



**Vicinal Properties:** The site is bounded on the east by Snowden River Parkway and the rest by developed parcels within the Columbia Corporate Park.

**Site History:**

- 09/30/1987: Site Development Plan SDP-87-193 approved to construct Office Building #1 (Parcel A-2), Office Building #2 (Parcel A-35), and associated parking.
- 09/29/2007: Final Development Plan FDP-117-A-2 recorded; establishing and amending map and/or criteria governing subject property.
- 04/15/2016: Environmental Concept Plan ECP-16-037 for stormwater management; design approved for the proposed Texas Roadhouse restaurant.
- 04/26/2016: Site Development Plan SDP-16-061 submitted to DPZ by the petitioner.
- 07/29/2016: Petitioner informed by DPZ that SDP-16-061 may be approved subject to Planning Board approval and all minor comments being addressed.

**Site Improvements:** A 7,420 square foot restaurant; including associated site improvements, such as utilities, sidewalks, stormwater management, landscaping, and adjustments to the surrounding parking lot.

**Stormwater Management:** Stormwater management meets both redevelopment and new development requirements. A Filterra fulfills redevelopment requirements, while a micro-bioretenion facility fulfills new development requirements.

**Environmental Considerations:** The subject property does not contain wetlands, streams, buffers, or 100-year floodplains; nor are there adjacent cemeteries, historic structures, forest resources, or scenic roads.

**Landscaping:** Landscaping is in accordance with Section 16.124 of the Howard County Code and the Howard County Landscape Manual.

**Evaluation and Conclusions:** The Site Development Plan complies with Final Development Plan FDP-117-A-2, as follows:

- **Setbacks:** It meets a 25' structure and parking setback from a public street, road or highway; a 100' structure setback from a residential district; and a setback for a building exceeding 20' in height, where an additional foot of setback is required for each foot above 20'.
- **Land Use:** The proposed restaurant is among the permitted uses in industrial districts or industrial land use zones. These include, but are not limited to, all uses in the 'M-1' District and commercial uses ancillary to, or compatible with, permitted industrial uses; including restaurants.
- **Building Height:** The proposed building height is 27.5'; less than the allowed 50' maximum, except if a taller building is approved by the Planning Board.
- **Parking:** Restaurant parking is based on 5 spaces/1,000 square feet of net leasable area; therefore a 7,420 sf. restaurant requires 38 spaces. Parking will also be shared with the adjacent office building on

Parcel 'A-35'. Office parking requires 2 spaces/1,000 square feet of net leasable area, where a 100,000 sf office building requires 200 spaces. Total parking required is 238 spaces and 391 spaces are provided.

**SRC Action:** The SRC notified the petitioner on July 29, 2016 that the plan may be approved, subject to Planning Board approval.

Please note that this file is available for public review by appointment at the Department of Planning and Zoning's public service counter, Monday through Friday, 8:00 a.m. to 5:00 p.m.

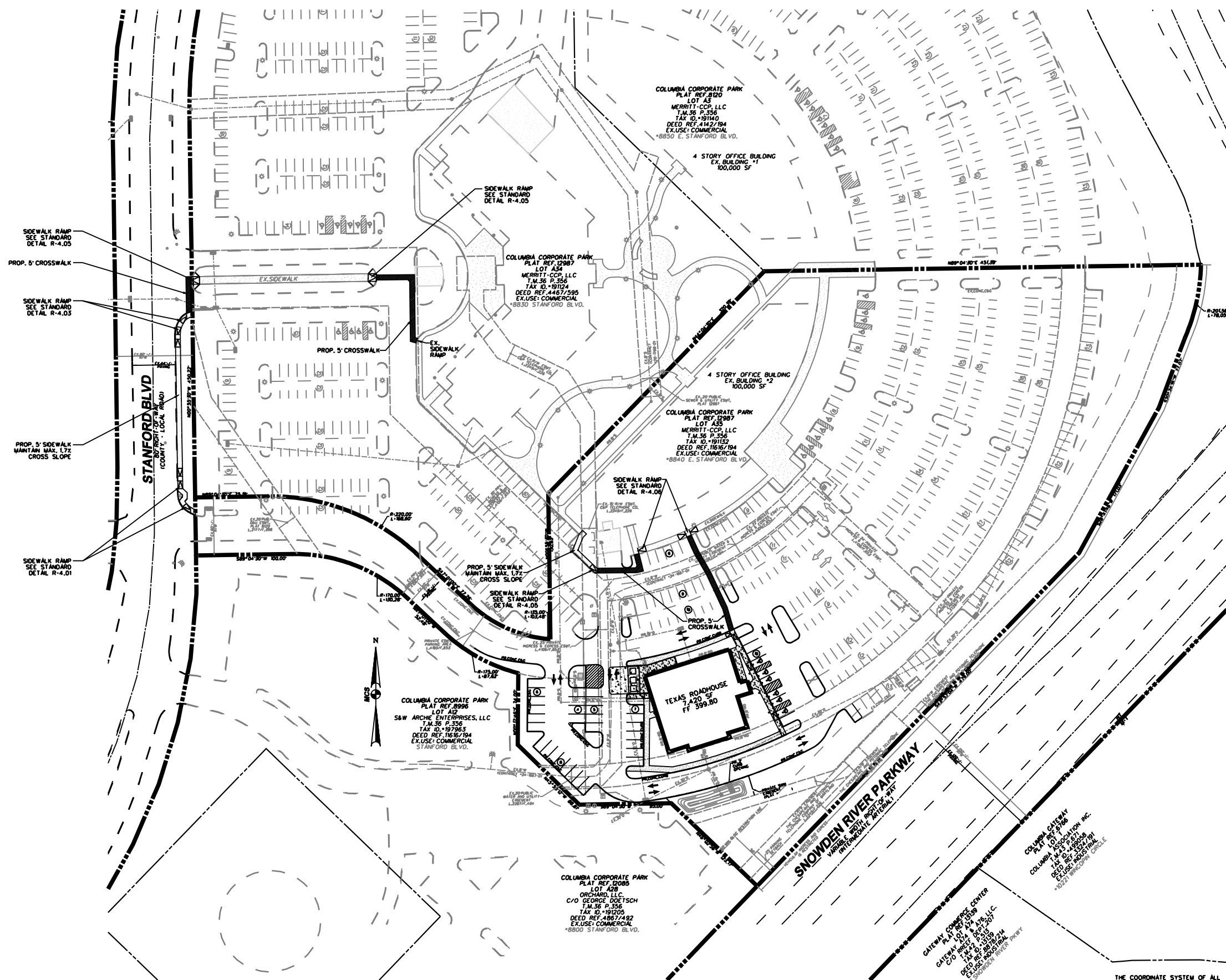
**Recommendation:** The Department of Planning and Zoning recommends approval of Site Development Plan SDP-16-061, subject to compliance with SRC comments and any conditions imposed by the Planning Board.

  
\_\_\_\_\_  
Valdis Lazdins, Director  
Department of Planning and Zoning

8-3-16  
Date

VL:eb





THE COORDINATE SYSTEM OF ALL DRAWINGS IS BASED ON THE NORTH AMERICAN DATUM OF 1983. THE ELEVATION SYSTEM OF ALL DRAWINGS IS BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988. HORIZ: NAD 83/94 VERT: NAVD 88

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Chief, Development Engineering Division	Date
Chief, Division of Land Development	Date
Director	Date

ADDRESS CHART

LOT / PARCEL NO.	STREET ADDRESS
356 / A-42	RESTAURANT - 8820 STANFORD BOULEVARD

PERMIT INFORMATION CHART

SUBDIVISION NAME	SECTION / AREA	LOT / PARCEL NO.			
COLUMBIA CORPORATE PARK	1 / 1	356 / A-42			
PLAT NO. OF L/F	GRD NO.	ZONING	TAX MAP NO.	ELEC. DIST.	CENSUS TRACT
	24	NT	36	6	606707

**BLDG**  
Baltimore Land Design Group Inc.  
Consulting Engineers  
230 SCHILLING CIRCLE, SUITE 364 • HUNT VALLEY, MARYLAND 21031  
PHONE: 410.229.9851 • FAX: 410.229.9865 • BLDG@BLDGINC.COM



**PROFESSIONAL CERTIFICATION**  
HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, MONA ROSTEK-ZARSKA, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21245, EXPIRATION DATE: JUNE 9, 2018.

**OWNER**  
MERRITT-CCP, LLC  
2066 LORD BALTIMORE DRIVE  
BALTIMORE, MD 21244  
(410) 298-7600  
FAX: (410) 298-9644

**DEVELOPER / APPLICANT**  
TEXAS ROADHOUSE HOLDING, LLC  
6040 DUTCHMANS LANE, SUITE 400  
LOUISVILLE, KY 40205  
(502) 426-9984  
FAX: (502) 515-7229

REVISIONS

DATE	NO.	DESCRIPTION	BY

**OVERALL PLAN**  
**COLUMBIA CORPORATE PARK**  
SECTION 1, AREA 1, PARCEL A-42 - TEXAS ROADHOUSE  
8820 STANFORD BOULEVARD  
COLUMBIA, MARYLAND 21045  
RESTAURANT  
HOWARD COUNTY, MARYLAND  
SCALE: 1" = 50' (NEW TOWN - EMPLOYMENT CENTER INDUSTRIAL FDP-117-A-1) DATE: AUGUST 2, 2016

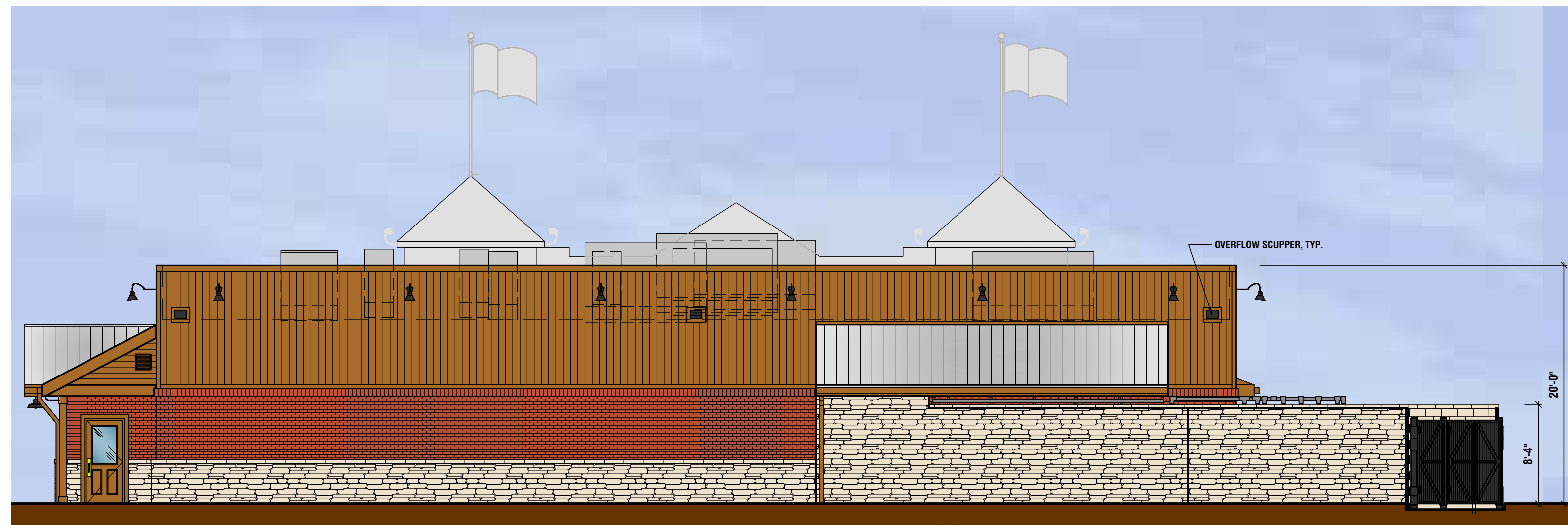
DRAWING NO.  
**C-2**  
SHEET 2 OF 17  
SDP-16-081



**FRONT ELEVATION (SOUTH)**



**RIGHT ELEVATION (EAST)**



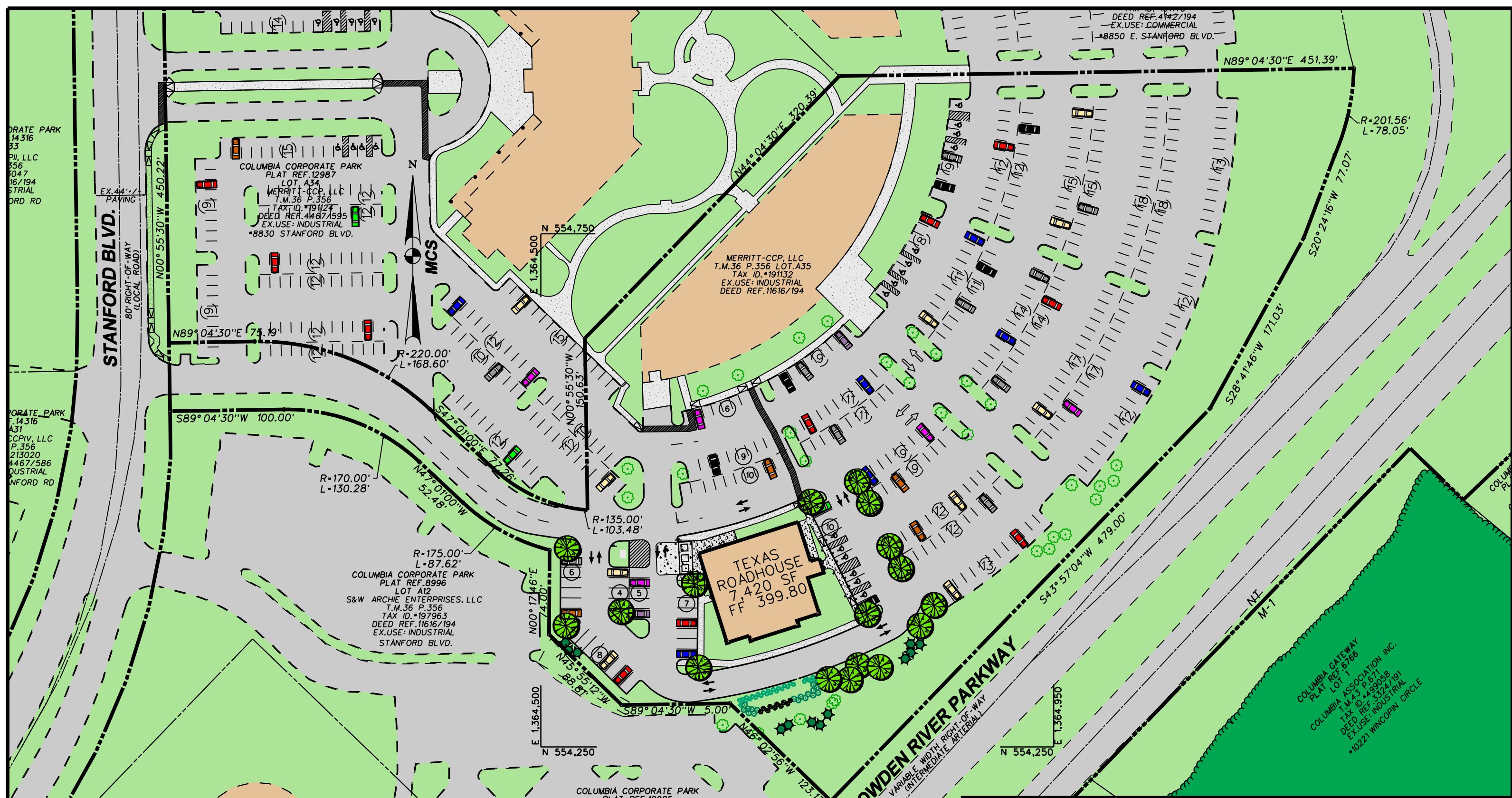
**REAR ELEVATION (NORTH)**



**LEFT ELEVATION (WEST)**

EXTERIOR FINISH SCHEDULE			
BUILDING ITEMS	DESCRIPTION	BUILDING ITEMS	DESCRIPTION
WOOD SIDING, TRIM, & WOOD SHUTTERS	PRE-STAINED CEDAR HENRY POOR LUMBER	BRICK VENEER	CLAYMEX "OLD DENVER"
FRONT ENTRANCE DOORS	METAL DOORS (FAUX WOOD) CECO DOOR "MADERA"	THIN STONE VENEER	HERITAGE STONE "OTTAWA DRYSTACK"
ENTRY DOOR FRAME, METAL FLASHING, GUTTERS & DOWNSPOUTS	PAINT #1 SHERWIN WILLIAMS PAINTS #2195 ROADSIDE COLOR TO MATCH PRE-STAINED CEDAR	METAL ROOF	METAL SALES "SV-CRIMP" COLOR: GALVALUME
METAL DOORS AND FRAMES	PAINT #2 SHERWIN WILLIAMS GLOSS BLACK	DUMPSTER GATES & BOLLARDS	PAINT #2 SHERWIN WILLIAMS GLOSS BLACK

DISCLAIMER NOTE:  
 THE COLORS DEPICTED ON THESE ELEVATIONS ARE FOR GRAPHIC REPRESENTATION PURPOSES ONLY. PLEASE REFER TO MATERIAL BOARD FOR ACTUAL SAMPLE OF COLORS AND TEXTURES



# BLDG

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## COLOR EXHIBIT LANDSCAPE PLAN COLUMBIA CORPORATE PARK

SECTION 1, AREA 1, PARCEL A-42 - TEXAS ROADHOUSE

8820 STANFORD BOULEVARD  
 COLUMBIA, MARYLAND 21045  
 RESTAURANT

(NEW TOWN - EMPLOYMENT CENTER INDUSTRIAL, FDP-117-A-II)

HOWARD COUNTY, MARYLAND  
 SCALE: 1" = 80'

DATE: AUGUST 2, 2016