

HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

3430 Courthouse Drive Ellicott City, Maryland 21043

410-313-2350

Voice/Relay

Valdis Lazdins, Director

FAX 410-313-3467

TECHNICAL STAFF REPORT Planning Board Meeting of August 18, 2016

Project/Petitioner:

SDP-16-061 Columbia Corporate Park-Section 1, Area 1, Parcel 'A-35' (Texas Roadhouse)

Texas Roadhouse Holding LLC/Merritt-CCP II LLC

Planner:

Eric Buschman

Division of Land Development

410-313-0729

Request:

The request is to approve a site development plan to construct a one-story restaurant and associated site improvements in accordance with Final Development Plan FDP-117-

A-2 and the Zoning Regulations.

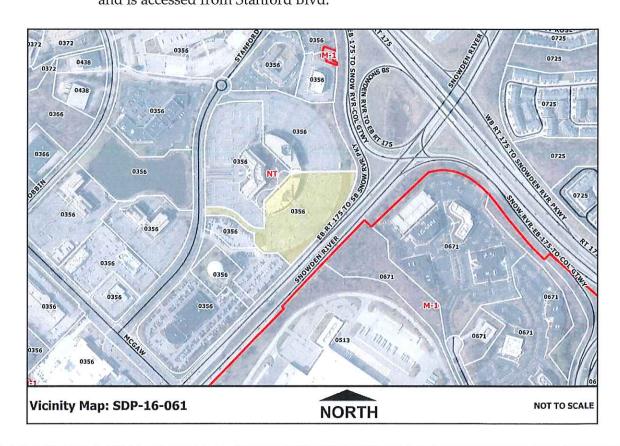
Recommendation:

Approval subject to compliance with Subdivision Review Committee (SRC) comments

and any conditions imposed by the Planning Board.

Location:

The proposed restaurant is located southwest of the Route 175 and Snowden River Parkway intersection, in the Columbia Corporate Park. The 6.78 acre site (zoned NT (New Town – Employment Center Industrial) is located within an existing parking lot and is accessed from Stanford Blvd.



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Vicinal Properties: The site is bounded on the east by Snowden River Parkway and the rest by developed parcels within the Columbia Corporate Park.

Site History:

- 09/30/1987: Site Development Plan SDP-87-193 approved to construct Office Building #1 (Parcel A-2), Office Building #2 (Parcel A-35), and associated parking.
- 09/29/2007: Final Development Plan FDP-117-A-2 recorded; establishing and amending map and/or criteria governing subject property.
- 04/15/2016: Environmental Concept Plan ECP-16-037 for stormwater management; design approved for the proposed Texas Roadhouse restaurant.
- 04/26/2016: Site Development Plan SDP-16-061 submitted to DPZ by the petitioner.
- 07/29/2016: Petitioner informed by DPZ that SDP-16-061 may be approved subject to Planning Board approval and all minor comments being addressed.

Site Improvements: A 7,420 square foot restaurant; including associated site improvements, such as utilities, sidewalks, stormwater management, landscaping, and adjustments to the surrounding parking lot.

Stormwater Management: Stormwater management meets both redevelopment and new development requirements. A Filterra fulfills redevelopment requirements, while a micro-bioretention facility fulfills new development requirements.

Environmental Considerations: The subject property does not contain wetlands, streams, buffers, or 100-year floodplains; nor are there adjacent cemeteries, historic structures, forest resources, or scenic roads.

Landscaping: Landscaping is in accordance with Section 16.124 of the Howard County Code and the Howard County Landscape Manual.

Evaluation and Conclusions: The Site Development Plan complies with Final Development Plan FDP-117-A-2, as follows:

- **Setbacks:** It meets a 25' structure and parking setback from a public street, road or highway; a 100' structure setback from a residential district; and a setback for a building exceeding 20' in height, where an additional foot of setback is required for each foot above 20'.
- Land Use: The proposed restaurant is among the permitted uses in industrial districts or industrial land use zones. These include, but are not limited to, all uses in the 'M-1' District and commercial uses ancillary to, or compatible with, permitted industrial uses; including restaurants.
- **Building Height:** The proposed building height is 27.5′; less than the allowed 50′ maximum, except if a taller building is approved by the Planning Board.
- Parking: Restaurant parking is based on 5 spaces/1,000 square feet of net leasable area; therefore a 7,420 sf. restaurant requires 38 spaces. Parking will also be shared with the adjacent office building on

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Parcel 'A-35'. Office parking requires 2 spaces/1,000 square feet of net leasable area, where a 100,000 sf office building requires 200 spaces. Total parking required is 238 spaces and 391 spaces are provided.

SRC Action: The SRC notified the petitioner on July 29, 2016 that the plan may be approved, subject to Planning Board approval.

Please note that this file is available for public review <u>by appointment</u> at the Department of Planning and Zoning's public service counter, Monday through Friday, 8:00 a.m. to 5:00 p.m.

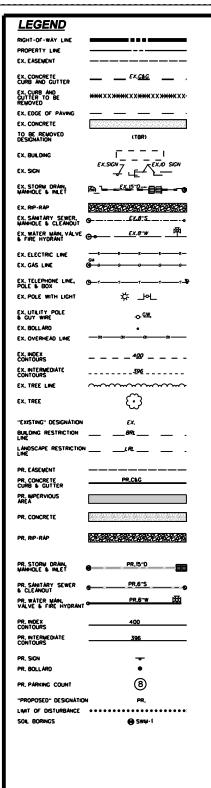
Recommendation: The Department of Planning and Zoning recommends approval of Site Development Plan SDP-16-061, subject to compliance with SRC comments and any conditions imposed by the Planning Board.

Valdis Lazdins, Director

Date

Department of Planning and Zoning

VL:eb



GENERAL CONSTRUCTION NOTES

- 1. ALL CONSTRUCTION ON SITE SHALL BE DONE IN ACCORDANCE WITH ALL LOCAL CODES, INCLUDING:

 NOWARD, COUNTY DEPARTMENT OF PUBLIC WORKS STANDARD SPECIFICATIONS NOWARD, COUNTY DEPARTMENT OF TRANSPORTATION STATE HOWARY ADMINISTRATION, STANDARD SPECIFICATIONS FOR CONSTRUCTION MAD MATERIAL, JULY 2008.

 HOWARD COUNTY PLUMBING CODE, EXCEPT WHERE NOTED.

 HOWARD COUNTY DELUMBING CODE, EXCEPT WHERE NOTED.
- 2. CONTRACTOR SHALL MOTEY THE FOLLOWING AT LEAST 48 HOURS PRIOR TO BEGINNING ANY WORK ON THE PROJECT:

 BEGINNING ANY WORK ON THE PROJECT:

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 VERZON LAID SEO -860 -77

 VERZON LAID SEO -860 -77

 COMCAST CABLEVISION 1800/187-3611

 HOWARD COUNTY, DETT, OF PUBLIC WORKS / BUREAU OF ENGINEERING (410) 313-2414

 HOWARD COUNTY, CONSTRUCTION INSPECTION DIVISION (410) 313-3800

 ENGINEER IN CHARGE LAID 225-9851

- THESE PLANS AND SPECIFICATIONS ARE SUBJECT TO MODERCATION DURING CONSTRUCTION WHEN CONDITIONS DEVELOP THAT WERE NOT APPARENT DURING DESIGN AND PREPARATION OF THESE PLANS, ALL MODERCATIONS MUST BE APPROVED BY LOCAL JURISDICTION PRIOR TO CONSTRUCTION AND/OR MPLEMENTATION.
- 6. SHOULD IT APPEAR THAT THE WORK TO BE DONE OR ANY MATTER RELATIVE THERETO IS NOT SUFFICIENTLY DETAILED OR EXPLANED ON THESE PLANS, CONTRACTOR SHALL CONTACT ENGINEER FOR SUCH FURTHER EXPLANATIONS AS MAY BE NECESSARY.
- DEVIATION FROM THESE PLANS AND SPECIFICATIONS WITHOUT PRIOR WRITTEN CONSENT FROM ENGINEER AND TEXAS ROADHOUSE'S CONSTRUCTION MANAGER MAY CAUSE WORK TO BE UNACCEPTABLE.
- FÁILURE TO MENTION SPECIFICALLY ANY WORK WHICH WOULD NORMALLY BE REQUIRED TO COMPLETE THIS PROJECT SHALL NOT RELIEVE CONTRACTOR FROM PERFORMING SUCH WORK.

- 2. LOCATIONS OF UNDERGOOMD FACHITES AND UTLITES SHOWN ON THESE PLANS ARE BASED ON FELD SURVEYS AND LOCAL UTLITY COMPANY RECORDS. THEY ARE SHOWN FOR CONVENEUR OF CONTROL OF AND COMPANY RECORDS. THEY ARE SHOWN FOR CONVENEUR OF COMPANY AND COMPANY AND COMPANY AND COMPENSATION SHALL BE PAID TO CONTRACTOR FOR DAMAGE AND REPAIR TO THESE FACHITES CAUSED BY HIS/HER WORK FORCE, CONTRACTOR SHALL DETERMINE LOCATION AND ELEVATION OF ENSITING UTLITES BEFORE ORDERING ANY STRUCTURE AND BEFORE TARTING TRENCH EXCAVATION.
- I. BEFORE COMMENCEMENT OF WORK, CONTRACTOR SHALL REVIEW ALL PLANS AND SPECIFICATIONS AND JOB SITE ALL DIMENSIONS AND CRIDES SHOWN ON THESE PLANS SHALL BEFFELD WORKFRED BY CONTRACTOR FOR TO CONSTRUCTION CONTRACTOR SHALL HOTEY TEXAS ROADHOUSES CONSTRUCTION MANAGER IF ANY DISCREPANCES EXIST, PRIOR TO PARTIE OF THE PROPERTY OF THE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
- 15. CONTRACTOR SHALL INSPECT SITE TO DETERMINE IF ANY TREES, PAVING, STRUCTURES, ETC. ARE TO BE REMOVED PRIOR TO PLACING BIDS ON SUCH ITEMS.
- CONTRACTOR SHALL CLEAR PROJECT SITE OF ALL TREES, PAVING, STRUCTURES, ETC. WITHIN CONSTRUCTION AREA AS SHOWN ON EXISTING CONDITION / DEMOLITION PLAN.
- 18. CONTRACTOR SHALL MANTAN ALL SEDMENT CONTROL DEVICES WITHIN LIBITS DE DISTURBANCE DURING CONSTRUCTION OF SHE MAPPONEMENTS CONTRACTOR SHALL PROVIDE ADDITIONAL EROSION AND SEDMENT CONTROL MEASURES AS MAY BE NECESSARY DURING CONSTRUCTION AND/OR DY GOVERNING AGENCES.
- 21. CONTRACTOR SHALL PROVIDE MINIMUM OF TWO FEET OF PROTECTIVE FILL OVER STORM DRAIN PIPES DURING CONSTRUCTION.
- 22. CONTRACTOR SHALL PLACE WITNESS POST AT TERMINUS OF ALL UTILITY STUBS. 25. CONTRACTOR SHALL VERBY SIZE, LOCATION, AND ELEVATION OF ALL WATER, SEWER AND STORN DEAN CONNECTIONS AT BUILDING WITH MECHANICAL AND PLUMBING CONTRACTORS BETORG BECOMMING CONSTRUCTION OF SERVICE CONNECTIONS TO SERVE BUILDING
- 25. WATER MAINS SHALL HAVE MINIMUM OF 4.0 COVER, EXCEPT WHERE DIFFERENT DEPTHS ARE INDICATED.
- 26. IN THE EVENT OF ANY DISCREPANCY BETWEEN ANY PLANS AND FIGURES WRITTEN THEREON, FIGURES SHALL BE TAKEN AS CORRECT.
- 27. CONTRACTOR SHALL FURMSH OWNER A LETTER STATING THAT ALL WATER MAINS HAVE BEET STERLIZED AND PRESSURE TESTED IN ACCORDANCE WITH HOWARD COUNTY PLUMBING CODE AND PROCEDURES ESTABLISHED BY HOWARD COUNTY FIRE DEPARTMENT.
- 28. CONTRACTOR SHALL OBTAIN FIRE LIME PERMIT FOR ALL EXTERIOR FIRE LIMES/SPRINKLER LIMES PROOR TO INSTALLATION OF ANY PRE-FRE LIME PERMIT REQUIREMENTS SHALL BES THROLLY ADHERED TO, ALL FIRE LIME PPRING SHALL WEST THE REQUIREMENTS OF THE INFPA, PIPE SHALL BEST LILL LISTED, FW APPROVED AND MEET THE AWWA STANDARDS FOR FRE PROTECTION USE. FITTINGS SHALL HAVE PRESSURE CLASS RATINGS COMPATIBLE WITH THE PIPE USE. 29. CONTRÁCTOR SHÁLL MÁINTÁIN MINIMUM OF TWO FEET WIDE BENCH BEHIND ÁLL PROPOSED CURB IN FILL ÁREÁS, UNLESS OTHÉRWISE NOTED.
- 30. UNLESS OTHERWISE NOTED, ALL CONCRETE CURB & GUTTER SHALL BE 6" COMBINATION CONCRETE CURB AND GUTTER, FOR ADDITIONAL DETAILS, SEE HOWARD COUNTY, PLATE R-3.01.
- 31. UNLESS OTHERWISE NOTED, SDEWALKS SHALL CONFORM TO AFOREMENTIONED HOWARD COUNTY STANDARDS, PLATE R-3.05. SLOPES, WOTH, AND LOCATION SHALL BE AS SHOWN ON THESE PLANS, IN ADDITION, SDEWALKS SHALL BE PLACED ON MIN. 4" CRUSHED STONE BASE (IN.57) AND ARE TO BE REINFORCED WITH WIRE MESH.
- 32. CONCRETE STAIRS AND PIPE HANDRALS, IF REQUIRED, SHALL CONFORM TO AFOREMENTIONED HOWARD COUNTY STANDARDS, PLATE G-7.01 & G-7.02.
- 33. UNLESS OTHERWISE NOTED, PAVEWENT WARKINGS SHALL BE TRAFFIC WHITE, ALL PARKING SPACES SHALL BE PAVED WITH OURABLE OUSTLESS SURFACE, PROPERLY DRAINED AND ALL PARKING SPACES SHALL BE STRIPPED PERMANENTLY.
- 34. CONTRÁCTOR SHÁLL PROVIDE ÁLL PÁVEMENT MÁRKINGS ÁND SIGNÁGE FOR HÁNDICÁP SPÁCES INDICÁTED ON HEREON IN ÁCCORDÁNCE WITH ÁLL ÁPPLICÁBLE CODES. 35. HÁNDICÁP SPÁCES ÁND CURB RÁMPS SHÁLL COMPLY WITH CURRENT Á.D.Á, GUIDELINES FOR SLOPE, LINE PÁINTING, MÁTERIÁL, ÁND SIGNÁGE.
- 37. ÁLL DISTURBED ÁREÁS NOT TO RECEIVE PÁVING SHÁLL BE STÁBILIZED WITH MINIMUM OF 6" TOPSOUL SEED AND MULCH, UNLESS SPECIFIED OTHERWISE ON SEDIMENT CONTROL OR LANDSCLÁF PI AND
- 38. CONTRACTOR SHALL FINE GRADE LANDSCAPE AREAS AND PLACE 6" OF TOPSOIL FINISHED GRADES SHALL BE BROUGHT TO ELEVATIONS SHOWN ON GRADING PLAN, LANDSCAPE AREAS MILET DRAIN
- SEE ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS, DOOR AND STEP LOCATIONS, OR OTHER ITEMS ADJACENT TO THE BUILDING.
- 40. ASSURANCES OF COMPLIANCE WITH AMERICAN WITH DISABILITIES ACT (ADA) IS THE RESPONSIBILTY OF THE OWNER/DEVELOPER.
- 41. THE CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY AND WAYS, MEANS AND METHODS OF CONSTRUCTION.
- 42. CONTRACTOR TO TEST PIT AREA PRIOR TO THE INSTALLATION OF THE PROPOSED WATER AND SEWER LINES AS WELL AS THE GREASE TRAP.



COLUMBIA CORPORATE PARK - PARCEL A-35 8840 STANFORD BOULEVARD COLUMBIA. MARYLAND 21045

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<u>44</u>0 <u>= 43</u>0 4<u>30</u>= 420 420 410 410 PARKING LOT <u>= 42</u>0 400 rEX. GRD r Ex. GRD 390

SECTION THROUGH SITE SCALE: H: 1" - 50 V: 1" - 10'

GENERAL CONSTRUCTION NOTES (continued)

- 43. TESTING AND FINAL ACCEPTANCE:

 THE CONTRACTOR SHALL PROVIDE AS A MINIMAN, A FULLY LOADED SIX-WHEEL TRUCK FOR PROOF FOLLING THE PAREMENT SUBGRADE PROOF TO THE PLACEMENT OF THE CURB AND CUTTER AND THE BASE MATERIAL. ANY BE REQUIRED BY THE OWNER IN SELECTED FILL AREAS. THE CONTRACTOR SHALL EAR THE COST OF COMPACTION TESTING AS WELL AS THE RESPONSEDLTY FOR THE NECESSARY CORRECTIONS.

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 WATER MAINS SHALL BE TESTED IN ACCORDING WITH THE LOCAL SURFOCIONAL.

 WATER MAINS SHALL BE TESTED IN ACCORDING WITH THE LOCAL SURFOCIONAL SERVICE BOXES SHALL BE CLEAN AND WATER PROOF TO THEIR FINAL ACCEPTANCE. THE MOVING SHALL BE CLEAN AND FREED OF DEBRIS AND WATER PROOF TO THEIR FINAL ACCEPTANCE. THE MOVING MATER PROOF TO THE FINAL ACCEPTANCE. THE MOVING MATER PROOF TO THE FINAL ACCEPTANCE. THE MOVING SERVICE BOXES SHALL BE VISBLE AND CLEARLY LOCATED PROOF TO THE FINAL ACCEPTANCE.
- 4. ALL SICH POSTS USED FOR TRAFFIC CONTROL SICHS MESTALLED IN THE COUNTY RENT-OF-MISSALS EN MONITED IN A 7-CM VAMED STEEL PERFORATED, SOURCE TUBE POST IN CAUGE INSERTED INTO 1.2-1/2" CM VAMED STEEL PERFORATED, SOURCE TUBE SLEEVE (1/2 GAUGE).

 3. LONG, A GAL VANZEO STEEL POLE CAP SALL BE WONTED ON TOP OF EACH POST.
- 45. ALL PLAN DIMENSIONS ARE FACE TO FACE CURB UNLESSS OTHERWISE NOTED.

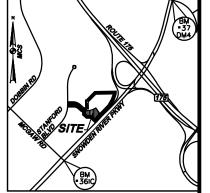
SITE NOTES

- THE SUBJECT PROPERTY IS ZONED NT EMPLOYMENT CENTER INDUSTRIAL PER THE OCTOBER 6, 2013 COMPREHENSIVE ZONING REGULATIONS.

- FOREST CONSERVATION REQUIREMENTS: AS PER SECTION 16.1202 (bithin) A PLANNED UNIT DEVELOPMENT WHICH HAS PRELIMINARY DEVELOPMENT PLAN APPROVAL AND 50 PERCENT ON MORE OF THE LAND IS RECORDED AND SUBSTANTIALLY DEVELOPED REFORE DECEMBER 31, 1992, THIS SITE IS EXEMPT FROM ANY REFORESTATION REQUIREMENTS.
- 5. THE SUBSURFACE EXPLORATION AND GEOTECHNICAL ENGINEERING ANALYSIS FOR THIS PROJECT WAS CONDUCTED ON JANUARY 14, 2016 BY RUELING ASSOCIATES, INC.

- 9. AN ENVIRONMENTAL REPORT FOR THIS PROJECT WAS PREPARED BY ECO-SCIENCE, PROFESSIONALS, MC, ON INMARY 12, 2016, FROMOS OF THAT REPORT REVEAL THAT THERE ARE NO WETLANDS, STREAMS, OR THERE BUFFERS OR FOREST PRESENT WITHIN OR ADJACENT TO THE PROPOSED LIBITS OF DISTURBANCE.
- 10. THERE ARE NO KNOWN WETLANDS REQUIRING REGULATION, CRITICAL AREAS, ARCHEOLOGICAL SITES, ENDANGERED SPECIES HABITATS, OR HAZARDOUS MATERIALS ONSITE.
- 12. THERE ARE NO SPECIMEN TREES ON THIS SITE.
- THE EXISTING TOPOGRÁPHY IS TÁKEN FROM FIELD RUN SURVEY WITH MÁXIMUM TWO FOOT CONTOUR INTERVÁLS PREPÁRED BY DUVÁL & ASSOCIÁTES ON NOV. 6, 2015.
- . There are no known ceneteries or burial grounds on this site, however, upon discovery of any evidence of burial or graves, the developer will be subject to section is its of the howard county subdivision and land development regulations.
- 6. THERE ARE NO SLOPES 15 24.9%, SLOPES 25% OR GREATER, WETLANDS, WETLAND BUFFERS, STREAMS, STREAM BUFFERS AND 100-YR FLOODPLAIN WITHIN THE NET TRACT APPA.

- 24. WATER (24-1667-D) AND SEWER (20-1768-D) ARE PUBLIC. 25. EXISTING UTILITIES ARE BASED ON FIELD SURVEY PREPARED BY DUVAL & ASSOCIATES (SEE NOTE =14).



VICINITY MAP

BENCH MARK

ELEVATIONS ARE BASED ON NAVO 88 DATUM PER HOWARD COUNTY CONTROL POINTS:

CONTROL POINT -370M4:

::0ntrue - col.
1...362.706
):ESCRIPTION: ½" REBAR SET 0.5 BELOW
SURFACE AT CORNER OF SNOWDEN RIVER
ROAD AND DOBBIN ROAD

SITE DATA

- I. GENERAL SITE DATA

- CREMENTS SITE AREA 6.7839 AC
 2. PLAT REFERENCES:
 3. DECO REFERENCES: 1656/194
 4. TAX ACCOUNT NUMBER: 1650132
 5. PRESENT, CONNIGH IT
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- L TOTAL STE AREA 6,7839 Ac
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 2. TOTAL DISTURBED AREA 64,285 SF OF 14.76 Ac (INITIAM LOD)
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 5. TOTAL ALLOWED BUILDING COVERAGE 3,5320 Ac (502 OF PARCEL AREA)
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- III, PARKING SPACE DATA:
- 1. PARKING REQUIRED: 238
 OFFICES 100.000 SF 0 2 PS/1.000 SF (PER FDP-(17-Å-II) 200 PS
 OFFICES 100.000 SF 0 5 PS/1.000 SF (PER FDP-(17-Å-II) 38 PS
 101AL INCLUDES: 25 PS 18 PS/1.000 SF (PER FDP-(17-Å-II) 38 PS
 170 STANDARD SPACES 0 9 : 18
 4 VAN ACCESSIBLE HANDICAP SPACES 0 16 : 18 TI HANDICAP SPACES 0 15 YK 18

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE

ounty Health Officer loward County Health Department

hief, Development Engineering Division

ADDRESS CHART

T / PARCEL NO. STREET ADDRESS RESTAURANT - 8820 STANFORD BOULEVARD

PERMIT INFORMATION CHART SECTION / AREA LOT / PARCEL NO COLUMBIA CORPORATE PARK TAX WAP NO. ELEC. DIST. CENSUS TR. 36 6 606707 PLÁT NO, or L/F GRID NO, ZONING 24 NT

COVER SHEET

DRÁWING NO.

COLUMBIA CORPORATE PARK

Consulting Engineers 230 SCHILLING CIRCLE, SUITE 364 . HUNT VALLEY, MARYLAND 21031 PHONE: 410,229.9851 • FAX: 410,229.9865 • BLDG@BLDGINC.COM

Baltimore Land Design Group Inc.

.DG



PROFESSIONAL CERTIFICATION IHEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, INVONA ROSTEK-ZARSKA, AND THAT I AM. A DULY LICENSED PROFESSIONAL, ENGREER UNDER THE LAWS OF THE STATIOF MARYLAND, LICENSE NO. 21245, EXPRATION DATE: JUNE 9, 2018.

MERRITT-CCP, LLC 2066 LORD BALTIMORE DRIVE BALTIMORE, MD 21244 (410) 298-2600 FAX: (410) 298-9644

OWNER

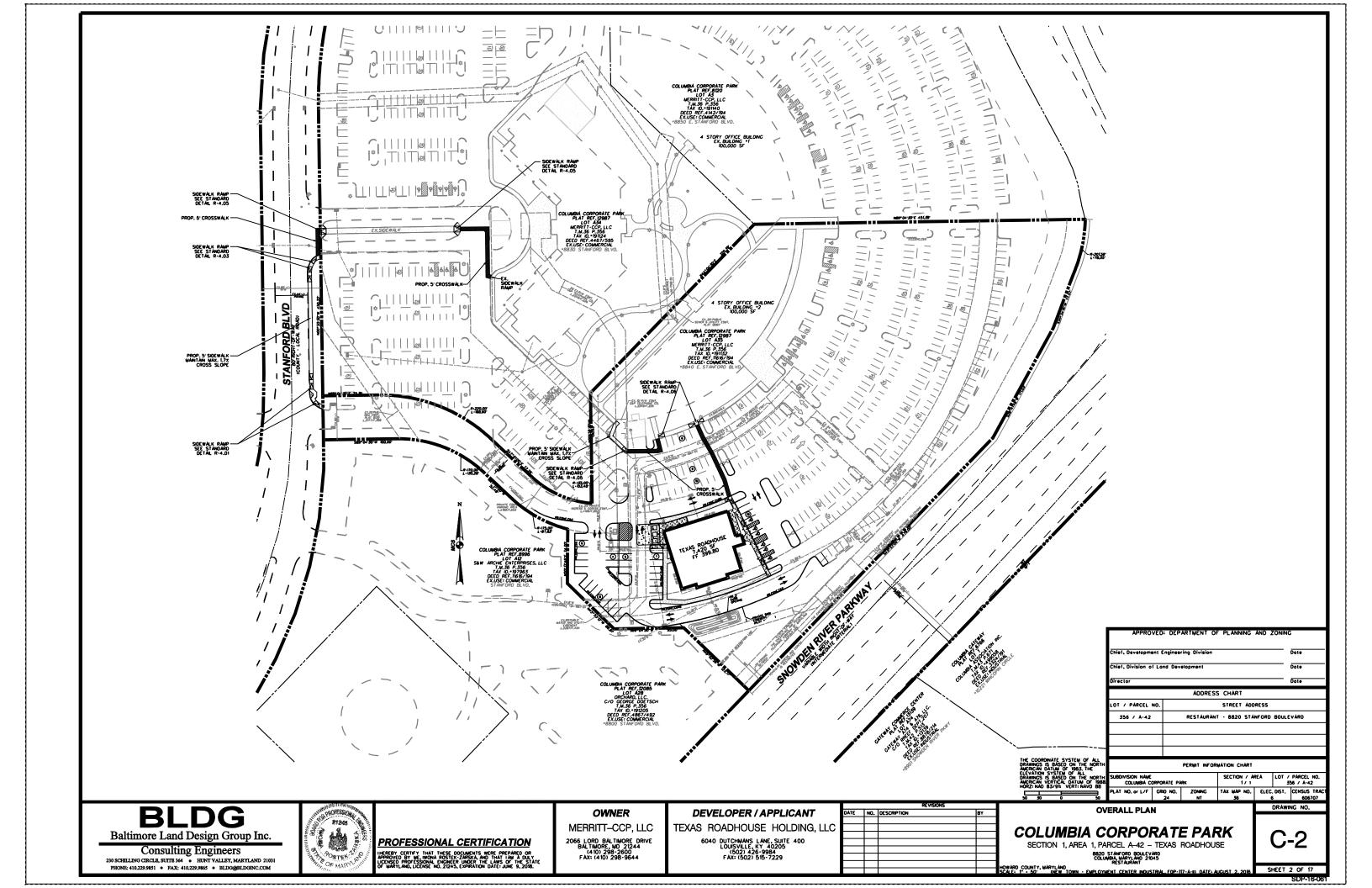
DEVELOPER / APPLICANT TEXAS ROADHOUSE HOLDING, LLC

6040 DUTCHMANS LANE, SUITE 400 LOUISVILLE, KY 40205 (502) 426-9984 FAX: (502) 515-7229

DATE NO. DESCRIPTION

SECTION 1, AREA 1, PARCEL A-42 - TEXAS ROADHOUSE

HOWARD COUNTY, MARYLAND SCALE:AS SHOWN (NEW TOWN - EMPLOYMENT CENTER INDUSTRIAL, FOP-117-A-II) DATE: AUGUST 2, 20





METAL (FAUX WOOD) &
GLASS DOORS & TRANSOM —

RIGHT ELEVATION (EAST)



- WHITE LED AROUND WOOD TRIM METAL DOOR & Frame, Paint #2

LEFT ELEVATION (WEST)

REAR ELEVATION (NORTH)

EXTERIOR FINISH SCHEDULE BUILDING ITEMS DESCRIPTION BUILDING ITEMS DESCRIPTION WOOD SIDING, PRE-STAINED CEDAR BRICK VENEER CLAYMEX TRIM, & WOOD HENRY POOR LUMBER "OLD DENVER" SHUTTERS THIN STONE HERITAGE STONE FRONT ENTRANCE DOORS (FAUX WOOD)
CECO DOOR "MADERA" VENEER "OTTAWA DRYSTACK" METAL SALES
"5V-CRIMP"
COLOR: GALVALUME **METAL ROOF** SHERWIN WILLIAMS PAINTS FRAME, METAL #2195 ROADSIDE FLASHING, **GUTTERS &** COLOR TO MATCH PRE-STAINED CEDAR DOWNSPOUTS PAINT #2 Sherwin Williams METAL DOORS **GATES &** SHERWIN WILLIAMS AND FRAMES GLOSS BLACK **BOLLARDS** GLOSS BLACK

THE COLORS DEPICTED ON THESE ELEVATIONS ARE FOR GRAPHIC REPRESENTATION PURPOSES ONLY. PLEASE REFER TO MATERIAL BOARD FOR ACTUAL SAMPLE OF COLORS AND TEXTURES

08/02/16

