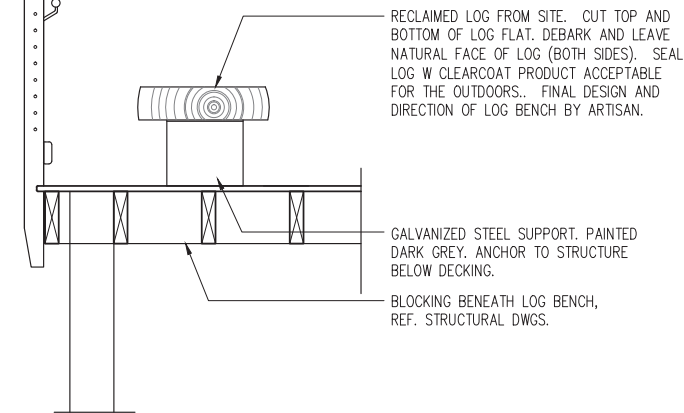
ZONING NT
TAX MAP - GRID 36 - 01

G. L. W. FILE No. 15019
SHEET 52 OF 58

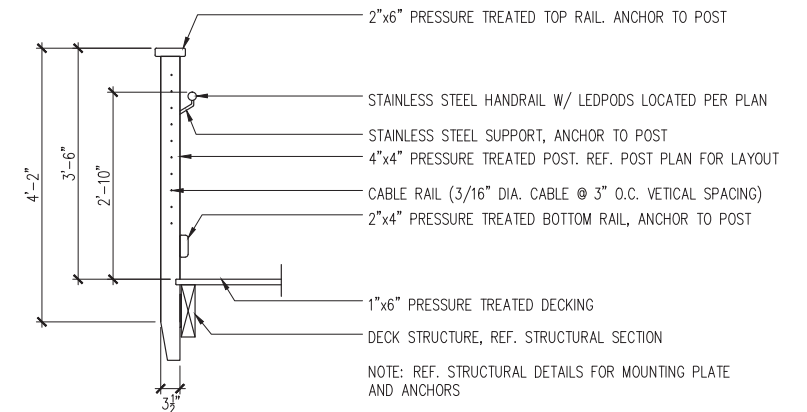
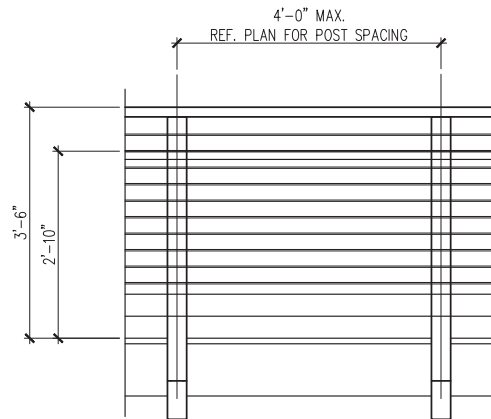
HOWARD COUNTY, MARYLAND



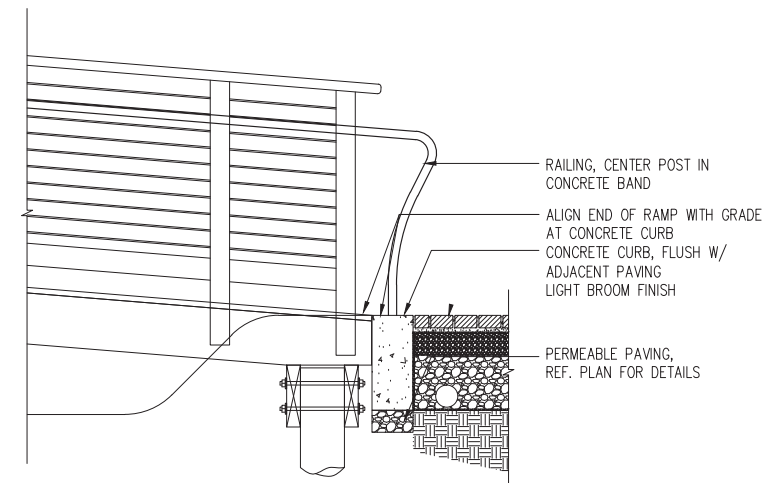
NOTE: BENCH DETAIL REPRESENTS CONCEPTUAL DIRECTION OF BENCH A, B + C. ACTUAL SIZE OF RECLAIMED LOGS FROM SITE WILL DICTATE FINAL SIZE AND DETAIL. FABRICATOR TO PROVIDE SHOP DRAWINGS FOR TEAM REVIEW.



1 BOARDWALK - BENCH
3/4" = 1'-0"



2 BOARDWALK - RAILING
3/4" = 1'-0"



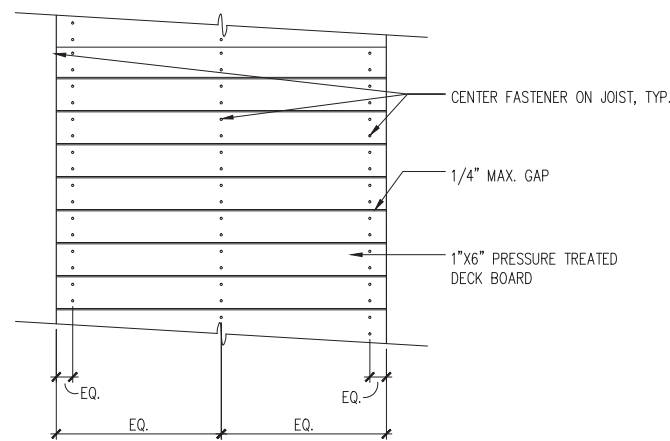
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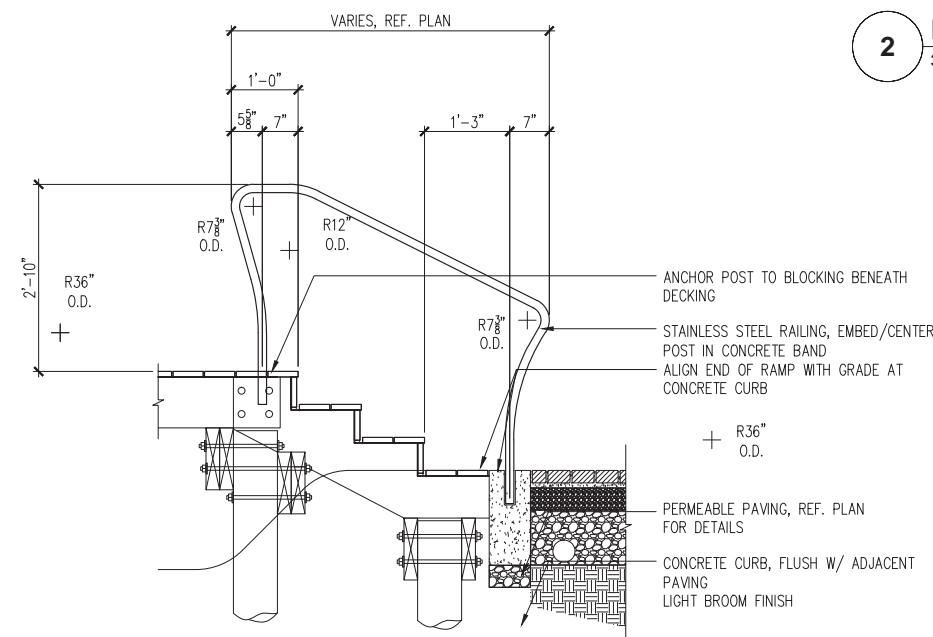
DEVELOPER'S/OWNER'S NAME

PURPOSE NOTE: THIS SHEET HAS BEEN ADDED AS A RESULT OF THE EXPANSION OF THE BUILDING "B" FOOTPRINT AND DESIGN"

L-505



3 BOARDWALK - DECK SPACING - PARTIAL PLAN
3/4" = 1'-0"



4 BOARDWALK - HANDRAIL
3/4" = 1'-0"

APPROVED
PLANNING BOARD OF HOWARD COUNTY
Date: _____

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
Director _____ Date _____
Chief, Division of Land Development _____ Date _____
Chief, Development Engineering Division _____ Date _____

DES.	DRN.	CHK.	DATE	REVISION	BY	APP'R.

6/27/2016	ADDITIONAL SHEET	MM	AD

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BOARDWALK - DETAILS
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SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	NT	15019
DATE	TAX MAP - GRID	SHEET
JUNE, 2016	36 - 01	53 OF 58

SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	NT	15019
DATE	TAX MAP - GRID	SHEET
JUNE, 2016	36 - 01	53 OF 58

GENERAL STRUCTURAL NOTES

PART 1 - GENERAL REQUIREMENTS AND DESIGN CRITERIA

- 1.1 SPECIFICATIONS
 - A. THE WORK OF THESE DRAWINGS ADDRESSES STRUCTURAL INFORMATION ONLY. THE STRUCTURAL DOCUMENTS INCLUDE THESE S-SERIES DRAWINGS AND GENERAL NOTES. THERE ARE NO TECHNICAL SPECIFICATIONS IN ADDITION TO THESE GENERAL NOTES.
- 1.2 ELEVATIONS & DIMENSIONS
 - A. ALL ELEVATIONS AND DIMENSIONS SHOWN FOR NEW CONSTRUCTION ARE BASED ON THE ARCHITECTURAL / LANDSCAPE DRAWINGS. COORDINATE ALL ELEVATIONS AND DIMENSIONS BEFORE PROCEEDING WITH CONSTRUCTION.
- 1.3 GOVERNING BUILDING CODES
 - A. THE FOLLOWING BUILDING CODES AND STANDARDS, INCLUDING ALL SPECIFICATIONS REFERENCED WITHIN, SHALL APPLY TO THE DESIGN, CONSTRUCTION, QUALITY CONTROL AND SAFETY OF ALL WORK PERFORMED ON THE PROJECT.
 1. "INTERNATIONAL BUILDING CODE - 2015", INTERNATIONAL CODE COUNCIL.
 2. "MINIMUM DESIGN LOADS FOR BUILDING AND OTHER STRUCTURES", (ANSI/ASCE 7-10), AMERICAN SOCIETY OF CIVIL ENGINEERS.
 - B. ADDITIONAL CODES FOR MATERIALS SHALL BE FOUND IN THE APPROPRIATE SECTIONS THAT FOLLOW. SEE THOSE SECTIONS FOR THE APPLICABLE CODES.
- 1.4 DESIGN LOADS
 - A. FLOOR LIVE LOADS:
 1. ELEVATED WALKWAY = 100 PSF
 - B. SNOW LOAD - PLUS DRIFTING AND SLIDING WHERE APPLICABLE
 - a. PG = 35 PSF
 - b. PF = 11 PSF
 - c. CE = 1.0
 - d. I = 1.1
 - e. CT = 1.2
 - C. DEAD LOADS - ALL PERMANENT STATIONARY CONSTRUCTION.
 - D. WIND LOAD PARAMETERS
 1. BASIC WIND SPEED (3-SECOND GUST), V = 115 MPH
 2. WIND IMPORTANCE FACTOR, I = 1.0, AND OCCUPANCY CATEGORY = II
 3. EXPOSURE CATEGORY: C
 4. COMPONENTS AND CLADDING:
 - a. ACTUAL PRESSURE(S) ON EVERY COMPONENT AND CLADDING ELEMENT SHALL BE DETERMINED BY THE CONTRACTOR'S SPECIALTY PROFESSIONAL ENGINEER, LICENSED IN THE PROJECT'S JURISDICTION, RESPONSIBLE FOR THE STRUCTURAL DESIGN OF SUCH ELEMENT(S).
 - E. SEISMIC LOAD PARAMETERS
 1. SEISMIC IMPORTANCE FACTOR, I = 1.0, AND OCCUPANCY CATEGORY = II
 2. MAPPED SPECTRAL RESPONSE ACCELERATIONS
 - a. S(S) = 0.125 g
 - b. S(1) = 0.051 g
 3. SITE CLASS: D
 4. SPECTRAL RESPONSE COEFFICIENTS
 - a. S(DS) = 0.132 g
 - b. S(D1) = 0.082 g
 5. SEISMIC DESIGN CATEGORY = B
 6. BASIC SEISMIC-FORCE-RESISTING SYSTEM: TIMBER BRACES / TIMBER CANTILEVERED COLUMNS
 7. DESIGN BASE SHEAR, V = 3 KIPS
 8. SEISMIC RESPONSE COEFFICIENT, C(S) = 0.088
 9. RESPONSE MODIFICATION FACTOR, R = 1.5
 10. ANALYSIS PROCEDURE: EQUIVALENT LATERAL FORCE PROCEDURE

PART 2 - CONSTRUCTION

- 2.1 GENERAL
 - A. UNAUTHORIZED REPRODUCTION OF ANY PORTION OF THE STRUCTURAL CONTRACT DRAWINGS FOR RE-SUBMITTAL AS SHOP DRAWINGS IS PROHIBITED. SHOPDRAWINGS PRODUCED IN SUCH A MANNER WILL BE REJECTED AND RETURNED.
 - B. THESE DRAWINGS REPRESENT THE COMPLETED PROJECT WHICH HAS BEEN DESIGNED FOR THE WEIGHTS OF MATERIALS, FOR THE SUPERIMPOSED LOADS INDICATED IN THE DESIGN LOAD CRITERIA ABOVE, AND FOR LOADS INDICATED ON THE DRAWINGS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE ALLOWABLE CONSTRUCTION LOADS AND TO PROVIDE PROPER DESIGN AND CONSTRUCTION OF FALSE WORK, STAGNG, BRACING, SHEETING AND SHORING, ETC.
 - C. DEVELOPING AND IMPLEMENTING JOB SITE SAFETY AND CONSTRUCTION PROCEDURES ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
 - D. ALL COSTS OF INVESTIGATION AND REDESIGN, DUE TO THE CONTRACTOR MIS-LOCATION OF STRUCTURAL ELEMENTS OR OTHER LACK OF CONFORMANCE WITH THE PROJECT DOCUMENTS, SHALL BE AT THE CONTRACTOR'S EXPENSE.
 - E. SEE ARCHITECTURAL DRAWINGS AND SPECIFICATIONS FOR DETAILED INFORMATION REGARDING FINISHES, WATERPROOFING, HAND RAILING, ETC.
 - F. IN CASE OF CONFLICT BETWEEN THE GENERAL NOTES, THE DETAILS AND SPECIFICATIONS, THE MOST RIGID SHALL GOVERN.
 - G. WORK NOT INCLUDED ON THE DRAWINGS BUT IMPLIED TO BE SIMILAR TO THAT SHOWN AT CORRESPONDING LOCATIONS ELSEWHERE ON THE DRAWINGS SHALL BE REPEATED.

2.2 SHOP DRAWINGS

- A. SHOP DRAWINGS FOR ALL STRUCTURAL ELEMENTS SHOWN ON THE CONTRACT DOCUMENTS ARE REQUIRED TO BE SUBMITTED BY THE CONTRACTOR AND REVIEWED BY THE STRUCTURAL ENGINEER. IF A CONTRACTOR OR OWNER FAILS TO SUBMIT THE SHOP DRAWINGS, TARANTINO ENGINEERING CONSULTANTS (TEC) WILL NOT BE RESPONSIBLE FOR THE STRUCTURAL CERTIFICATION AND DESIGN OF THE PROJECT.
- B. SHOP DRAWINGS SUBMITTED FOR STRUCTURAL REVIEW SHALL CONSIST OF ELECTRONIC DRAWINGS. ONLY ONE MARKED UP SET OF ELECTRONIC DRAWINGS WITH THE STRUCTURAL ENGINEER'S COMMENTS WILL BE RETURNED TO THE CONTRACTOR.
- C. ALLOW 10 BUSINESS DAYS FOR STRUCTURAL REVIEW OF SHOP DRAWINGS. THIS TIME SHOULD BE ALLOTTED IN THE CONTRACTOR'S SCHEDULE.
- D. SHOP DRAWINGS SHALL BEAR THE CONTRACTOR'S STAMP OF APPROVAL WHICH SHALL CONSTITUTE CERTIFICATION THAT THEY HAVE VERIFIED ALL FIELD MEASUREMENTS, CONSTRUCTION CRITERIA, MATERIALS AND SIMILAR DATA AND HAVE CHECKED EACH DRAWING FOR COMPLETENESS, COORDINATION AND COMPLIANCE WITH THE CONTRACT DOCUMENTS.
- E. THE CONTRACTOR SHALL SUBMIT FOR REVIEW, SIGNED AND SEALED DRAWINGS AND CALCULATIONS PREPARED BY A SPECIALTY STRUCTURAL ENGINEER REGISTERED IN THE PROJECT'S JURISDICTION FOR THE FOLLOWING ASSEMBLIES. THIS REVIEW SHALL BE FOR GENERAL CONFORMANCE WITH THE PROJECT'S PARAMETERS AS INDICATED ON THE DRAWINGS, SPECIFICATIONS AND GENERAL NOTES. THE DESIGN OF THESE ASSEMBLIES IS THE RESPONSIBILITY OF THE CONTRACTOR'S ENGINEER WHO HAS SIGNED AND SEALED THESE DRAWINGS AND CALCULATIONS. THESE SUBMISSIONS SHALL BE MADE AVAILABLE IN CONJUNCTION WITH OR PRIOR TO THE SHOP DRAWING FOR THE PRIMARY BUILDING STRUCTURE THAT SUPPORTS THESE ASSEMBLIES.
 1. METAL RAILINGS
 - a. DESIGNERS SHALL TAKE INTO ACCOUNT ALL VERTICAL AND LATERAL LOADS REQUIRED BY APPLICABLE BUILDING CODES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING AND INSTALLING EMBEDS AND HARDWARE AS REQUIRED BY THE RAILING DESIGN.

2.3 EXISTING CONDITIONS

- A. EXISTING BUILDING INFORMATION SHOWN IS BASED ON EXISTING BUILDING DRAWINGS, FIELD OBSERVATIONS, OR AS INDICATED ON THE ARCHITECTURAL / LANDSCAPE DRAWINGS. THE CONTRACTOR SHALL VERIFY ALL EXISTING BUILDING INFORMATION SHOWN (DIMENSIONS, ELEVATIONS, ETC.) AND NOTIFY THE ARCHITECT AND STRUCTURAL ENGINEER OF ANY DISCREPANCIES.
- B. NEW FRAMED WALKWAY ELEVATIONS ARE TO MATCH EXISTING ADJACENT ELEVATIONS AS INDICATED ON THE ARCHITECTURAL / LANDSCAPE DRAWINGS. FOUNDATION ELEVATIONS OR THE LENGTH OF VERTICAL LOAD CARRYING ELEMENTS SHALL BE ADJUSTED WITH THE APPROVAL OF THE STRUCTURAL ENGINEER TO ACHIEVE MATCHING SLAB ELEVATIONS.
- C. UNLESS NOTED OR DETAILED OTHERWISE ON THE PLANS, NEW FOUNDATIONS ADJACENT TO EXISTING FOUNDATIONS SHALL BEAR AT THE SAME ELEVATION.

PART 3 - FOUNDATIONS / EARTHWORK / GEOTECHNICAL REPORT

- 3.1 REFERENCE GEOTECHNICAL REPORT:
 - A. FOUNDATION DESIGN IS IN ACCORDANCE WITH THE RECOMMENDATIONS PROVIDED IN THE GEOTECHNICAL REPORT PREPARED BY THE ROBERT B. BATTER COMPANY, DATED APRIL 27, 2016, AUTHOR'S REPORT NUMBER 16765-0.
 - B. ALL FOUNDATIONS SHALL BEAR A MINIMUM OF 30" BELOW ADJACENT EXTERIOR GRADE. THE CONTRACTOR SHALL COORDINATE THESE REQUIREMENTS WITH ALL UNDERGROUND UTILITIES, TUNNELS, ETC. AND NOTIFY THE ARCHITECT AND STRUCTURAL ENGINEER IN ADVANCE OF ANY CONSTRUCTION TO ALLOW FOR ADJUSTMENTS.
 - C. SEE THE SPECIFICATIONS AND GEOTECHNICAL REPORT REQUIREMENTS FOR EXCAVATION AND PREPARATION OF THE SUBGRADE FOR THE FOUNDATIONS AND THE SLAB ON GRADE, INCLUDING COMPACTION PROCEDURES. CONTRACTOR NOTE: REQUIREMENTS CONTAINED IN THE GEOTECHNICAL REPORT ARE PART OF THIS WORK.

3.2 FOUNDATION DESIGN PARAMETERS

- A. PILES:
 1. TREATED TIMBER PILES:
 - a. 4 TON CAPACITY, MINIMUM 7 INCH TIP DIAMETER.
 2. PILE LOAD TEST SHALL BE PERFORMED ACCORDING TO THE CONTRACT SPECIFICATIONS AND ASTM D-1143.
 3. ANY DEVIATION IN PILE LOCATION OR ELEVATION SHALL BE REPORTED IMMEDIATELY TO THE STRUCTURAL ENGINEER. ALL REDESIGN COSTS DUE TO PILE MIS-LOCATION SHALL BE AT THE CONTRACTOR'S EXPENSE.
 4. PILES SHALL BE PRE-AUGERED WHEN SPECIFIED OR RECOMMENDED BY THE GEOTECHNICAL ENGINEER TO REDUCE VIBRATIONS. PILES SHALL BE DRIVEN TO COMPLETION IMMEDIATELY AFTER PRE-AUGERING OF EACH PILE LOCATION, AND PRIOR TO ANY FURTHER PRE-AUGERING.

3.3 EXCAVATION:

- A. THE SLOPE BETWEEN THE LOWER EDGES OF ADJACENT FOUNDATIONS SHALL NOT EXCEED 15 DEGREES REFERENCED FROM THE HORIZONTAL, UNLESS NOTED OR DETAILED OTHERWISE ON THE PLAN. MAINTAIN A 1V:1H SLOPE FROM BOTTOM EDGE OF ANY EXCAVATION.
- B. THE CONTRACTOR SHALL VERIFY ALL EXISTING FIELD CONDITIONS THAT MAY AFFECT THE INSTALLATION OF THE FOUNDATION SYSTEM AS SHOWN PRIOR TO STARTING WORK.
- C. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND PROTECTING ALL EXISTING UTILITIES, ABOVE AND BELOW GRADE STRUCTURES, ETC. WHETHER INDICATED OR NOT, THAT MAY BE AFFECTED BY THE CONSTRUCTION PROCESS.
- D. UTILITIES LINES SHALL NOT BE PLACED THROUGH OR BELOW FOUNDATIONS WITHOUT THE STRUCTURAL ENGINEER'S APPROVAL UNLESS DETAILED OTHERWISE IN THE PLANS.
- E. ALL SHORING, SHEETING AND DEWATERING SHALL BE THE TOTAL RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR'S ENGINEER, REGISTERED IN THE PROJECT'S JURISDICTION, SHALL DESIGN THE SHEETING AND SHORING AND PROVIDE SIGNED AND SEALED SUBMITTALS FOR REVIEW.

3.4 BACKFILL AGAINST WALLS:

- A. DO NOT BACKFILL AGAINST RETAINING WALLS UNTIL WALL CONCRETE IS AT FULL DESIGN STRENGTH. BACKFILL WITH APPROVED MATERIAL PLACED IN 6 IN. LAYERS AND COMPACTED TO 95% DENSITY AT OPTIMUM MOISTURE CONTENT AND FREE OF DEBRIS AS DEFINED BY ASTM D-1557, METHOD D.
- B. NO BACKFILL MATERIAL SHALL BE PLACED AGAINST FOUNDATION WALLS UNTIL THE UPPER BRACING FLOORS ARE IN PLACE FOR AT LEAST 7 DAYS, OR ADEQUATE BRACING IS INSTALLED. THE CONTRACTOR'S ENGINEER, REGISTERED IN THE PROJECT'S JURISDICTION, SHALL DESIGN THE BRACING AND PROVIDE SIGNED AND SEALED SUBMITTALS FOR REVIEW.
- C. WHERE THE FINAL GRADE ELEVATIONS ARE APPROXIMATELY EQUAL ON BOTH SIDES OF A WALL, BACKFILL IN LIFTS TO MAINTAIN LEVEL ELEVATIONS WITHIN 12 IN. ON BOTH SIDES AT ANY TIME.

PART 4 - WOOD FRAMING

- 4.1 CODES:
 - A. "DESIGN SPECIFICATIONS", TIMBER CONSTRUCTION MANUAL, AMERICAN INSTITUTE OF TIMBER CONSTRUCTION.
 - B. "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION" WITH SUPPLEMENT, 2012, AMERICAN FOREST & PAPER ASSOCIATION.
- 4.2 MATERIALS:
 - A. SAWN LUMBER: ALL SAWN LUMBER SHALL HAVE 19% MAXIMUM MOISTURE CONTENT AND SHALL BE SURFACE DRY SPRUCE-PINE-FIR (NOT SOUTH).

	FB	FT	FV	FC(PERP)	FC(PARA)	E
1.	1050	700	175	565	1450	1,600,000
 - B. TIMBER PILES: ALL TIMBER PILES SHALL BE ROUND, TREATED SOUTHERN PINE.
 1. STRUCTURAL MEMBERS: GRADE ASTM-D-25 ROUND #1
- 4.3 SAWN LUMBER:
 - A. SEE INTERNATIONAL BUILDING CODE CHAPTER 23, TABLE 2304.9.1 FOR MINIMUM BRACING AND FASTENING.
 - B. MEMBERS SHALL BE SET WITH CROWN SIDE UP AND HAVE A MINIMUM 3 IN. BEARING.
 - C. MEMBERS FRAMING TO BEAMS, HEADERS, ETC. SHALL BE SECURED WITH SIMPSON STRONG-TIE FRAMING ANCHORS OR APPROVED EQUAL, UNLESS DETAILED OTHERWISE.
 - D. ALL JOISTS AND RAFTERS SHALL BE RIGIDLY BRIDGED AT INTERVALS NOT EXCEEDING 8 FEET.
 - E. USE 1/2 IN. DIAMETER LAG SCREWS OR THRU BOLTS AT 24 INCH O.C. TO JOIN MULTIPLE 2X BEAMS OR GIRDERS SO THAT LOAD DISTRIBUTES EQUALLY.
 - F. PROVIDE CONTINUOUS SOLID BLOCKING UNDER CONCENTRATED LOADS (INCLUDING WINDOW AND DOOR JAMBS) DOWN THROUGH FLOOR FRAMING TO SLAB ON GRADE OR FOUNDATION.
 - G. ALL WOOD SILL PLATES SHALL BE ANCHORED TO GROUT FILLED CMU OR CONCRETE FOUNDATIONS WITH 1/2 IN DIAMETER HOOKED ANCHORS AT 4 FEET O.C. (2 MINIMUM PER SILL PIECE). ANCHOR BOLTS SHALL BE EMBEDDED A MINIMUM OF 14 IN. INTO MORTAR GROUT AND 8 IN. INTO CAST-IN-PLACE CONCRETE.
 - H. ALL BOLTS AND LAG SCREWS SHALL BE FITTED WITH GALVANIZED, MALLEABLE IRON OR STEEL PLATE WASHERS.
- 4.4 WOOD PRESERVATIVE TREATMENT:
 - A. WHERE LUMBER OR PLYWOOD IS INDICATED AS 'TREATED', COMPLY WITH APPLICABLE REQUIREMENTS OR AMERICAN WOOD PRESERVERS ASSOCIATION (AWPA) STANDARDS U1, T1 AND P5, AND WITH AWPB STANDARDS LISTED BELOW. MARK EACH TREATED ITEM WITH THE AWPB QUALITY MARK REQUIREMENTS.
 - B. PRESERVATIVE TREATMENT:

	TIMBER PILES	AWPA USE CATEGORY	PRESERVATIVE	RETENTION LEVEL
	SAWN LUMBER	UC4C	CHROMATED COPPER ARSENATE	0.8 PCF
		UC4C	CHROMATED COPPER ARSENATE	0.6 PCF
- 4.5 FASTENERS:
 - A. NAILS: COMMON WIRE, GALVANIZED, FOR ATTACHMENT OF HURRICANE TIES.
 - B. BOLTS: ASTM A307 FOR ALL WOOD-TO-WOOD AND LIGHT GAGE STEEL-TO-WOOD CONNECTIONS, HOT-DIPPED GALVANIZED OR STAINLESS STEEL.
 - C. SCREWS: ASME B18.8.1 FOR ALL WOOD-TO-WOOD AND WOOD-TO-STEEL CONNECTIONS AND ATTACHMENT OF DECK BOARDS TO JOIST (OR AS SPECIFIED BY DECK BOARD MANUFACTURER), CONNECTORS: SIMPSON STRONG-TIE OR APPROVED EQUAL.

ABBREVIATION	WORD OR PHRASE	ABBREVIATIONS - CONTINUED	
ASTM	AMERICAN SOCIETY FOR TESTING AND MATERIALS	GALV	GALVANIZED
ASCE	AMERICAN SOCIETY OF CIVIL ENGINEERS	INFO	INFORMATION
AWS	AMERICAN WELDING SOCIETY	IBC	INTERNATIONAL BUILDING CODE
AB	ANCHOR BOLT	JB	JOIST BEARING
ARCH	ARCHITECT		
@	AT RATE OF		
BM	BEAM	MFR	MANUFACTURER
BRG	BEARING	MAX	MAXIMUM
BLK	BLOCKING	MIN	MINIMUM
BLDG	BUILDING		
		NDS	NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION
CL	CENTERLINE	NTS	NOT TO SCALE
CLR	CLEAR		
CONC	CONCRETE	OC	ON CENTER
CONN	CONNECTION		
CONST	CONSTRUCTION	PSF	POUNDS PER SQUARE FOOT
CONT	CONTINUOUS		
		REF	REFERENCE
DIA	DIAMETER		
DIM	DIMENSION	SS	STAINLESS STEEL
DWLS	DOWELS	STD	STANDARD
DN	DOWN	STL	STEEL
DWG	DRAWING		
		TOW	TOP OF WALL
EA	EACH	TYP	TYPICAL
EW	EACH WAY		
EL	ELEVATION		
EQ	EQUAL	UNO	UNLESS NOTED OTHERWISE
EX OR (E)	EXISTING		
		FT	FEET
FDN	FOUNDATION		

CERTIFICATION NOTE:
I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CCDE AND THE LANDSCAPE MANUAL FOR NEW TOWN ALTERNATIVE COMPLIANCE AND THE CRESCENT NEIGHBORHOOD DESIGN GUIDELINES. I/WE FURTHER CERTIFY THAT UPON COMPLETION A LETTER OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

DEVELOPER'S/OWNER'S NAME

DEVELOPER'S/OWNER'S NAME

S001

APPROVED
PLANNING BOARD OF HOWARD COUNTY

Date: _____

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director _____ Date _____

Chief, Division of Land Development _____ Date _____

Chief, Development Engineering Division _____ Date _____

TEC
Tarantino Engineering Consultants, PC
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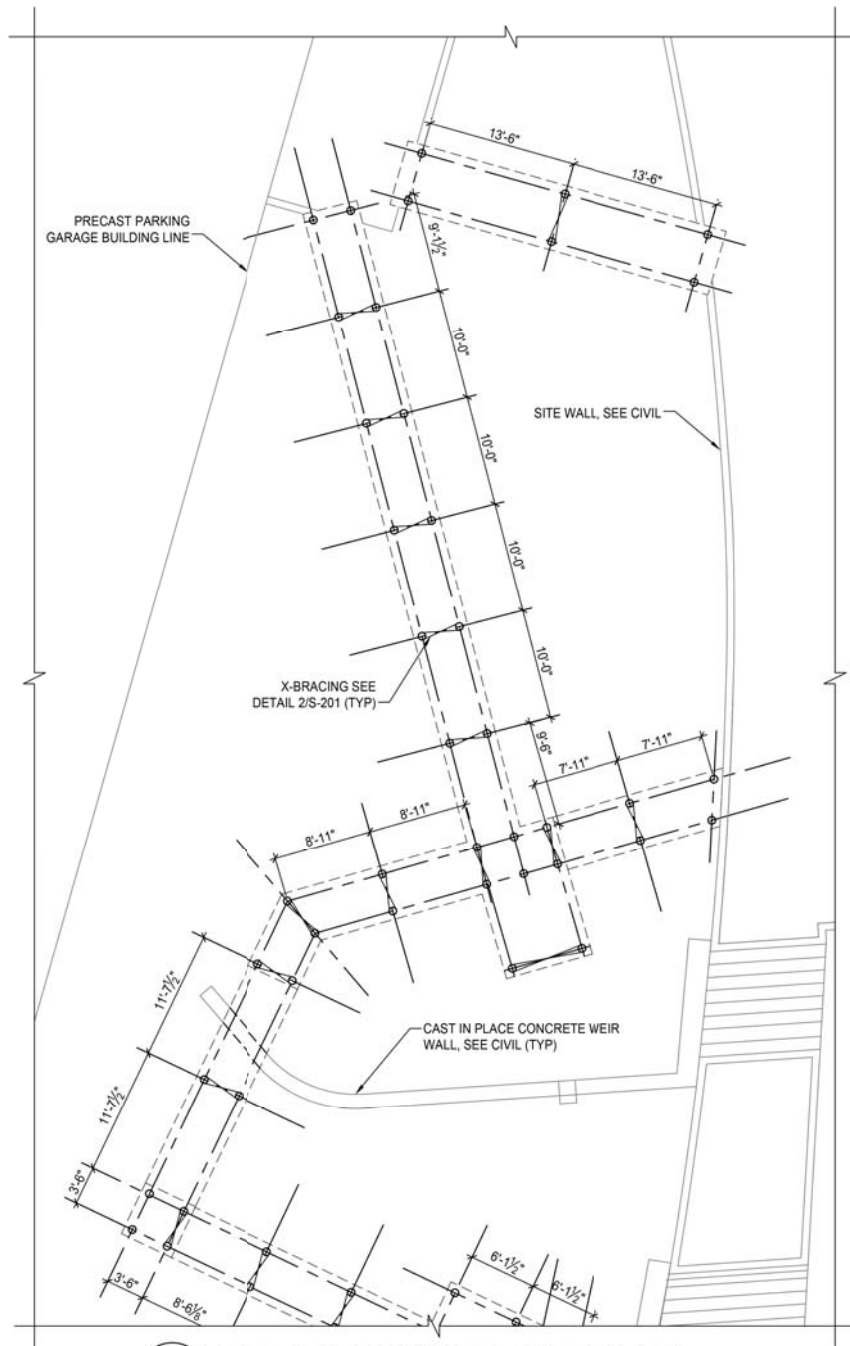
6/27/2016	▲ ADDITIONAL SHEET						
DES.	DRN.	CHK.	DATE	REVISION	BY	APPR.	

OWNER/PREPARED FOR:
THE HOWARD HUGHES CORPORATION
10480 LITTLE PATUXENT PARKWAY
SUITE 400
COLUMBIA, MD 21044
ATTN: MR. ROBERT JENKINS
(410) 964-4800

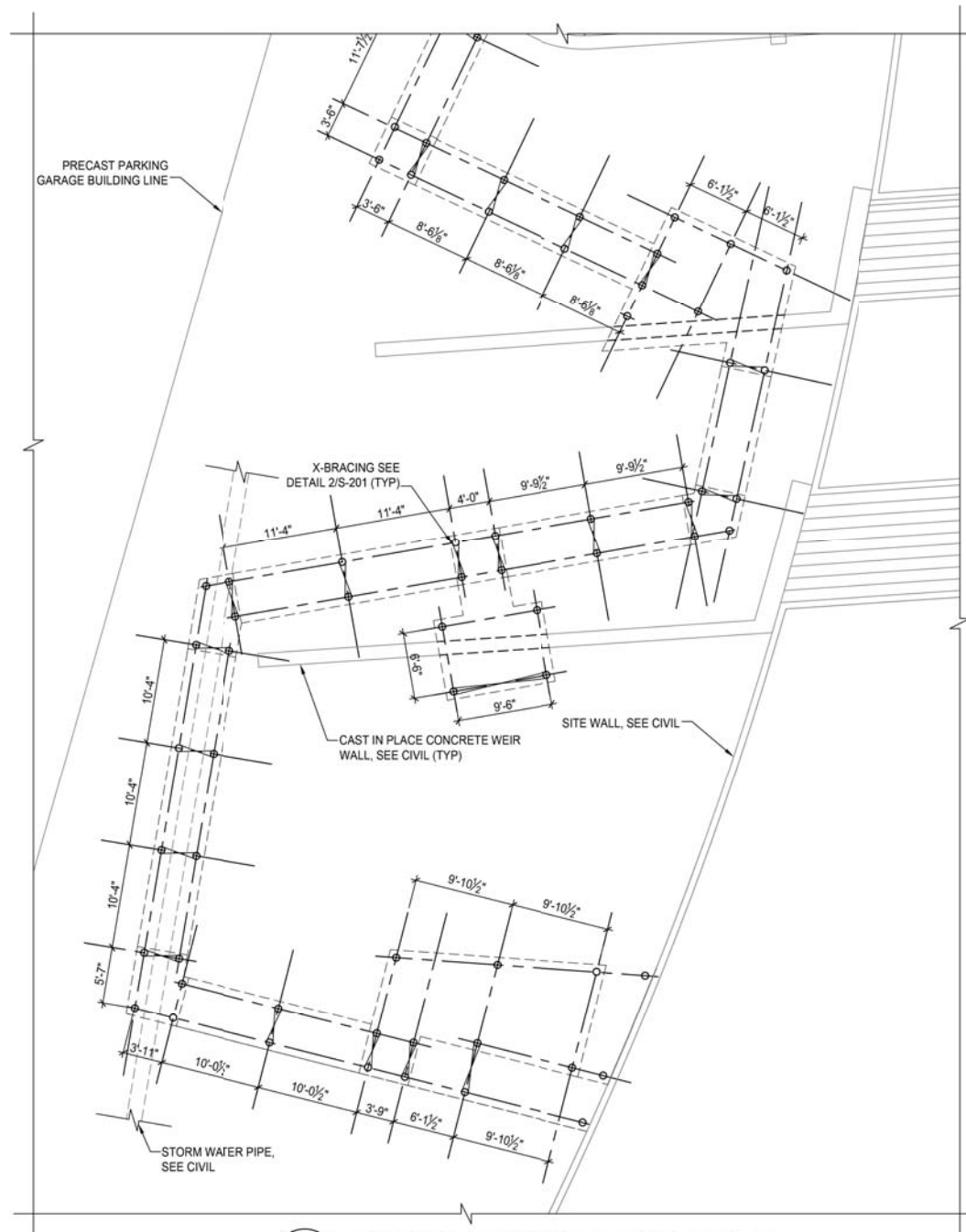
STRUCTURAL GENERAL NOTES

DOWNTOWN COLUMBIA
CRESCENT NEIGHBORHOOD
PARCELS A-1, A-2, & A-3, AND PARCEL E
MIXED USE GREEN OFFICE, RETAIL AND RESTAURANT BUILDINGS AND TEMPORARY PARKING LOT
(PART OF TAX PARCEL 527); PLAT No. _____
ELECTION DISTRICT No. 5

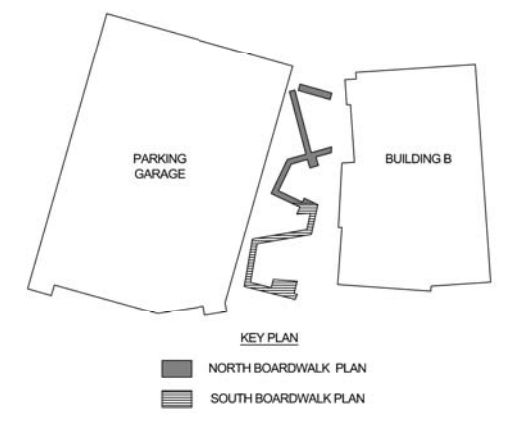
SCALE	ZONING	G. L. W. FILE No.
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JUNE, 2016	36 - 01	54 OF 58



A NORTH BOARDWALK PILE LAYOUT PLAN
1/8" = 1'-0"



B SOUTH BOARDWALK PILE LAYOUT PLAN
1/8" = 1'-0"



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DEVELOPER'S/OWNER'S NAME

DEVELOPER'S/OWNER'S NAME



APPROVED
PLANNING BOARD OF HOWARD COUNTY

Date: _____

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director _____ Date _____

Chief, Division of Land Development _____ Date _____

Chief, Development Engineering Division _____ Date _____

TEC
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DES.	DRN.	CHK.	DATE	REVISION	BY	APP'R.
			6/27/2016	ADDITIONAL SHEET		

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			6/27/2016	ADDITIONAL SHEET		

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SUITE 400
COLUMBIA, MD 21044
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BOARDWALK PILE LAYOUT PLAN
DOWNTOWN COLUMBIA
CRESCENT NEIGHBORHOOD
PARCELS A-1, A-2, & A-3, AND PARCEL E
MIXED USE GREEN OFFICE, RETAIL AND RESTAURANT BUILDINGS AND TEMPORARY PARKING LOT
(PART OF TAX PARCEL 527); PLAT No. _____
ELECTION DISTRICT No. 5

SCALE: 1/8" = 1'-0"

DATE: JUNE, 2016

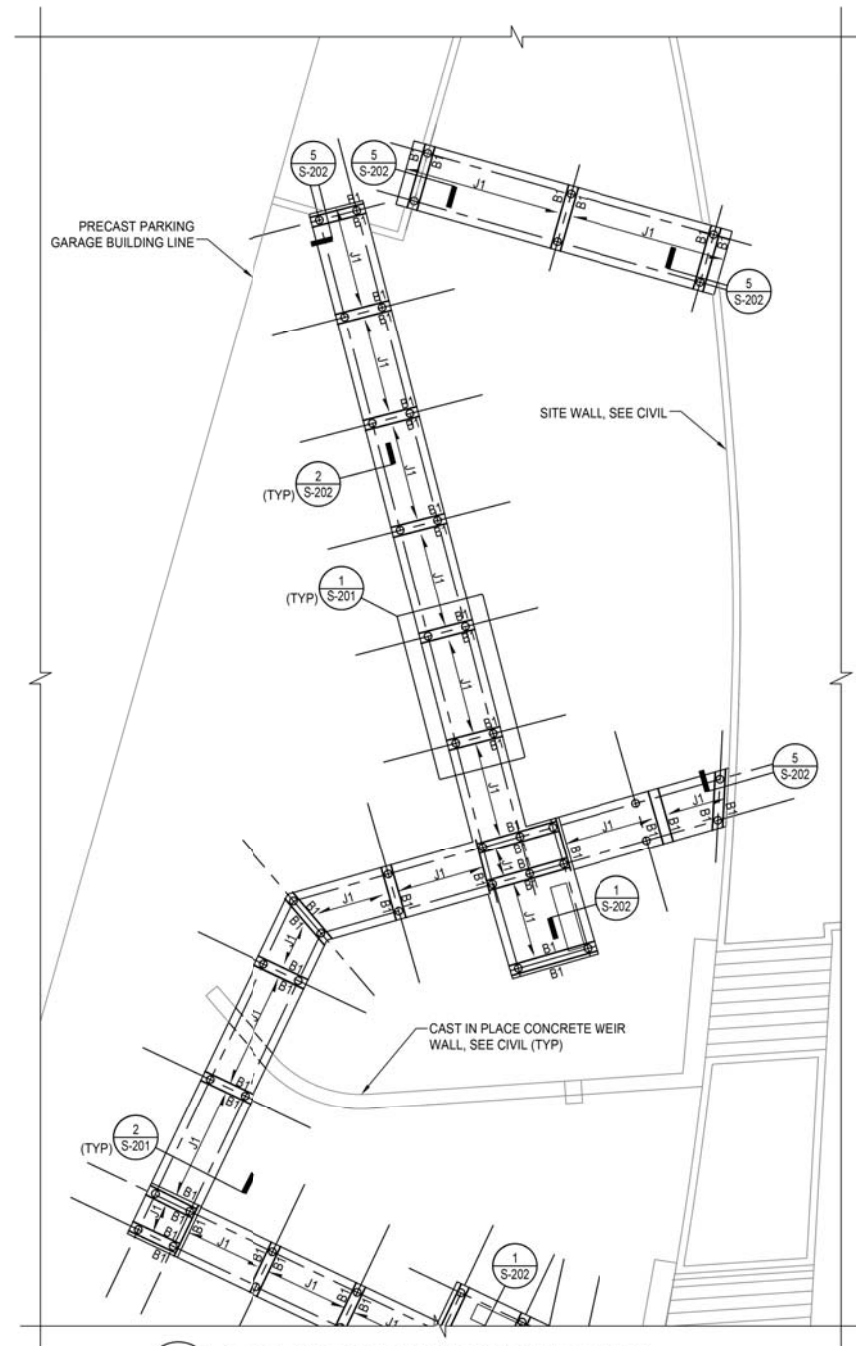
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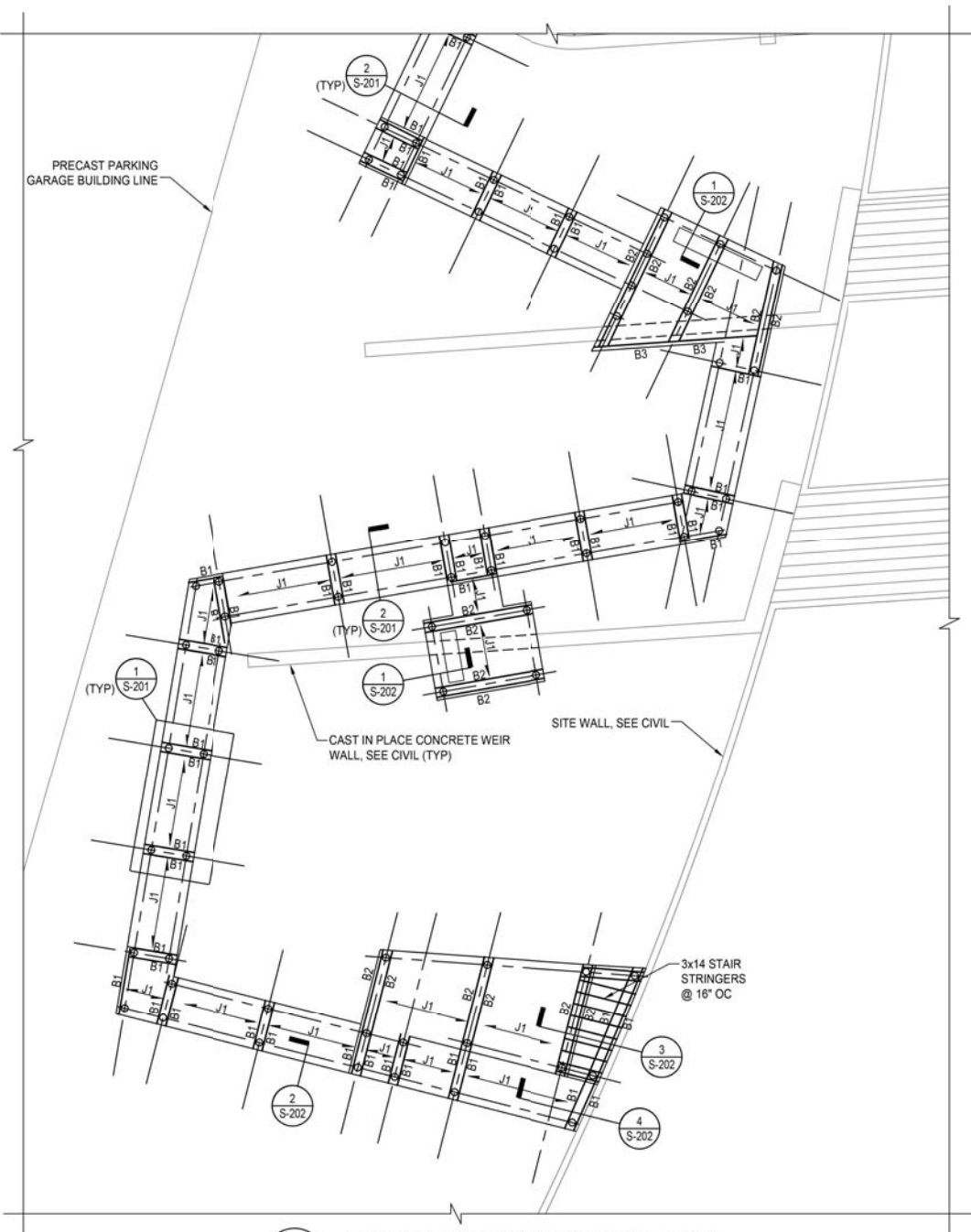
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SHEET: 55 OF 58

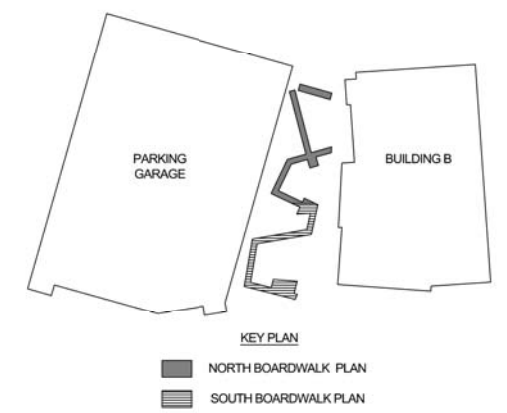
HOWARD COUNTY, MARYLAND



A NORTH BOARDWALK FRAMING PLAN
SCALE: 1/8" = 1'-0"



B SOUTH BOARDWALK FRAMING PLAN
SCALE: 1/8" = 1'-0"



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DEVELOPER'S/OWNER'S NAME

DEVELOPER'S/OWNER'S NAME



- PLAN NOTES** SCALE: 1/8" = 1'-0"
- REFERENCE ELEVATIONS TO THE TOP OF THE BOARDWALK DECKING ARE PROVIDED IN THE ARCHITECTURAL DRAWINGS. SEE ARCHITECTURAL, LANDSCAPE AND CIVIL DRAWINGS FOR SLOPES, BOARDWALK GEOMETRY, GRADES AND SITE STRUCTURE ELEVATIONS.
 - PILE FOUNDATION SYSTEM SHALL BE NOMINALLY 8" Ø TIMBER DRIVEN PILES WITH A MINIMUM TIP DIAMETER OF 7" AND A SERVICE CAPACITY OF 4 TONS. ESTIMATED MINIMUM TOTAL EMBEDMENT LENGTH = 12'-0", WITH A MINIMUM OF 8'-0" OF EMBEDMENT BELOW THE BOTTOM OF THE PROPOSED BIO-RETENTION SYSTEM. ALL PILE DRIVING OPERATIONS SHALL BE MONITORED BY A GEOTECHNICAL ENGINEER REGISTERED IN MARYLAND WHO SHALL CERTIFY THE PILE CAPACITY AND EMBEDMENT LENGTH OF THE PRODUCTION PILES. WOOD PILES ARE NOTED ON PLAN THUS:
○ PILES TO BE CUT FLUSH WITH TOP OF JOISTS/ BOTTOM OF DECK
 - SEE GEOTECHNICAL REPORT DATED 27 APRIL 2016 PREPARED BY THE ROBERT B. BALTER COMPANY FOR SITE WORK REQUIREMENTS, VIBRATION MONITORING REQUIREMENTS AND CONSIDERATIONS OF POSSIBLE EFFECTS ON THE STORMWATER MANAGEMENT SYSTEM, CAST IN PLACE CONCRETE WEIR WALLS, THE PARKING GARAGE, AS WELL AS BUILDINGS A AND B DURING PILE DRIVING OPERATIONS. THE DESIGN TEAM RECOMMENDS THAT THE TIMBER PILES BE INSTALLED PRIOR TO THE PLACEMENT OF THE CONCRETE WEIR WALLS TO ELIMINATE CONCERNS OF THE WALLS SETTLING AS A RESULT OF THE PILE DRIVING OPERATIONS.

LEGEND/ SCHEDULE	
J1	3x10 SP AT 15' OC W/ BLOCKING MID-SPAN.
B1	3x10 SP
B2	(2) 3x12 SP
B3	(1) 3x12 SP
○	8" Ø TIMBER DRIVEN PILE EMBED ±12'-0"

LEGEND NOTES
SP NO. 1 PRESSURE TREATED SOUTHERN PINE. ALL LUMBER IN EXPOSED TO WEATHER AND SHALL BE SP.
BX BEAMS

APPROVED
PLANNING BOARD OF HOWARD COUNTY
Date: _____

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
Director _____ Date _____
Chief, Division of Land Development _____ Date _____
Chief, Development Engineering Division _____ Date _____

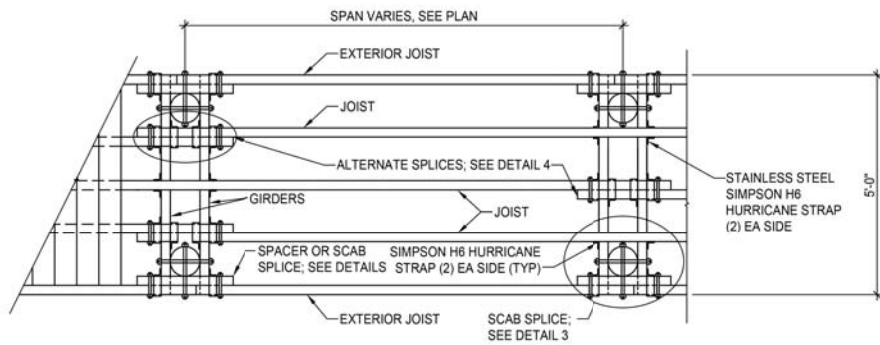
TEC Tarantino Engineering Consultants, PC 7678 Midtown Rd. Fulton, MD 20759 410-921-7678 www.tarantinoec.com	DES.	DRN.	CHK.
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DATE	REVISION	BY	APPR.
6/27/2016	▲ ADDITIONAL SHEET		

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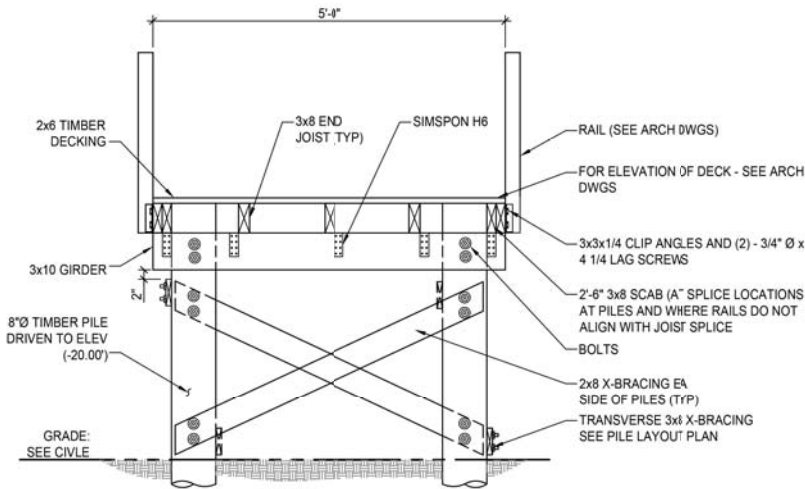
BOARDWALK FRAMING PLAN
DOWNTOWN COLUMBIA
CRESCENT NEIGHBORHOOD
PARCELS A-1, A-2, & A-3, AND PARCEL E
MIXED USE GREEN OFFICE, RETAIL AND RESTAURANT BUILDINGS AND TEMPORARY PARKING LOT
(PART OF TAX PARCEL 527); PLAT No. _____
ELECTION DISTRICT No. 5
HOWARD COUNTY, MARYLAND

SCALE 1/8" = 1'-0"	ZONING NT	G. L. W. FILE No. 15019
DATE JUNE, 2016	TAX MAP - GRID 36 - 01	SHEET 56 OF 58



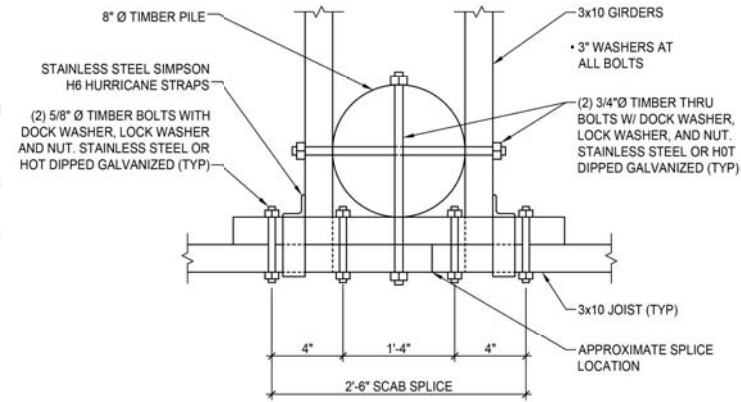
1 BOARDWALK FRAMING

1/2" = 1'-0"



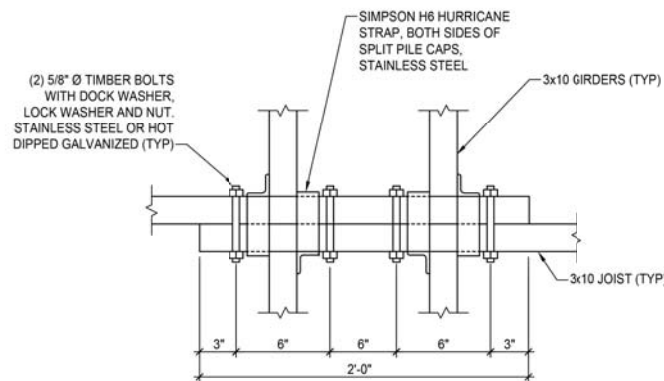
2 BOARDWALK SECTION

1/2" = 1'-0"



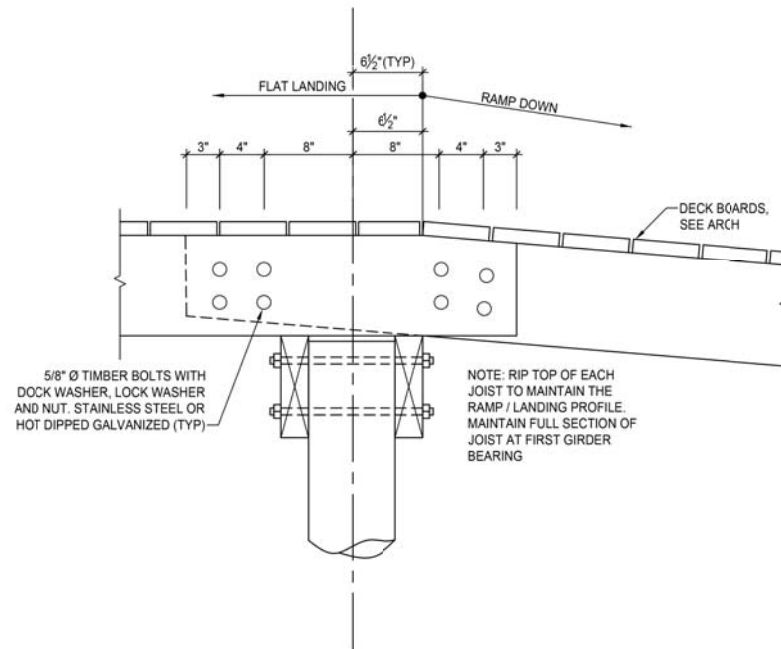
3 SCAB SPLICE DETAIL (PLAN VIEW)

1 1/2" = 1'-0"



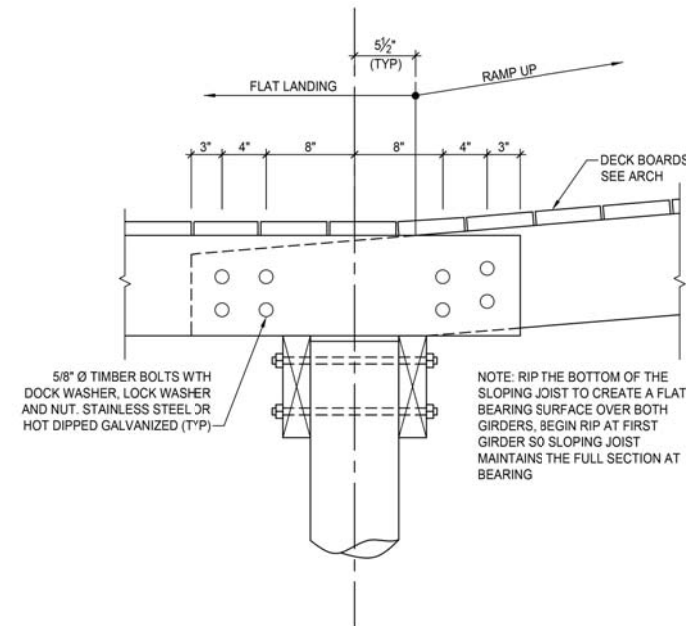
4 LAP SLICE DETAIL (PLAN VIEW)

1 1/2" = 1'-0"



5 RAMP TRANSITION DETAIL

1 1/2" = 1'-0"



6 RAMP TRANSITION DETAIL

1 1/2" = 1'-0"

CERTIFICATION NOTE:
I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CCDE AND THE LANDSCAPE MANUAL FOR NEW TOWN ALTERNATIVE COMPLIANCE AND THE CRESCENT NEIGHBORHOOD DESIGN GUIDELINES. I/WE FURTHER CERTIFY THAT UPON COMPLETION A LETTER OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

DEVELOPER'S/OWNER'S NAME

DEVELOPER'S/OWNER'S NAME

APPROVED
PLANNING BOARD OF HOWARD COUNTY
Date: _____

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
Director _____ Date _____
Chief, Division of Land Development _____ Date _____
Chief, Development Engineering Division _____ Date _____

TEC	DES.	DRN.	CHK.	DATE	REVISION	BY	APPR.
Tarantino Engineering Consultants, PC 7678 Midtown Rd. Fulton, MD 20759 410-921-7678 www.tarantinoec.com							

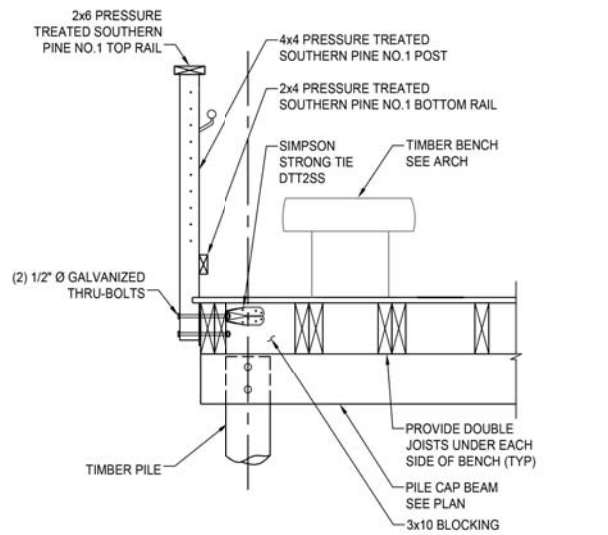
6/27/2016	ADDITIONAL SHEET						
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OWNER/PREPARED FOR:
THE HOWARD HUGHES CORPORATION
10480 LITTLE PATUXENT PARKWAY
SUITE 400
COLUMBIA, MD 21044
ATTN: MR. ROBERT JENKINS
(410) 964-4800

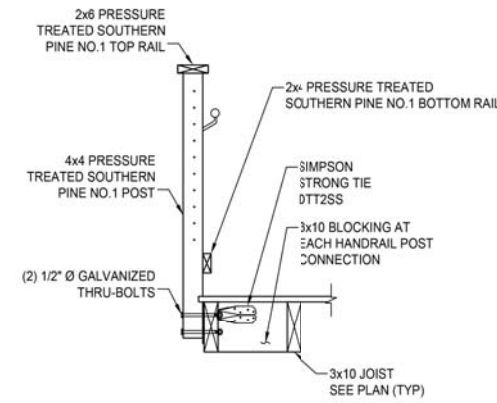
BOARDWALK FRAMING DETAILS- 1
DOWNTOWN COLUMBIA
CRESCENT NEIGHBORHOOD
PARCELS A-1, A-2, & A-3, AND PARCEL E
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SCALE	ZONING	G. L. W. FILE No.
VARIES	NT	15019
DATE	TAX MAP - GRID	SHEET
JUNE, 2016	36 - 01	57 OF 58

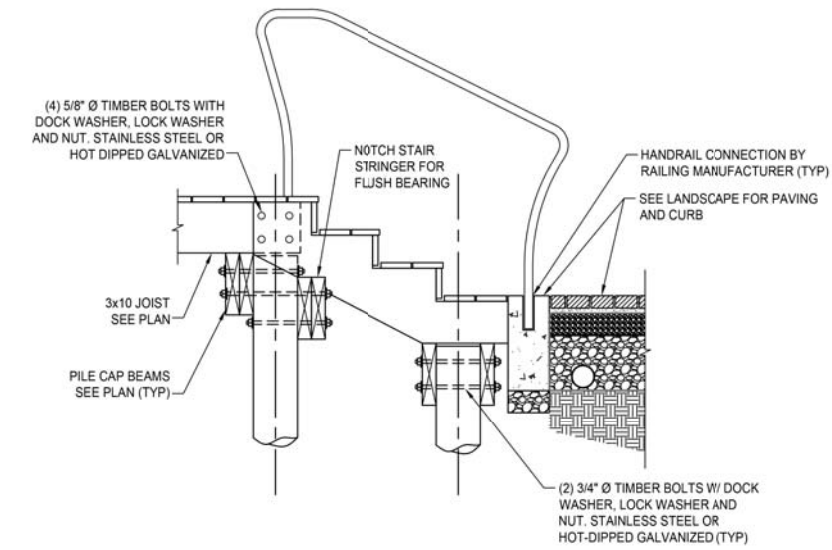
S201



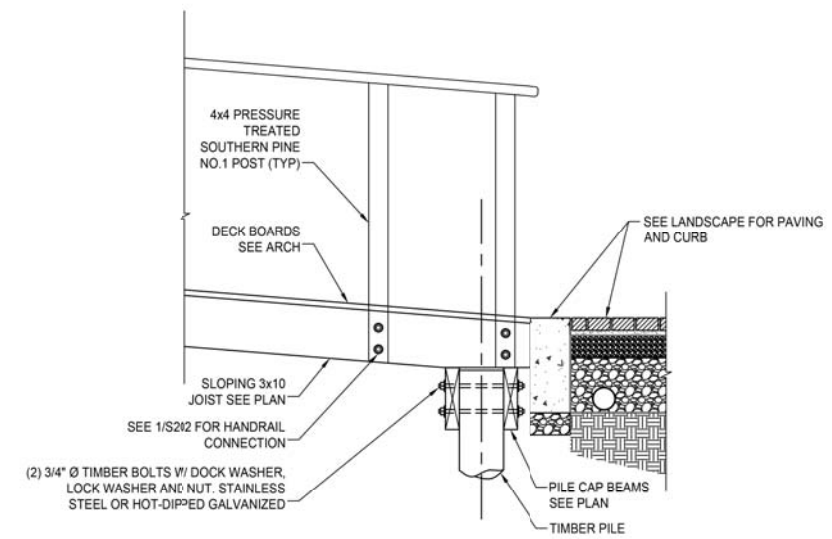
1 TYPICAL BENCH SUPPORT DETAIL
3/4" = 1'-0"



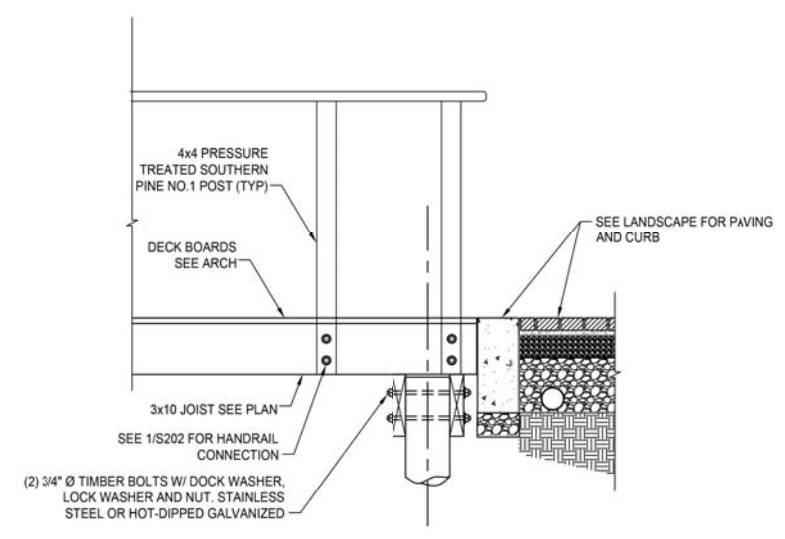
2 TYPICAL RAILING CONNECTION DETAIL
3/4" = 1'-0"



3 BOARDWALK STAIRS DETAIL
3/4" = 1'-0"



4 BOARDWALK RAMP TO LANDSCAPE TRANSITION
3/4" = 1'-0"



5 BOARDWALK TO LANDSCAPE TRANSITION
3/4" = 1'-0"

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DEVELOPER'S/OWNER'S NAME

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APPROVED
PLANNING BOARD OF HOWARD COUNTY

Date: _____

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director _____ Date _____

Chief, Division of Land Development _____ Date _____

Chief, Development Engineering Division _____ Date _____

TEC
Tarantino Engineering Consultants, PC
7678 Midtown Rd.
Fulton, MD 20759
410-921-7678
www.tarantinoec.com

DES.	DRN.	CHK.	DATE	REVISION	BY	APPR.
			6/27/2016	ADDITIONAL SHEET		

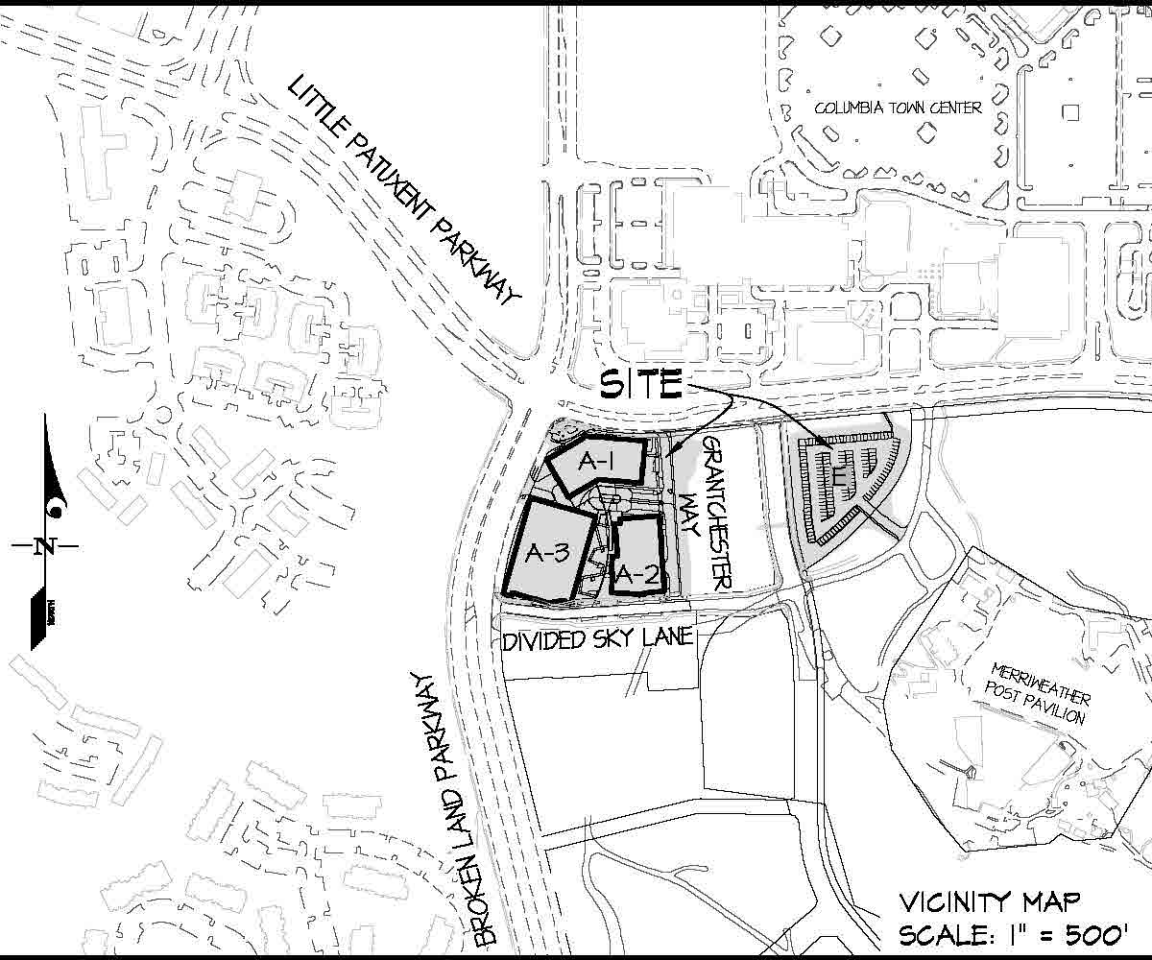
OWNER/PREPARED FOR:
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SUITE 400
COLUMBIA, MD 21044
ATTN: MR. ROBERT JENKINS
(410) 964-4800

BOARDWALK FRAMING DETAILS-2

DOWNTOWN COLUMBIA
CRESCENT NEIGHBORHOOD
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MIXED USE GREEN OFFICE, RETAIL AND RESTAURANT BUILDINGS AND TEMPORARY PARKING LOT
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SCALE	ZONING	G. L. W. FILE No.
3/4" = 1'-0"	NT	15019
DATE	TAX MAP - GRID	SHEET
JUNE, 2016	36 - 01	58 OF 58

S202



LITTLE PATIENT PARKWAY

COLUMBIA TOWN CENTER

SITE

A-1
A-3
A-2

GRANTCHESTER WAY

DIVIDED SKY LANE

BROKEN LAND PARKWAY

MERRIMWEATHER POST PAVILION

VICINITY MAP
SCALE: 1" = 500'



LANDSCAPE PLAN