

# ECA CLUBHOUSE EXPANSION

8400 UPPER SKY WAY LAUREL, MD 20723

Proj. No. 320762.00



PRICING SET  
03/24/2021



Owner

**Emerson Community Association**

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Architect

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MEP / Fire Alarm / Fire Protection Engineer

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Structural Engineer

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## PROJECT SUMMARY

RENOVATION / EXPANSION OF AN EXISTING CLUBHOUSE BUILDING FOR THE COMMUNITY OF EMERSON IN LAUREL, MD.



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Interior Architecture  
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REVISION DATE

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LAUREL, MD 20723

PROJECT NO. 320762.00

DRAWING TITLE

**COVER**

DRAWN BY MK

QC CHECKED BY CG

CA REVIEWED BY

DRAWING NUMBER

**A-000**



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<b>GENERAL</b>				
A-000	COVER			
A-001	DRAWING INDEX			
A-010	ZONING DATA, ARCH SYMBOLS AND ABBREVIATIONS			
A-011	PROJECT DATA/ BUILDING CODE SUMMARY			
A-015	EGRESS PLANS			
A-030	EXTERIOR WALL TYPES			
A-031	PARTITION SCHEDULE			
A-040	DOOR & HARDWARE SCHEDULES			
A-041	DOOR & FRAME TYPES & RELATED DETAILS			
A-042	DOOR DETAILS			
A-045	WINDOW FRAME & STOREFRONT SCHEDULES			
A-050	MATERIALS FINISH SCHEDULE			
A-071	ARCHITECTURAL SITE PLAN			

<b>CIVIL</b>				
1 OF 7	TITLE SHEET			
2 OF 7	SITE DEVELOPMENT PLAN			
3 OF 7	GRADING AND SEDIMENT CONTROL PLAN			
4 OF 7	SEDIMENT CONTROL DETAILS			
5 OF 7	DETAILS			
6 OF 7	PROFILES			
7 OF 7	LANDSCAPE PLAN			

<b>ARCHITECTURAL</b>				
A-101	DEMOLITION FLOOR PLAN			
A-201	LEVEL 1 FLOOR PLAN			
A-202	LEVEL 2 FLOOR PLAN			
A-220	ROOF PLAN			
A-240	ENLARGED PLANS			
A-241	ENLARGED RESTROOM PLANS AND ELEVATIONS			
A-242	ENLARGED POOL HOUSE DETAILS			
A-251	REFLECTED CEILING PLAN			
A-252	REFLECTED CEILING PLAN			
A-261	LEVEL 1 DEVICE PLAN			
A-262	LEVEL 2 DEVICE PLAN			
A-263	ENLARGED DEVICE PLANS			
A-271	LEVEL 1 FINISH PLAN			
A-272	LEVEL 2 FINISH PLAN			
A-301	EXTERIOR ELEVATIONS			
A-302	EXTERIOR ELEVATIONS			
A-350	INTERIOR ELEVATIONS			
A-351	INTERIOR ELEVATIONS			
A-352	INTERIOR ELEVATIONS			
A-353	INTERIOR ELEVATIONS			
A-354	INTERIOR ELEVATIONS			
A-401	BUILDING SECTIONS			
A-410	WALL SECTIONS			
A-411	WALL SECTIONS			
A-412	WALL SECTIONS			
A-420	SECTION DETAILS			
A-421	SECTION DETAILS			
A-422	SECTION DETAILS			
A-500	PLAN DETAILS			
A-501	PLAN DETAILS			
A-600	STAIR TYPICAL DETAILS			
A-601	PLANS & SECTIONS - STAIR A			
A-602	PLANS & SECTIONS - STAIR B & ELEVATOR			
A-610	ELEVATOR TYPICAL DETAILS			
A-700	MILLWORK DETAILS			
A-701	MILLWORK DETAILS			
A-702	CEILING DETAILS			
A-800	INTERIOR RENDERINGS			

<b>STRUCTURAL</b>				
S-001	STRUCTURAL GENERAL NOTES			
S-002	STRUCTURAL GENERAL NOTES			
S-003	STRUCTURAL GENERAL NOTES			
S-004	SPECIAL INSPECTIONS SCHEDULE			
S-201	LEVEL 1 / FOUNDATION PLAN			
S-202	LEVEL 2 FRAMING PLAN			
S-203	ROOF FRAMING PLAN			
S-301	TYPICAL SLAB ON GRADE DETAILS			
S-302	TYPICAL FOUNDATION DETAILS			
S-303	FOUNDATION DETAILS			
S-304	FOUNDATION DETAILS			
S-305	FOUNDATION DETAILS			
S-401	TYPICAL MASONRY WALL DETAILS			
S-501	TYPICAL STRUCTURAL STEEL DETAILS			
S-502	TYPICAL STRUCTURAL STEEL DETAILS			
S-503	STRUCTURAL STEEL DETAILS			
S-601	TYPICAL WOOD FRAMING DETAILS			
S-602	TYPICAL WOOD FRAMING DETAILS			
S-603	TYPICAL WOOD TRUSS LOADING DIAGRAMS AND DETAILS			
S-604	TYPICAL WOOD TRUSS LOADING DIAGRAMS AND DETAILS			
S-605	WOOD FRAMING DETAILS			
S-606	WOOD FRAMING DETAILS			
S-607	WOOD FRAMING DETAILS			

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<b>MECHANICAL</b>				
M-001	MECHANICAL INDEX SHEET			
M-002	MECHANICAL COVER SHEET			
MD-101	MECHANICAL FLOOR PLAN - LEVEL 1 - DEMOLITION			
M-101	MECHANICAL FLOOR PLAN - LEVEL 1			
M-102	MECHANICAL FLOOR PLAN - LEVEL 2			
M-103	MECHANICAL ROOF PLAN			
M-301	MECHANICAL ENLARGED PLANS			
M-302	MECHANICAL ENLARGED PLANS			
M-501	MECHANICAL RISER DIAGRAMS			
M-601	MECHANICAL SCHEDULES			
M-602	MECHANICAL SCHEDULES			
M-603	MECHANICAL SCHEDULES			
M-701	MECHANICAL DETAILS			
M-702	MECHANICAL DETAILS			

<b>PLUMBING</b>				
P-001	PLUMBING INDEX SHEET			
PD-101	PLUMBING FLOOR PLAN - FOUNDATION - DEMOLITION			
PD-102	PLUMBING FLOOR PLAN - LEVEL 1 - DEMOLITION			
P-002	PLUMBING COVER SHEET			
P-003	PLUMBING SCHEDULE SHEET			
P-101	PLUMBING FLOOR PLAN - FOUNDATION			
P-102	PLUMBING FLOOR PLAN - LEVEL 1			
P-103	PLUMBING FLOOR PLAN - LEVEL 2			
P-104	PLUMBING ROOF PLAN			
P-201	PLUMBING ENLARGED PLANS			
P-301	PLUMBING RISER DIAGRAMS			
P-401	PLUMBING DETAILS			

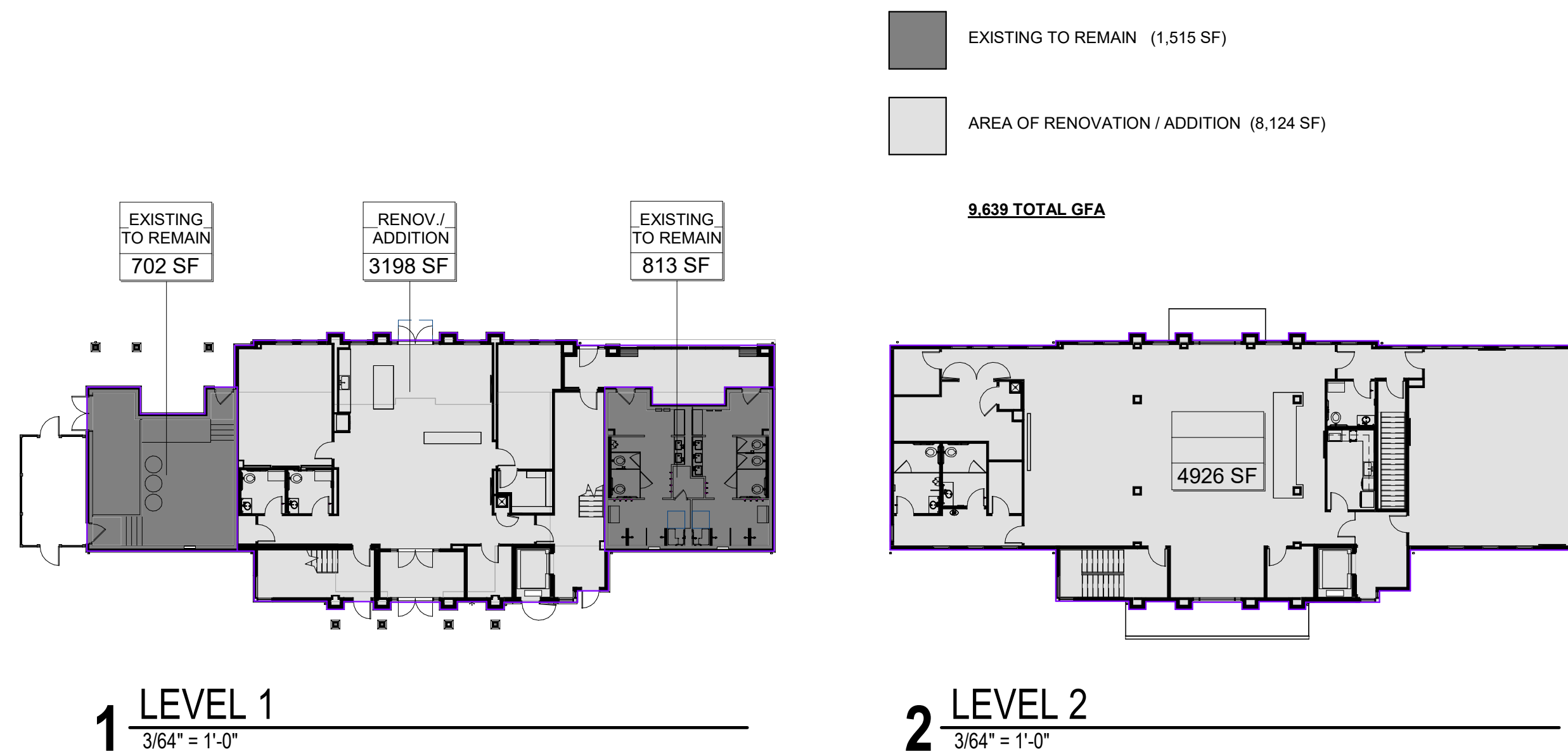
<b>ELECTRICAL</b>				
E-001	ELECTRICAL INDEX SHEET			
E-002	ELECTRICAL COVER SHEET			
ED-101	ELECTRICAL FLOOR PLAN - LIGHTING - LEVEL 1 - DEMOLITION			
ED-201	ELECTRICAL FLOOR PLAN - POWER - LEVEL 1 - DEMOLITION			
ED-301	ELECTRICAL FLOOR PLAN - FIRE ALARM - LEVEL 1 - DEMOLITION			
E-101	ELECTRICAL FLOOR PLAN - LIGHTING - LEVEL 1			
E-102	ELECTRICAL FLOOR PLAN - LIGHTING - LEVEL 2			
E-104	ELECTRICAL ROOF PLAN - LIGHTING			
E-201	ELECTRICAL FLOOR PLAN - POWER - LEVEL 1			
E-202	ELECTRICAL FLOOR PLAN - POWER - LEVEL 2			
E-203	ELECTRICAL ROOF PLAN - POWER			
E-301	ELECTRICAL FLOOR PLAN - FIRE ALARM - LEVEL 1			
E-302	ELECTRICAL FLOOR PLAN - FIRE ALARM - LEVEL 2			
E-304	ELECTRICAL ROOF PLAN - FIRE ALARM			
E-501	ELECTRICAL RISER DIAGRAMS			
E-502	FIRE ALARM RISER DIAGRAM			
E-601	ELECTRICAL SCHEDULES			
E-602	ELECTRICAL CALCULATIONS			







**GROSS FLOOR AREA**



**PLUMBING FIXTURE COUNTS**

**PLUMBING FIXTURE COUNTS:**  
MINIMUM NUMBER OF REQUIRED FIXTURES - IBC TABLE 2902.1

BANQUET HALLS WATER CLOSETS REQUIRED = 1 PER 75 (MALE & FEMALE)  
LAVATORIES REQUIRED = 1 PER 200 (MALE & FEMALE)  
DRINKING FOUNTAINS = 1 PER 500  
SERVICE SINKS = 1 REQUIRED

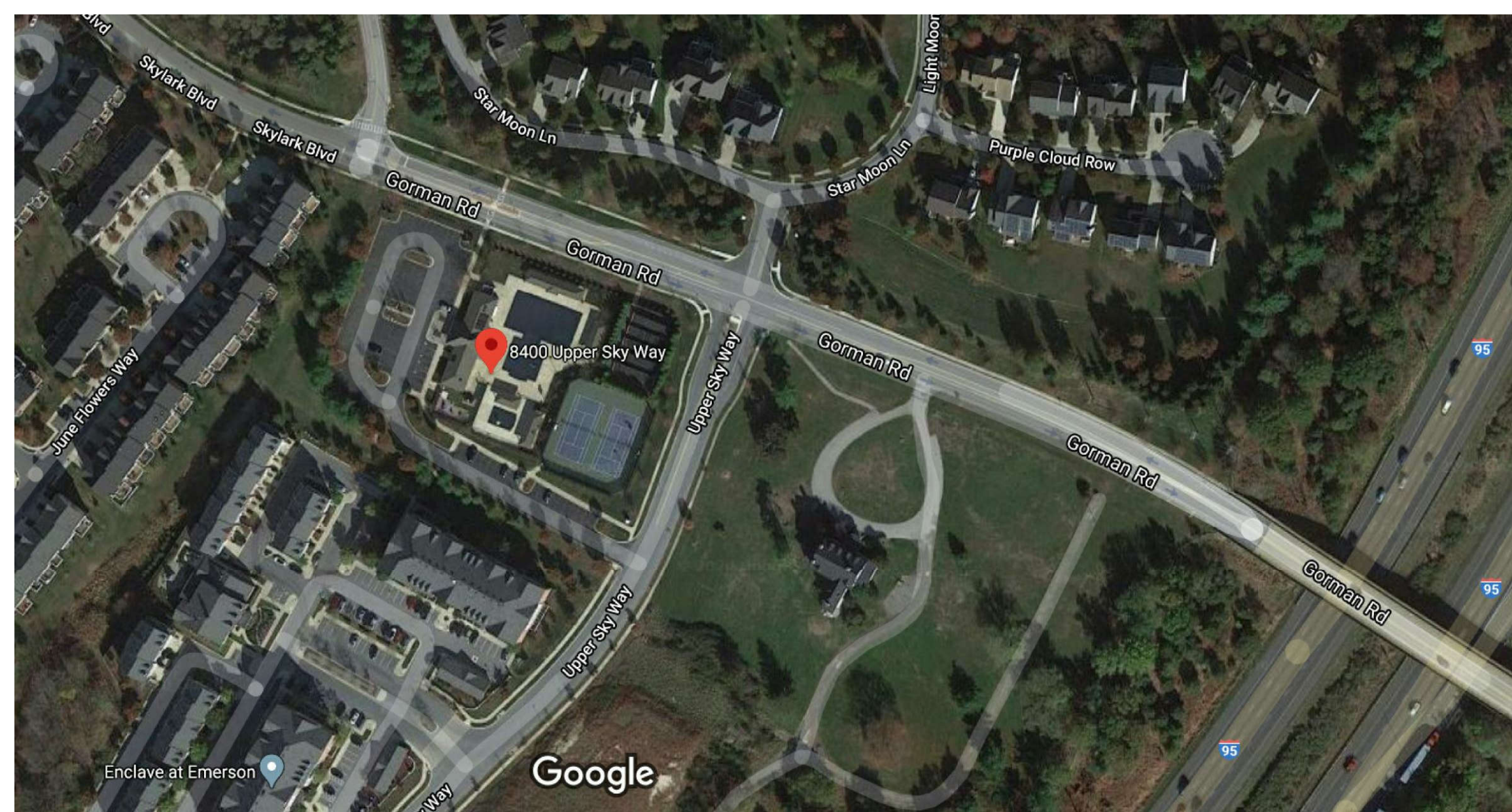
251 OCCUPANTS = 126 MALE, 126 FEMALE

WATER CLOSETS MALE	126 / 75 = 1.7 = 2 REQUIRED	3 PROVIDED
LAVATORIES MALE	126 / 200 = 0.6 = 1 REQUIRED	2 PROVIDED
WATER CLOSETS FEMALE	126 / 75 = 1.7 = 2 REQUIRED	2 PROVIDED
LAVATORIES FEMALE	126 / 200 = 0.6 = 1 REQUIRED	2 PROVIDED

+ 1 WC & 1 LAV PROVIDED AT RESTROOM 207  
(NOT INCLUDED IN TOTALS ABOVE)

DRINKING FOUNTAINS 251 / 500 = 0.5 = 1 REQUIRED 1 PROVIDED

**PROJECT LOCATION**



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**BUILDING CODE DATA**

**CODE ANALYSIS:**

**APPLICABLE CODES:**

**HOWARD COUNTY MARYLAND BUILDING CODES:**  
2018 INTERNATIONAL BUILDING CODE  
2018 INTERNATIONAL EXISTING BUILDING CODE  
2018 INTERNATIONAL ENERGY CONSERVATION CODE  
2018 INTERNATIONAL MECHANICAL CODE  
2018 INTERNATIONAL PLUMBING CODE  
2017 ELECTRICAL CODE WITH LOCAL AMENDMENTS  
2018 NFPA 101 LIFE SAFETY CODE  
CB13-2019 HOWARD COUNTY BUILDING CODE AMENDMENTS  
CB14-2019 REQUIREMENTS FOR DIAPER CHANGING STATIONS  
CB16-2019 HOWARD COUNTY PLUMBING AND GASFITTING CODE AMENDMENTS

MARYLAND ACCESSIBILITY CODE, COMAR 09.12.53  
2010 ADA STANDARDS

**OCCUPANCY CLASSIFICATION:**

EXISTING = ASSEMBLY GROUP A-3 (COMMUNITY HALL)  
PROPOSED = ASSEMBLY GROUP A-2 (BANQUET HALL)

**ALTERATION:**

LEVEL 3 (WORK AREA EXCEEDS 50% OF THE BUILDING AREA)  
CHAPTER 11 ADDITION

**IEBC 904.1.4**  
SPRINKLERS REQUIRED IF EXITS SERVE OVER 30 OCCUPANTS AND AS REQUIRED BY THE INTERNATIONAL BUILDING CODE

**IBC 903.2.1.2, A-2 USE**  
AUTOMATIC SPRINKLER SYSTEM REQUIRED IF ANY OF THE FOLLOWING EXIST:  
FIRE AREA EXCEEDS 5,000 SF  
FIRE AREA HAS AN OCCUPANT LOAD OF 100 OR MORE  
FIRE AREA IS LOCATED ON A FLOOR OTHER THAN A LEVEL OF EXIT DISCHARGE

**CONSTRUCTION TYPE:**

EXISTING = VB, NOT SPRINKLERED  
PROPOSED = VB, FULLY SPRINKLERED

FIRE-RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS (HOURS) PER TABLE 601

BUILDING ELEMENT	TYPE V B
PRIMARY STRUCTURAL FRAME	0
BEARING WALLS (EXT.)	0
BEARING WALLS (INTR.)	0
NON BEARING WALLS AND PARTITIONS (EXT.)	*
NON BEARING WALLS AND PARTITIONS (INTR.)	0
FLOOR CONSTRUCTION AND ASSOCIATED SECONDARY MEMBERS	0
ROOF CONSTRUCTION AND ASSOCIATED SECONDARY MEMBERS	0

\* PER TABLE 602:  
FIRE SEPARATION DISTANCE = 10 < X < 30 = 0 HR (VB, GROUP A)  
FIRE SEPARATION DISTANCE = X ≥ 30 = 0 HR (VB, GROUP A)

**BUILDING AREA & HEIGHT:**

ALLOWABLE HEIGHT & AREA (IBC 504.3, 504.4, 506.2)

	HEIGHT	STORIES	AREA
VB (SPRINKLERED)	60 FT	2	18,000 SF

EXISTING = 3,523 GFA, 1 STORY (25'-3" TO ROOF PEAK)  
PROPOSED = 9,639 GFA, 2 STORIES (37'-0" TO ROOF PEAK)

GROSS FLOOR AREA  
(MEASURED TO THE EXTERIOR FACES OF THE WALLS)

	EXISTING	RENOVATION / ADDITION
LEVEL 2	0 SF	4,926 SF
LEVEL 1	1,515 SF	3,198 SF
TOTALS	1,515 SF	8,124 SF
<b>GFA</b>		<b>9,639 SF GFA</b>

**EGRESSING:**

IBC 1005.3.1 STAIRS = 0.3 INCHES PER OCCUPANT  
IBC 1005.3.2 OTHER = 0.2 INCHES PER OCCUPANT

IBC 1006.2.1 'A' OCCUPANCY = 75 FT MAX. COMMON PATH OF EGRESS TRAVEL DISTANCE  
IBC 1006.3.2 1 TO 500 OCCUPANTS = 2 EXITS MINIMUM REQUIRED PER STORY

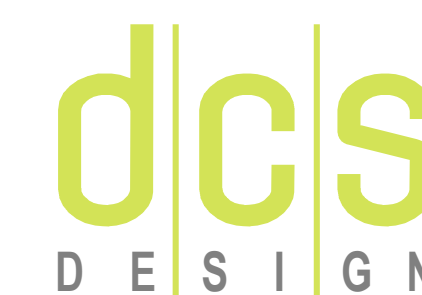
IBC 1007.1.1 EXIT ACCESS DOORWAYS SHALL BE PLACED APART NOT LESS THAN 1/3 LENGTH OF THE MAX. OVERALL DIAGONAL DIMENSION (SPRINKLERED)

IBC 1010.1.1 PROVIDE DOORS WITH A MINIMUM CLEAR WIDTH OF 32 INCHES, AND A MINIMUM CLEAR OPENING HEIGHT OF 80 INCHES

IBC 1010.1.2.1 DOORS SHALL SWING IN THE DIRECTION OF EGRESS TRAVEL WHERE SERVING AN OCCUPANT LOAD OF 50 OR MORE PERSONS

IBC 1017.2 'A' OCCUPANCY = 250 FT MAX. EXIT ACCESS TRAVEL DISTANCE (SPRINKLERED)

IBC 1020.2 MINIMUM WIDTH OF CORRIDORS SHALL NOT BE LESS THAN 44 INCHES



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PROJECT TITLE  
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8400 UPPER SKY WAY  
LAUREL, MD 20723

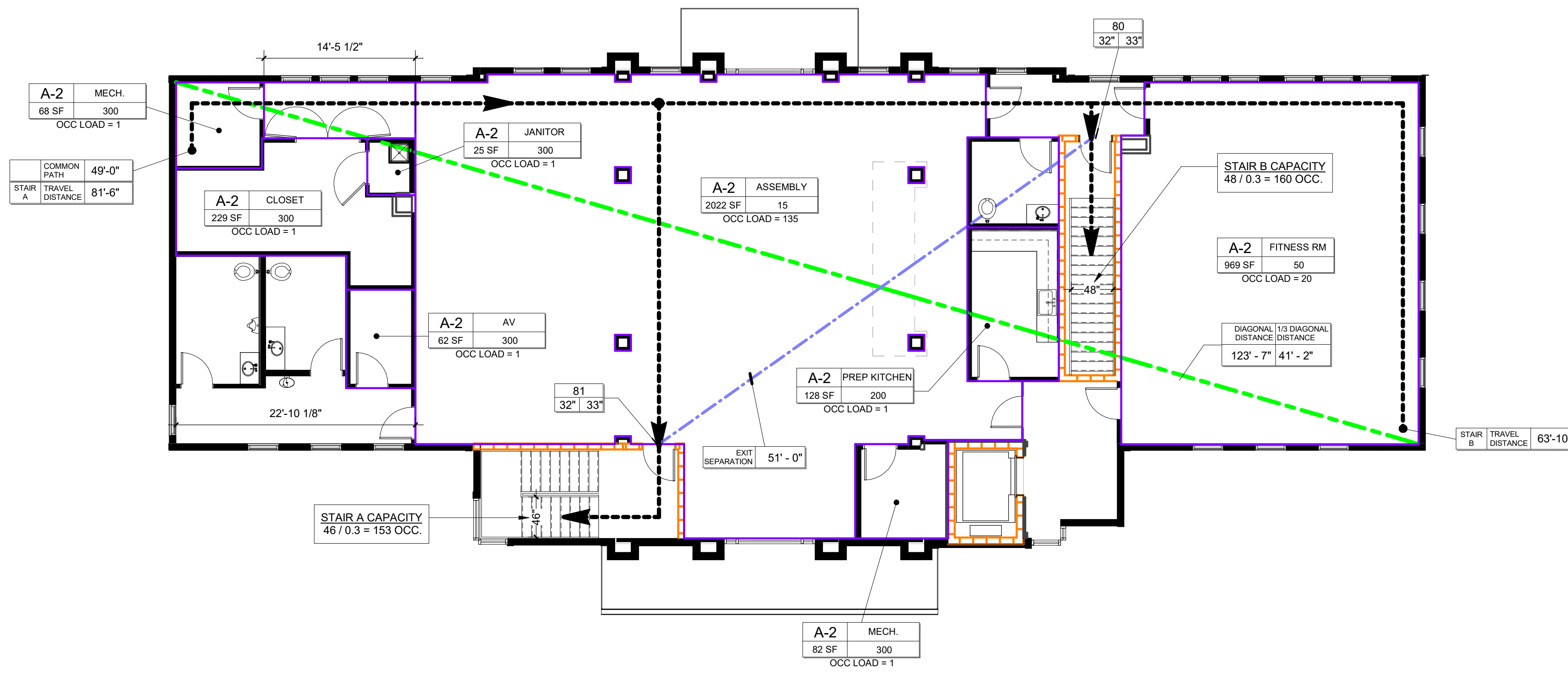
PROJECT NO. 320762.00

DRAWING TITLE  
**PROJECT DATA/  
BUILDING CODE  
SUMMARY**

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CA REVIEWED BY

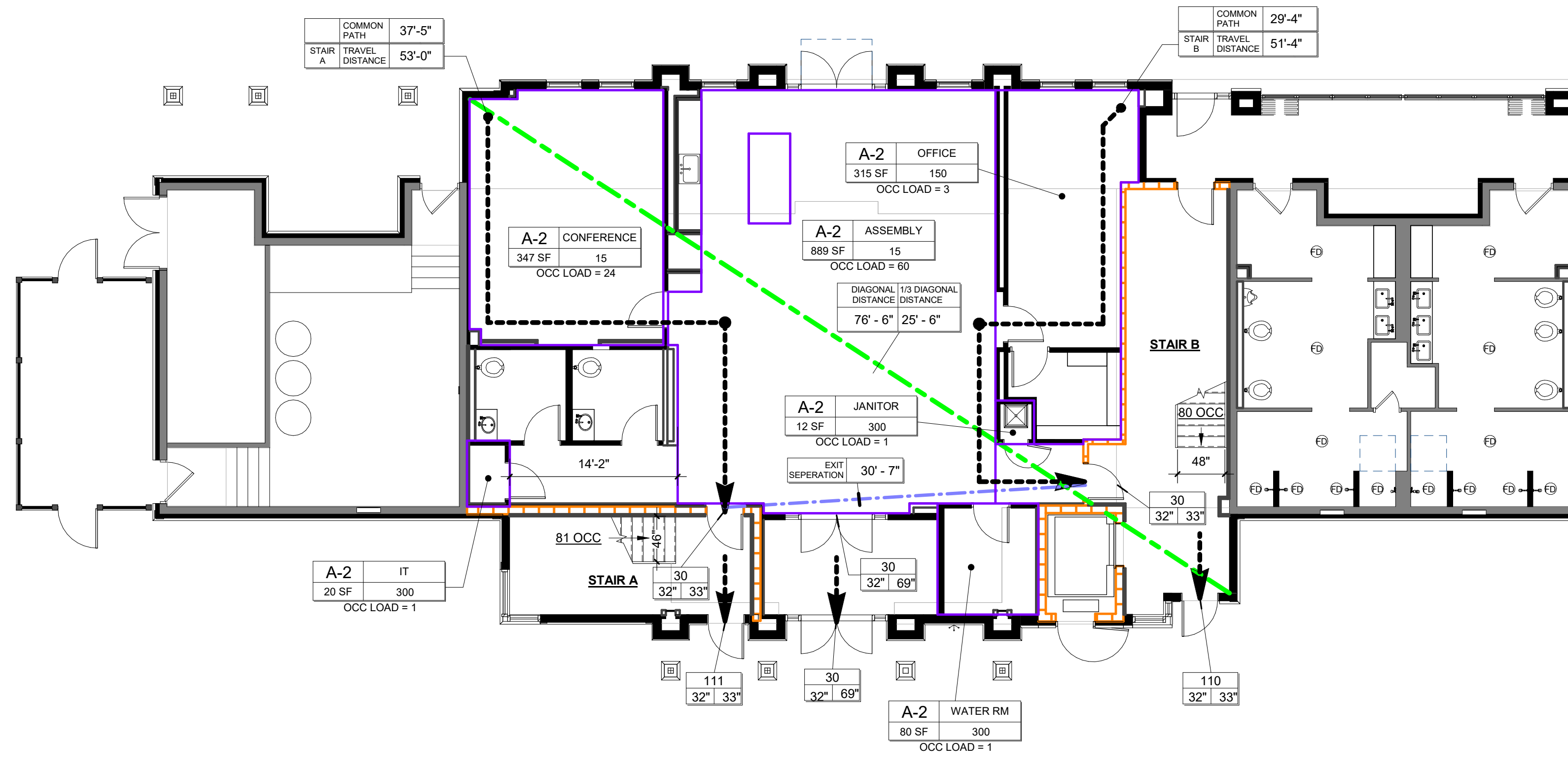
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**A-011**





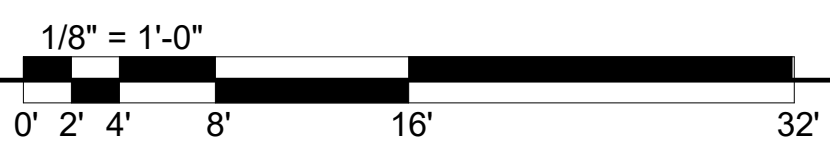
161 TOTAL OCCUPANTS THIS LEVEL

**2 LEVEL 2 EGRESS PLAN**  
1/8" = 1'-0"



90 TOTAL OCCUPANTS THIS LEVEL

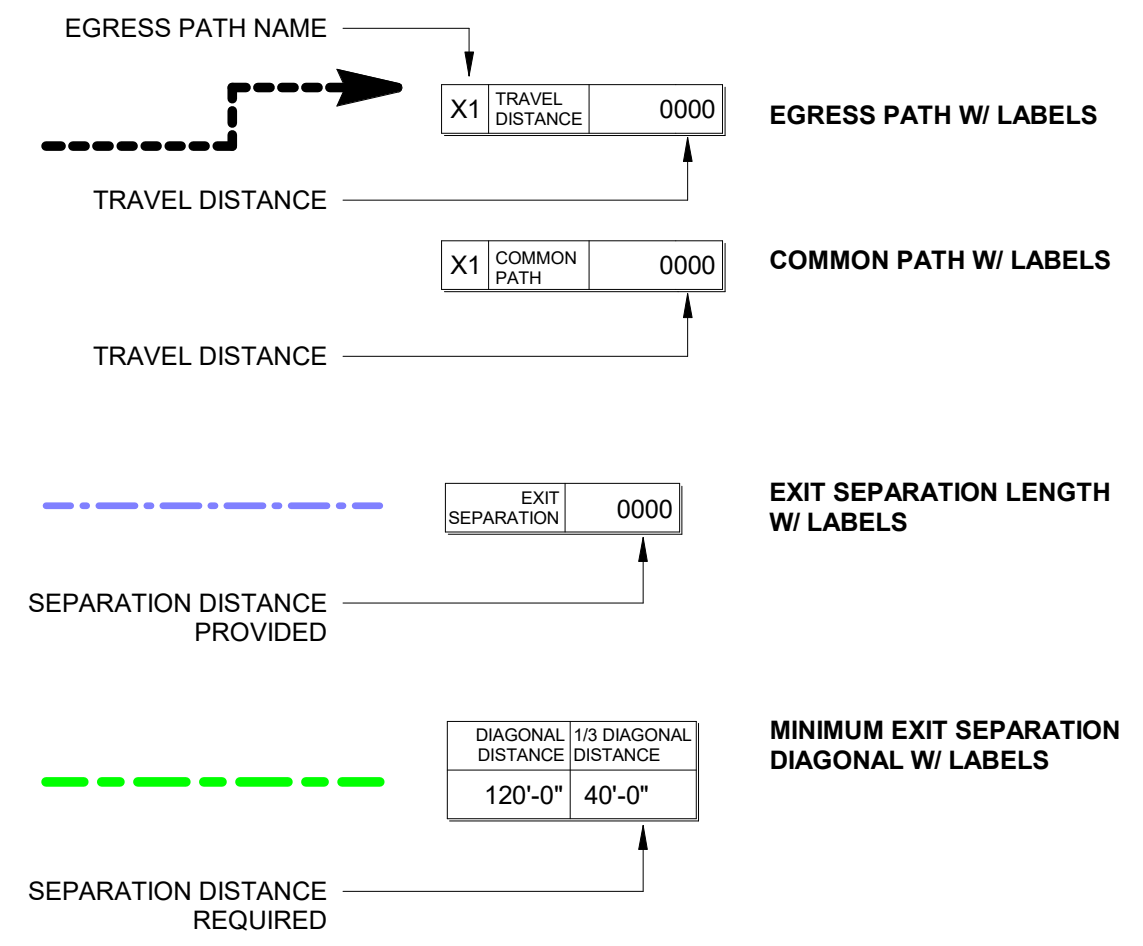
**1 LEVEL 1 EGRESS PLAN**  
1/8" = 1'-0"



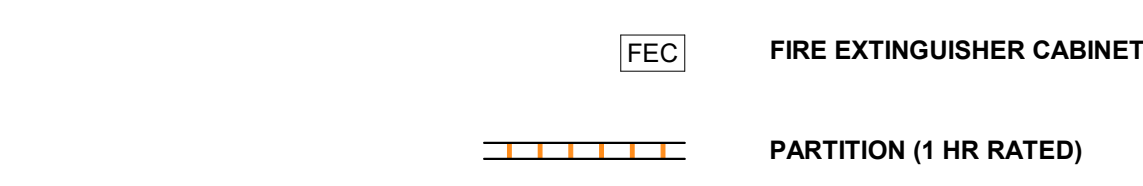
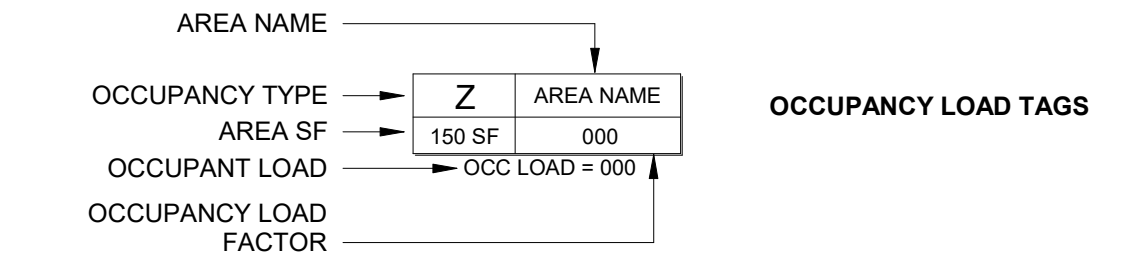
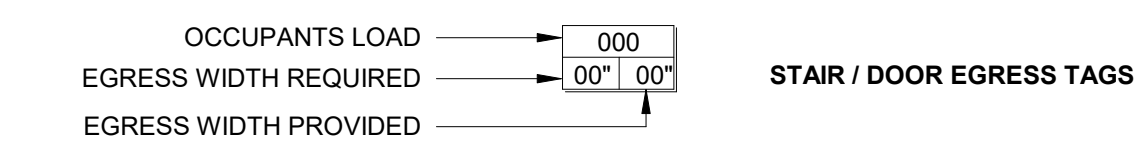
**EGRESS LEGEND**

EXIT TRAVEL DISTANCE (PER IBC)			
OCCUPANCY	SPRINKLERED	MAXIMUM COMMON PATH DISTANCE (TABLE 1006.2.1)	MAXIMUM EXIT ACCESS TRAVEL DISTANCE (TABLE 1017.2)
A-2	Yes	75'	250'

MAX DEAD END TRAVEL DISTANCE = A USE - 20'-0" (IBC 1020.4)



PER IBC 1007.1.1 EXCEPTION 2, THE SEPARATION DISTANCE OF THE EXIT DOORS OR EXIT ACCESS DOORWAYS SHALL NOT BE LESS THAN ONE-THIRD OF THE LENGTH OF THE MAXIMUM OVERALL DIAGONAL DIMENSION OF THE AREA SERVED



**OCCUPANT LOADS**

MAXIMUM FLOOR AREA ALLOWANCES PER OCCUPANT (TABLE 1004.5)	
ACCESSORY STORAGE / MECHANICAL AREAS	300 GROSS
ASSEMBLY WITHOUT FIXED SEATING (UNCONCENTRATED)	15 NET
BUSINESS AREAS	150 GROSS
EXERCISE ROOMS	50 GROSS
KITCHENS, COMMERCIAL	200 GROSS



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**EGRESS PLANS**

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QC CHECKED BY CG  
CA REVIEWED BY

DRAWING NUMBER

**A-015**

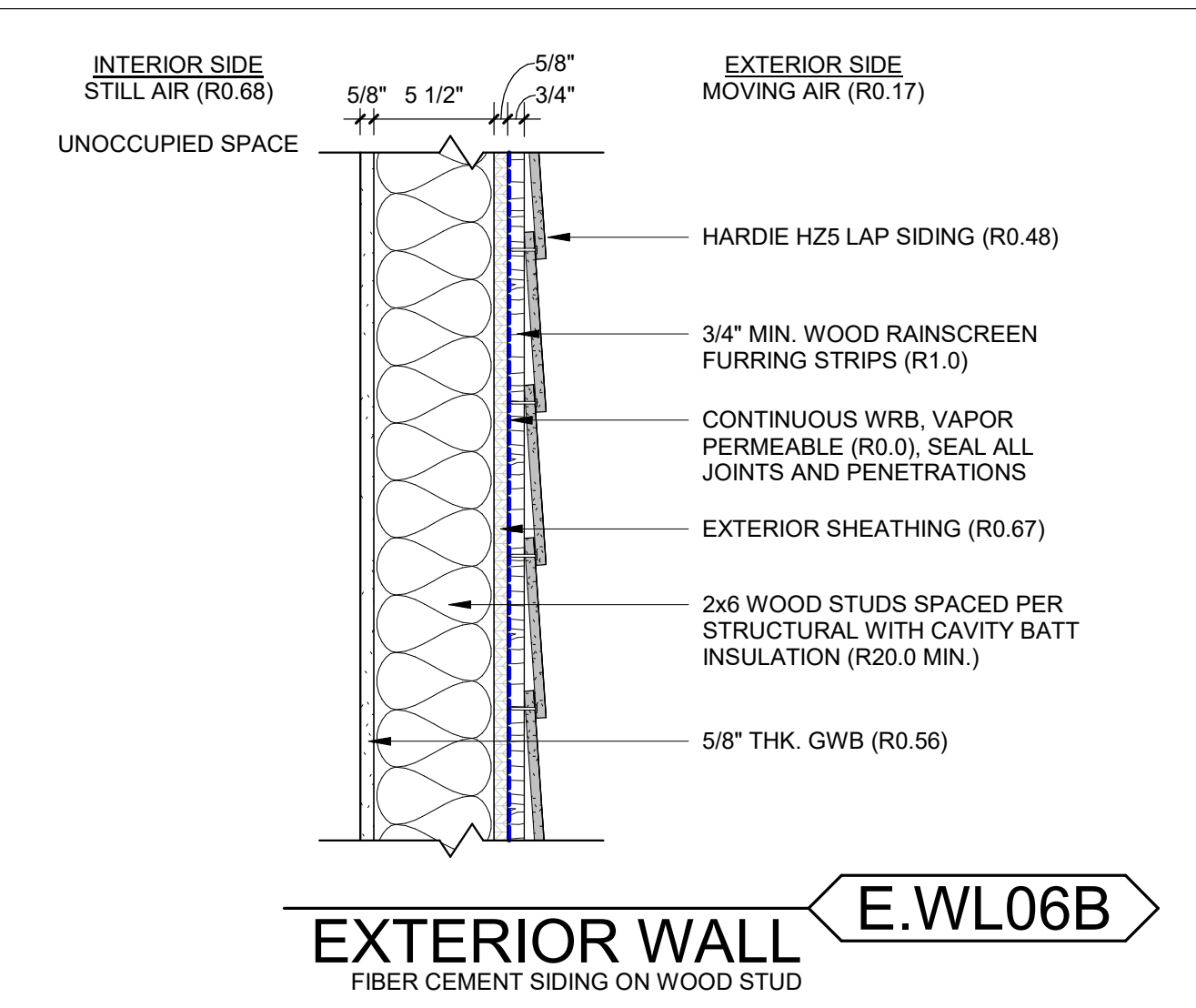
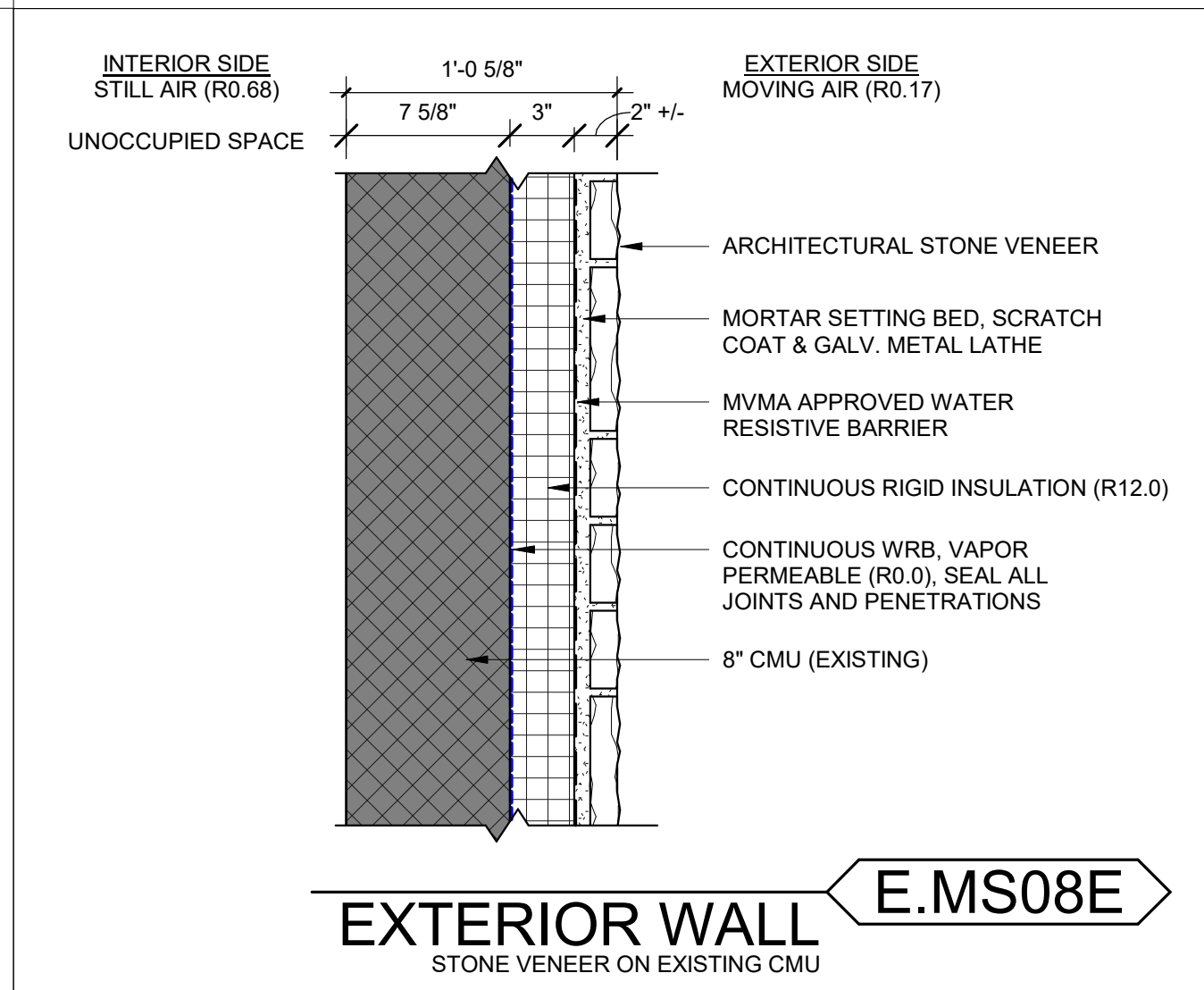
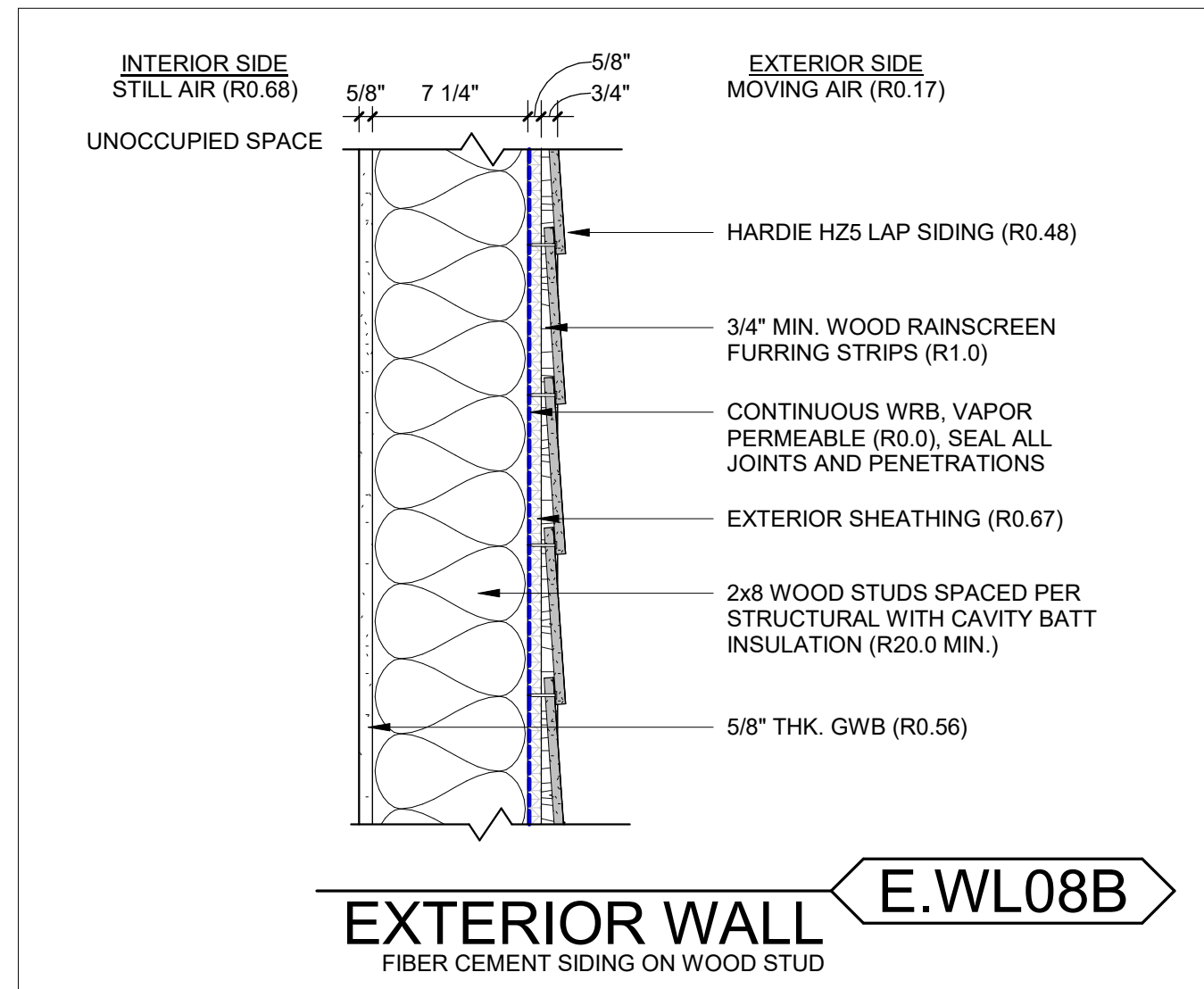
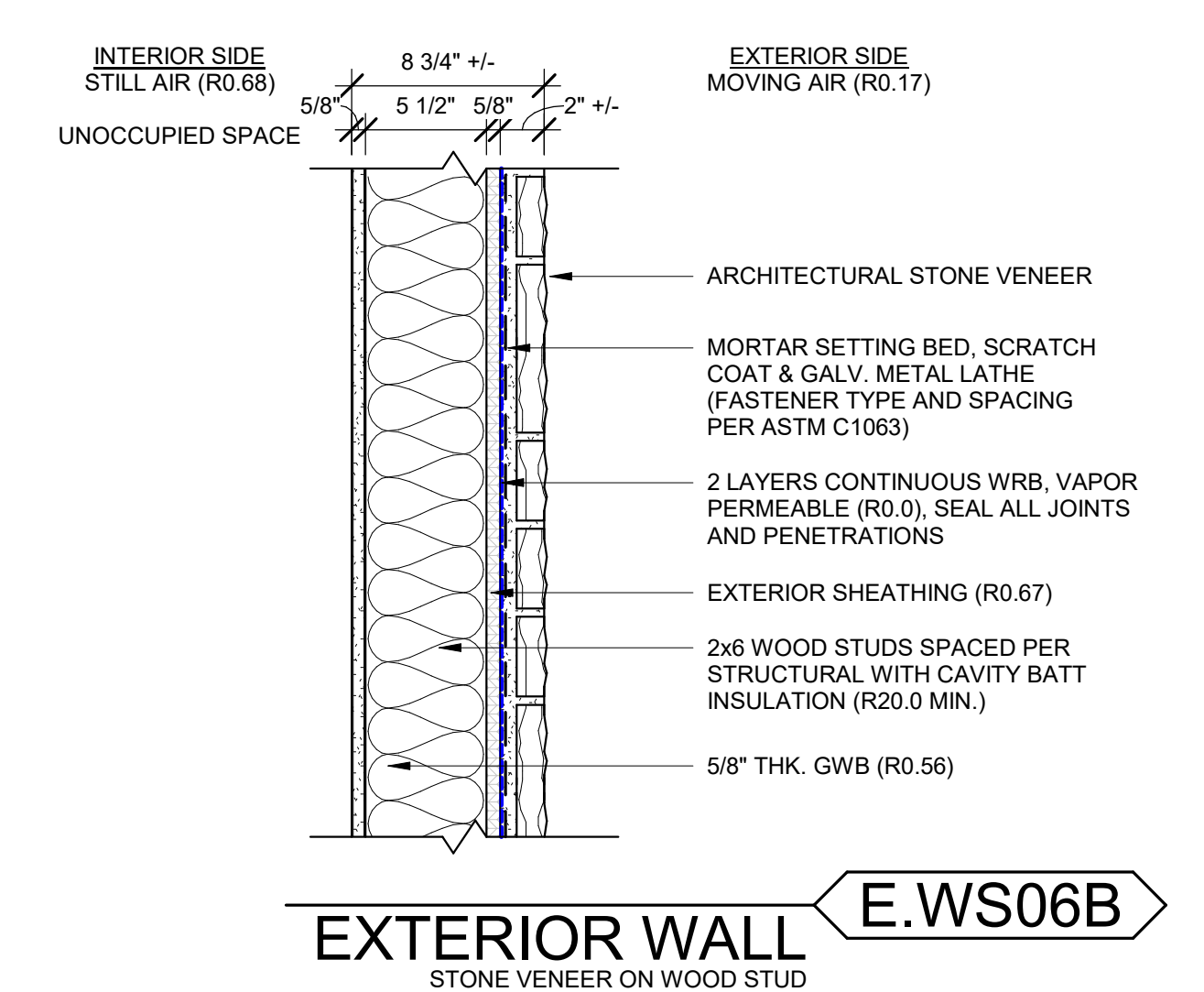
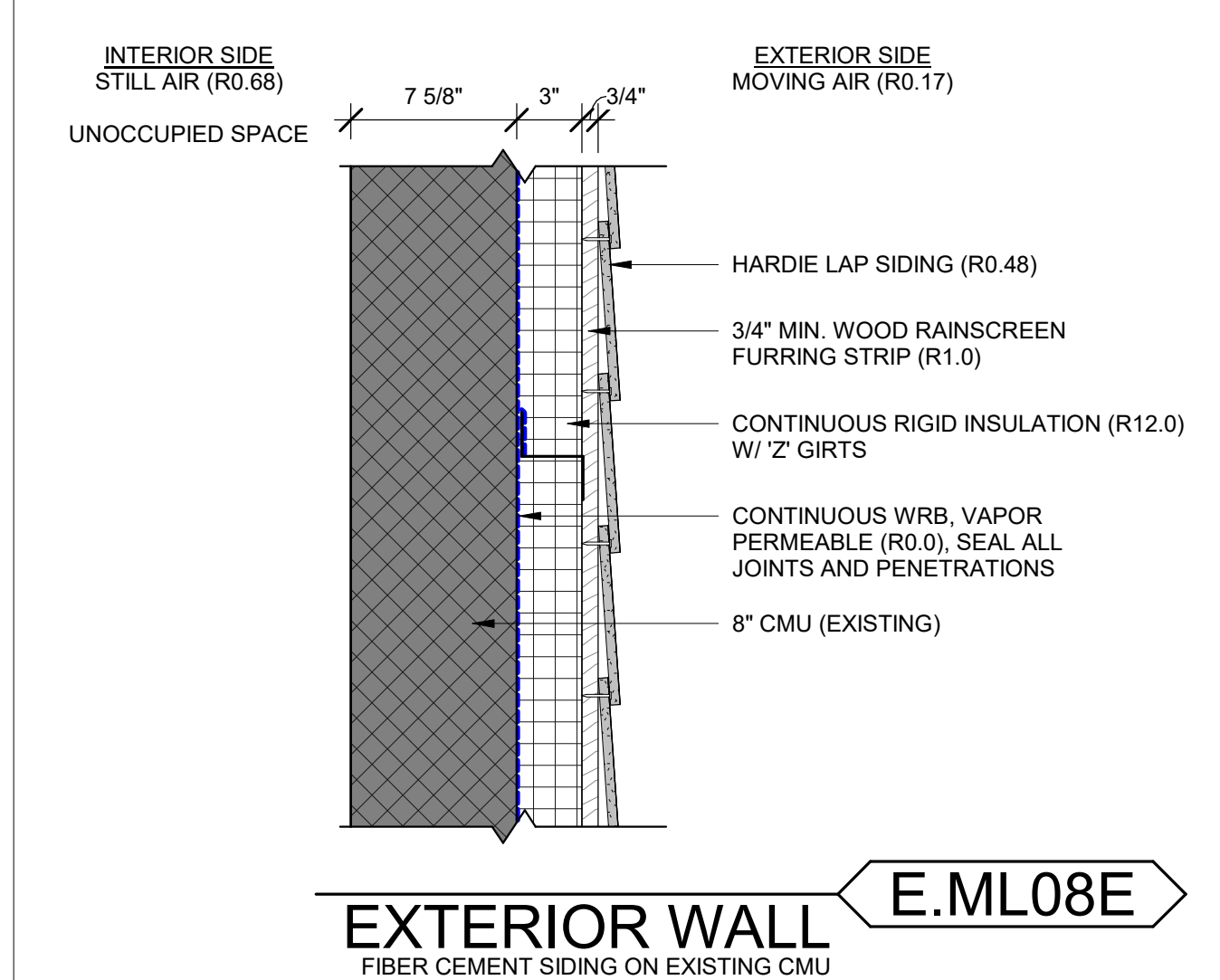
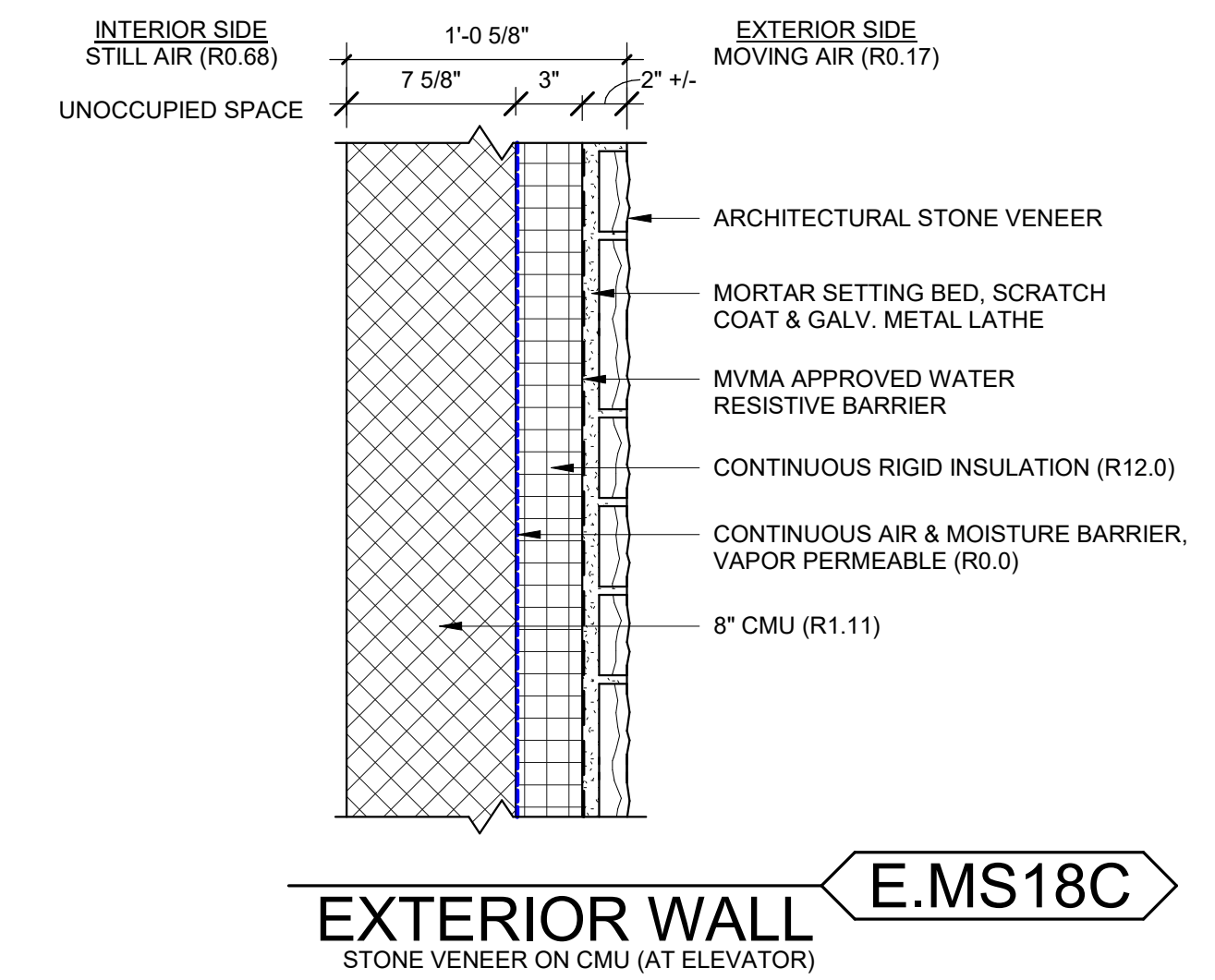


**EXT. WALL SCHEDULE-KEY LEGEND**

<p>EXTERIOR WALL</p>	<p><b>WALL THICKNESS</b></p> <p><b>WOOD STUD</b></p> <p>4 = 3 1/2"</p> <p>6 = 5 1/2"</p>	<p><b>NOTES</b></p> <p>A = NO INSULATION</p> <p>B = BATT INSULATION</p> <p>C = CI RIGID INSULATION</p> <p>D = BATT + CI RIGID INSULATION</p> <p>E = CI RIGID INSULATION OVER EXISTING CMU</p>
	<p><b>CMU WALL</b></p> <p>4=3 5/8" (4" NOMINAL)</p> <p>6=5 5/8" (6" NOMINAL)</p> <p>8=7 5/8" (8" NOMINAL)</p> <p>0=9 5/8" (10" NOMINAL)</p> <p>2=11 5/8" (12" NOMINAL)</p>	
<p><b>BACK-UP WALL</b></p> <p>C = CONCRETE</p> <p>W = WOOD</p> <p>M = CMU</p>	<p><b>FIRE RATING</b></p> <p>0= 0HR</p> <p>1= 1HR</p> <p>2= 2HR</p> <p>3= 3HR</p> <p>4= 4 HR</p> <p>5= 1/2HR</p>	<p><b>CONCRETE WALL</b></p> <p>4= 4"</p> <p>6= 6"</p> <p>8= 8"</p> <p>10= 10"</p> <p>2= 12"</p> <p>14= 14"</p>
<p><b>CLADDING MATERIAL</b></p> <p>B = BRICK</p> <p>C = CONCRETE</p> <p>H = HARDIE PANEL</p> <p>L = HARDIE LAP SIDING</p> <p>M = CMU</p> <p>S = STONE VENEER</p>		<p>Z = NO ADDITIONAL</p>

**EXTERIOR WALL NOTES**

- REFER TO ELEVATIONS FOR PROPOSED COLOR
- TYPE VB - EXTERIOR WOOD FRAME WALL
  - ALL EXTERIOR WALLS TO BE 2X6 WOOD STUDS SPACED PER STRUCTURAL DRAWINGS.
- TYPE V EXTERIOR WALLS SHALL COMPLY WITH CSS SECTIONS 2603.2, 2603.3 AND 2603.4.



**EXTERIOR COMPONENTS**

- EXTERIOR FINISH:
  - FIBER CEMENT BOARD PANEL CONFORM TO REQUIREMENTS OF ASTM C1186, TYPE A (OR ISO, CATEGORY A)
    - JAMES HARDIE LAP SIDING
    - 5/16" MIN. THICK
    - SERIES: TBD
    - COLOR: TBD
  - STONE VENEER- 1" TO 1 1/2" THICK
    - ELDORADO STONE, K2 STONE
    - SERIES: TBD
    - COLOR: TBD
    - INSTALL PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
- CONTINUOUS INSULATION: ROCKWOOL CAVITYROCK, NON-COMBUSTIBLE, SEMI-RIGID STONE WOOL INSULATION BOARD
  - COMPLIANCE: ASTM C612 MINERAL FIBER BLOCK AND BOARD THERMAL INSULATION- TYPE VB COMPLIANT
  - REACTION TO FIRE: ASTM E84 (UL 723) FLAME SPREAD INDEX = 0; SMOKE DEVELOPED INDEX= 0  
ASTM E136 BEHAVIOR OF MATERIAL AT 750 DEGRESS CELSIUS- NON-COMBUSTIBLE.
  - THERMAL RESISTANCE: ASTM C518 (C177)
    - R4.20 (1")
    - R6.30 (1.5")
    - R8.40 (2")
    - R10.75 (2.5")
    - R12.90 (3")
- CAVITY INSULATION: FULL STUD WIDTH. ROCKWOOL COMFORTBATT, NON-COMBUSTIBLE SEMI-RIGID BATT INSULATION
  - COMPLIANCE: CANULC S702 MINERAL FIBER THERMALINSULATION FOR BUILDINGS, TYPE 1 COMPLIANT
  - REACTION TO FIRE: CANULC S102 FLAME SPREAD INDEX = 0  
CANULC S114 SMOKE DEVELOPED INDEX= 0
  - THERMAL RESISTANCE: ASTM C518 AT 2X6" WOOD STUDS: 5 1/2" THK
- WATER-RESISTIVE BARRIER (WRB): AIR AND WATER BARRIER SYSTEM
- SHEATHING: EXTERIOR WALL SHEATHING: 5/8" NOMINAL WOOD STRUCTURAL PANELS, MIN. GRADE "C-D" OR "SHEATHING", SEE STRUCTURAL ROOF SHEATHING: 5/8" NOMINAL OSB, SEE STRUCTURAL
- ASPHALT SHINGLES:
  - MINIMUM 25 YEAR WARRANTY
  - ANTI FUGAL
  - TO BE NAILED
  - COLOR: TBD

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**ECA CLUBHOUSE EXPANSION**  
8400 UPPER SKY WAY  
LAUREL, MD 20723  
PROJECT NO. 320762.00

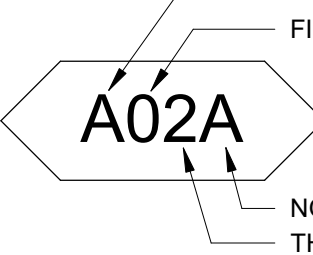
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**EXTERIOR WALL TYPES**

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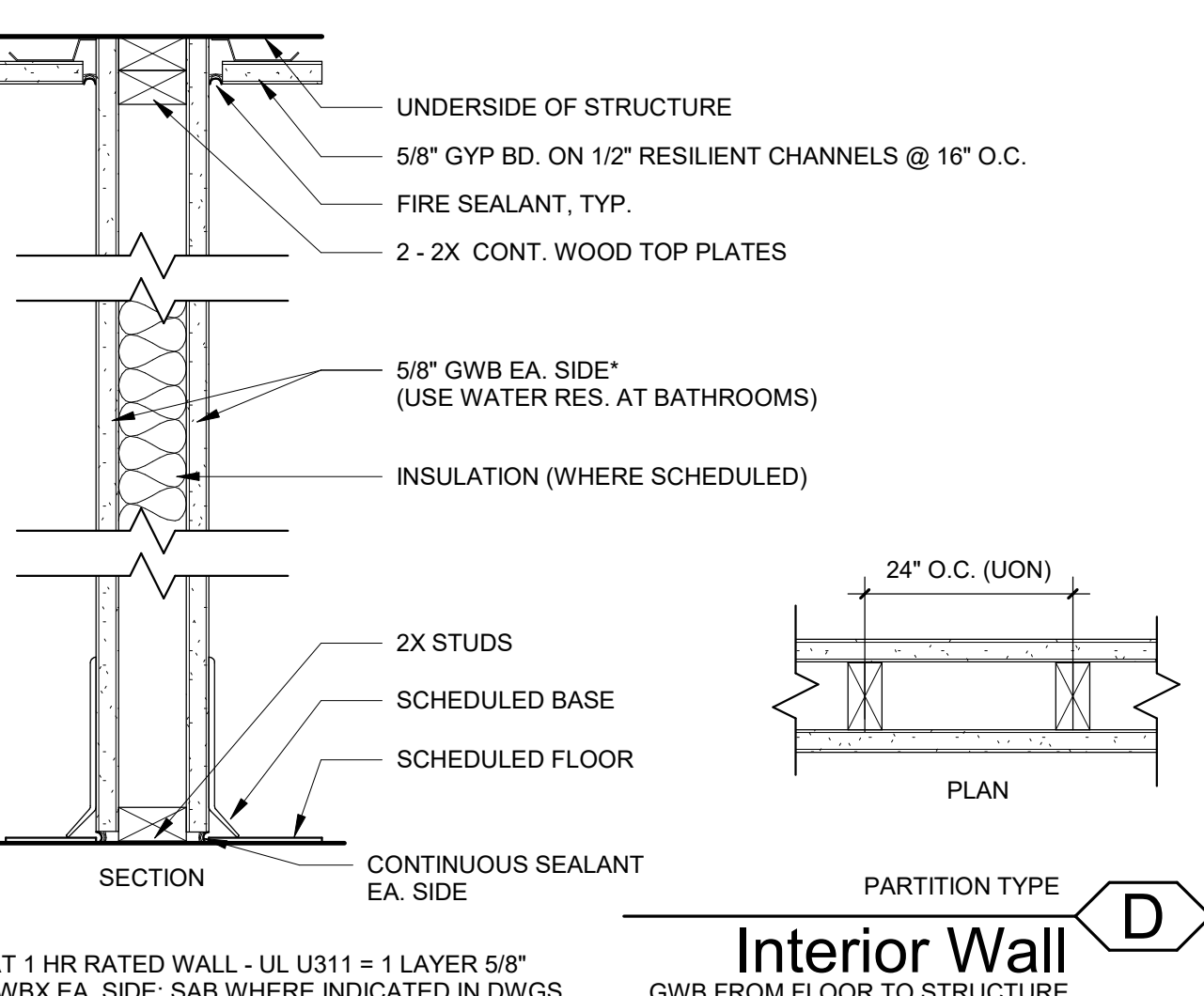
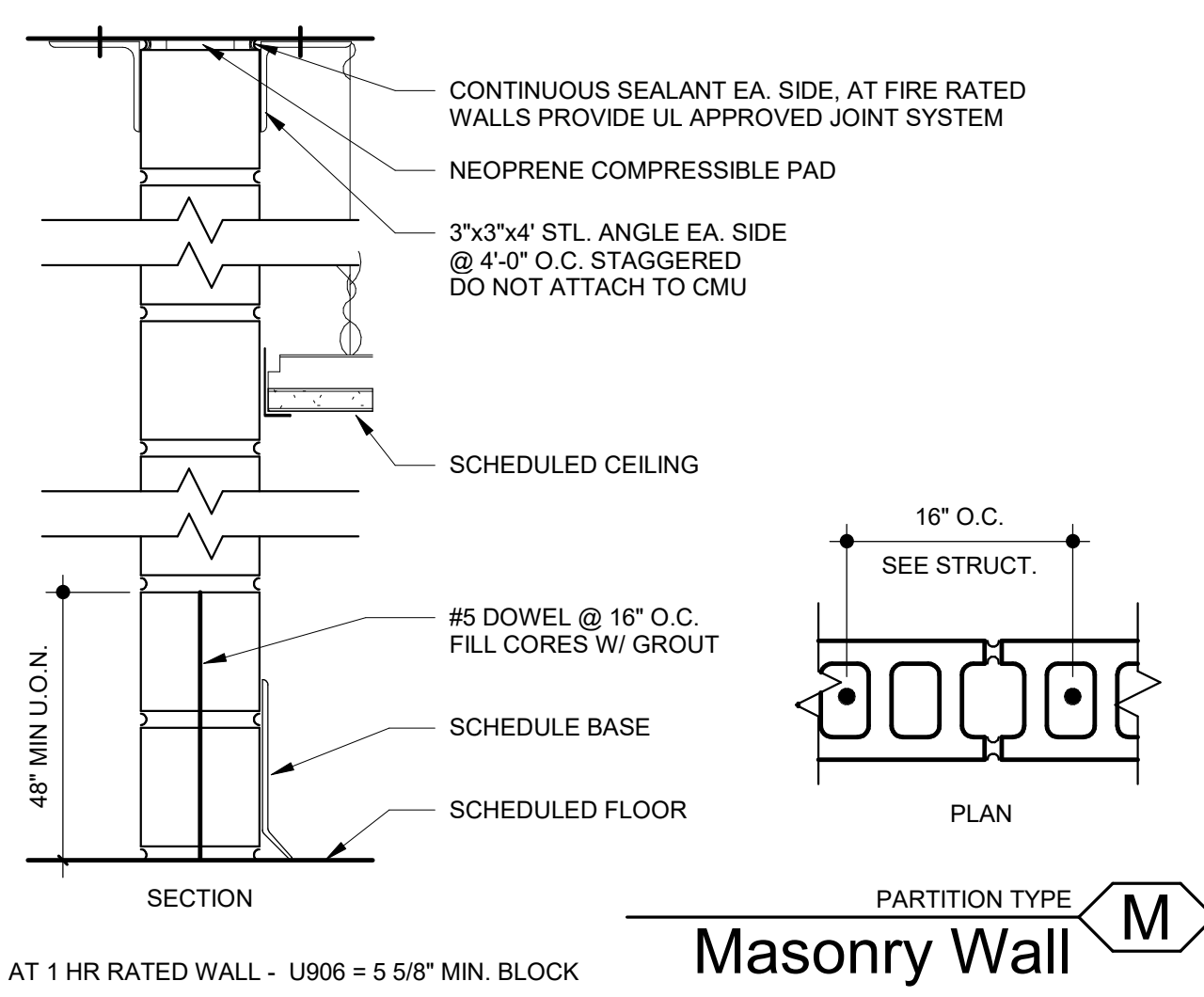
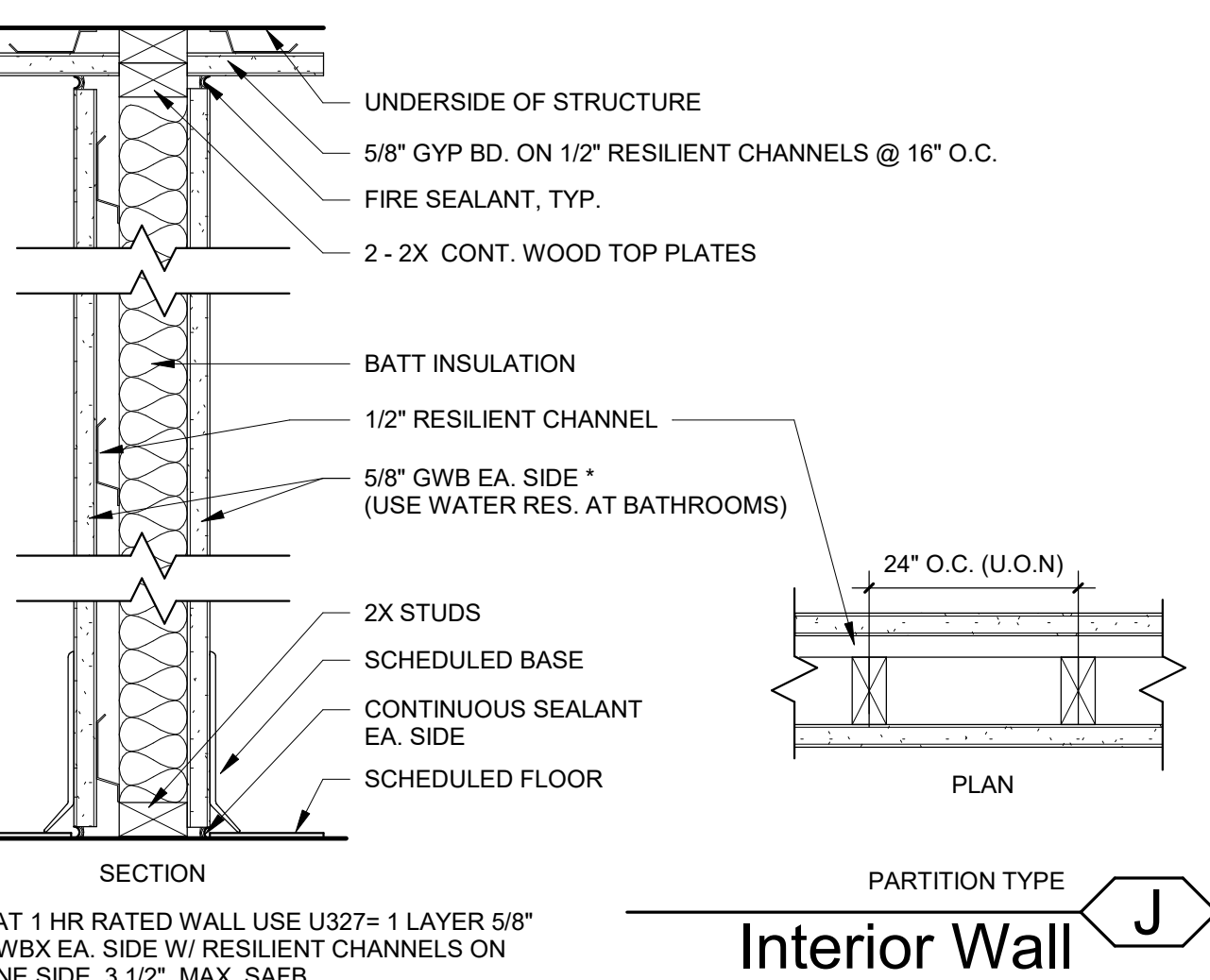
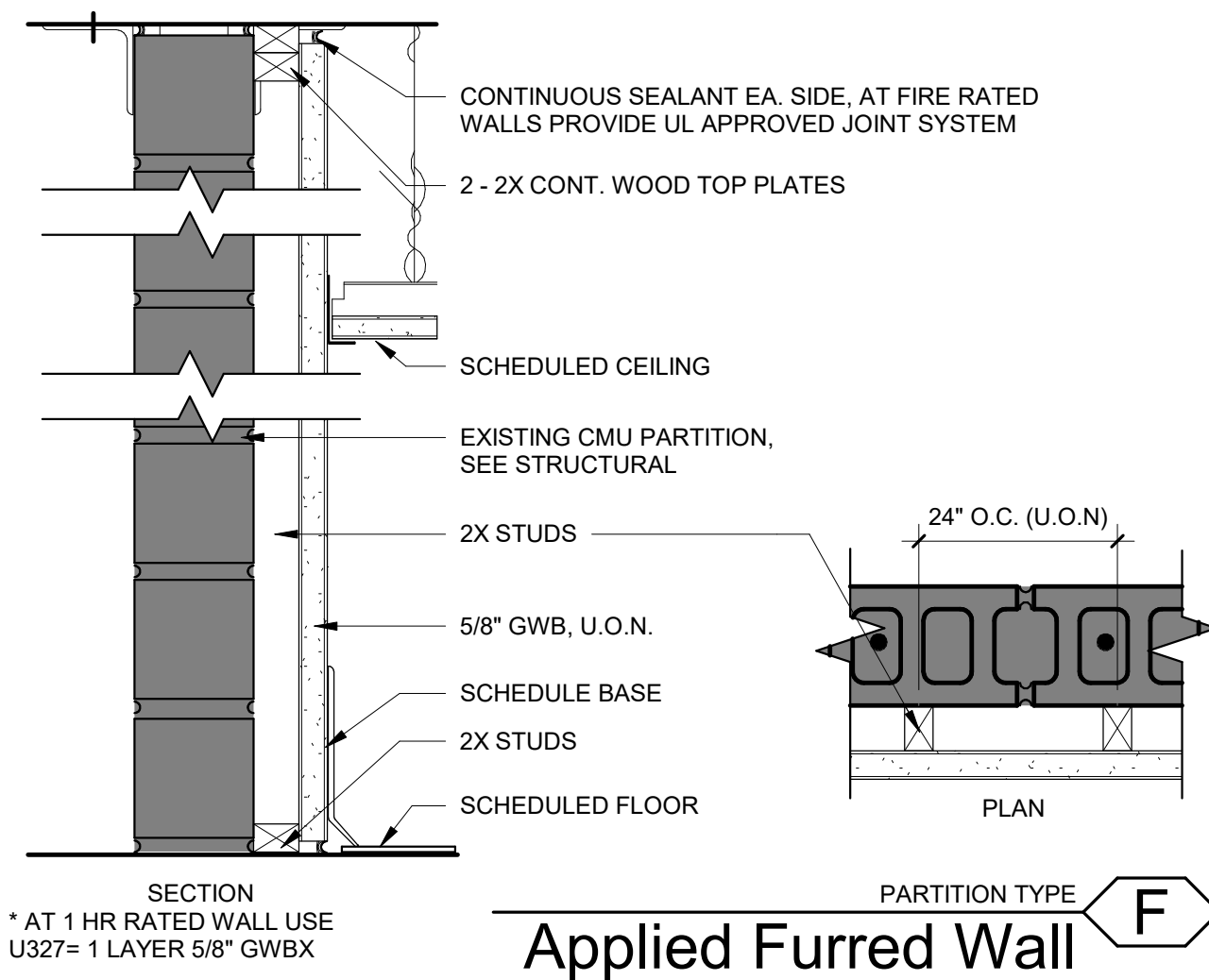
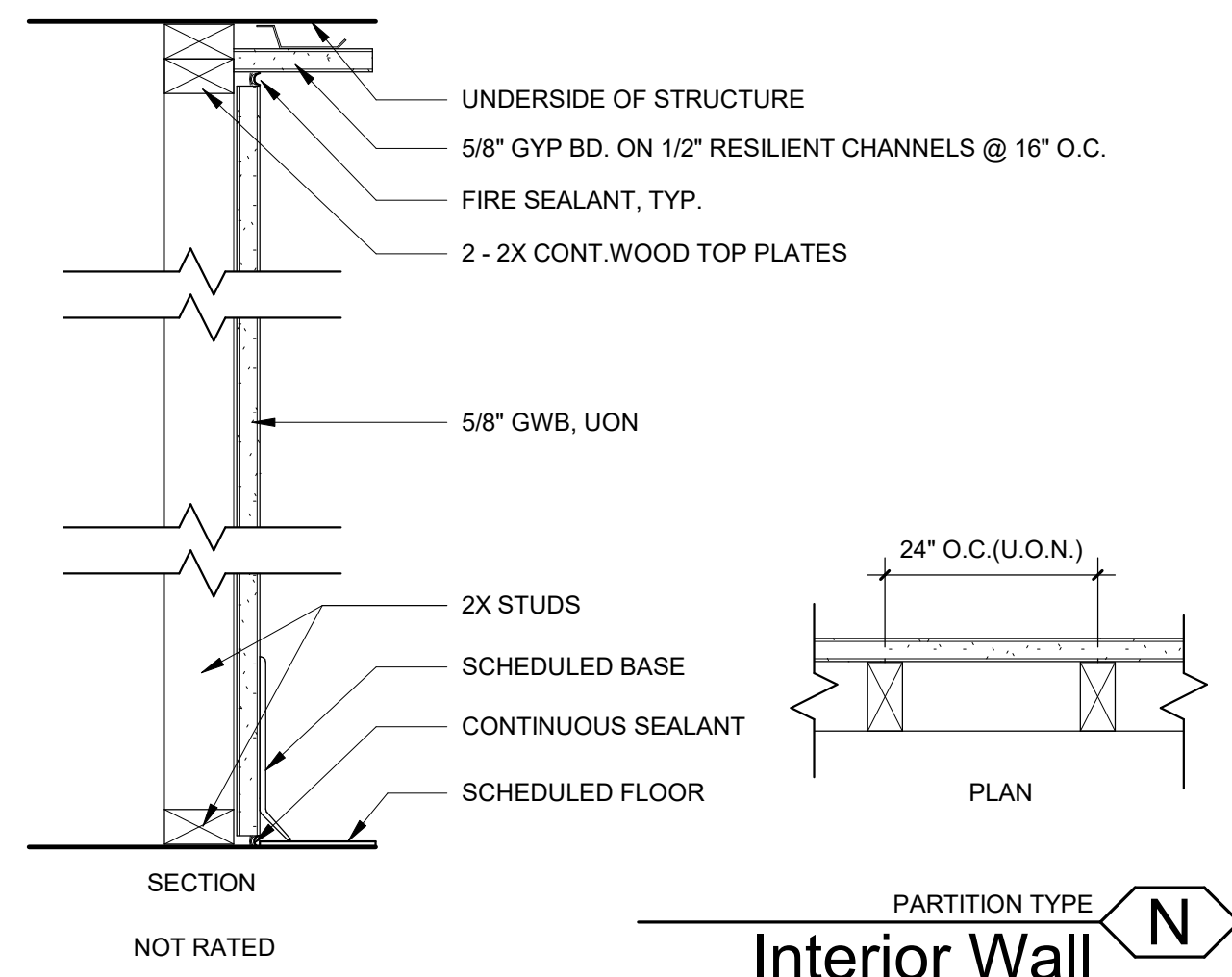


**PARTITION SCHEDULE - KEY LEGEND**

PARTITION TYPE FIRE-RATING	THICKNESS WALL STUD SIZE	NOTES	
 NOTES THICKNESS	<b>WOOD</b>	A = NO INSULATION B = INSULATION C = 1/2" RESILIENT CHANNEL (ONE SIDE) D = CEMENT BACKER BOARD WITH TILE E = 1/2" MDF (IN PLACE OF GWB)	
	2 = 1 1/2"		
	3 = 2 1/2"		
	4 = 3 1/2"		
	6 = 5 1/2"		
	8 = 7 1/4"		
	10 = 9 1/4"		
	12 = 11 1/4"		
	<b>PARTITION TYPES</b>	<b>FIRE - RATING</b>	
	A= FLOOR to CLNG B= NOT USED C= CHASE WALL D= FLOOR to STRUCTURE E= DOUBLE STUD F= FURRED WALL G= GLASS WALL H= HORIZONTAL SHAFT J= 2 LAYERS GWB ONE SIDE K= 2 LAYERS GWB BOTH SIDES L= LOW WALL M= MASONRY N= GWB ONE SIDE P= FIREWALL S= SHAFT WALL T= STAIR WALL	0=0HR 1=1HR 2=2HR 3=3HR 4=4HR 5=12HR	
	<b>CMU WALL THICKNESS</b>	Z = NO ADDITIONAL NOTES	
	4=3 5/8" (4" NOMINAL) 6=5 5/8" (6" NOMINAL) 8=7 5/8" (8" NOMINAL) 10=9 5/8" (10" NOMINAL) 12=11 5/8" (12" NOMINAL)	FOR ADDITIONAL LETTERS SEE THE INDIVIDUAL DETAIL FOR SPECIAL CONDITIONS	

**PARTITION NOTES**

- ALL GYPSUM WALLBOARD TO BE 5/8" UNLESS OTHERWISE NOTED.
- PARTITIONS AND WALLS SHALL MEET INDUSTRY STANDARDS. INDUSTRY STANDARDS REFER TO THE GYPSUM CONSTRUCTION HANDBOOK - LATEST EDITION AND CMU/MASONRY INSTITUTE, PCI/UL STANDARDS.
- PROVIDE CEMENTITIOUS BOARD BACK-UP AT WALLS FINISHED WITH TILE OR STONE.
- PROVIDE MOISTURE/MOLD RESISTANT GWB AT BATHROOMS, JANITOR'S CLOSETS, AND BEHIND DRINKING FOUNTAINS.
- PROVIDE TYPE "X" OR TYPE "C" GWB AT ALL FIRE RATED WALLS. REFER TO UL DESIGN ASSEMBLY NOTED ON PARTITION DETAIL.
- PROVIDE DOUBLE METAL STUDS SURROUNDING ALL DOOR AND CASE OPENINGS. STRAP STUDS AT 24" O.C. (MAX.) BOTH SIDES.
- ALL METAL STUDS SHALL BE 20 GA. MIN. (UON) AND SPACED AT 24" O.C. MAX. (EXCEPT 16" O.C. MAX. AT WALLS TO RECEIVE CERAMIC TILES) UON OR REQ'D. TO MEET U/240 LATERAL DEFLECTION (U560 FOR CERAMIC TILE WALLS).
- FILL ALL STUDS AT FRAMED OPENING IN EXTERNAL WALLS W/ MILDEW-RESISTANT INSULATION. ISOLATE PARTITION WALLS FROM ADJACENT STRUCTURAL ELEMENTS, OR DISSIMILAR PARTITIONS, OR OTHER VERTICAL PENETRATIONS AS PER INDUSTRY STANDARDS.
- PROVIDE ADDITIONAL LAYER OF 5/8" GWB AT ALL WALLS WITH REVEALS. DO NOT CUT GWB REVEALS AT FIRE RATED ASSEMBLIES.
- PROVIDE MIN. OF 4" METAL STUDS 16 GA. AT 12" O.C. TO RECEIVE FULL HEIGHT STONE VENEER.
- PROVIDE U.L. APPROVED FIRE STOPPING MATERIALS AT ALL PENETRATIONS THROUGH FIRE RATED WALLS. SEAL ALL PENETRATIONS IN SMOKE WALLS.
- FIRE-RESISTANT ASSEMBLY MARKING: CONCEALED FIRE WALLS, VERTICAL SEPARATION ASSEMBLIES, FIRE PARTITIONS AND SMOKE BARRIERS SHALL BE IDENTIFIED ABOVE CEILINGS AND ON THE INSIDE OF ALL CEILING ACCESS DOORS, BY SIGNAGE HAVING LETTERS NO SMALLER THAN 3 INCHES IN HEIGHT (IBC 2018 SECTION 703.7). SUCH SIGNAGE SHALL CONTAIN THE WORDING "FIRE RATED ASSEMBLY" AND BE PROVIDED AT HORIZONTAL INTERVALS OF NO MORE THAN EIGHT FEET.
- PROVIDE SOUND ATTENUATION BLANKET (SAB) FOR NON-FIRE RATED WALLS AND SOUND ATTENUATION FIRE BLANKET (SAFB) FOR FIRE RATED WALLS WHERE APPLICABLE PER PARTITION TYPES. PROVIDE SAFB AT ALL HEATED SOFFITS REFER TO DRAWINGS FOR R-VALUE REQUIREMENTS.
- PROVIDE JOINT REINFORCEMENT AT 16" O.C. VERTICAL AT ALL MASONRY WALLS. UON ON STRUCTURAL DRAWINGS.
- PROVIDE CONTINUOUS ACOUSTICAL SEALANT BEAD ALONG PERIMETER OF SLAB TO WALL INTERFACES AT ALL OCCUPIED SPACES UON.
- AT CURVED WALLS, PROVIDE DRY OR WETTED GWB WITH THE REQ'D. METAL STUD SPACING AND ACCESSORIES AS PER MFR.'S RECOMMENDATIONS FOR THE SPECIFIED RADII.
- ALL METALS IN CONTACT W/ STONE MUST BE CORROSION RESISTANT.
- AT WALLS W/ STONE ATTACHMENTS, STUD GAUGE AND SPACING TO BE PER APPROVED ENGINEERED COLD ROLLED METAL SHOP DRAWINGS. THESE DRAWINGS SHALL BE PREPARED BY A CONTRACTOR OR MFR.'S ENGINEER REGISTERED IN THE JURISDICTION OF THE PROJECT.
- ALL INSIDE FACES OF SHAFT WALLS SHALL BE FINISHED AS REQ'D. FOR FIRE RATED PARTITION.
- PROVIDE U.L. APPROVED FIRE RESISTANT TYPE SEALANT @ TOP AND BOTTOM OF RATED PARTITIONS.
- ALL ELECTRICAL BOXES MUST BE STAGGERED AND USEUL RATED BOXES WHERE THEY ARE INSTALLED IN FIRE RATED PARTITIONS OR UL ENCLOSURES/WRAPPS.
- WHERE INTERIOR 0HR FIRE RESISTANCE RATING PARTITION IS ADJACENT TO ROOM THAT HAS CEILING BELOW CONCRETE SLAB, GWB WILL NOT EXTEND UP TO UNDERSIDE OF THE CONCRETE SLAB AND WILL STOP JUST 1" MIN. ABOVE THE CEILING.
- ALL C-H STEEL STUDS SHALL BE GALVANIZED, 25GA. MIN (UON) AND SPACED AS REQUIRED PER FIRE RESISTANCE DESIGN (EXCEPT 20 GA. MIN AT ELEVATOR SHAFTS).
- PROVIDE HEAVIER GAGE METAL STUDS AS REQUIRED TO MEET THE HEIGHT LIMITATIONS BASED ON DEFLECTION CRITERIA OF THE STUD MANUFACTURE AND GYPSUM ASSOCIATION DO NOT CUT GWB REVEALS IN FIRE-RATED ASSEMBLIES. PROVIDE ADDITIONAL LAYER(S) OF GWB CORRESPONDING W/ REVEAL DEPTH SPECIFIED ON DRAWINGS.
- ALL DEVICE BOXES AND I/O CABINETS IN FIRE RATED PARTITIONS TO BE UL RATED. PROVIDE WOOD BLOCKING OR METAL STRAP BACKING AS REQUIRED. INSTALL IN ALL PARTITIONS TO RECEIVE MECHANICALLY FASTENED ACCESSORIES I.E. CABINETS, SHELVING, SURFACE MOUNTED COMPONENTS.



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8400 UPPER SKY WAY  
LAUREL, MD 20723

PROJECT NO. 320762.00

DRAWING TITLE  
**PARTITION SCHEDULE**

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**A-031**



DOOR SCHEDULE												
DOORS				DOORS				FRAME		FIRE RATING	REMARKS	
NO	ROOM NO.	LOCATION	TYPE	NO	WIDTH	HEIGHT	THICKNESS	HW SET	TYPE	MATL.	MIN	
100A	100	Vestibule	GF	PR	3'-0"	7'-8 1/2"	1 3/4"	X-2		AL		EXTERIOR DOOR
100B	100	Vestibule	GF	PR	3'-0"	7'-8 1/2"	1 3/4"	9		AL		
101			GF	PR	3'-0"	7'-8 1/2"	1 3/4"	X-2		AL		EXTERIOR DOOR
102	102	Water Room	F		3'-0"	7'-0"	1 3/4"	3				
103	103	Office	GF		3'-0"	7'-8 1/2"	1 3/4"	2				
104	104	Clos.	F		3'-0"	7'-0"	1 3/4"	3	11	HM		
105	105	Janitor Cl.	P1		2'-0"	7'-0"	1 3/4"	3				
106	106	Business Center	GF		3'-0"	7'-8 1/2"	1 3/4"	6				
107	107	Men's	P1		3'-0"	7'-0"	1 3/4"	4				
108	108	Women's	P1		3'-0"	7'-0"	1 3/4"	4				
109	109	IT Clos.	L2			7'-0"	1 3/4"	3				
110A	110	Stair A	FN		3'-0"	7'-0"	1 3/4"	8			60	
110B	110	Stair A	GF2		3'-0"	7'-10"	1 3/4"	X-1				EXTERIOR DOOR
111A	111	Stair B	FN		3'-0"	7'-0"	1 3/4"	8			60	
111B	111	Stair B	FN		3'-0"	7'-0"	1 3/4"	8			60	EXTERIOR DOOR
111C	111	Stair B	GF2		3'-0"	7'-10"	1 3/4"	X-1				EXTERIOR DOOR
111D						7'-0"	1 3/4"	X-3			60	EXTERIOR DOOR, FOR ELEVATOR MAINTENANCE ACCESS
112A	112	Vestibule			3'-0"	7'-7"	1 3/4"	X-1	SF			EXTERIOR DOOR
112B	112	Vestibule			24'-0"	8'-2"						DORMAKABA HSW FLEX THERM SLIDING WALL SYSTEM OR SIM.
113Ax	113	Men's Pool House	F		2'-0"	7'-0"	1 3/4"	EX	11	HM		EXISTING TO REMAIN
113x	112	Vestibule	F		3'-0"	7'-0"	1 3/4"	EX	11	HM		EXISTING TO REMAIN
114x	114	Women's Pool House	F		3'-0"	7'-0"	1 3/4"	EX	11	HM		EXISTING TO REMAIN
115Ax	115	Exstng Pool Equip. Rm.	F		3'-0"	7'-0"	1 3/4"	EX	11	HM		EXISTING TO REMAIN
115Bx	115	Exstng Pool Equip. Rm.	F		3'-4"	7'-0"	1 3/4"	EX	11	HM		EXISTING TO REMAIN
116x	116	Existing Storage				7'-0"	1 3/4"	EX				EXISTING TO REMAIN
200A	200A	RR Corridor	P1		3'-0"	7'-0"	1 3/4"	1				
201A	201	Vestibule	F		3'-0"	8'-0"	1 3/4"	6				
201B	201	Vestibule	G		3'-0"	8'-0"	1 3/4"	6				
202	202	Stair B	IGI		3'-0"	7'-0"	1 3/4"	8			60	
204A	204	Vestibule	F		3'-0"	8'-0"	1 3/4"	6				
204B	204	Vestibule	G		3'-0"	8'-0"	1 3/4"	6				
205	205	Mech.	G		3'-0"	7'-0"	1 3/4"	3				
206	206	Catering	P1		3'-0"	7'-0"	1 3/4"	1				
207	207	Restroom	P1		3'-0"	7'-0"	1 3/4"	4				
208	208	Stair A	FN		3'-0"	7'-0"	1 3/4"	8			60	
209	209	AV Closet	P1		3'-0"	7'-0"	1 3/4"	3				
210	210	Women	P1		3'-0"	7'-0"	1 3/4"	1				
211	211	Men	P1		3'-0"	7'-0"	1 3/4"	1				
212	212	Closet				7'-0"	1 3/4"	7				
213	213	Mech.	L2			7'-0"	1 3/4"	3				
214	214	Janitor Cl.	F		3'-0"	7'-0"	1 3/4"	3				

## DOOR / FRAME NOTES

- ALL HARDWARE MOUNTING AND FUNCTION TO MEET IBC 2018, AND THE 2010 ADA STANDARDS. COORDINATE WITH OWNER/TENANT FOR DOORS/FRAMES TO BE PREPARED FOR SECURITY HARDWARE AND FINCTIONS.
- CAULK ALL JOINT BETWEEN WALLS AND FRAME WITH SEALANT.
- FIRE RATED DOORS AT EXIT STAIRWAYS AND EXIT PASSAGEWAYS TO COMPLY WITH IBC 2018 TABLE 716.1(2).
- SEE EXTERIOR/INTERIOR ELEVATIONS, PLANS AND DETAILS FOR FURTHER INFORMATION.
- THE PANIC HARDWARE SHALL BE MOUNTED SUCH THAT 32" CLEAR IS MAINTAINED AT DOOR OPENING.
- DO NOT PAINT OVER RATED LABELS.
- ACCESS CONTROL DEVICES SHALL COMPLY WITH IBC 1010.1.9.9.
- DOORS WITH SPECIAL LOCKING ARRANGEMENTS SHALL COMPLY WITH IBC 2018 AND SIGNAGE REQ'D FOR COMPLIANCE OF THIS SECTION SHALL ALSO COMPLY WITH 2010 ADA STANDARDS.
- DOOR HARDWARE SHALL COMPLY WITH IBC 2018. STAIR COMMUNICATIONS DEVICES SHALL BE PROVIDED IN ACCORDANCE TO IBC 2018.
- HARDWARE SCHEDULE TO BE SUBMITTED TO THE LOCAL JURISDICTION FOR APPROVAL.
- NO THUMB LATCHES OR KEYPED CYLINDER DEAD BOLTS ALLOWED ON ANY DOORS UNLESS OPERATED BY A SINGLE ACTION WITH A LEVER.
- PROVIDE TEMPERED SAFETY GLAZED AT ALL LOCATIONS REQ'D BY CODE.
- DOOR OPERATION SHALL COMPLY WITH IBC 2018 SECTION 1010.
- ALL DOORS IN FIRE RATED ASSEMBLIES SHALL COMPLY WITH IBC 2018 TABLE 716.1(2).
- SILL DETAIL FOR ALUMINUM/STONEWOOD THRESHOLDS. SEE DETAILS ON SHEET A-042.
- FOR FRAME CONDITIONS REFER TO PARTITION TYPES AND DOOR DETAILS ON SHEET A-041.
- FIRE RATED DOORS W/LITE TO COMPLY WITH IBC 2018 SECTION 716.
- AT NON-RATED DOORS W/LITE, PROVIDE 1/4" CLEAR TEMPERED GLASS, UON.
- METAL FRAMES FOR GLAZING TO BE SAME COLOR AS DOOR FRAME, UON.
- STORAGE ROOMS GREATER THAN 50 SF SHALL HAVE DOOR CLOSERS.
- ALL ELEVATOR DOORS SHALL BE 1 HOUR FIRE RATED.
- ALL EXTERIOR INSULATED METAL DOORS ARE TO MEET OR EXCEED THE IECC 2018 U-FACTOR (MIN 0.77) AS STATED IN TABLE C402.4.
- ENTRANCE DOORS ARE TO MEET THE FOLLOWING MAXIMUM AIR LEAKAGE CRITERIA (IECC 2018 TABLE C402.5.2):  
SLIDING DOORS = 0.20 CFM/FT2  
SWINGING DOORS = 0.20 CFM/FT2  
COMMERCIAL GLAZED SWINGING ENTRANCE DOORS = 1.00 CFM/FT2  
POWER OPERATED DOORS = 1.00 CFM/FT2
- ALL DOORS SHALL BE LISTED AND LABELED BY THE MANUFACTURER TO INDICATED COMPLIANCE.
- DETAILS ARE DIAGRAMMATIC AND ARE INTENDED TO BE USED IN CONJUNCTION WITH INFORMATION AS DETAILED, SCHEDULED, AND/OR SPECIFIED ELSEWHERE IN THE CONTRACT DOCUMENTS.
- WHERE EVER CARPET IS SCHEDULED BELOW A DOOR WITHOUT A THRESHOLD, THE CONTRACTOR SHALL VERIFY THAT SUFFICIENT CLEARANCE IS AVAILABLE TO ACCOMMODATE.
- UNLESS DETAILED OTHERWISE, WHERE EXTERIOR DOORS ARE TO BE INSTALLED ON CURBS, SET THRESHOLD ON THE TOP OF ROOF COUNTERFLASHING AS REQUIRED FOR WEATHER TIGHT SEAL.
- PROVIDE WEATHER TIGHT GASKET AT HEAD, JAMB, AND SILL OF ALL EXTERIOR DOORS.
- CLEARANCES FOR ALL U.L. LABEL DOORS SHALL BE WITHIN THE LIMITATIONS ESTABLISHED BY THE AUTHORITY HAVING JURISDICTION.
- PUSH SIDE HARDWARE FOR EGRESS PASSAGE ONLY.
- ALL EXTERIOR HOLLOW METAL DOORS TO BE GALVANIZED AND INSULATED.
- ALL EXTERIOR FRAMES TO BE 16 GA. GALVANIZED.
- ALL HOLLOW METAL DOORS AND FRAMES TO BE PAINTED. REFERENCE INTERIOR FINISH SCHEDULE A-050.
- COORDINATE WITH SECURITY DRAWINGS.



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EXPANSION

8400 UPPER SKY WAY  
LAUREL, MD 20723

PROJECT NO. 320762.00

DRAWING TITLE

DOOR &  
HARDWARE  
SCHEDULES

DRAWN BY MS, PFS  
QC CHECKED BY CG  
CA REVIEWED BY

DRAWING NUMBER

A-040

## HARDWARE SETS

DOOR HARDWARE SCHEDULE					
DESCRIPTION	MANUF	MODEL NO	FINISH	REMARKS	
HANGING					
BOTTOM PIVOT					
BUTT HINGE	MCKINNEY	TA2714	US32D	4 1/2" X 4 1/2"	
HINGE					
OPERATING					
DEAD LATCH/LATCH PADDLE	ADAMS-RITE	DEADLATCH 4350 X 4591 LATCH PADDLE	US28		
SECURING					
MAG LOCK (SURFACE)	BEA INC.	ELECTROMAGNETIC LOCK SURFACE MOUNTED			
SECURING					
ELECTRIC STRIKE					
ELECTRIC STRIKE FAIL-SAFE	ADAMS-RITE	7100			
EXIT BAR	SECURITRON	36" TOUCH SENSE EXIT BAR	ALUM		
FLUSH BOLT (BOTTOM)					
FLUSH BOLT (TOP)					
INFRARED PRESENCE SENSORS		SIM TO BODYGUARD III (BEA INC)		SELF-MONITORED, INFRARED PRESENCE SENSORS MOUNTED ON EXIT DOOR HEAD	
LATCHSET					
LOCK CYLINDER					
LOCKSET (OFFICE)					
LOCKSET (PRIVACY W/ OCCUPANCY INDICATOR)					
LOCKSET (STORE ROOM)					
MOTION SENSING PLATES		SIM TO MS-08 (BEA INC)		CONTACT-FREE UTILIZING DOPPLER EFFECT MICROWAVE TECHNOLOGY W/ BLACK FACEPLATE	
PUSH BAR PANIC HARDWARE					
SET OF LOCKOUT RELAYS		SIM TO LO-21P LOCK OUT RELAY (BEA INC)		TO PROVIDE LOCKOUT FUNCTION FOR PRESENCE SENSOR	
SET OF PROGRAMMABLE 3 RELAY LOGIC	BEA INC				
CONTROL DEVICE					
CLOSER (CONCEALED)	LCN	3133	689		
CLOSER (OVERHEAD CONCEALED)				W/ OFFSET INTERMEDIATE AND BOTTOM PIVOTS	
OPERATING					
2" PUSH/PULL SET	HIAWATHA	658 B X 1081-LBP X TB 33" CTC X 12" CTC X 3/16" WALL	US32D		
CLOSER (SURFACE)					
DOOR PULL					
OVERHEAD AUTOMATIC CLOSER	DORMA	E250 LOW ENERGY			
PATCH FITTING (BOTTOM)					
PATCH FITTING (TOP)					
SET OF PUSH/PULL	HIAWATHA	658 B X 1081 BP X US32D	US32D		
ACCESSORIES					
ALUMINUM THRESHOLD					
CARD READER					
DOOR STOP					
DOOR STOP (FLOOR)					
HEADER (SINGLE)					
HEADER STOP/STRIKE (SINGLE)					
SILENCER					

### SET 1 - PASSAGE

4	BUTT HINGE
1	LATCHSET
1	DOOR STOP (FLOOR)
3	SILENCER

### SET 2 - LOCKSET

4	BUTT HINGE
1	LOCKSET (OFFICE)
1	DOOR STOP (FLOOR)
3	SILENCER

### SET 3 - LOCKSET

4	BUTT HINGE
1	LOCKSET (STORE ROOM)
1	DOOR STOP (FLOOR)
3	SILENCER
1	CLOSER (SURFACE)

### SET 4 - LOCKSET (PRIVACY)

4	BUTT HINGE
1	LOCKSET (PRIVACY W/ OCCUPANCY INDICATOR)
1	CLOSER (CONCEALED)
1	DOOR STOP (FLOOR)
3	SILENCER

### SET 5 - SINGLE DOOR W/ CARD READER

4	BUTT HINGE
1	LATCHSET
1	ELECTRIC STRIKE
1	DOOR STOP (CONCEALED)
3	SILENCER
1	CARD READER

### SET 6 - SINGLE GLASS DOOR W/ CARD READER

1	BOTTOM PIVOT
1	PATCH FITTING (BOTTOM)
1	PATCH FITTING (TOP)
1	CLOSER (CONCEALED)
1	HEADER (SINGLE)
1	HEADER STOP/STRIKE (SINGLE)
1	DOOR PULL
1	ELECTRIC STRIKE
1	CARD READER

### SET 7 - DOUBLE DOOR LOCKSET

8	HINGE
1	LOCKSET (STORE ROOM)
2	DOOR STOP
6	SILENCER
1	FLUSH BOLT (TOP)
1	FLUSH BOLT (BOTTOM)

### SET 8 - SINGLE 60MIN EGRESS DOOR

4	BUTT HINGE
1	PUSH BAR PANIC HARDWARE
1	CLOSER (SURFACE)

### SET 9 - DOUBLE DOOR PASSAGE

4	BUTT HINGE
2	LATCHSET
1	CLOSER (CONCEALED)
3	SILENCER

### SET X-1 - STAIR / EGRESS (SINGLE)

1	DEAD LATCH/LATCH PADDLE
1	CLOSER (OVERHEAD CONCEALED)
1	ELECTRIC STRIKE FAIL-SAFE
1	SET OF PUSH/PULL
1	LOCK CYLINDER
1	ALUMINUM THRESHOLD

### SET X-2 - FRONT/REAR ENTRANCE (PAIR)

2	MAG LOCK (SURFACE)
2	OVERHEAD AUTOMATIC CLOSER
2	EXIT BAR
2	MOTION SENSING PLATES
2	INFRARED PRESENCE SENSORS
2	SET OF LOCKOUT RELAYS
2	SET OF PROGRAMMABLE 3 RELAY LOGIC
2	2" PUSH/PULL SET
1	ALUMINUM THRESHOLD

### SET X-3 - UTILITY ACCESS DOOR (SINGLE)

4	BUTT HINGE
1	LOCKSET (STORE ROOM)
1	CLOSER (CONCEALED)
1	ALUMINUM THRESHOLD
3	SILENCER



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PRICING SET 03/24/2021

REVISION DATE

PROJECT TITLE  
**ECA CLUBHOUSE EXPANSION**

8400 UPPER SKY WAY  
LAUREL, MD 20723

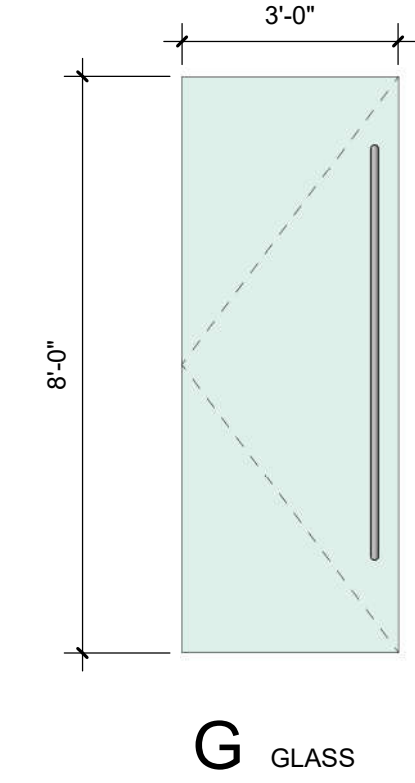
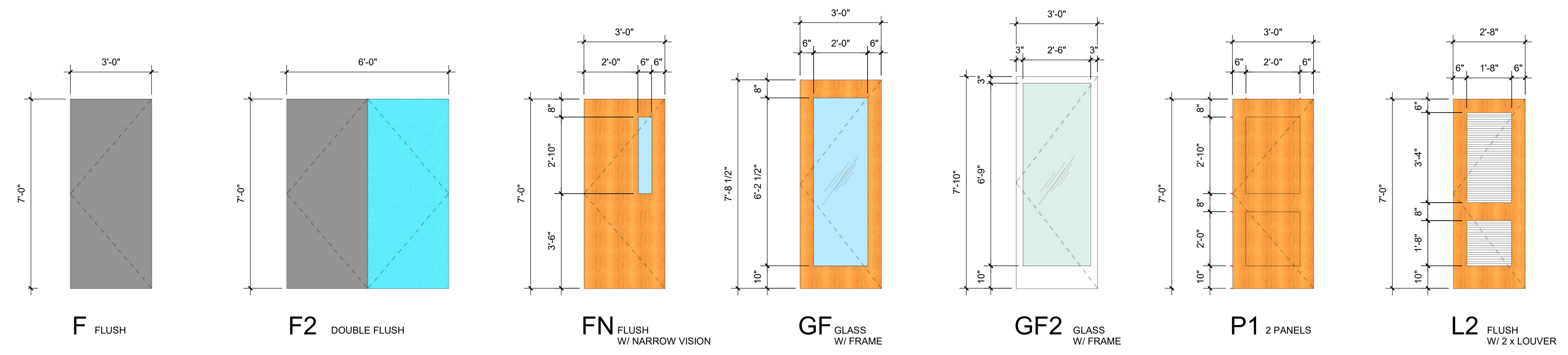
PROJECT NO. 320762.00

DRAWING TITLE  
**DOOR & FRAME TYPES & RELATED DETAILS**

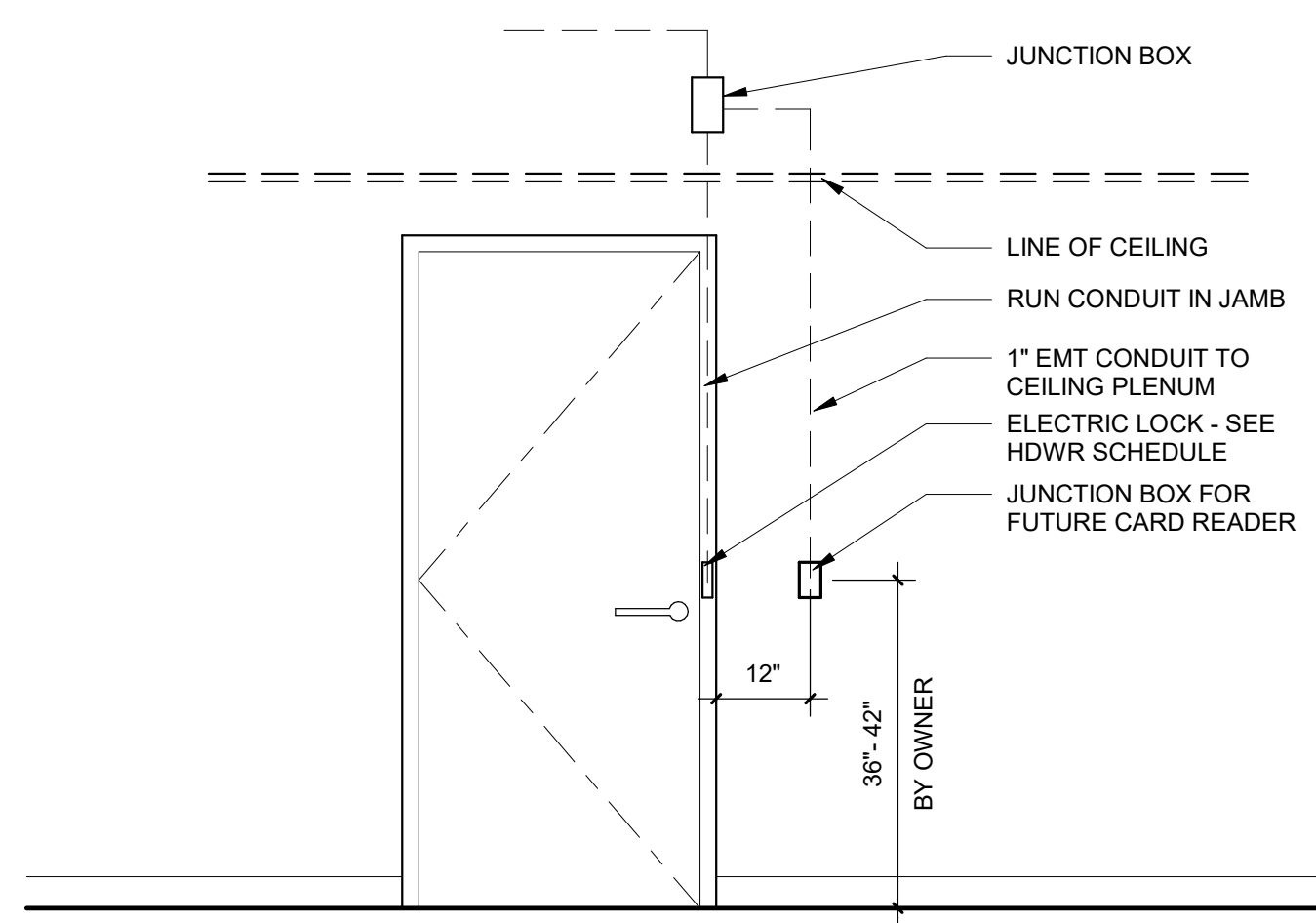
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QC CHECKED BY CG  
CA REVIEWED BY

DRAWING NUMBER

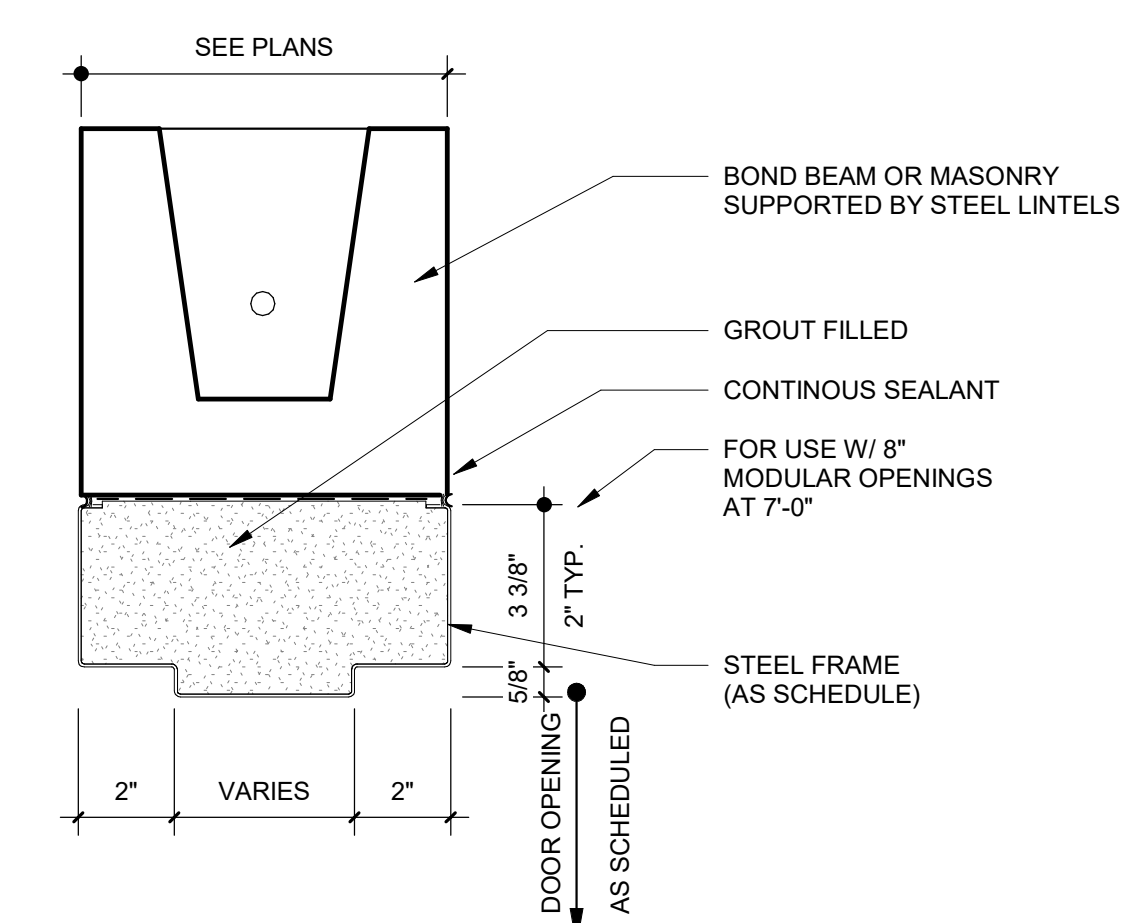
**A-041**



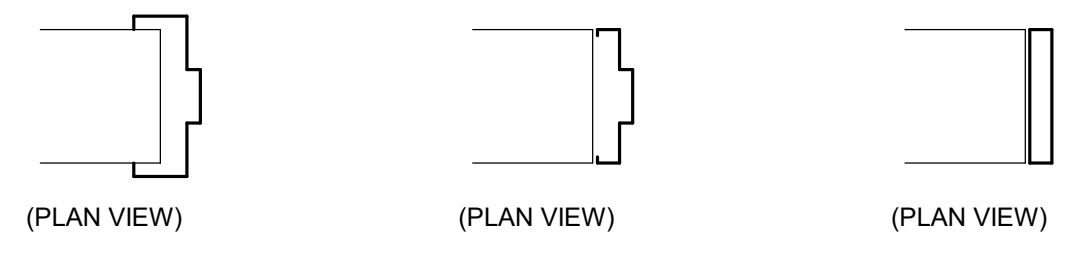
**B STANDARD DOOR TYPES**  
3/8" = 1'-0"



**2 STD MOUNTING HEIGHTS FOR CARD READER**  
1/2" = 1'-0"



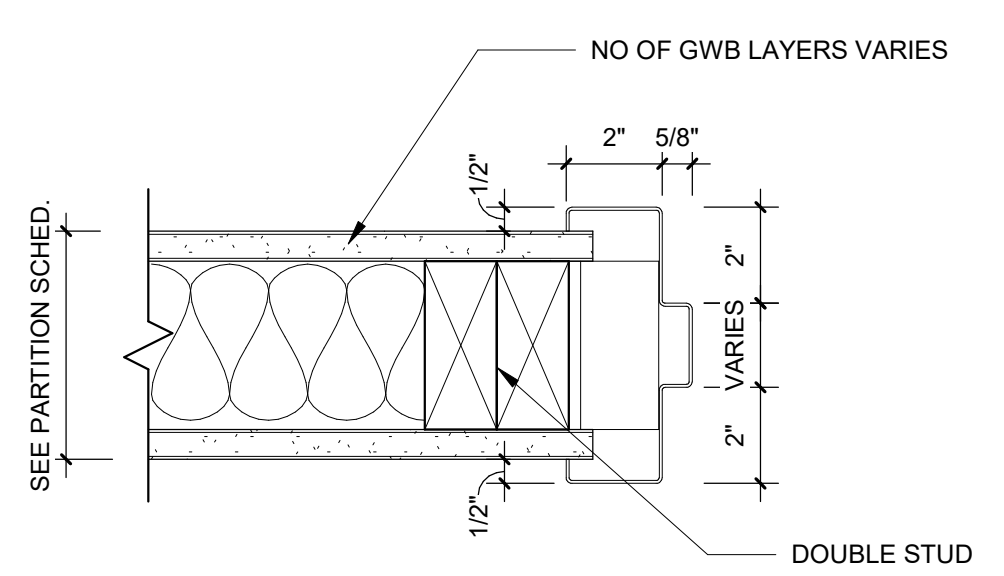
**STL FRAME HEAD@MASONRY WALL**  
3" = 1'-0"



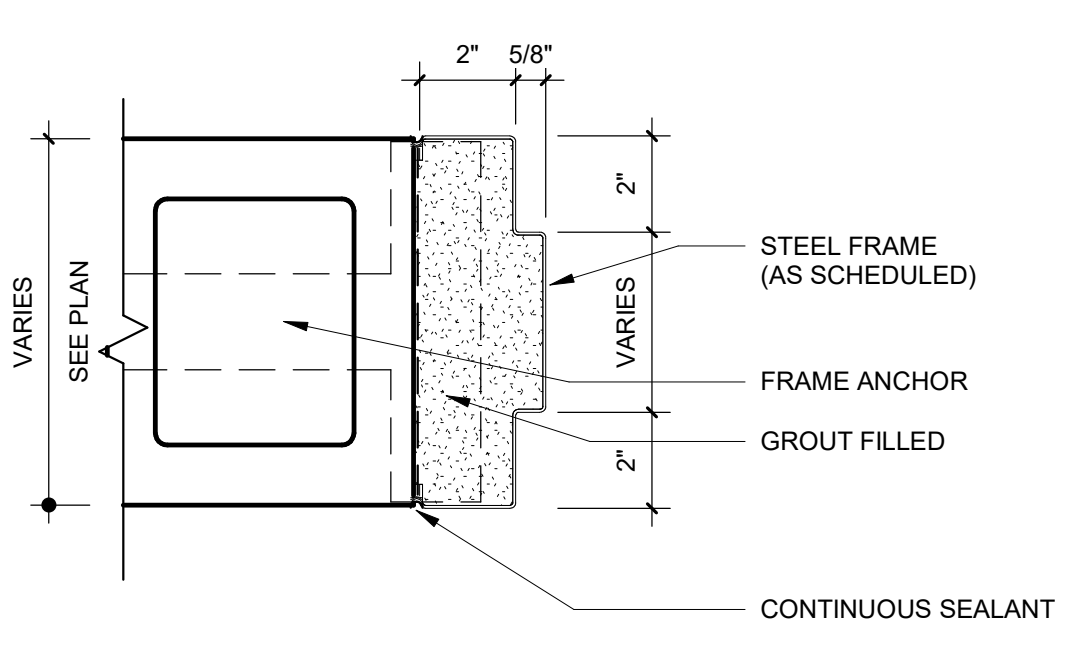
**WS** WRAPPED STANDARD  
**IS** INSET STANDARD  
**SF** STORE FRONT

**A DOOR FRAME TYPES**  
1/2" = 1'-0"

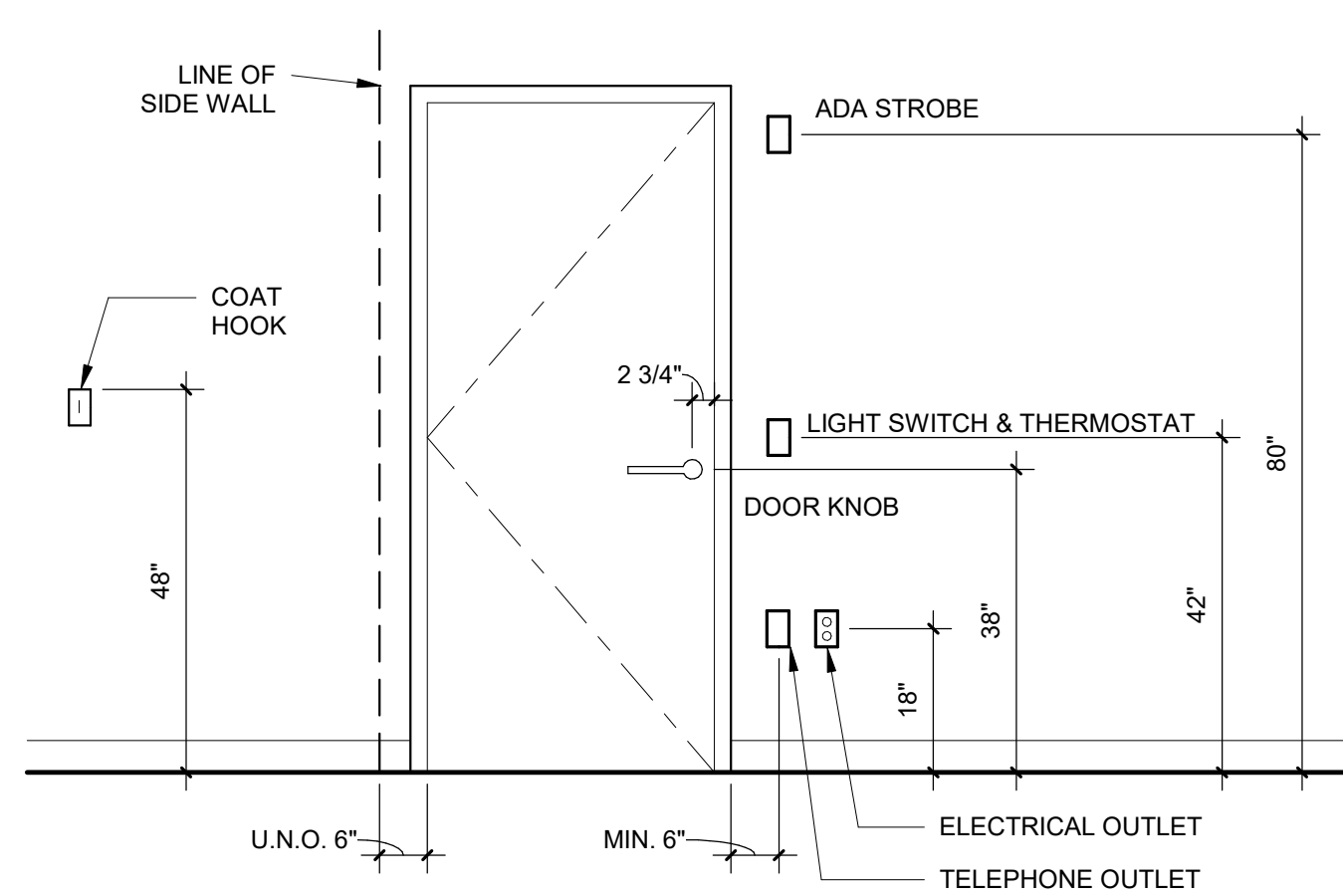
NOTE: HEAD DETAIL SIMILAR



**STL FRAME JAMB WOOD STUD WALL**  
3" = 1'-0"



**STL FRAME JAMB MASONRY WALL**  
3" = 1'-0"



**1 STANDARD MOUNTING HEIGHTS**  
1/2" = 1'-0"



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PRINT DATE 3/24/2021 4:33:15 PM

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PROJECT TITLE

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8400 UPPER SKY WAY  
LAUREL, MD 20723

PROJECT NO. 320762.00

DRAWING TITLE

**DOOR DETAILS**

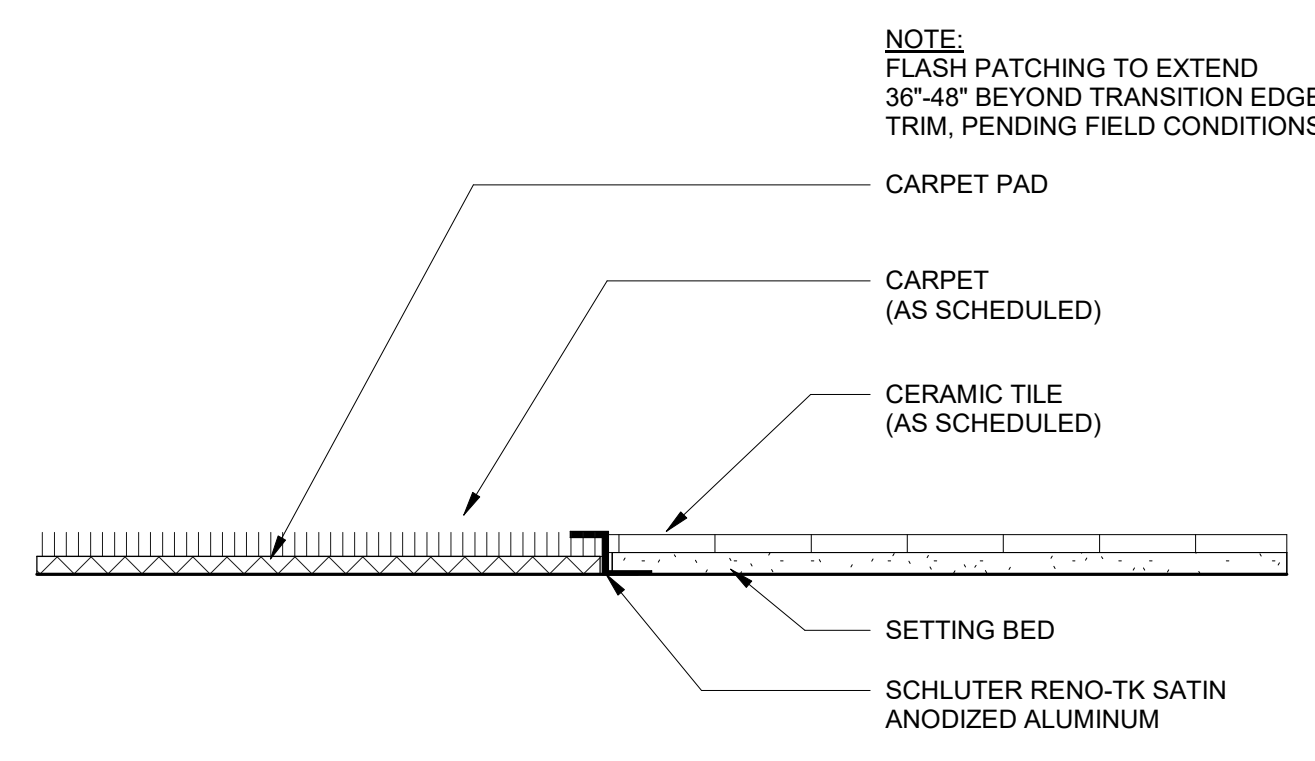
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CA REVIEWED BY

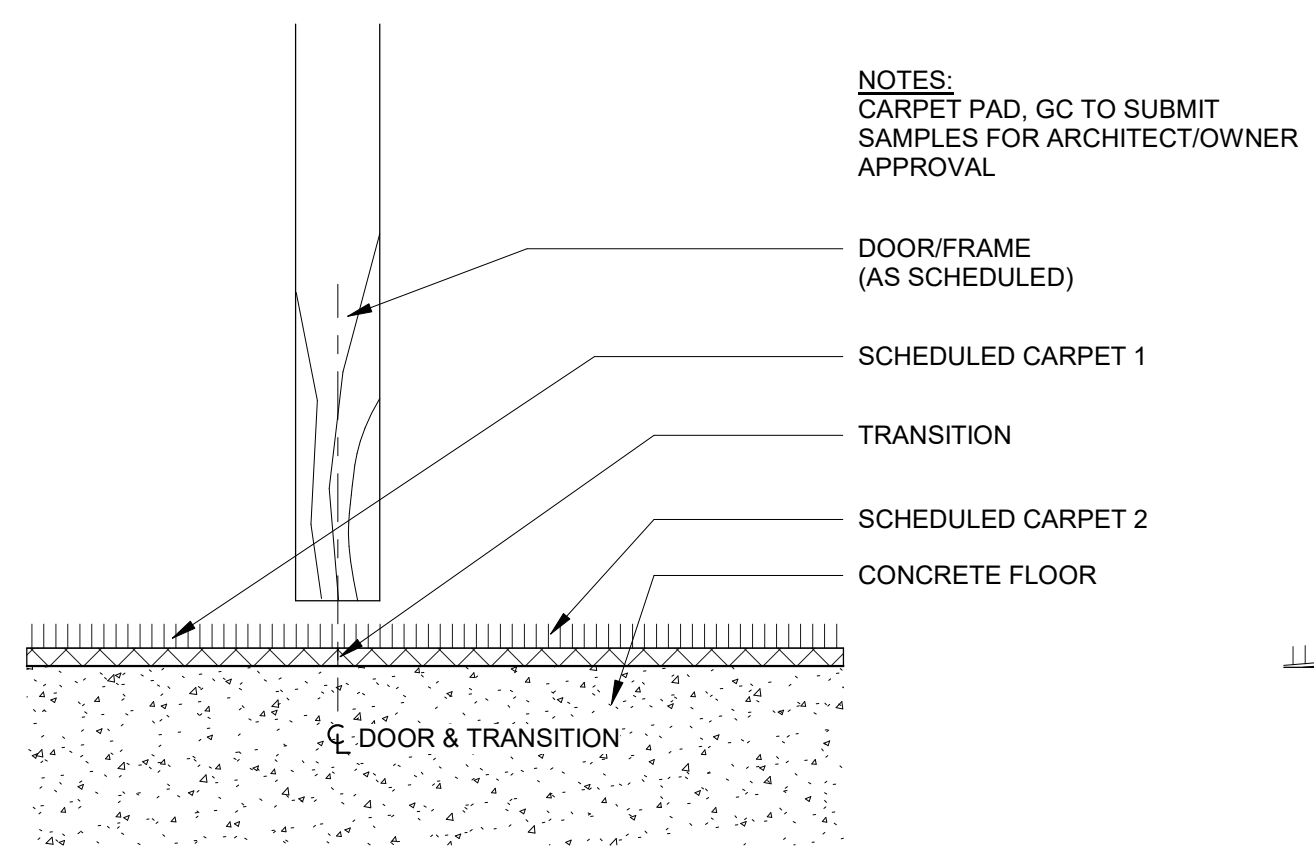
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**A-042**



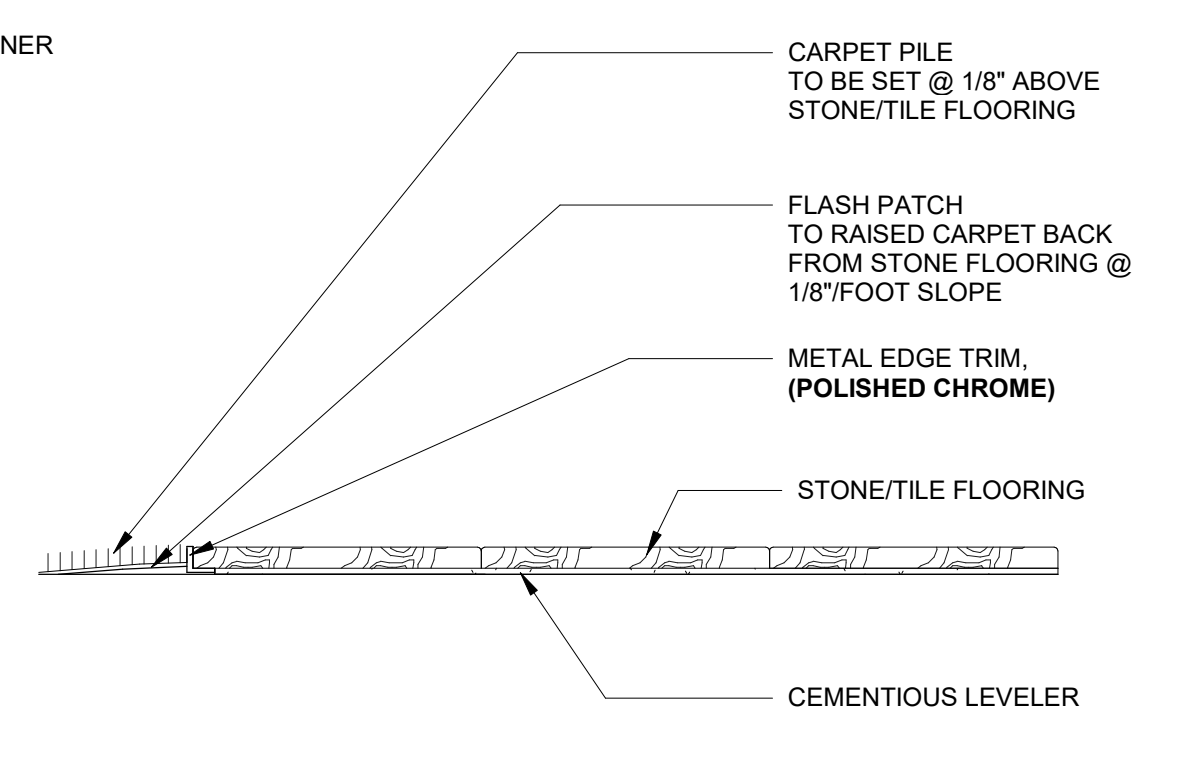
**CARPET TO CERAMIC TILE**

N.T.S.



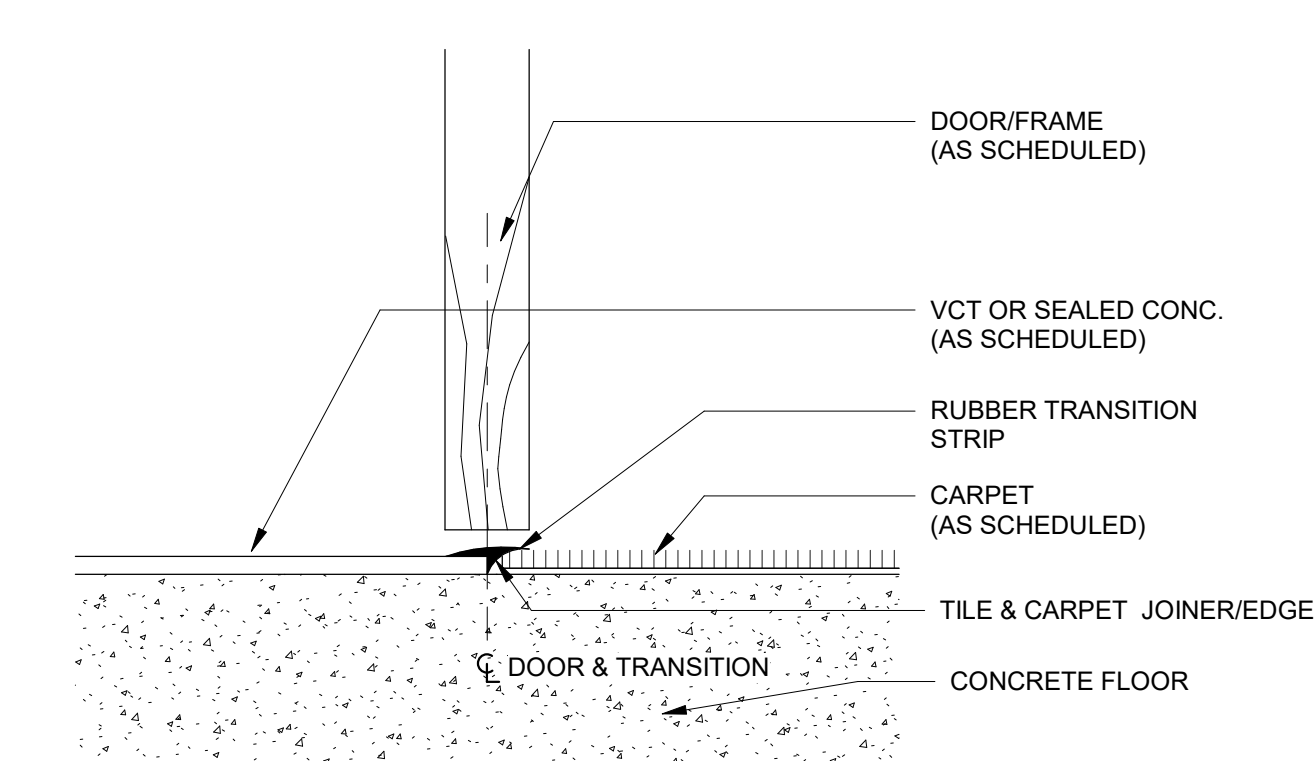
**CARPET TO CARPET**

N.T.S.



**CARPET TO STONE**

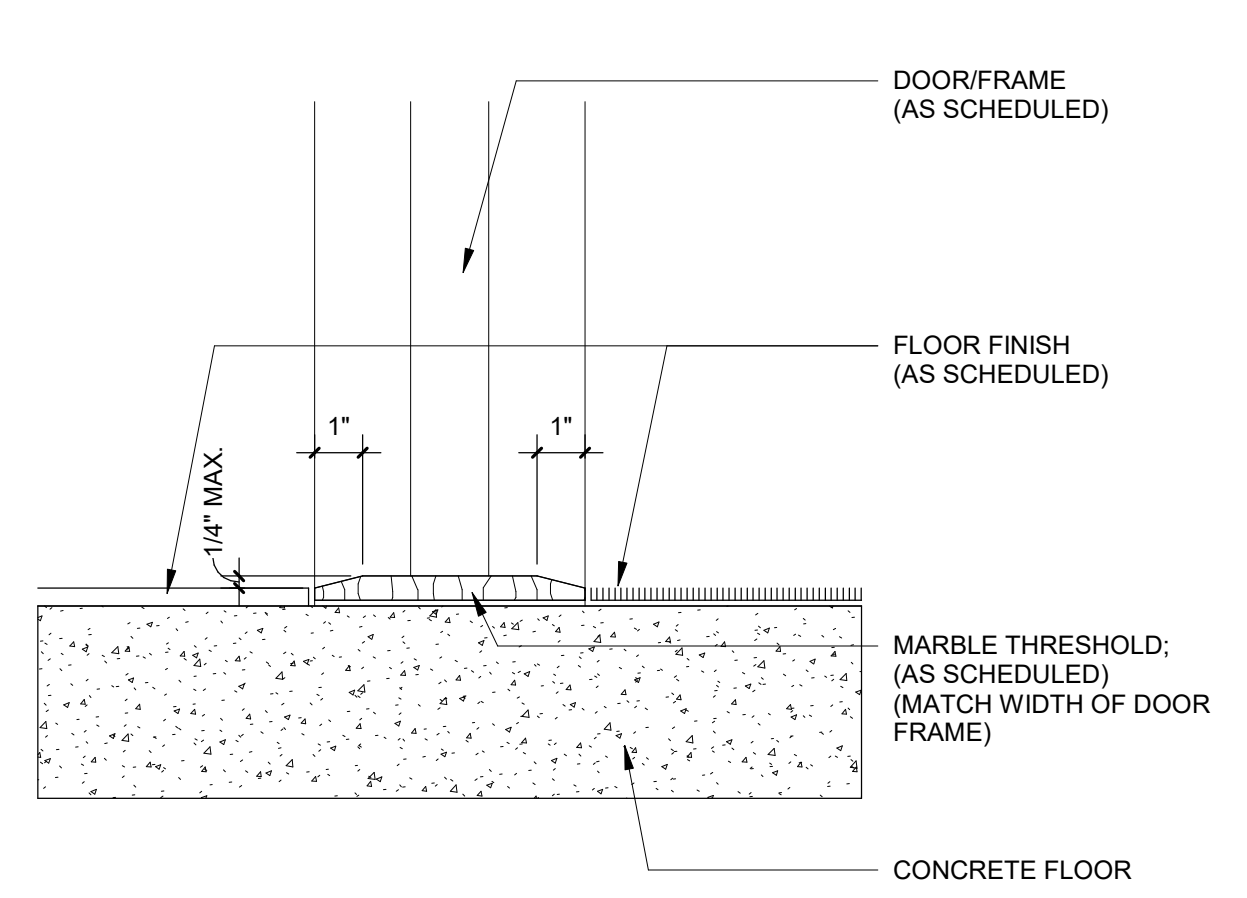
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**CARPET TO STONE**

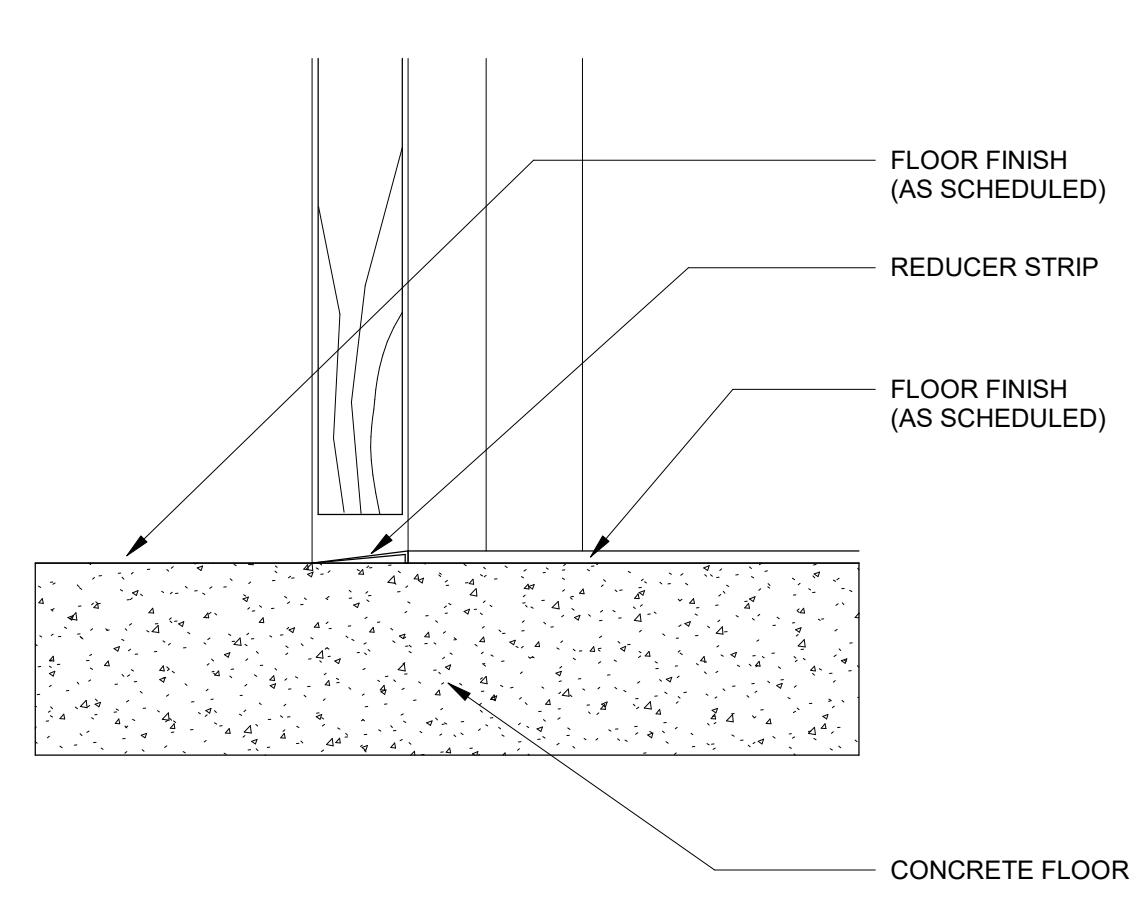
N.T.S.

**2 A-042 TRANSITION DETAILS**  
3" = 1'-0"



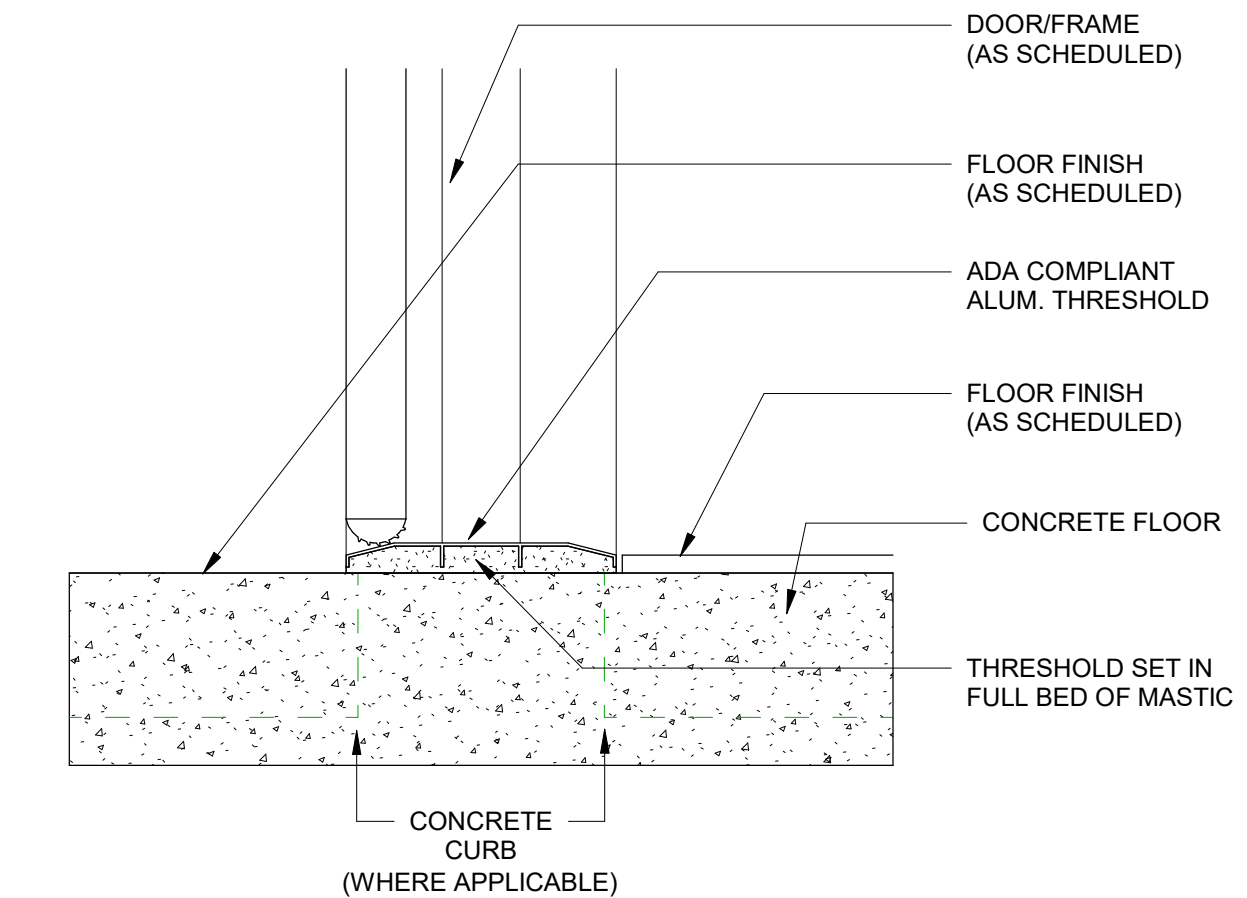
**DOOR THRESHOLD**

N.T.S.



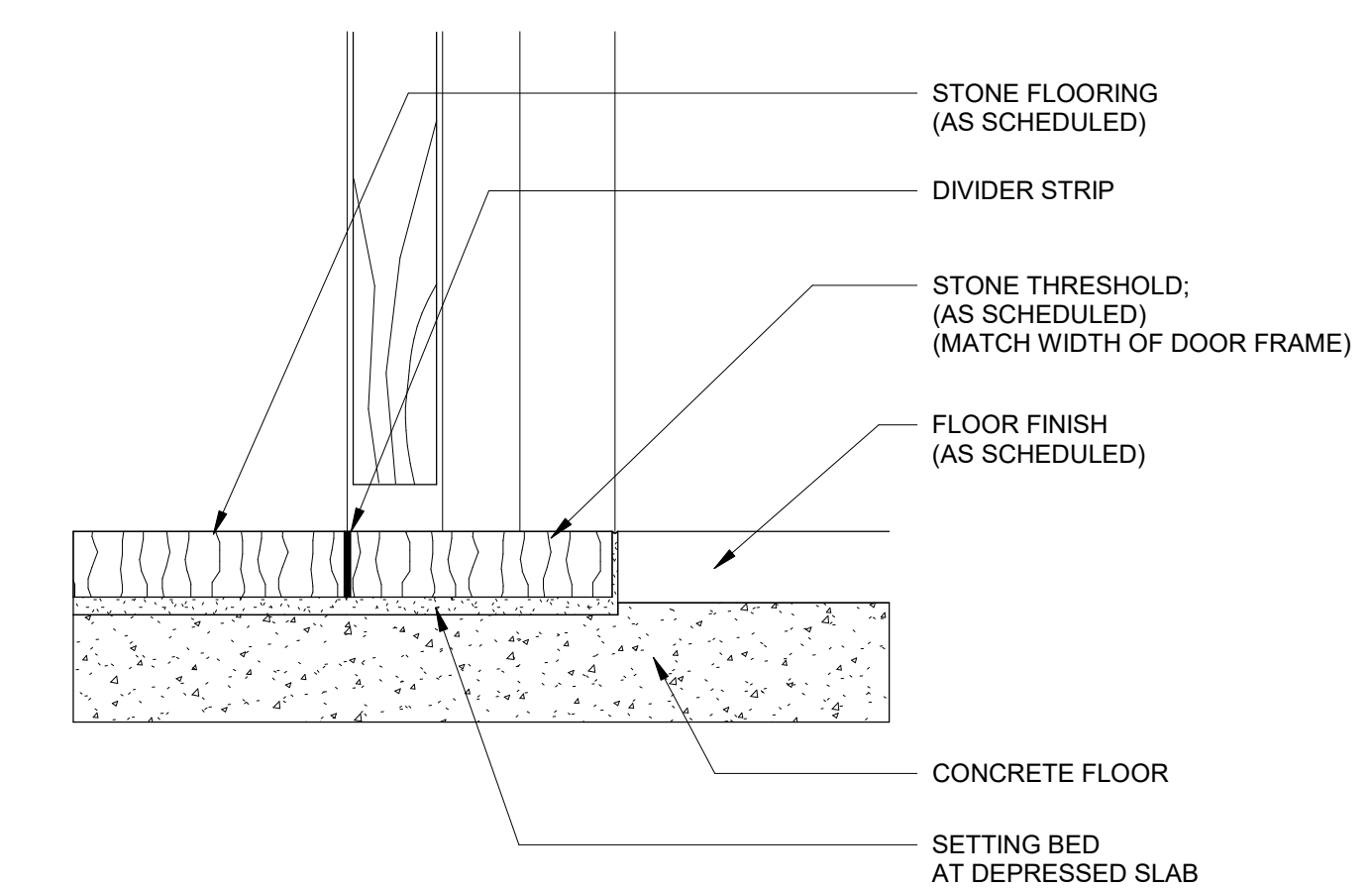
**DOOR THRESHOLD**

N.T.S.



**DOOR THRESHOLD**

N.T.S.



**DOOR TRANSITION**

N.T.S.

**1 A-042 THRESHOLD DETAILS**  
3" = 1'-0"

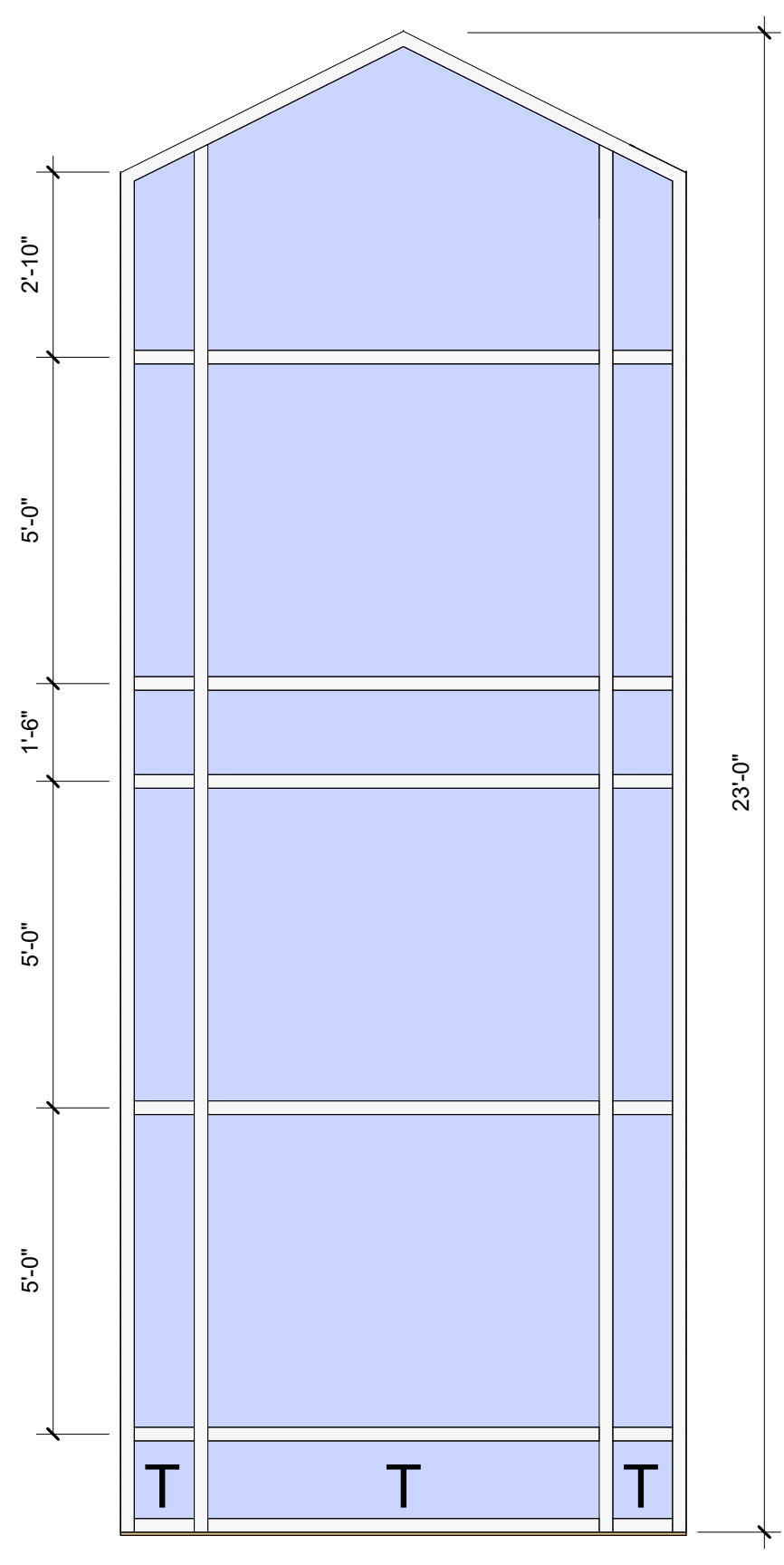


**WINDOW GLAZING NOTES:**

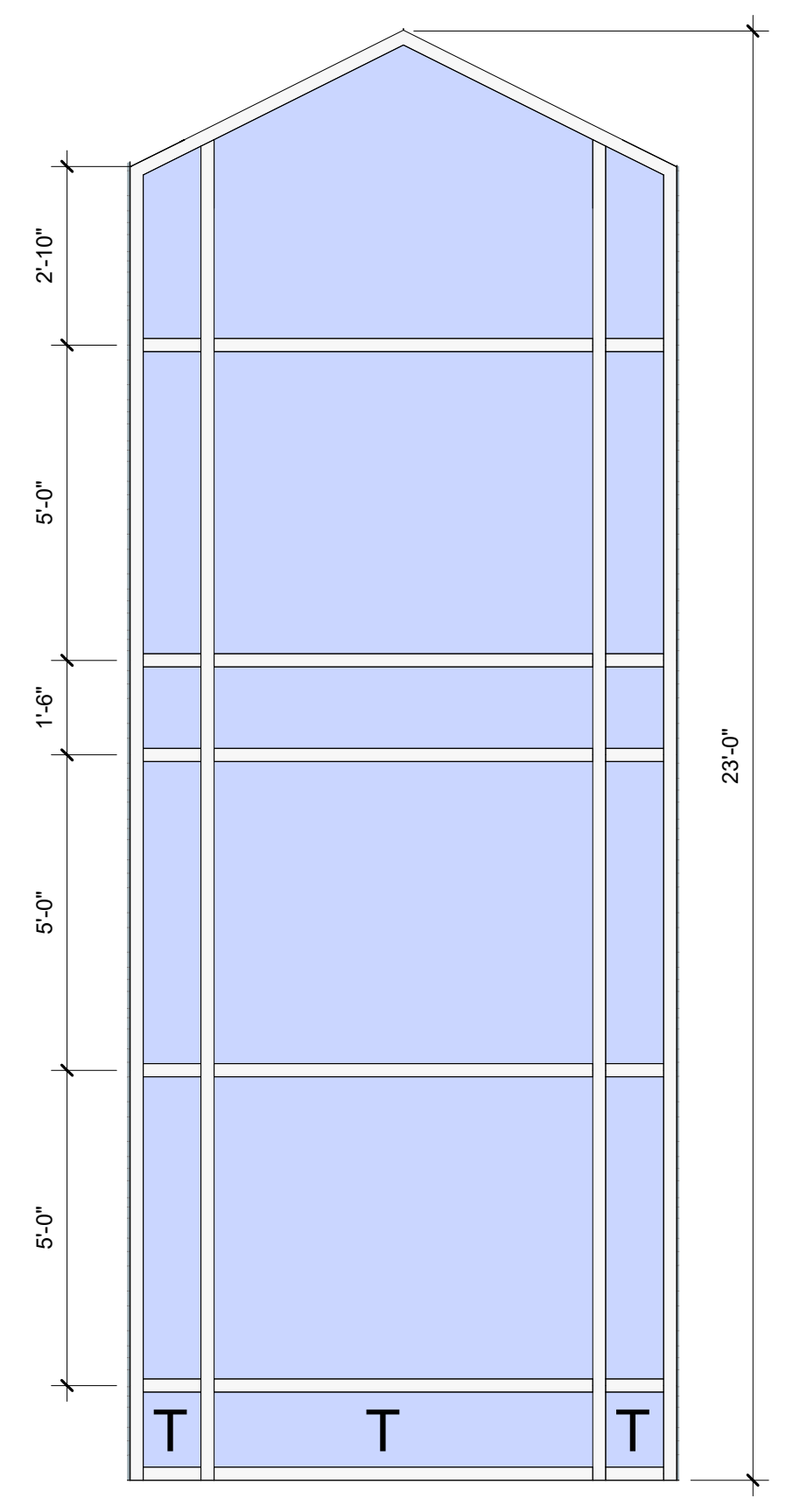
- BASIS OF DESIGN FOR EXTERIOR WINDOW FRAMES:  
MANUFACTURERS: MI / QUEST WINDOWS  
MULLION COLOR: STANDARD WHITE
  - UNIT OPERABLE WINDOW:  
9770 VINYL CASEMENT WINDOW - ENERGY STAR O/A FRAME  
DEPTH 3 1/4".  
GLAZING: 3/4" THICK LOW-E IGU  
SHGC - 0.18, U-VALUE - 0.28, VLT - 0.35, STC - 28
  - UNIT FIXED WINDOWS:  
4340 VINYL PICTURE WINDOW - ENERGY STAR O/A FRAME  
DEPTH 3 1/4".  
GLAZING: 3/4" THICK LOW-E IGU ARGON FILLED  
SHGC - 0.23, U-VALUE - 0.28, VLT - 0.46
  - WINDOW WALL  
ECOWALL 141 ENGINEERED WINDOW WALL  
DEPTH 5 1/2".  
GLAZING 1" THICK LOW-E IGU ARGON FILLED (CRDNL - LoE 240)  
SHGC - 0.24, U-VALUE - .30, VLT - 0.37
- SAFETY GLAZING AND STRUCTURAL REQUIREMENTS:  
PROVIDE HEAT STRENGTHENING AND TEMPERING WHERE SHOWN,  
AND ALSO AS REQUIRED TO COMPLY WITH THE LOCAL BUILDING  
JURISDICTION, BUILDING CODES AND WINDOW AND CURTAIN WALL  
PERFORMANCE AND DESIGN CRITERIA. TEMPERED OR SAFETY  
GLASS AT ALL GLAZING IN HAZARDOUS LOCATIONS AS INDICATED BY  
TABLE 2406.2 OF IBC 2018. "T" STANDS FOR TEMPERED.
- ALL OPERABLE WINDOWS TO HAVE A 4" MAXIMUM OPEN - PROVIDE  
WITH STOP DEVICE TO LIMIT OPERABLE PORTION AS REQ'D.
- U-FACTOR, SHGC, VISIBLE TRANSMITTANCE AND AIR LEAKAGE RATE  
FOR ALL MANUFACTURED FENESTRATION PRODUCTS TO BE  
DETERMINED BY A LABORATORY ACCREDITED BY A NATIONAL  
RECOGNIZED ACCREDITATION ORGANIZATION (SUCH AS THE  
NATIONAL FENESTRATION RATING COUNCIL).
- ALL MANUFACTURED FENESTRATION PRODUCTS HAVE A  
PERMANENT NAMEPLATE, INSTALLED BY THE MANUFACTURER,  
LISTING THE U-FACTOR, SHGC AND AIR LEAKAGE RATE.
- LOUVERS ARE TO BE PRE-FINISHED TO MATCH WINDOW FRAME  
COLOR. MECHANICAL VENTS LOCATED 3 FT. FROM OPERABLE  
OPENINGS AND 10 FT. FROM MECHANICAL AIR INTAKES -  
COORDINATE WITH MECHANICAL DWGS.
- ALL WINDOW DIMENSIONS ARE MASONRY OPENING AND/OR ROUGH  
OPENING DIMENSIONS.
- ALL OPERABLE WINDOWS TO HAVE INSECT SCREENS.
- ALL ADA BALCONY OUTSWING DOOR TO BE FULLY COMPLIANT.  
CLEAR WIDTH OPENING TO BE MIN. 32" CLEAR. THRESHOLD HEIGHT  
TO BE NO GREATER THAN 1/2" BEVELED EDGES.
- BOTTOM RAIL OF DOOR FRAME TO MEET ANSI REQUIREMENT.
- WINDOW MANUFACTURER TO PROVIDE HORIZONTAL & VERTICAL  
REINFORCED FRAMING, AS REQUIRED.
- SUBFRAMES AS REQUIRED: PROVIDE HEAD, JAMB, & SILL AT  
WINDOWS.
- ALL GLAZING TO BE INSULATED UNLESS OTHERWISE NOTED.
- VERIFY ROUGH OPENING IN FILED PRIOR TO FABRICATION.

**\* ACCESSIBILITY NOTES FOR WINDOWS:**

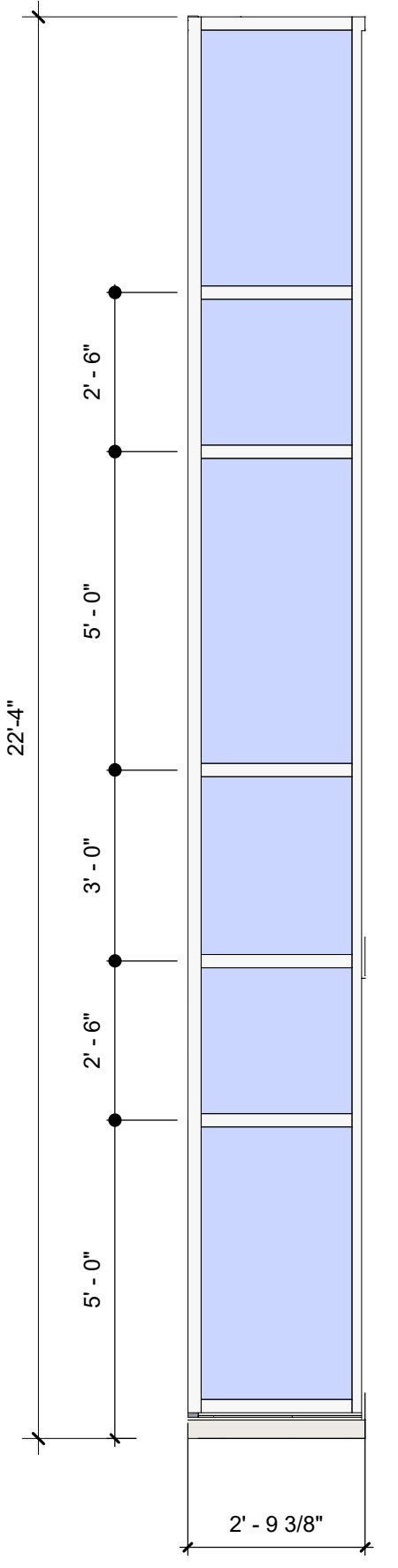
- ACCESSIBLE WINDOW OPERABLE PARTS SHALL BE OPERATED  
WITH MAX 5LB FORCE IN ACCORDANCE TO ANSI SEC 309.5.



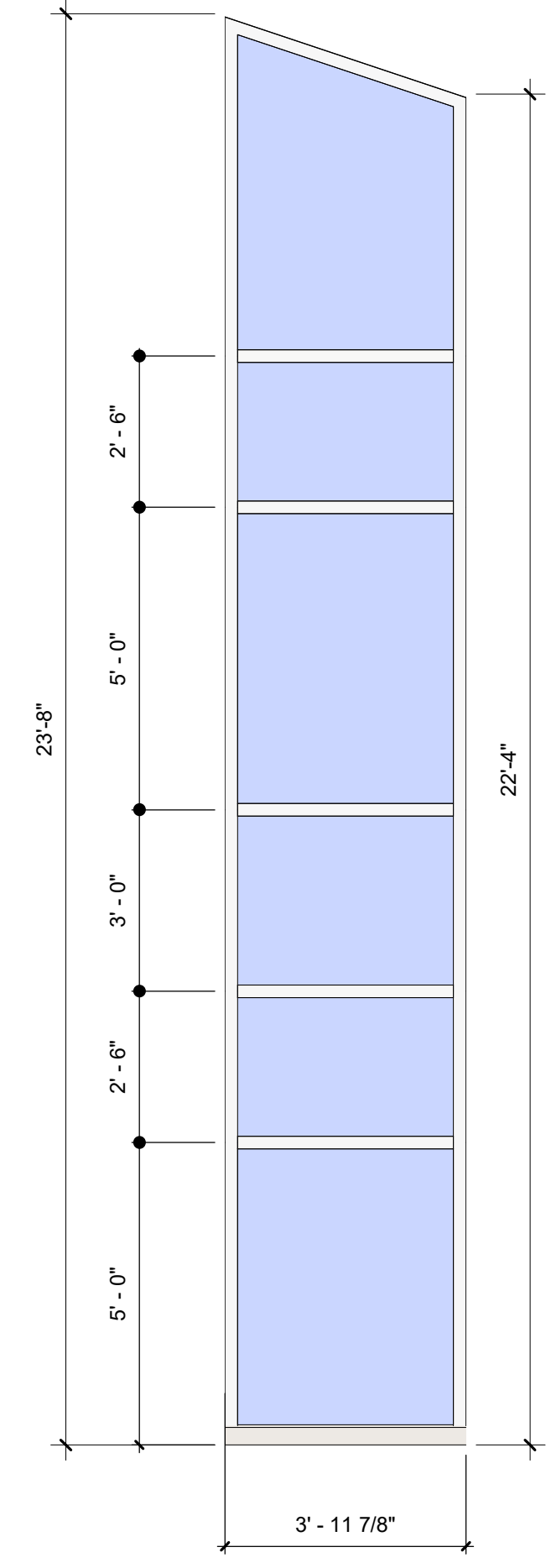
**2 SF-02**  
3/8" = 1'-0"



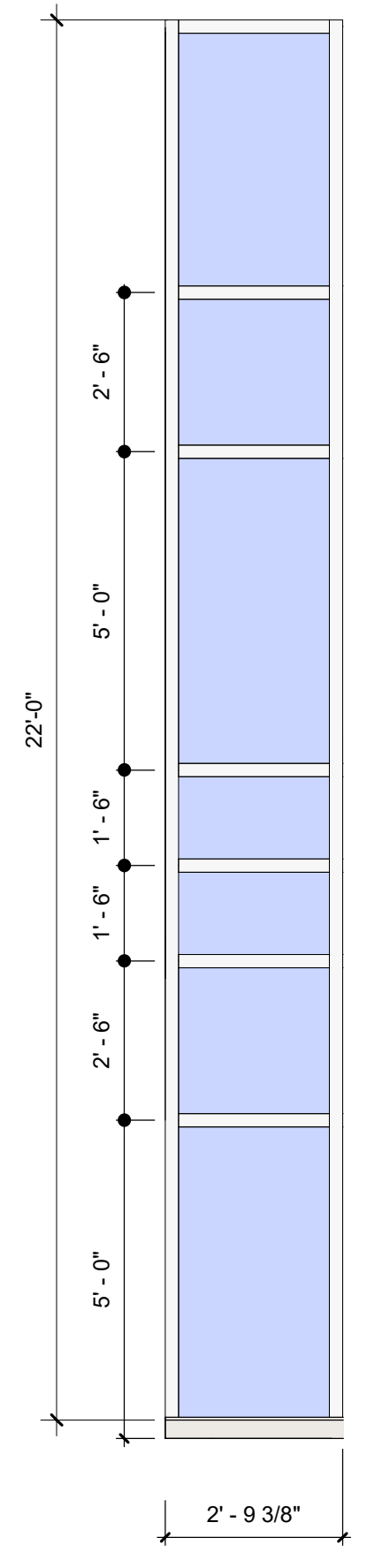
**4 SF-06**  
3/8" = 1'-0"



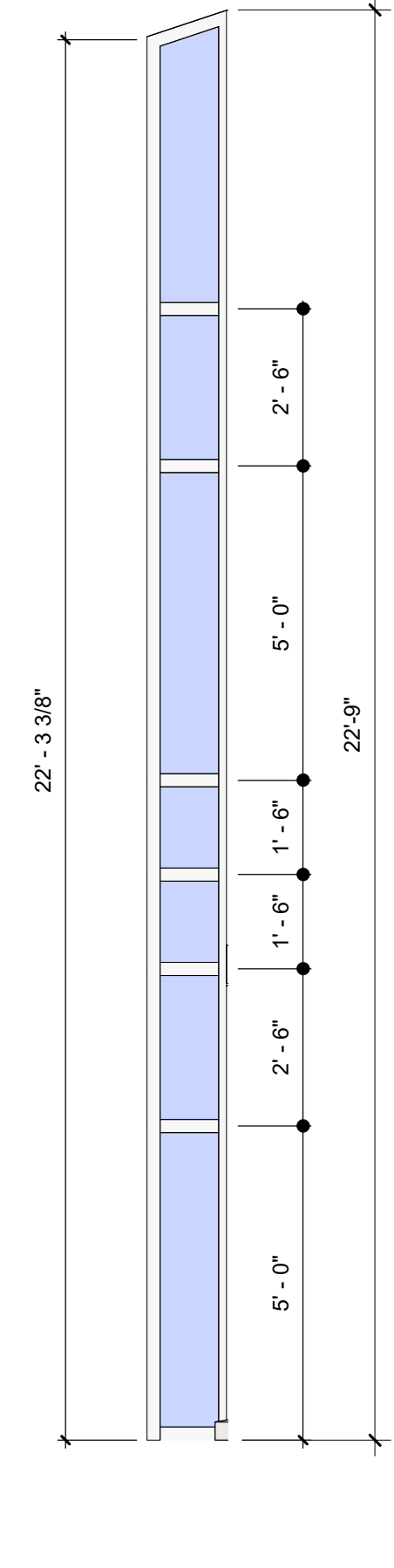
**5 SF-03a**  
3/8" = 1'-0"



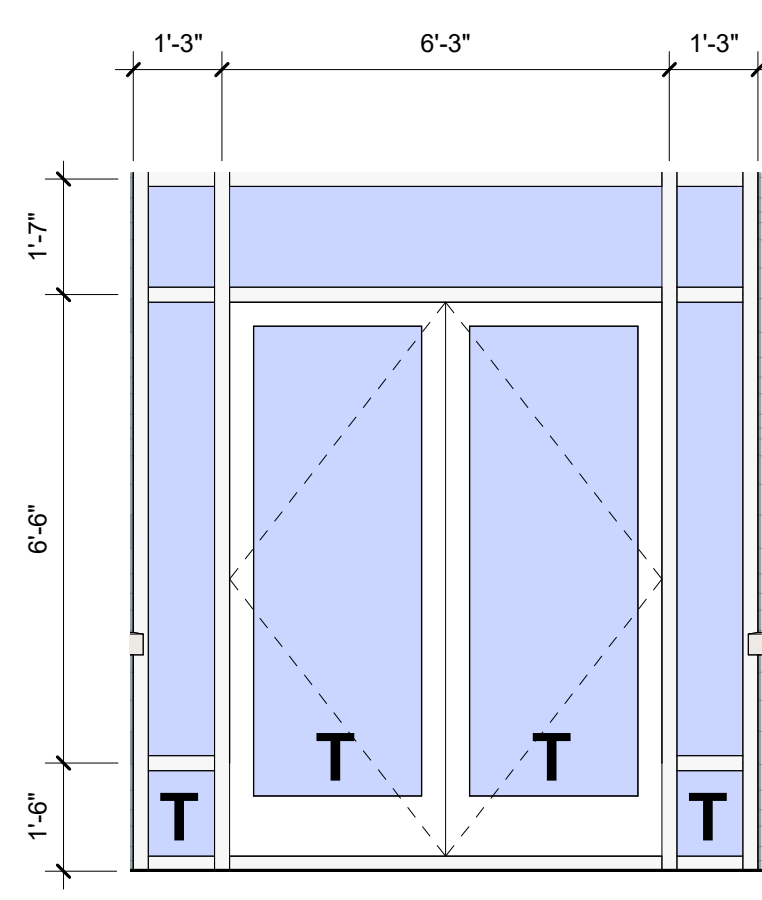
**6 SF-03b**  
3/8" = 1'-0"



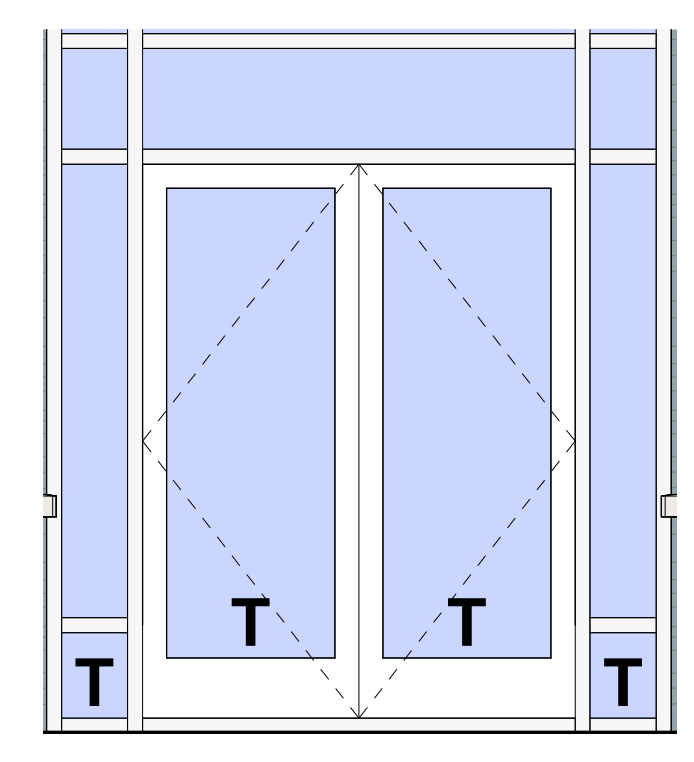
**7 SF-04a**  
3/8" = 1'-0"



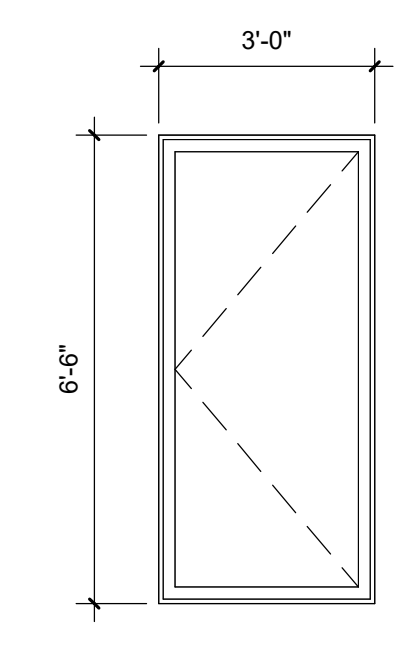
**8 SF-04b**  
3/8" = 1'-0"



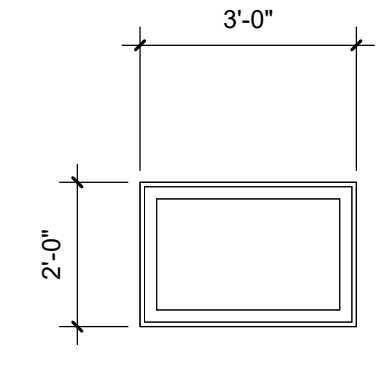
**1 SF-01**  
3/8" = 1'-0"



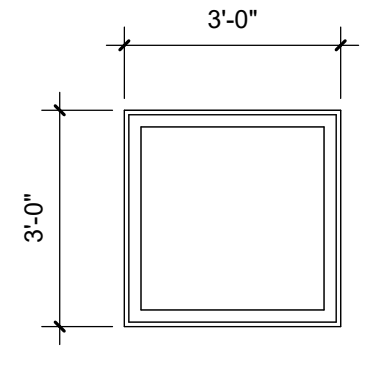
**3 SF-05**  
3/8" = 1'-0"



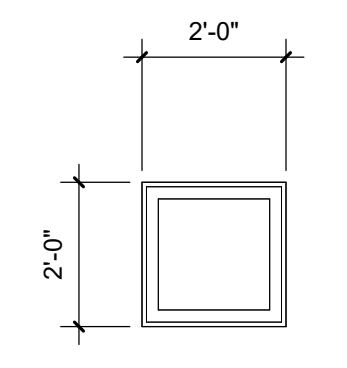
W1



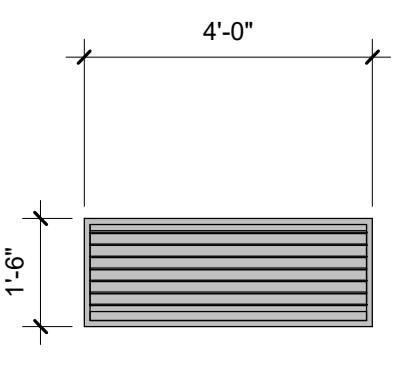
W2



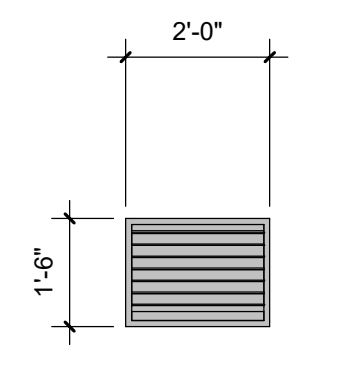
W3



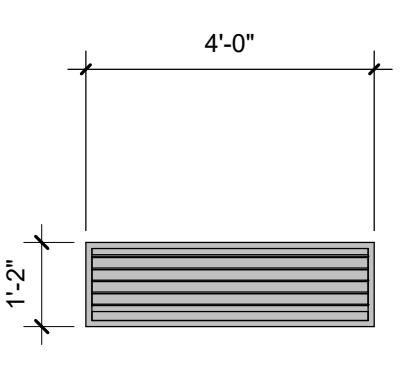
W4



L1



L2



L3

**9 WINDOW TYPES & LOUVERS**  
3/8" = 1'-0" ?

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PROJECT TITLE  
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8400 UPPER SKY WAY  
LAUREL, MD 20723

PROJECT NO. 320762.00

DRAWING TITLE  
**WINDOW FRAME & STOREFRONT SCHEDULES**

DRAWN BY MK  
QC CHECKED BY CG  
CA REVIEWED BY

DRAWING NUMBER  
**A-045**



# MATERIALS

MARK	DESCRIPTION	MANUFACTURER	STYLE	COLOR	FINISH	SIZE	COMMENTS
<b>BASE</b>							
B1	4" WOOD BASE - PAINTED	--	STRAIGHT	PAINTED PT1	MATCH	4"H	
B2	VINYL BASE	JOHNSONITE	TBD	TBD		2.5"	STRAIGHT @ CARPET, COVE @ RESILIENT FLOORING
B3	TILE BASE @ RESTROOMS	MATCH CERAMIC T1	--	--	--	CUT TO 4"H	FINISHED EDGE TRIM
B4	4" WOOD BASE - PAINTED	--	STRAIGHT	PAINTED PT2	MATCH	4"H	
B5	TILE BASE @ POOL HOUSE	MATCH CERAMIC T5	--	--	--	CUT TO 4"H	FINISHED EDGE TRIM
B6	4" WOOD BASE - PAINTED	--	STRAIGHT	PAINTED PT6	MATCH	4"H	
<b>CARPET</b>							
CP1	CARPET TILE	SHAW CONTRACT	HONEST TILE 5T236	GREIGE 35516	N/A	9" x 36"	MONOLITHIC INSTALLATION
CP2	CARPET TILE	SHAW CONTRACT	EXPANSE TILE 5T219	CLIFF 15530	N/A	12" x 48"	ASHLAR INSTALLATION
<b>MISC</b>							
MS1	GLASS FILM @ FITNESS CENTER DOORS	SOLYX	GRADIENT	N/A	N/A	72"H	
MS2	FABRIC @ DRAPERY PANELS	KNOLL OR EQUAL					\$40/YD ALLOWANCE
<b>PAINT</b>							
PT1	GENERAL PAINT	SHERWIN WILLIAMS	--	SNOWBOUND SW 7004	EGGSHELL; SEMIGLOSS AT DOORS/FRAMES	--	
PT2	ACCENT PAINT @ GREAT ROOM VESTIBULE	SHERWIN WILLIAMS	--	SPORT BLUE SW6522	EGGSHELL	--	
PT3	ACCENT PAINT	SHERWIN WILLIAMS	--	GOSSAMER VEIL SW9165	EGGSHELL	--	
PT4	ACCENT PAINT @ FUNCTION ROOM	SHERWIN WILLIAMS	--	ANALYTICAL GREY	EGGSHELL	--	
PT5	ACCENT PAINT @ POOL HOUSE AND VESTIBULE	SHERWIN WILLIAMS	--	WHIRLPOOL SW9135	EGGSHELL	--	
PT6	PAINT @ KITCHEN CABINETS	SHERWIN WILLIAMS	--	GRIS SW7659	EGGSHELL @ WALLS; SEMIGLOSS @ MILLWORK	--	
PT7	PAINT @ GREAT ROOM CEILING	SHERWIN WILLIAMS	--	PASSIVE SW7064	MATTE	--	
PT8	PAINT @ FITNESS CENTER	SHERWIN WILLIAMS	--	PENNYWISE SW6349	EGGSHELL	--	
PT9	ACCENT PAINT	SHERWIN WILLIAMS	--	TBD	EGGSHELL	--	
<b>PLASTIC LAMINATE</b>							
PL1	PLASTIC LAMINATE @ RESTROOM VANITY	FORMICA	--	9312-NG	NATURAL GRAIN	--	
PL2	PLASTIC LAMINATE @ CATERING PANTRY	FORMICA	--	STAINLESS 9319-BH	BRUSH FINISH	--	
<b>RESILIENT FLOORING</b>							
RF1	RUBBER FLOORING @ FITNESS CENTER	ROPEE	--	CHARCOAL 913	--	TBD	
<b>SOLID SURFACE</b>							
SS1	SOLID SURFACE @ GREAT ROOM	CAESARSTONE	SOLID SURFACE COUNTERTOP	CALACATTA MAXIMUS	POLISHED	SLAB	EASED EDGE; GC TO INSTALL WITH MANUFACTURE RECOMMENDATION AND REQUIREMENT
SS2	SOLID SURFACE @ POOL HOUSE RESTROOM	CORIAN	SOLID SURFACE COUNTERTOP	CARDON CONCRETE	POLISHED	SLAB	EASED EDGE; GC TO INSTALL WITH MANUFACTURE RECOMMENDATION AND REQUIREMENT
SS3	SOLID SURFACE @ CATERING PANTRY	WILSONART	SOLID SURFACE COUNTERTOP	FROSTY WHITE MIRAGE 1573MG	POLISHED	SLAB	EASED EDGE
<b>TILE</b>							
T1	PORCELAIN FLOOR TILE	ARCHITECTURAL CREAMICS	ART HOUSE RELOADED	CALACATTA GOLD	NATURAL RECTIFIED	12" x 24"	BRICK LAY INSTALLATION; GROUT: NON SANDED MAPEI 103 COBBLESTONE
T2	POOL HOUSE SHOWER FLOOR	DALTILE	DK16 1" HEXAGON KEYSTONE	ARTIC WHITE D614 WITH (1) BLACK D311	MATTE	1"	GROUT COLOR: NON SANDED MAPEI 00 WHITE
T3	RESTROOM WALL TILE	TILE BAR	PAIGE	ANTRACITE	MATTE	10"DIA	SEE ELEVATIONS FOR INSTALLATION; GROUT COLOR: NON SANDED 103 COBBLESTONE
T4	POOL HOUSE @ SHOWER WALLS	DALTILE	LINEAR COLOR WHEEL	BISCUIT K175	POLISHED	6" x 18"	BRICK LAY INSTALLATION GROUT COLOR: NON SANDED MAPEI 00 WHITE
T5	POOL HOUSE VESTIBULE @ PORCELAIN FLOOR TILE	STONE SOURCE	PORCELAIN TILE	ALLURE LIGHT GREY	SOFT - BRUSHED HAMMERED	12" x 24"	BRICK LAY INSTALLATION; GROUT COLOR: NON SANDED MAPEI 02 PEWTER
T6	POOL HOUSE @ WET WALL AND FLOOR	TILE BAR	LAPAZ	DAISY BLUE	MATTE	9"x9"	SEE ELEVATION FOR INSTALLATION; GROUT COLOR: NON SANDED MAPEI 00 WHITE
<b>VINYL TILE</b>							
VT1	LUXURY VINYL TILE	SHAW CONTRACT	INLET 0926V	SPINDLE 26140	20 MIL	9"x48"	1/3 INSTALLATION
VT2	LUXURY VINYL TILE	SHAW CONTRACT	JEOGORI	LINEN	N/A	6" x 48"	STORAGE ROOMS
<b>WALLCOVERING</b>							
WC1	WALLCOVERING @ BUSINESS CENTER	WOLF GORDAN	ANGLES MAX	SLIVER SATIN	--	52"W	
WC2	WALLCOVERING @ @CEILINGS AND ELEVATOR SURROUND WALLS	MOMENTUM	SWS-60	BROWN ASH	--	52"W	
WC3	WALLCOVERING @ @ GREAT ROOM AND FITNESS CENTER	DUPONT	MOD LINEN: D15532857	MIST GREY	--	52"W	
WC4	WALLCOVERING @ ELEVATORS	WOLF GORDON	MAKE IT MAYLAR	GOLD FROST Y47850MM	--	50"W	
WC5	WALLCOVERING @ FUNCTION ROOM	KNOLL TEXTILES	BOND WC1577/1	MOON	--	52"W	
WC6	WALLCOVERING	KNOLL	COUNTER POINT WC232/2	2 VALLEY	--	54" W	@ FUNCTION ROOM
<b>WOOD</b>							
WD1	WOOD VENEER	WOLF GORDAN	WVF133. WALNUT, FC GOH31907803	MATCH ARCHITECT'S SAMPLE			

## INTERIOR FINISH NOTES

- SEE INTERIOR ELEVATIONS, DETAILS AND PLANS FOR FURTHER INTERIOR INFORMATION.
- CERAMIC TILE AT FLOORS SHALL BE INSTALLED PER TCA #122 WITH ANTI FRACTURE MEMBRANE, (NOBLE SEAL S1S).
- CERAMIC TILES AT WALLS SHALL BE INSTALLED PER TCA #W244 IN TOILET ROOMS/BATHROOMS AND CERAMIC TILES AT FLOOR/WALLS OF SHOWERS SHALL BE INSTALLED PER TCA #B421.
- PROVIDE CERAMIC TILE WITH FINISH EDGE TRIM @ EXPOSED TILE EDGE AND OUTSIDE CORNERS, UON.
- ALL INTERIOR HOLLOW METAL DOORS AND FRAMES TO BE PAINTED, COLOR TBD WITH (SEMIGLOSS), UON.
- PAINT STAIR RAILING W/ COLOR BLACK.
- PROVIDE SCHULTER TRANSITION STRIP WHERE TWO DIFFERENT FLOOR FINISHES MEET.
- ALL INTERIOR PAINTS AT GWB WALLS AND CEILING SHALL BE LATEX FLAT FINISH, EXCEPT SEMI-GLOSS FINISH AT TOILETS/BATHROOMS, STAIRWELLS, STORAGE ROOMS, M/E/P ROOMS, ETC., U.O.N.
- ALL ELEVATOR DOORS/FRAMES SHALL BE STAINLESS STEEL - #4.
- STAND PIPES IN STAIRWELLS TO BE PAINTED BLACK.
- ALL INTERIOR FINISH MATERIALS SHALL MEET FOLLOWING CLASSIFICATIONS FOR FLAME SPREAD & SMOKE DEVELOPED INDEX AS REQUIRED BY TABLE 803.5 AND SECTION 804
 

WALLS AND CEILINGS	R-2	A-3	B
AT EXIT ENCLOSURES	CLASS-C	CLASS-B	CLASS-B
AT LOBBIES/CORRIDORS	CLASS-C	CLASS-B	CLASS-C
AT ROOMS/ENCLOSED SPACES	CLASS-C	CLASS-C	CLASS-C
- FLOORS:  
EXITS/CORRIDORS CLASS-II
- AT M/E/P ROOMS, CAULK ALL JOINTS BETWEEN BASE AND FLOOR.
- AT ALL WALKING SURFACES (FLOOR) OF MEANS OF EGRESS (STAIR TREADS AND LANDING) PROVIDE SLIP-RESISTANT CONCRETE SURFACES.
- PAINT ALL METAL GUARDRAILS/HANDRAILS AND LADDERS IN SERVICE SPACES, COLOR - BLACK, UON.
- PAINT ALL DOORS/FRAMES W/ SEMI-GLOSS FINISH.
- ALL HORIZONTAL SURFACES (BULKHEADS AND DROPPED CEILINGS) EXCEPT EXPOSED CONCRETE, SHALL RECEIVE SMOOTH FINISH, UON.
- ALL WALLS, CORRIDOR WALLS/CEILINGS AND COMMON AREA WALLS/CEILINGS SHALL RECEIVE SMOOTH FINISH, UON.
- REFER TO FINISH PLANS & ELEVATIONS FOR ADDITIONAL INFO.



DAVIS  
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Architecture  
Interior Architecture  
Land Planning

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I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NUMBER: 10761. EXPIRATION DATE: 01/12/2023.

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DRAWING TITLE  
**MATERIALS FINISH SCHEDULE**

DRAWN BY SMH  
QC CHECKED BY MS  
CA REVIEWED BY

DRAWING NUMBER  
**A-050**



**SITE PLAN NOTES**

- 1) SEE CIVIL SITE PLAN SUBMISSION FOR FULL REQUIREMENTS OF SITE WORK.
- 2) THE PROJECT INCLUDES THE PARTIAL / SELECTIVE DEMOLITION OF THE EXISTING COMMUNITY CENTER, RENOVATION AND EXPANSION OF A 2ND FLOOR. SITE WORK IS LIMITED TO THE AREA DIRECTLY ADJACENT TO THE RENOVATED FACILITY. THIS INCLUDES MINOR LANDSCAPING, AND REPAIR / REPLACEMENT OF ALL EXISTING SIDEWALKS AS REQUIRED.
- 3) THE EXISTING PARKING LOT IS NOT IN CONTRACT, AND NO CHANGES ARE PROPOSED TO THE EXISTING PARKING NUMBERS, CONFIGURATION OR LIGHTING.
- 4) THE POOL & WADING POOL, POOL DECK, PAVILIONS, TENNIS COURT, ETC ARE NOT IN CONTRACT AND NO CHANGES ARE PROPOSED TO THESE ELEMENTS. THE PAVED AREA BETWEEN THE POOL AND RENOVATED BUILDING IS ANTICIPATED TO BE REPLACED IN-KIND.

**d|c|s**  
DESIGN

DAVIS  
CARTER  
SCOTT Ltd

Architecture  
Interior Architecture  
Land Planning

8614 Westwood Center Dr.  
Suite 800  
Tysons, Virginia 22182

P 703.556.9375  
F 703.821.6576  
www.dcsdesign.com

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PRICING SET 03/24/2021

REVISION DATE

PROJECT TITLE  
**ECA CLUBHOUSE EXPANSION**

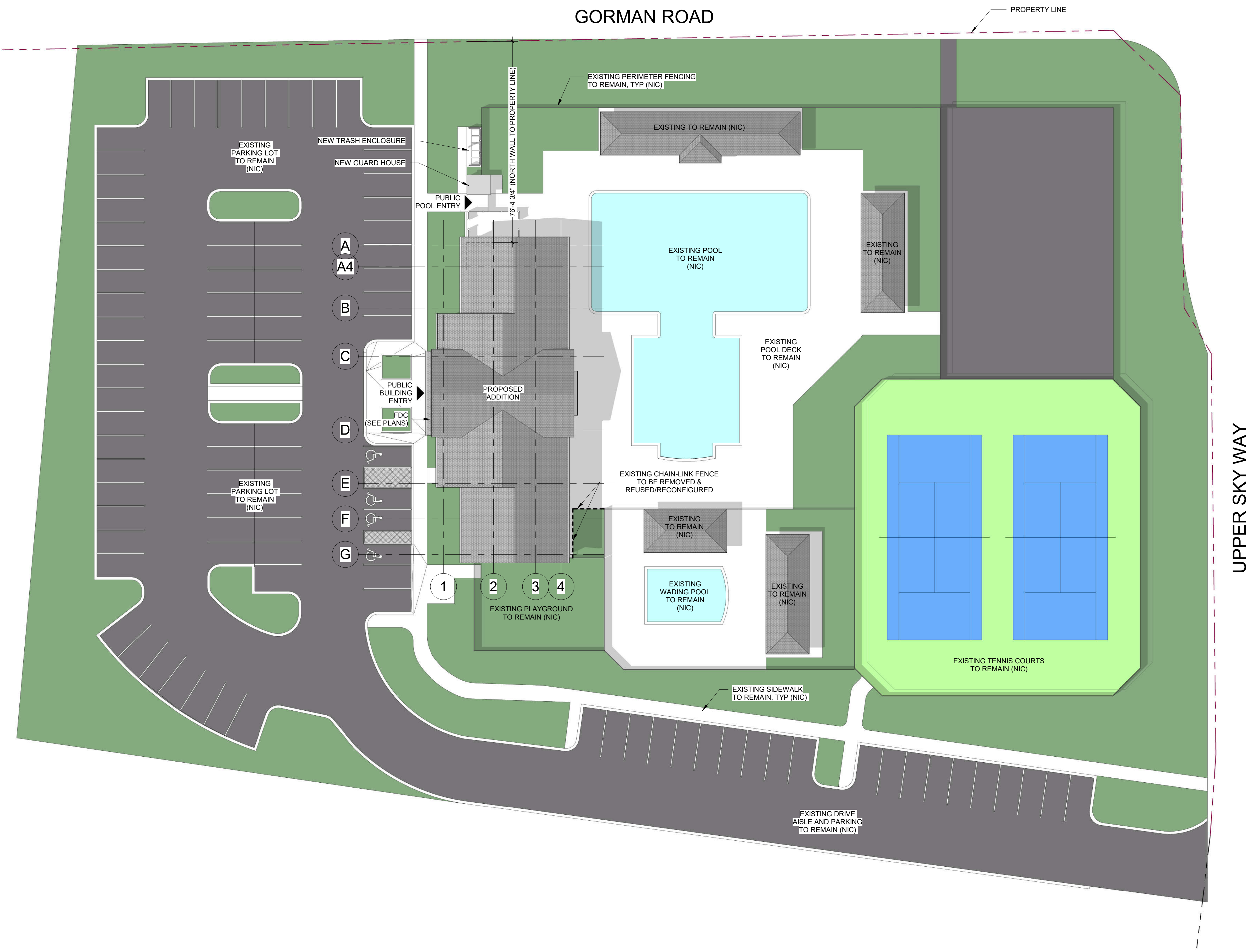
8400 UPPER SKY WAY  
LAUREL, MD 20723

PROJECT NO. 320762.00

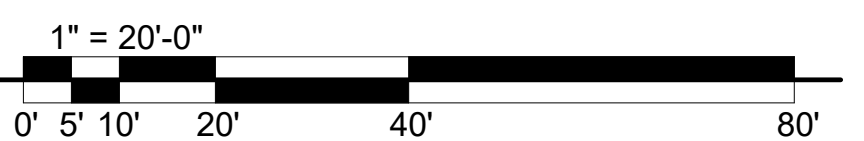
DRAWING TITLE  
**ARCHITECTURAL SITE PLAN**

DRAWN BY MK  
QC CHECKED BY PFS  
CA REVIEWED BY

DRAWING NUMBER  
**A-071**



**1 SITE PLAN**  
1" = 20'-0"









### SHEET NOTES

ALT01	GC TO PROVIDE ADD ALT PRICING FOR MILLWORK SURROUND (SS-1) W/ 2-SIDED ELECTRIC FIREPLACE INSERT. MILLWORK TO BE APPROX 34"x22" DX96"W, WITH 60" WIDE INSERT. SEE DEVICE PLAN FOR SPECIFICATION.
FP01	IN WALL FRT BLOCKING FOR WALL-MOUNTED TELEVISION AND RECESSED BACK-BOX WHERE NOTED. COORD. WITH AV VENDOR AND OWNER FOR FINAL LOCATION AND SIZE REQUIRED.
FP02	PROVIDE ADJUSTABLE 14" DEEP SHELVING ON STANDARDS AND BRACKETS; WHITE MELAMINE. SHELVES TO START 18" AFF TO 84" AFF.
FP04	PROVIDE DRAPER MANUAL FLEXSHADE AT ALL WINDOWS; TYPICAL UON.



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SCOTT LLC

Architecture  
Interior Architecture  
Land Planning

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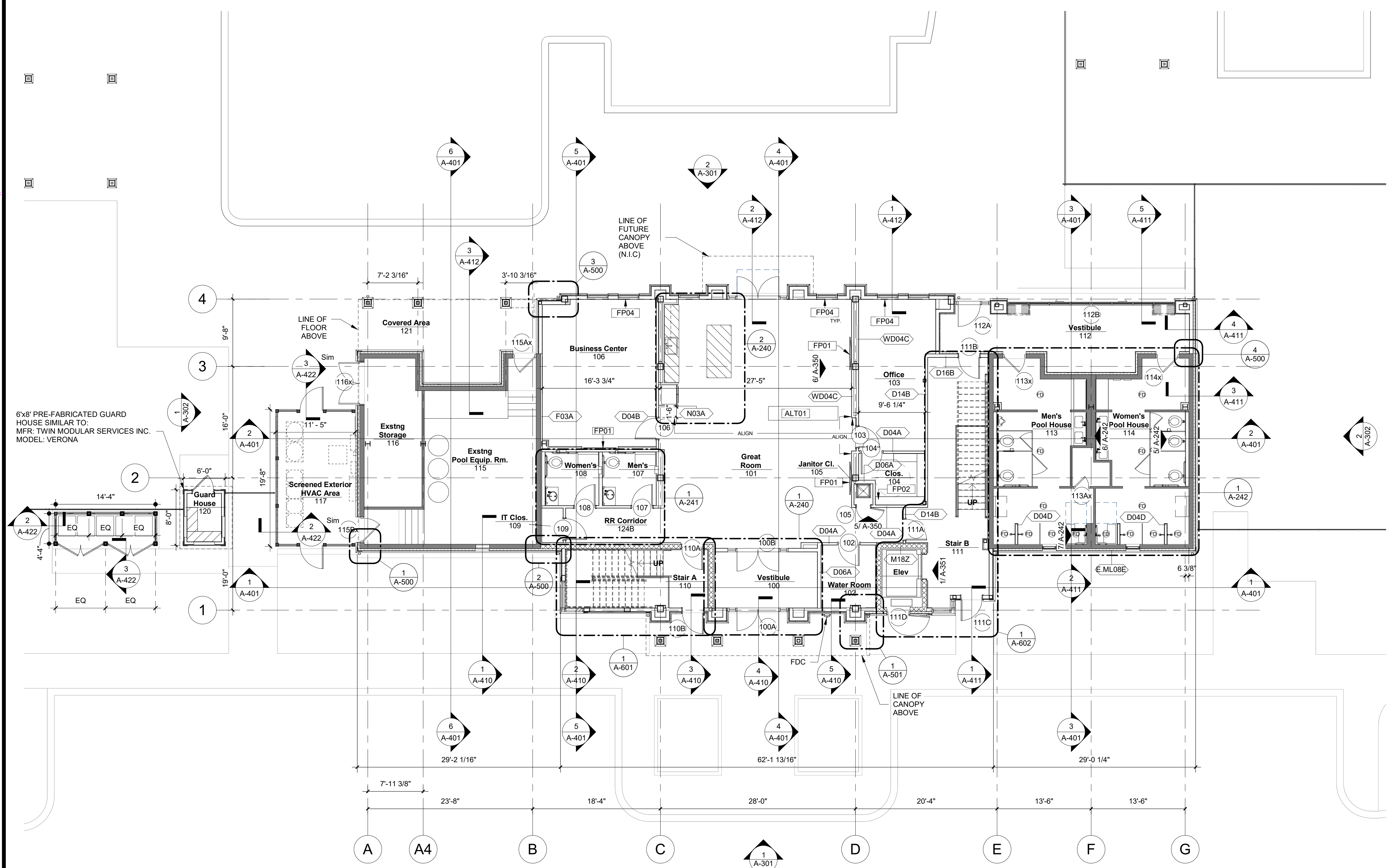
PROJECT NO. 320762.00

DRAWING TITLE  
**LEVEL 1 FLOOR PLAN**

DRAWN BY MK, PFS  
QC CHECKED BY CG  
CA REVIEWED BY

DRAWING NUMBER

**A-201**



**1 LEVEL 1 PLAN**  
1/8" = 1'-0"



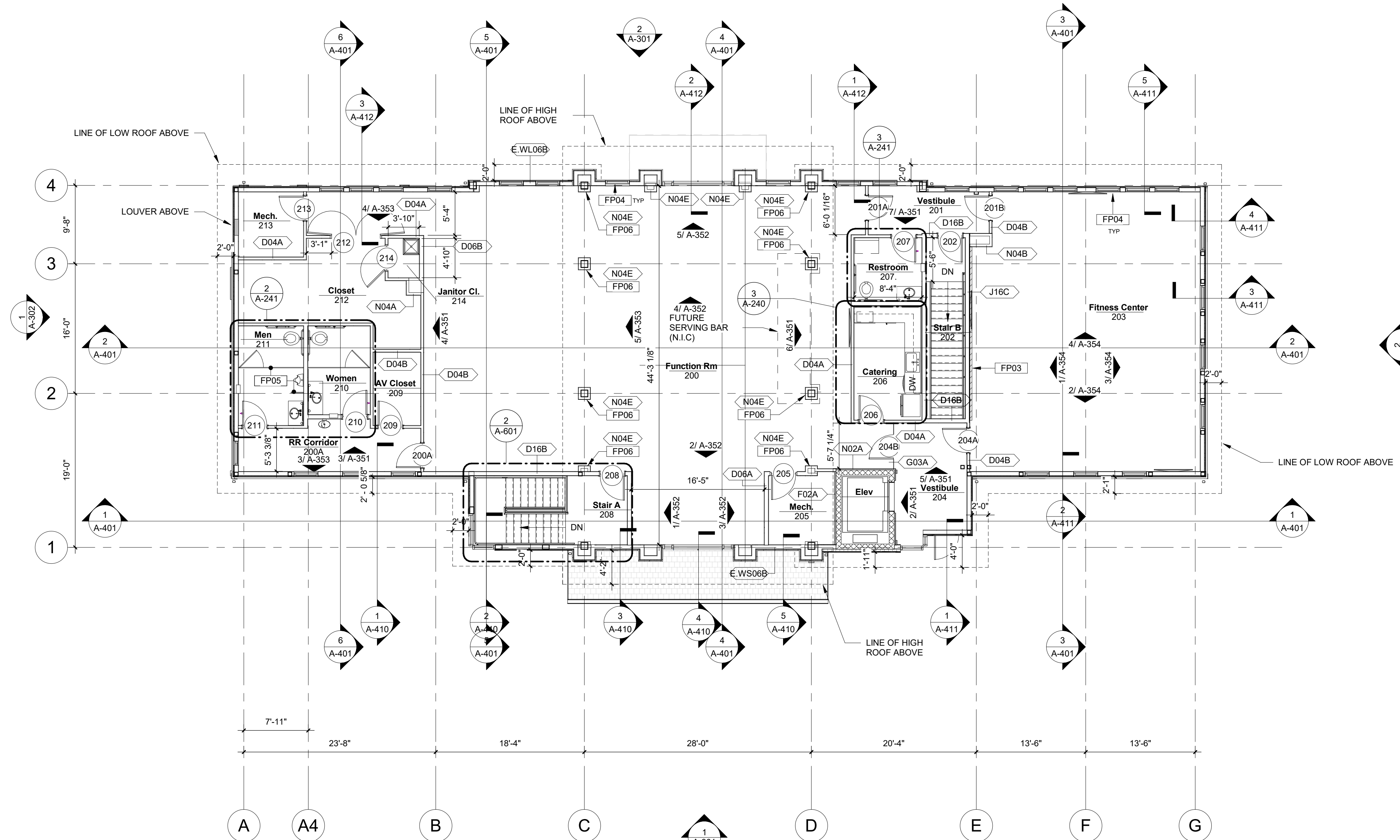
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**SHEET NOTES**

FP03	GC TO PROVIDE AND INSTALL MIRRORED WALL PANELS IN THIS LOCATION AND FRAME ON 3 SIDES W/ GWB. SEE ELEVATIONS FOR DETAILS.
FP04	PROVIDE DRAPER MANUAL FLEXSHADE AT ALL WINDOWS; TYPICAL UON.
FP05	PROVIDE AND INSTALL FLOOR MOUNTED TOILET PARTITION/DOOR/HARDWARE SYSTEM (HADRIAN W/ NO SIGHT LINE, STAINLESS STEEL FINISH OR ARCH APPROVED EQUAL). COAT HOOKS AT ACCESSIBLE STALL TO BE INSTALLED AT 48" AFF.
FP06	COLUMN TO BE FINISHED WITH SELECT PAINT GRADE MDF ON ALL SIDES UP TO 10'-6" W/ DECORATIVE MOULDING. ABOVE 10'-6" AFF TO BE FINISHED WITH WD-1 WOOD VENEER WALLCOVERING. SEE ELEVATIONS AND DETAILS FOR ADD'L INFO.



**1 LEVEL 2 PLAN**  
1/8" = 1'-0"



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PROJECT NO. 320762.00

DRAWING TITLE  
**LEVEL 2 FLOOR PLAN**

DRAWN BY MK, PFS  
QC CHECKED BY CG  
CA REVIEWED BY

DRAWING NUMBER

**A-202**



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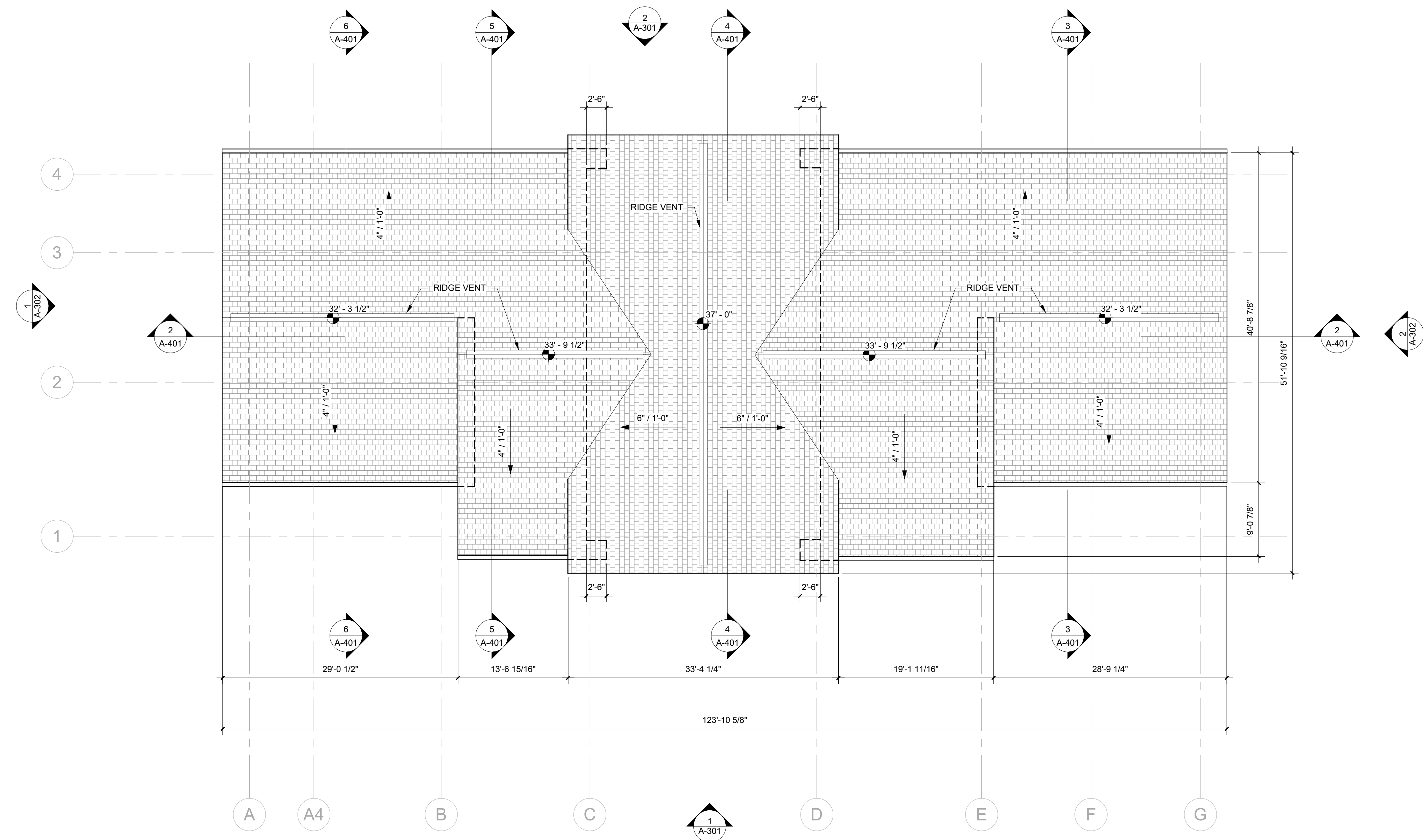
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PROJECT NO. 320762.00

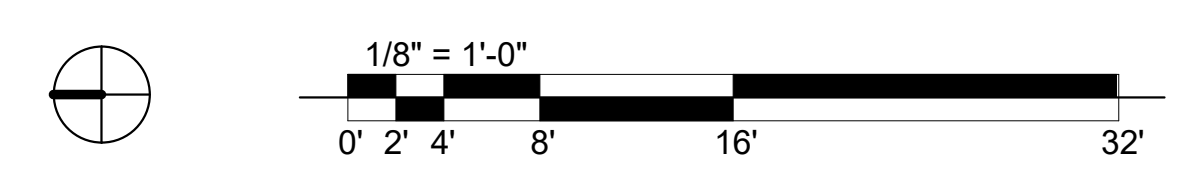
DRAWING TITLE  
**ROOF PLAN**

DRAWN BY MK  
QC CHECKED BY CG  
CA REVIEWED BY

DRAWING NUMBER  
**A-220**



**1** ROOF NEW WORK PLAN  
1/8" = 1'-0"



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EXPANSION**

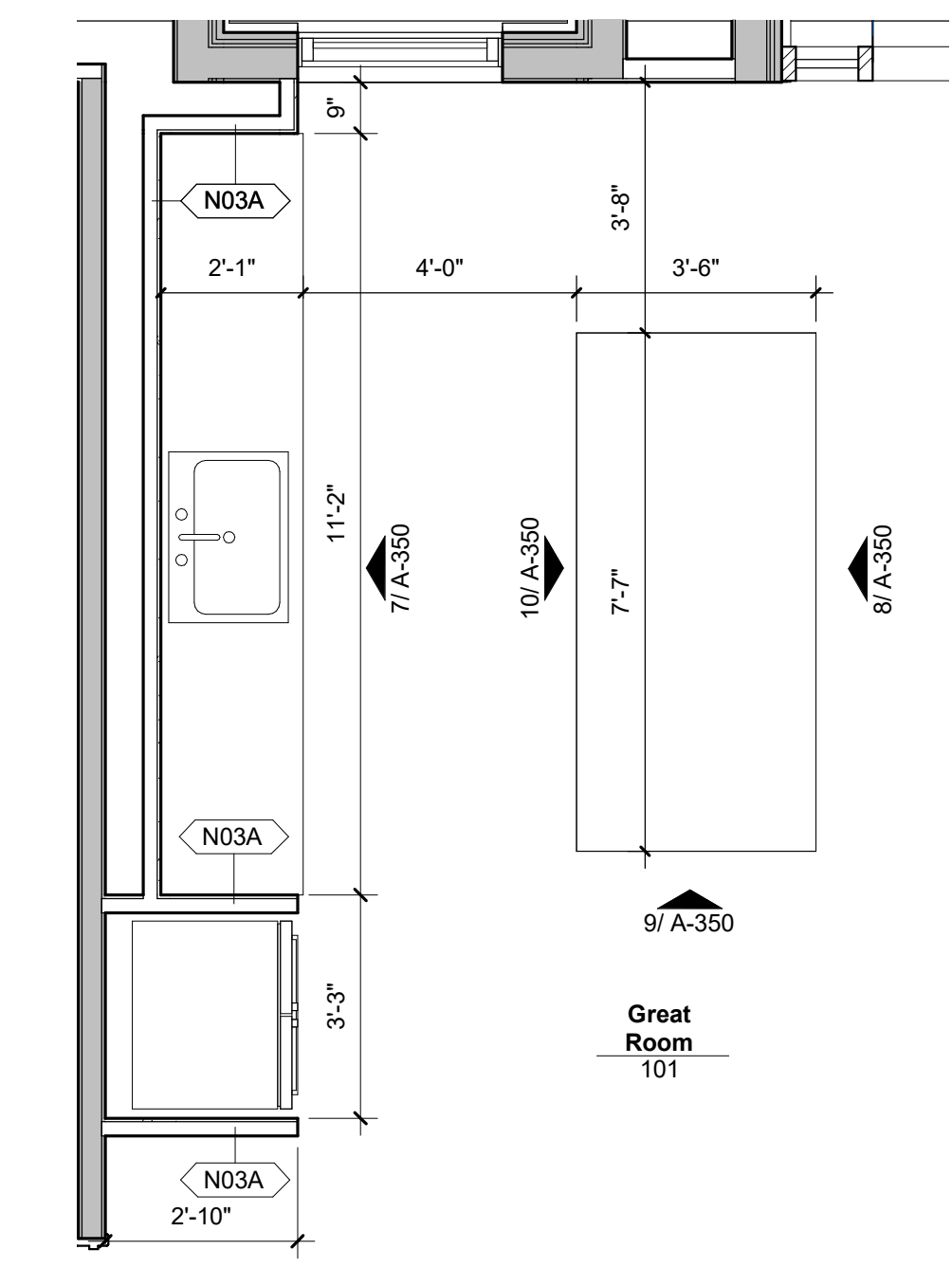
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PROJECT NO. 320762.00

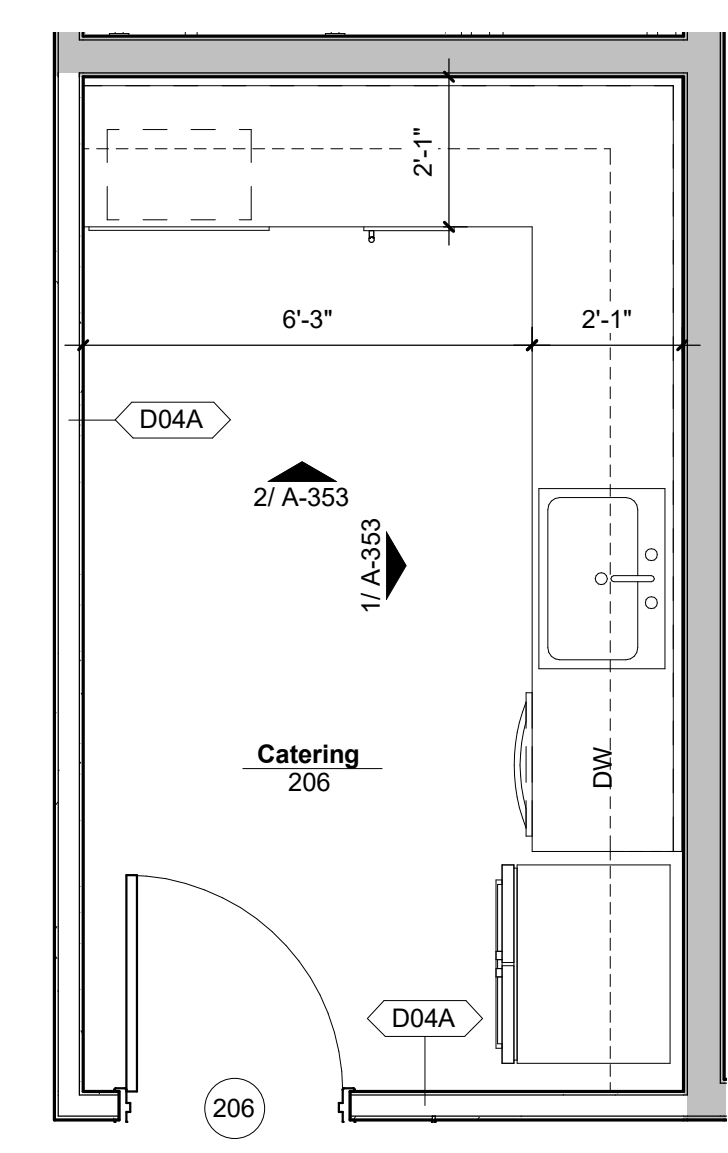
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**ENLARGED  
PLANS**

DRAWN BY SHMS  
QC CHECKED BY MS  
CA REVIEWED BY

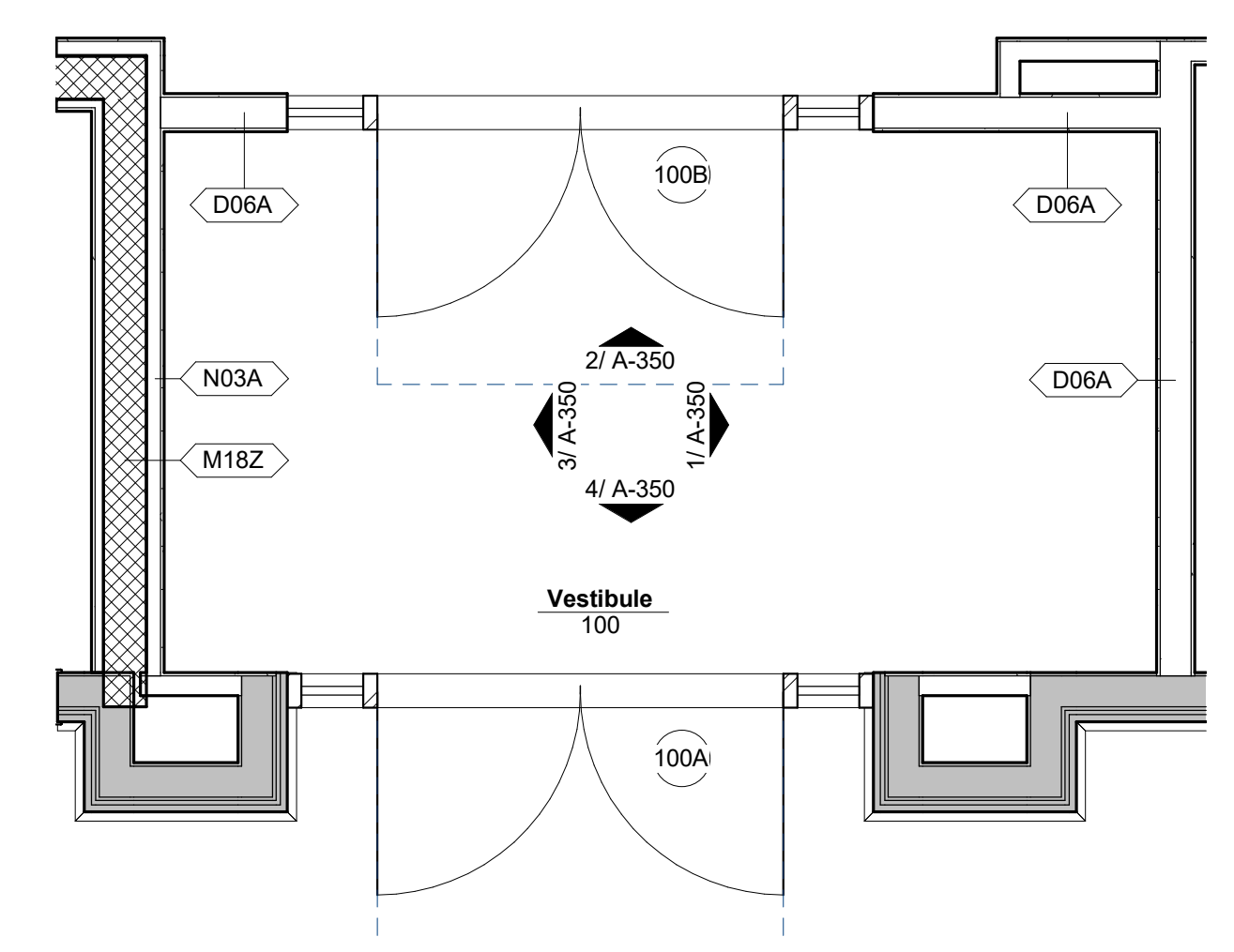
DRAWING NUMBER  
**A-240**



**2 ENLARGED PLAN @ KITCHENETTE**  
3/8" = 1'-0"



**3 ENLARGED PLAN @ CATERING 206**  
3/8" = 1'-0"



**1 ENLARGED PLAN @ VESTIBULE**  
3/8" = 1'-0"



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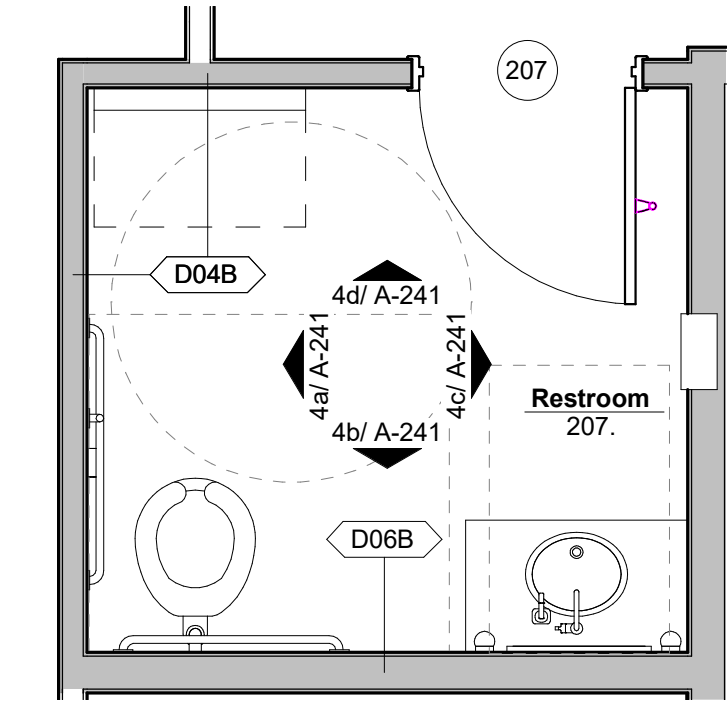
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**ENLARGED RESTROOM PLANS AND ELEVATIONS**

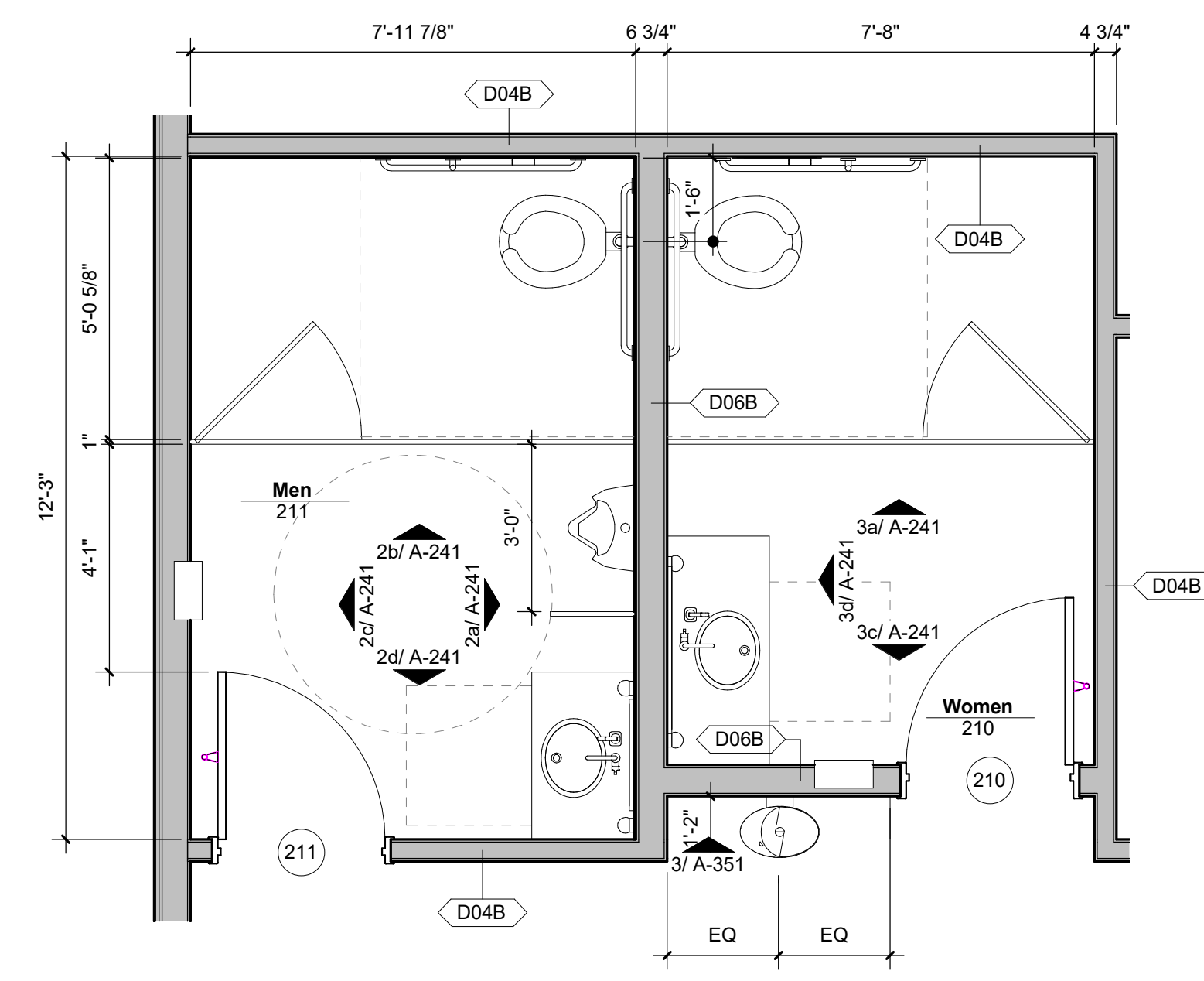
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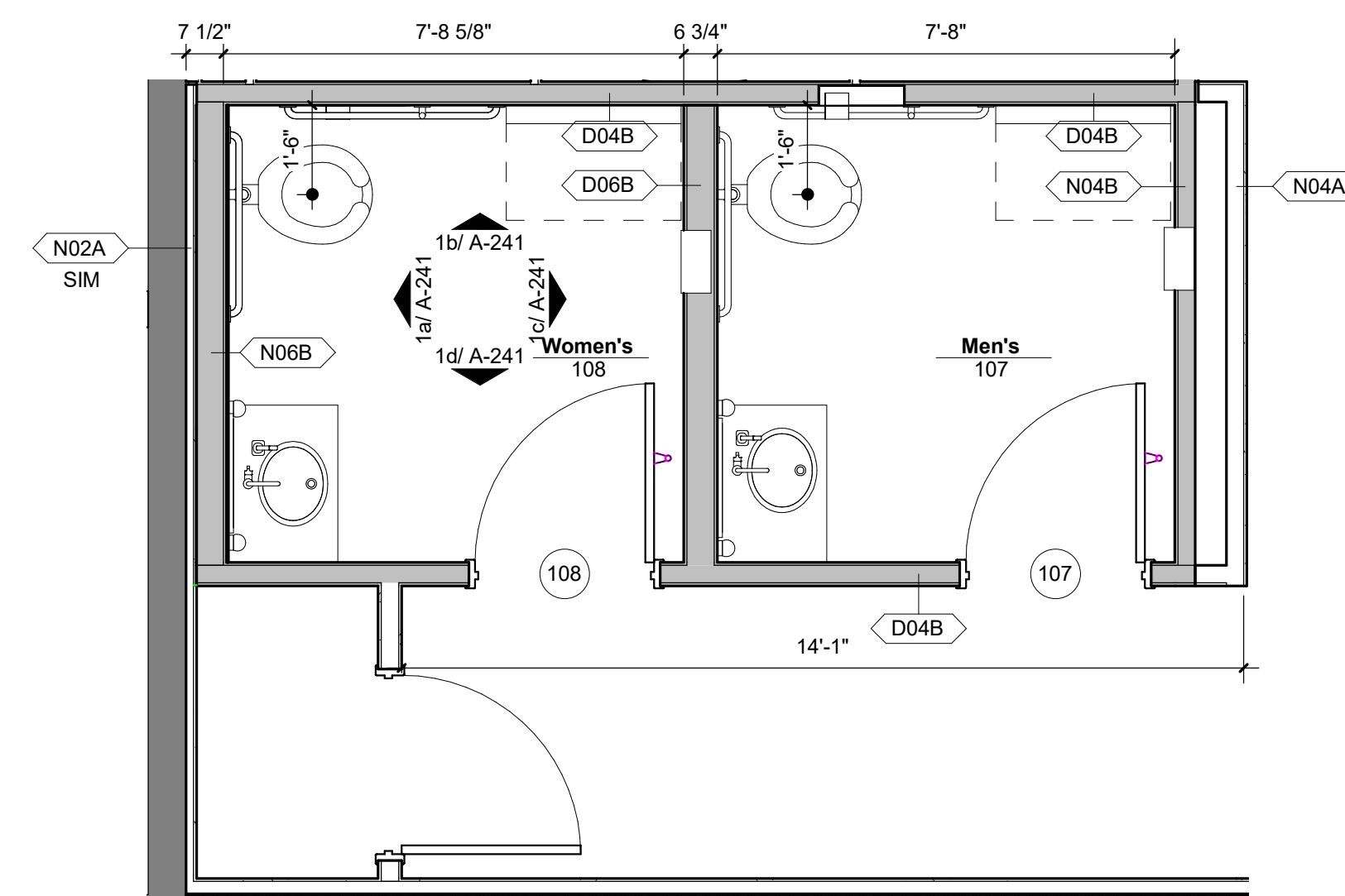
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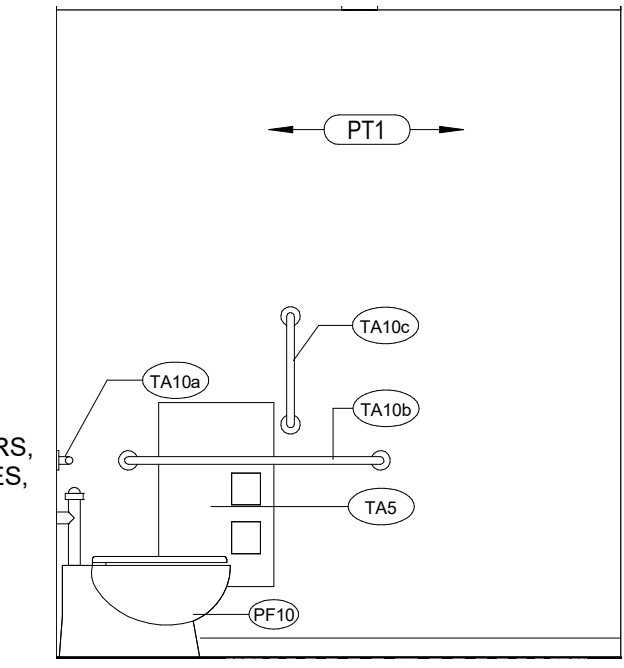
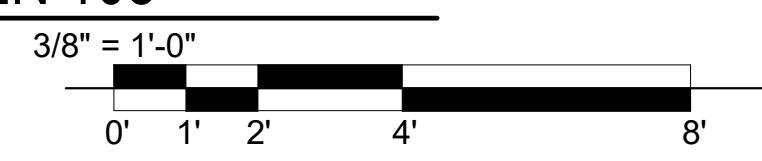
**3 ENLARGED PLAN @ RESTROOM 207**  
3/8" = 1'-0"



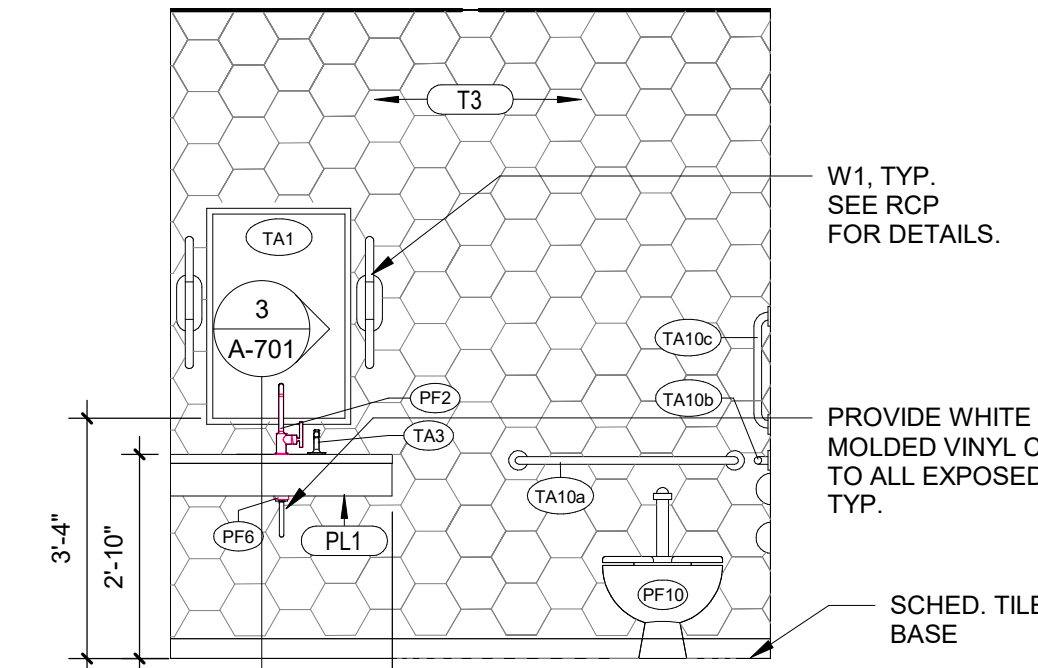
**2 ENLARGED PLAN @ WOMEN 210 MEN 211**  
3/8" = 1'-0"



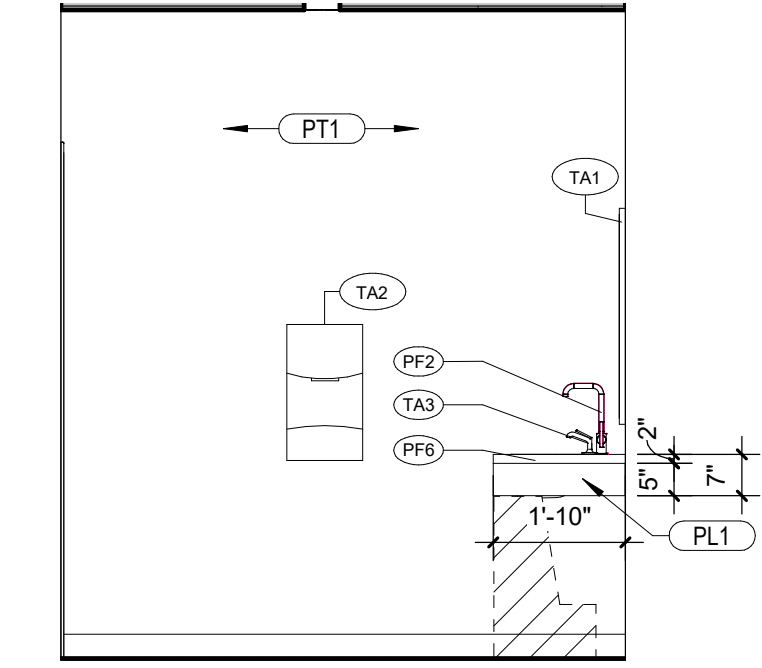
**1 ENLARGED PLAN @ MEN 107 WOMEN 108**  
3/8" = 1'-0"



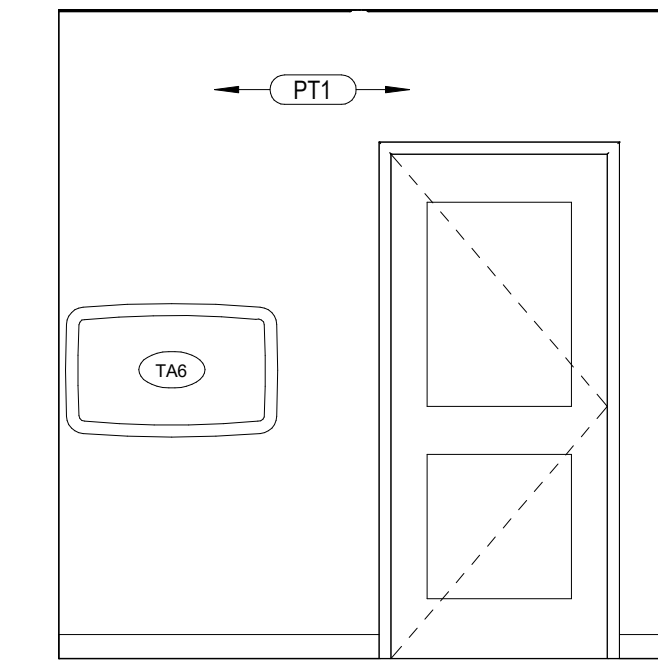
**4a INTERIOR ELEVATION**  
3/8" = 1'-0"



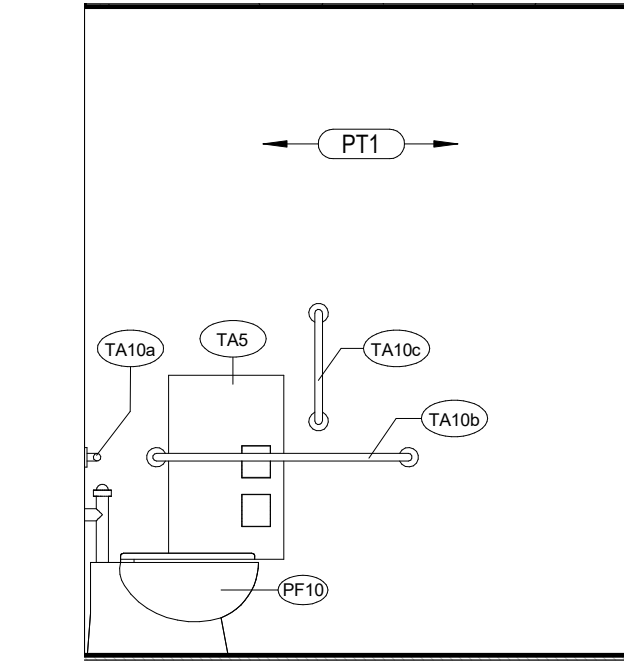
**4b INTERIOR ELEVATION**  
3/8" = 1'-0"



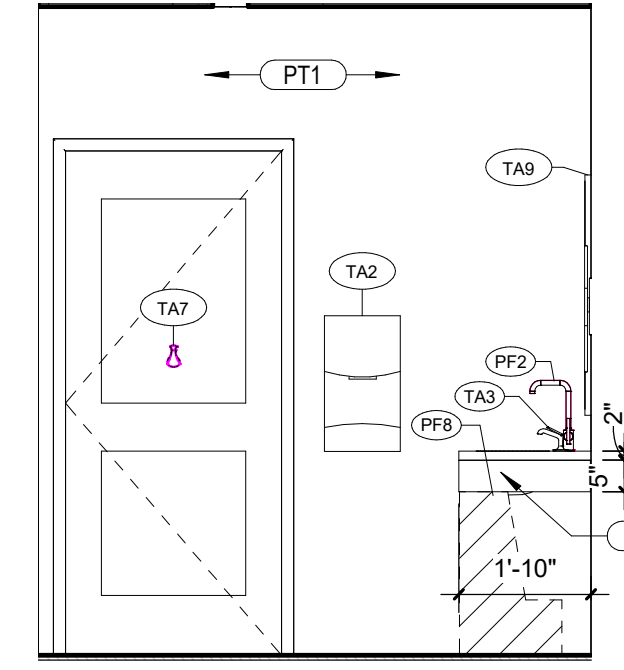
**4c INTERIOR ELEVATION**  
3/8" = 1'-0"



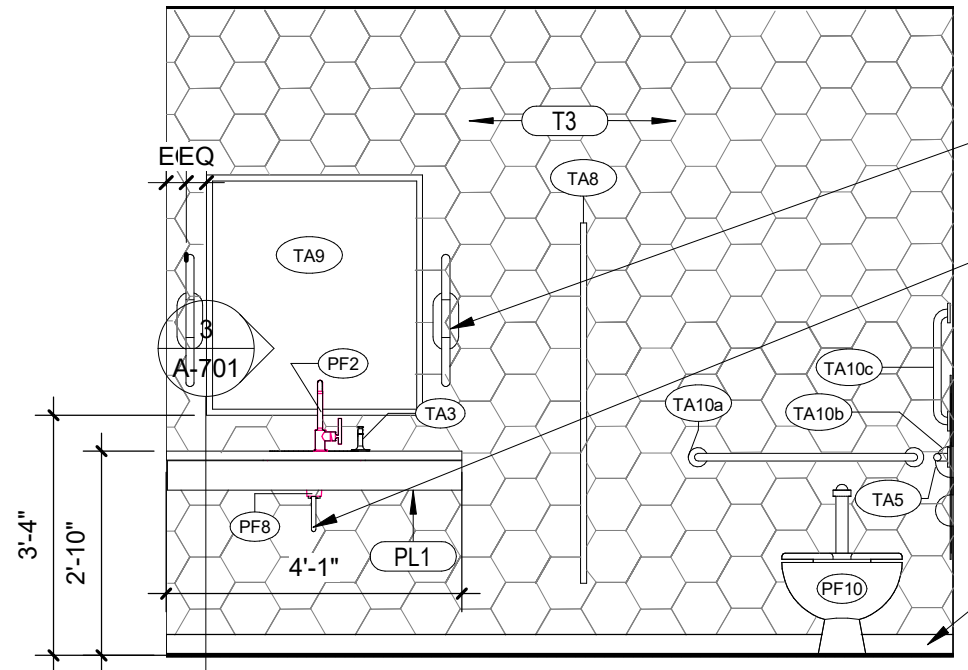
**4d INTERIOR ELEVATION**  
3/8" = 1'-0"



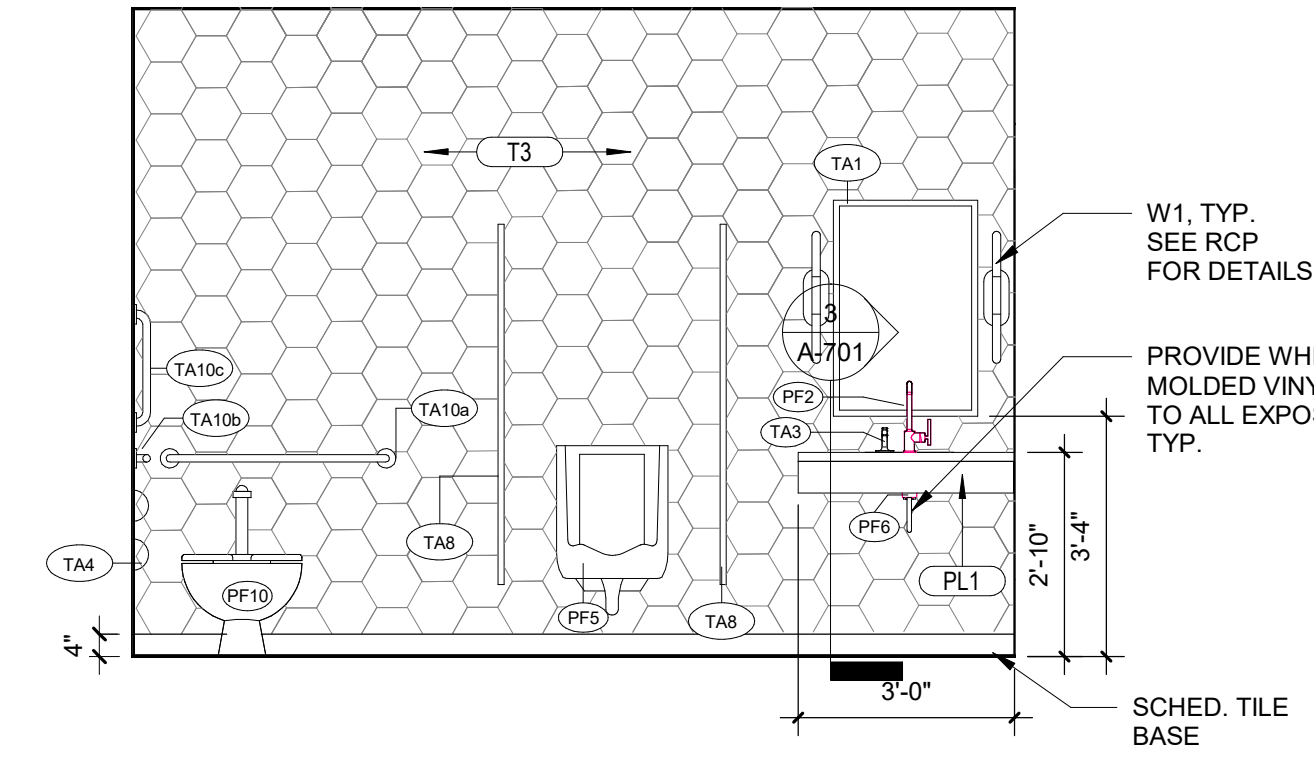
**3a INTERIOR ELEVATION**  
3/8" = 1'-0"



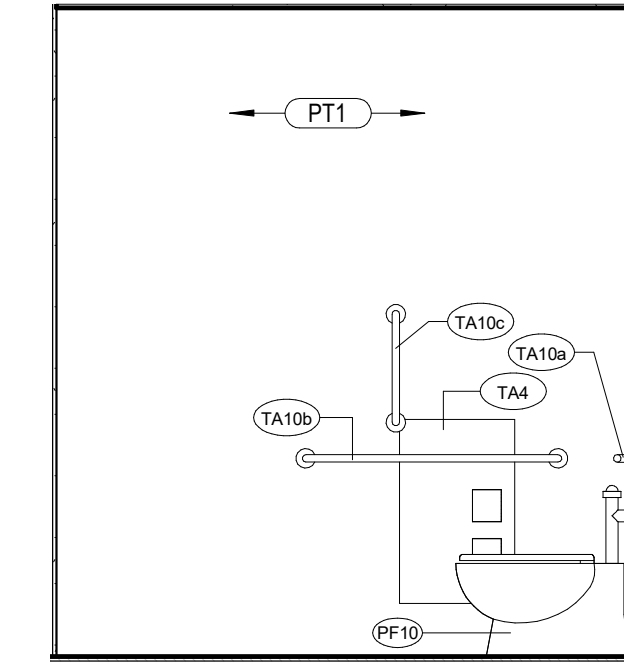
**3c INTERIOR ELEVATION**  
3/8" = 1'-0"



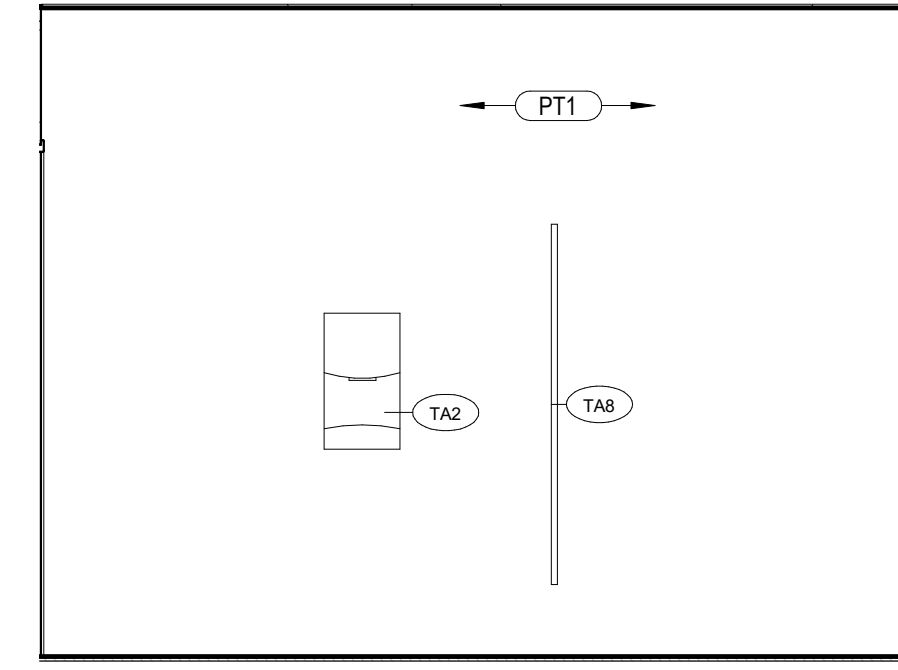
**3d INTERIOR ELEVATION**  
3/8" = 1'-0"



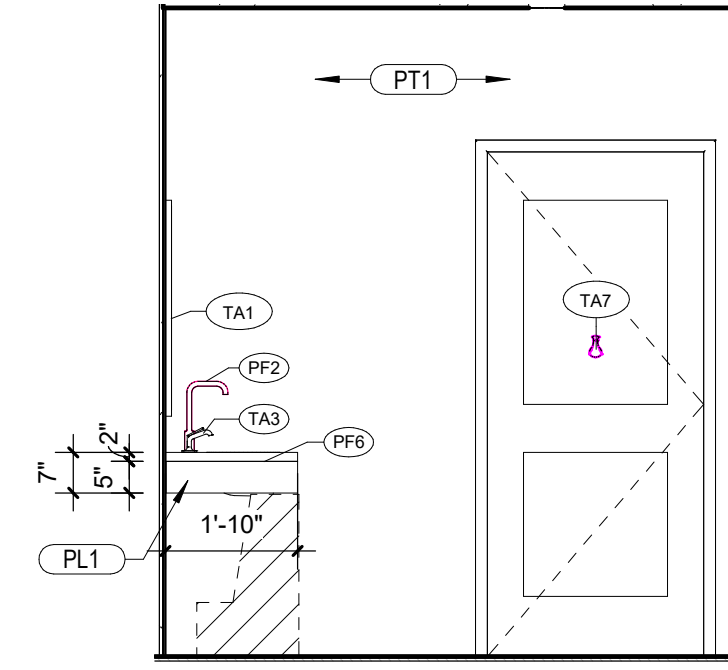
**2a INTERIOR ELEVATION**  
3/8" = 1'-0"



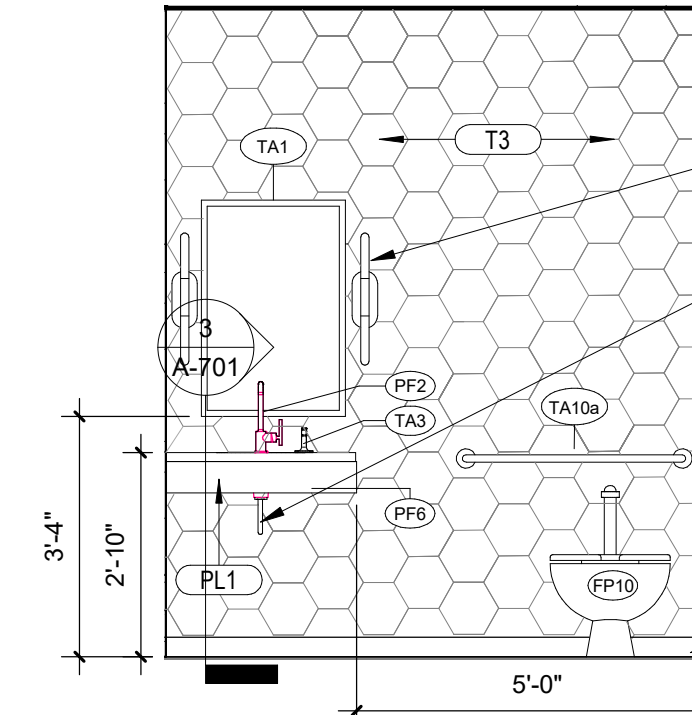
**2b INTERIOR ELEVATION**  
3/8" = 1'-0"



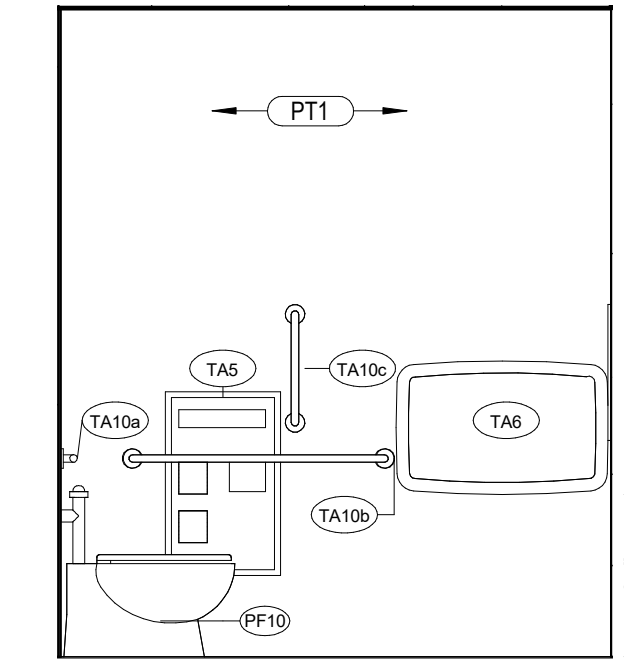
**2c INTERIOR ELEVATION**  
3/8" = 1'-0"



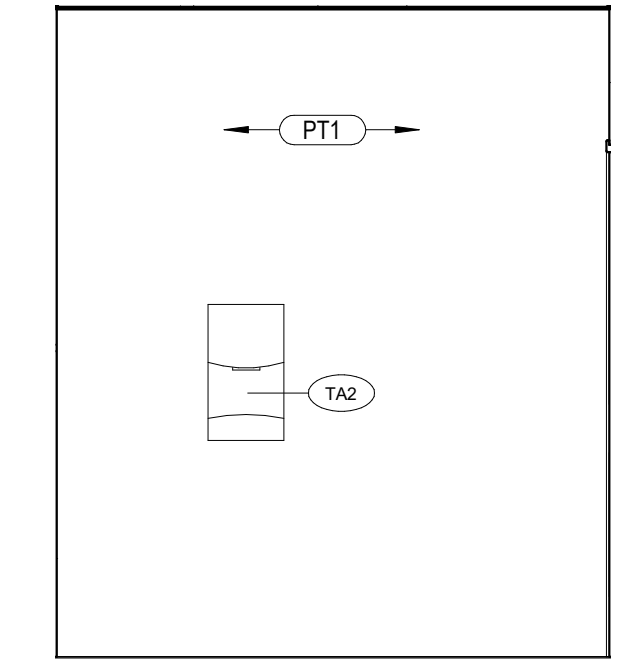
**2d INTERIOR ELEVATION**  
3/8" = 1'-0"



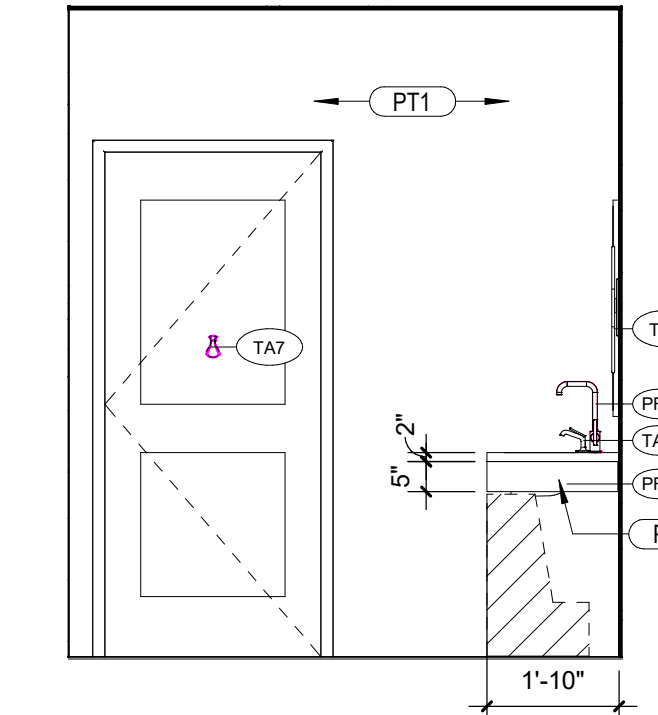
**1a INTERIOR ELEVATION**  
3/8" = 1'-0"



**1b INTERIOR ELEVATION**  
3/8" = 1'-0"



**1c INTERIOR ELEVATION**  
3/8" = 1'-0"



**1d INTERIOR ELEVATION**  
3/8" = 1'-0"



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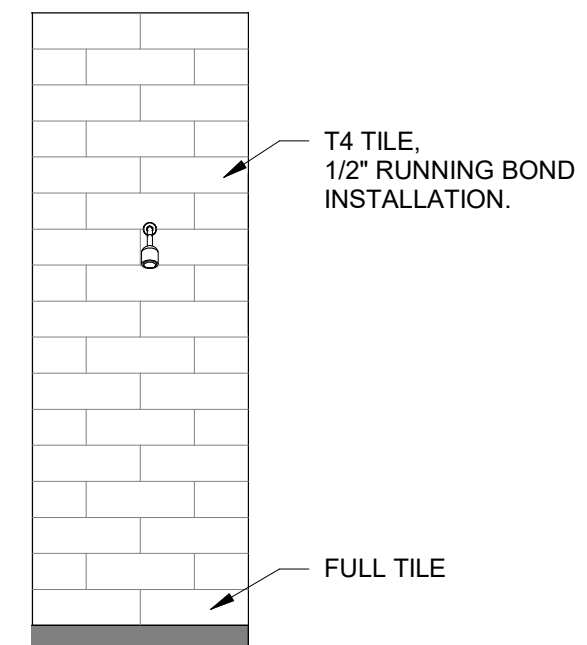
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DRAWING TITLE  
**ENLARGED POOL HOUSE DETAILS**

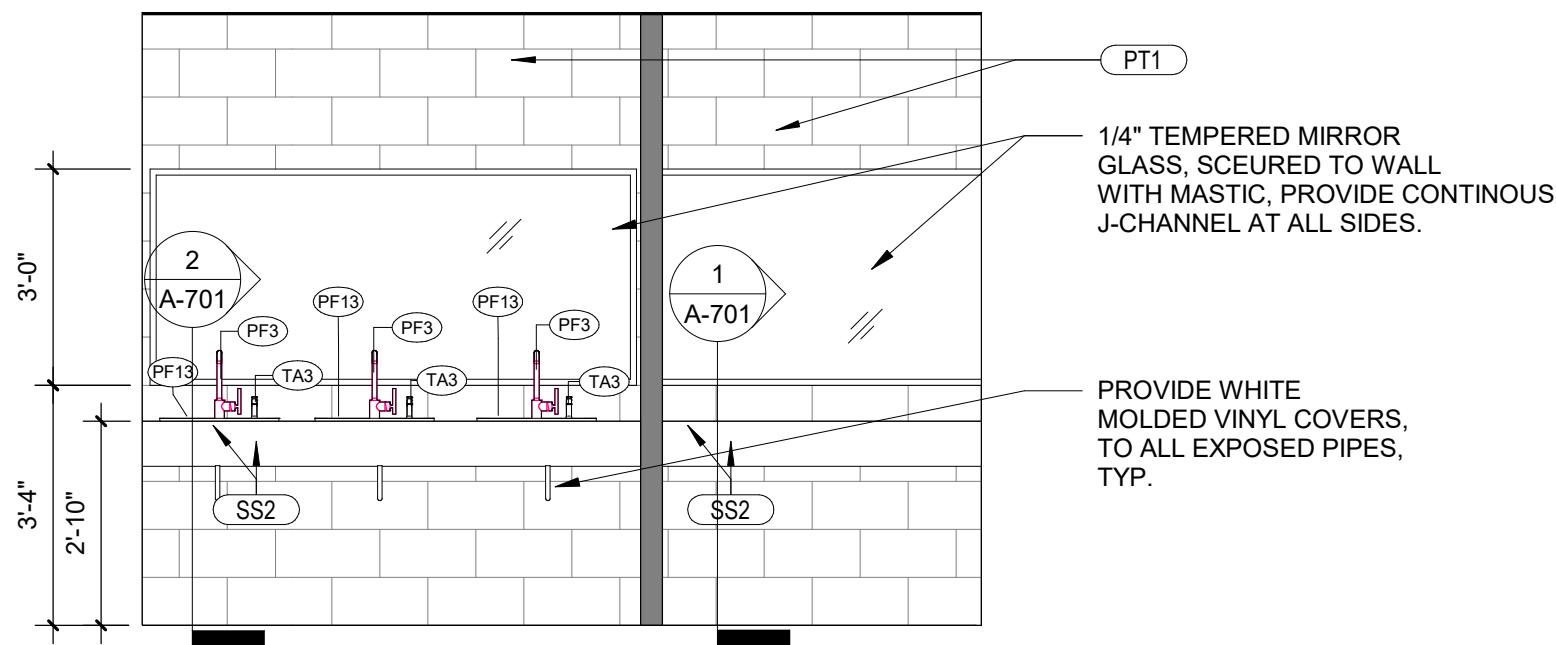
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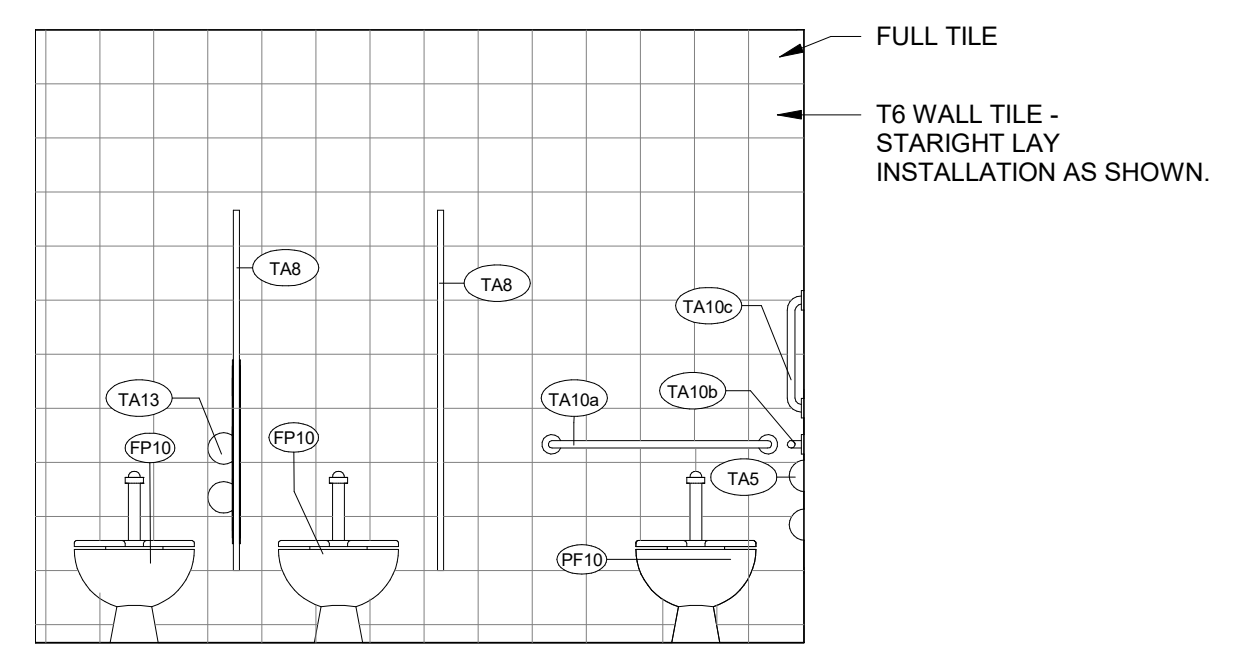
**A-242**



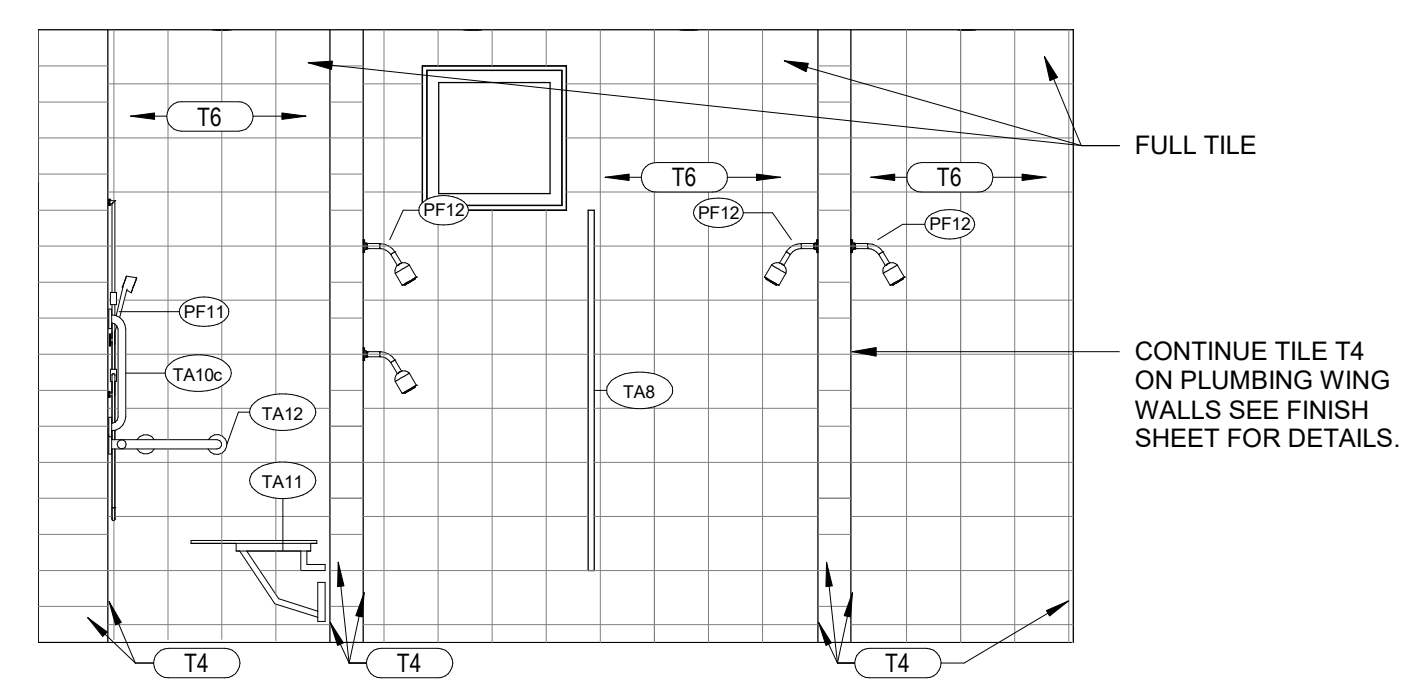
**7 ELEVATION @ TYP POOL HOUSE WING WALL**  
3/8" = 1'-0"



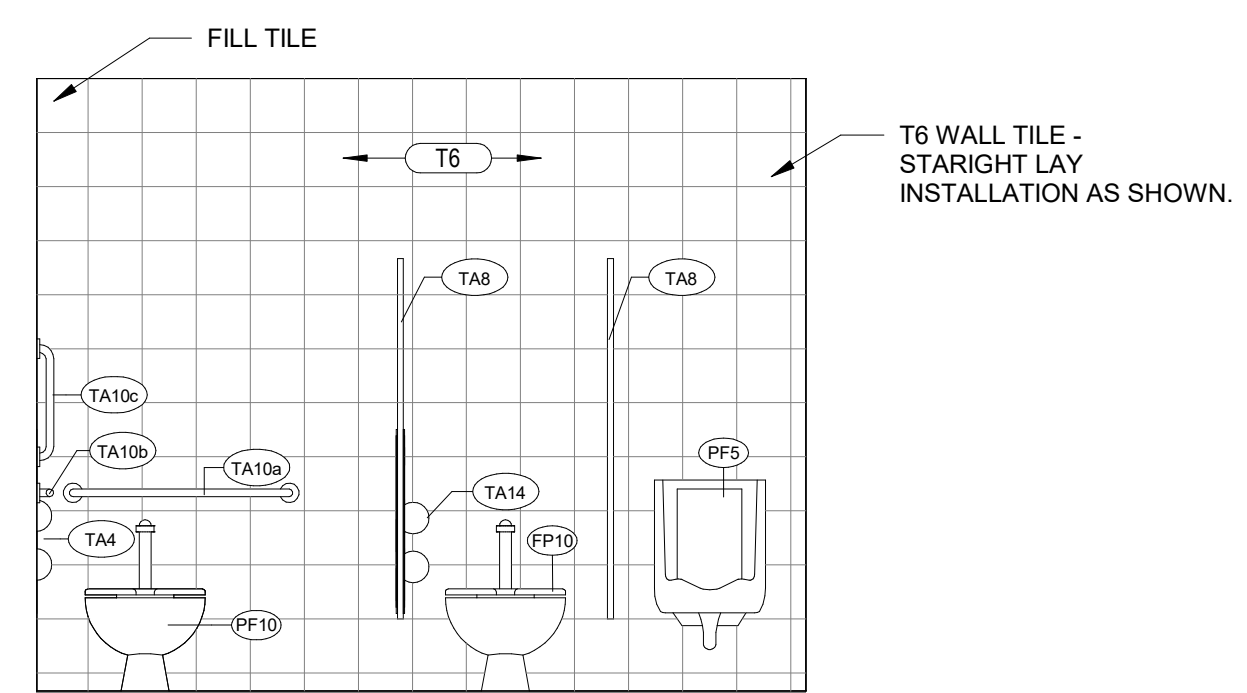
**6 ELEVATION @ WOMENS POOL HOSUE SINK**  
3/8" = 1'-0"



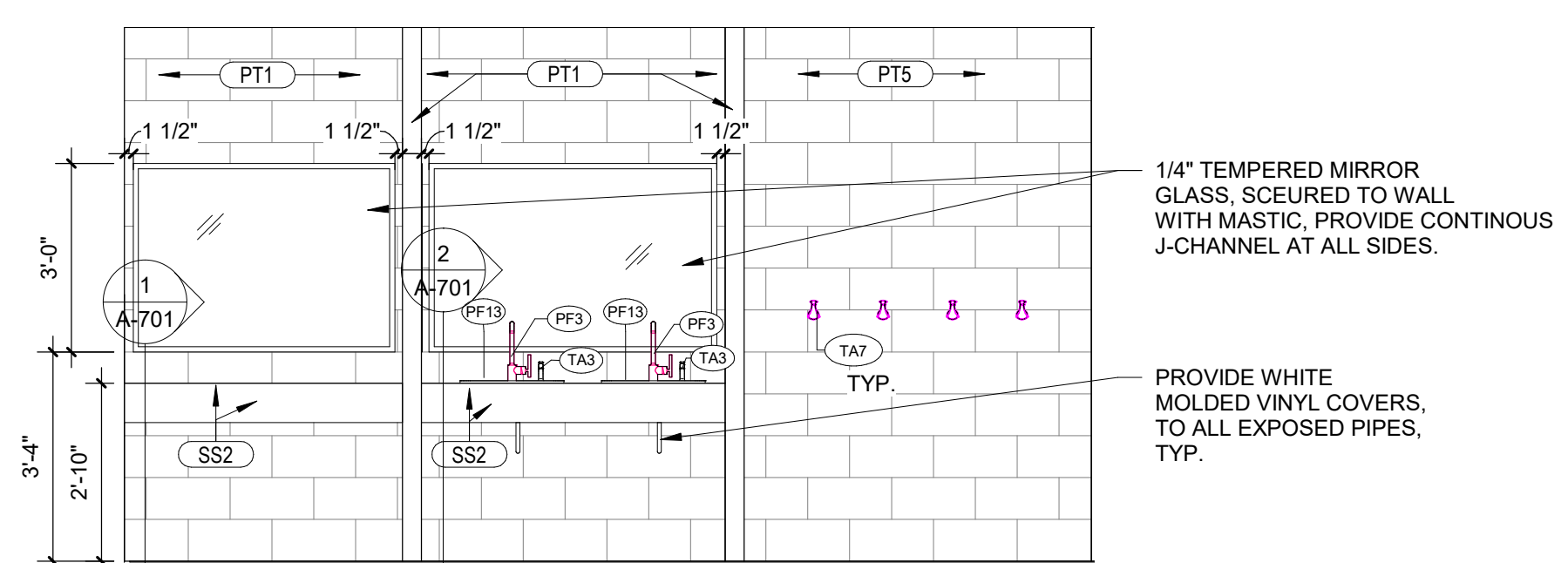
**5 ELEVATION @ WOMENS POOL HOUSE WETWALL**  
3/8" = 1'-0"



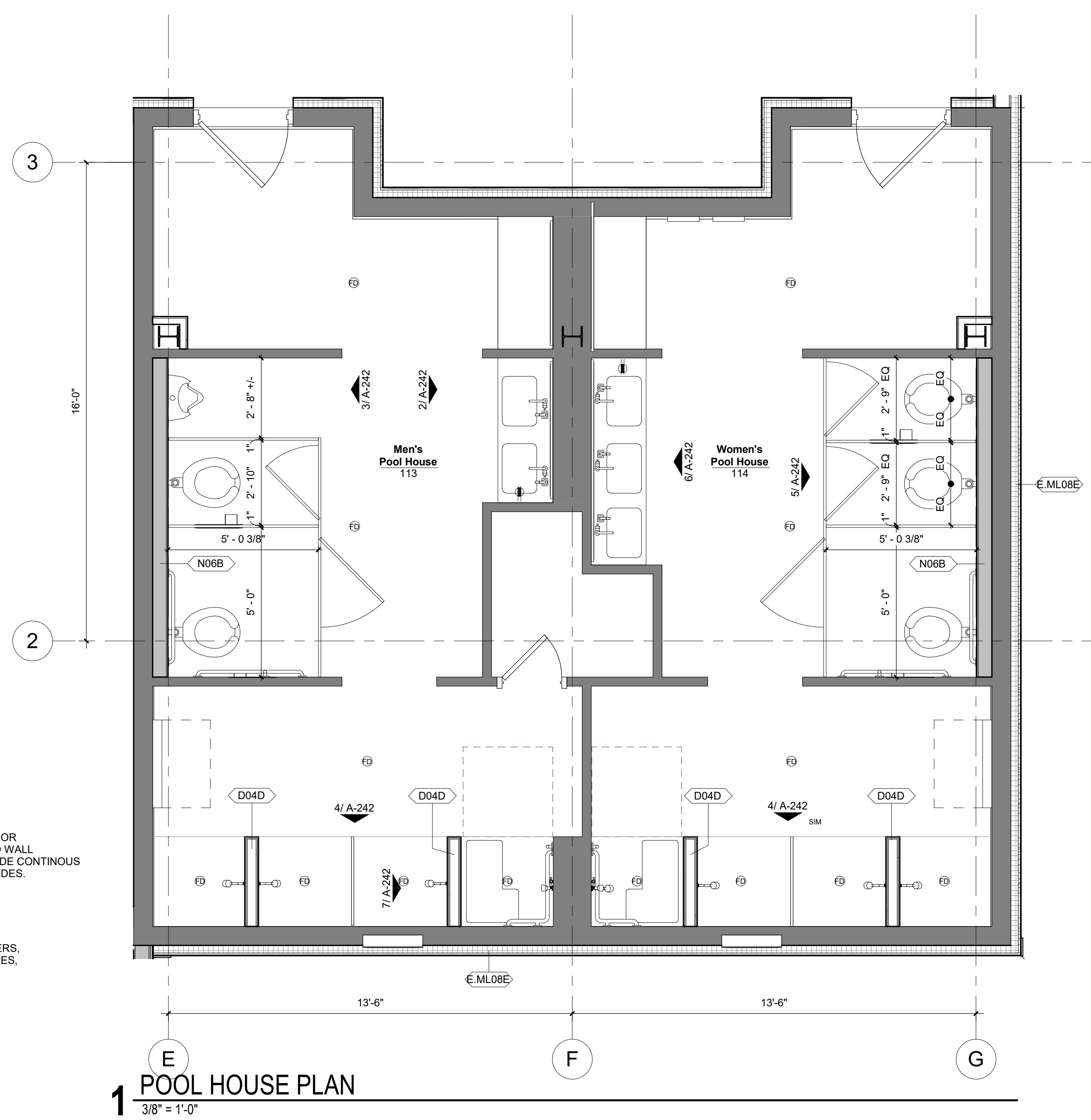
**4 ELEVATION @ POOL HOUSE TYP SHOWERS**  
3/8" = 1'-0"



**3 ELEVATION @ MENS POOL HOUSE WET WALL**  
3/8" = 1'-0"

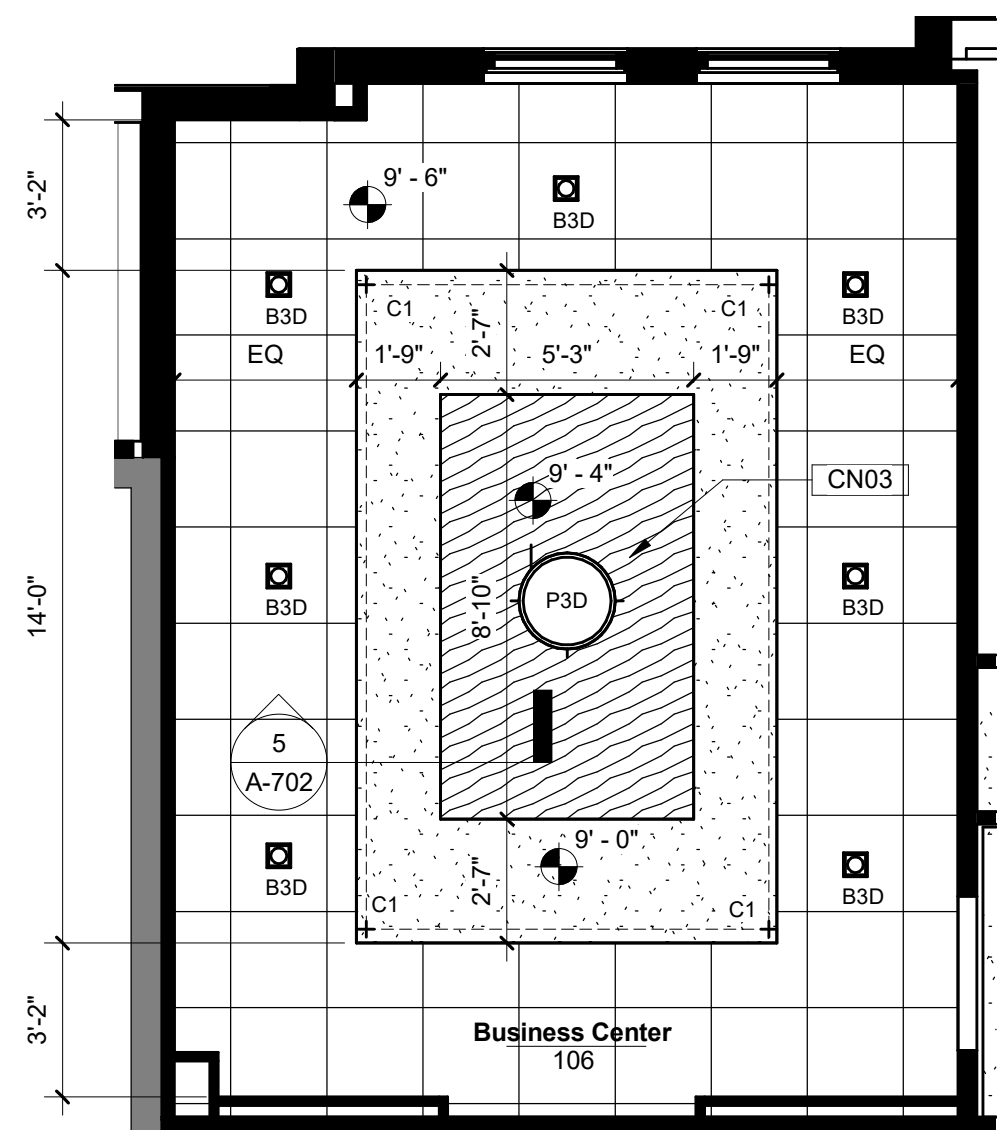


**2 ELEVATION @ MENS POOL HOUSE SINK**  
3/8" = 1'-0"

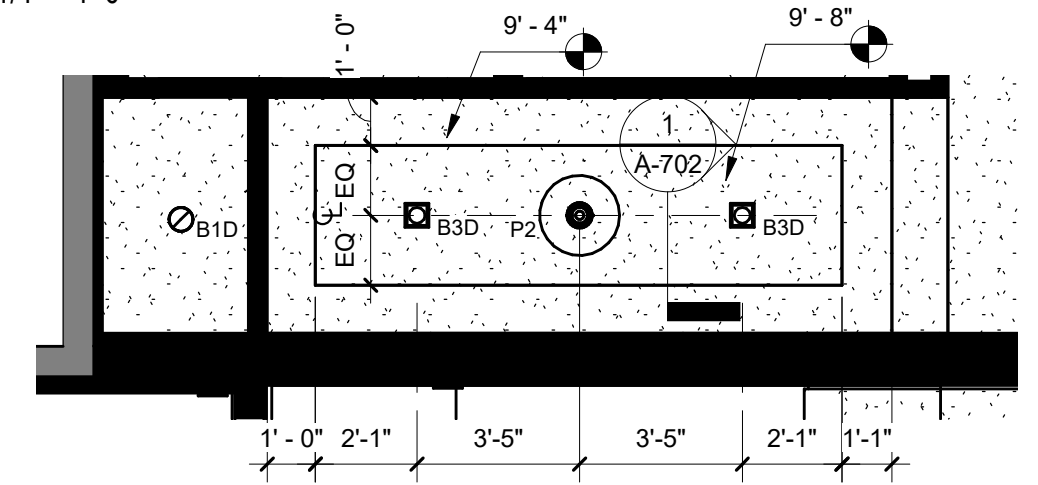


**1 POOL HOUSE PLAN**  
3/8" = 1'-0"





**3 ENLARGED RCP @ BUSINESS CENTER 106**  
1/4" = 1'-0"



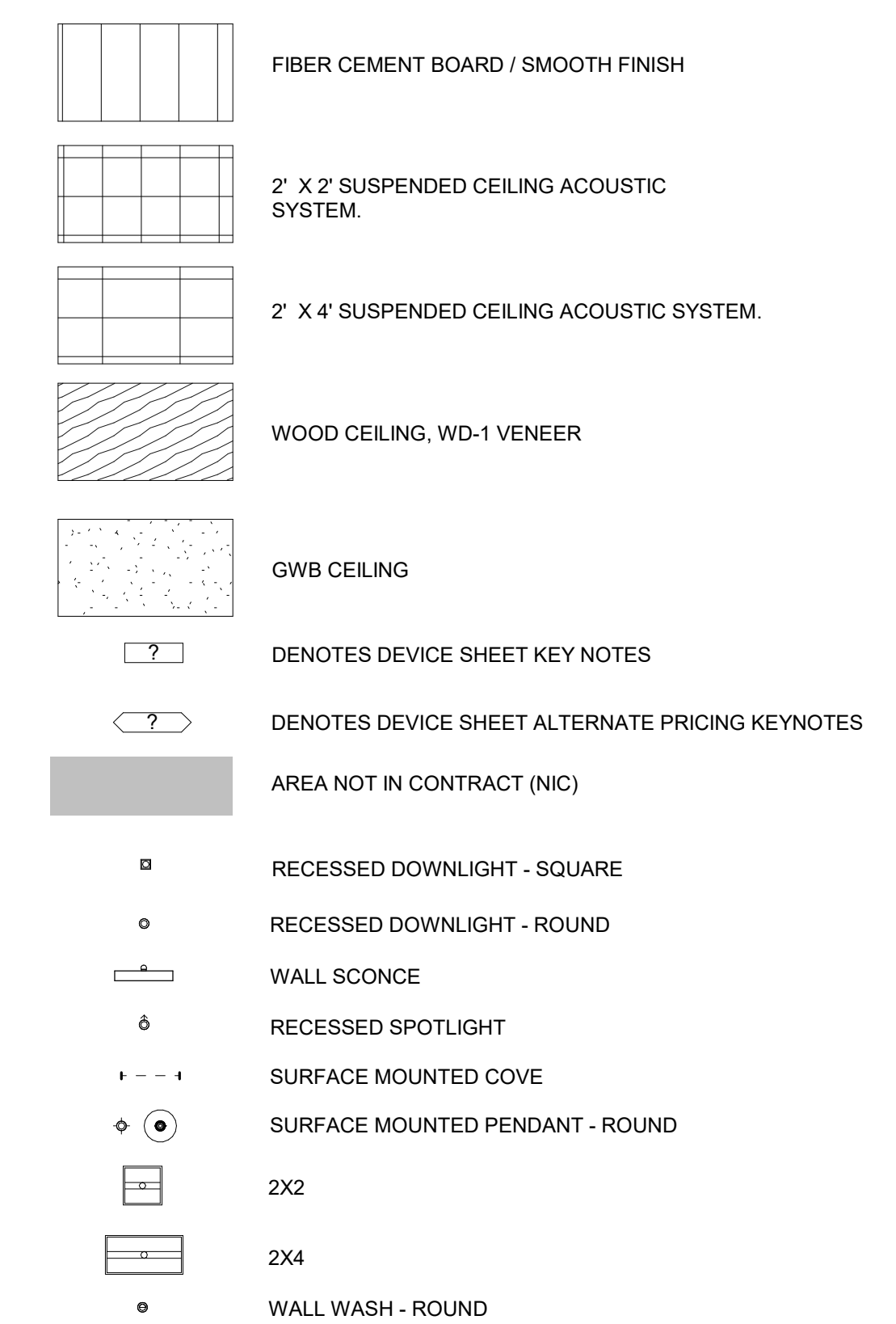
**2 ENLARGED RCP @ CORRIDOR 124B**  
1/4" = 1'-0"

CEILING LIGHTING SCHEDULE				
NO.	DESCRIPTION	MANUF.	MODEL #	COMMENTS
EXTERIOR SCENCE				
A1	2x4 LIGHT FIXTURE	ORACLE LIGHTING	24-OVHP-LED-4000L-DIM10-MVOLT-30K-85	
A2	2x2 LIGHT FIXTURE	ORACLE LIGHTING	22-OVHP-LED-3400L-DIM10-MVOLT-35K-85	
A3	4" RECESSED LINEAR SHALLOW UTILITY LIGHT	PINNACLE LIGHTING	EVLS-30-10-SF-U-WH-EF	
A4	UTILITY LIGHT	COLUMBIA LIGHTING	LXEM-440-LW-RFP-E-U-ELL-14	
B1	6" ROUND DOWNLIGHT	ALPHABET	NU6RD-XTM19-20-30-83-D65-UNV-DIM10-NC-WH-WH	
B1D	6" ROUND DOWNLIGHT, DIMMABLE	ALPHABET	NU6RD-XTM19-20-30-83-D65-UNV-DIM10-NC-WH-WH	W/ DIMMING SWITCH
B2	4" SQUARE FLUSH MOUNT, DIMMABLE	KUZCO	FM10705-WH	W/ DIMMING SWITCH
B3	3" SQUARE DOWNLIGHT	ALPHABET	NU3-QD-XTM19-20LM-30K-83-D65-UNV-DIM10-NC-WH-WH	
B3D	3" SQUARE DOWNLIGHT, DIMMABLE	ALPHABET	NU3-QD-XTM19-20LM-30K-83-D65-UNV-DIM10-NC-WH-WH	W/ DIMMING SWITCH
B4	6" ROUND DOWNLIGHT, SLOPED	ELITE LIGHTING	B36IC SLOPED HOUSING W/ RL694-1000L-DIMTR-MVOLT-30K-90-W-WH	
B4D	6" ROUND DOWNLIGHT, DIMMABLE, SLOPED	ELITE LIGHTING	B36IC SLOPED HOUSING W/ RL694-1000L-DIMTR-MVOLT-30K-90-W-WH	W/ DIMMING SWITCH
B5	4" SQUARE SHALLOW PLENUM DOWNLIGHT, DIMMABLE	ALPHABET	NU4-QDTSTUD-SW-13LM-30K-80-UNV-DIM10-WH-WH	W/ DIMMING SWITCH
C1	COVE LIGHTING	ACOLYTE	CHAC1-F-90-SWS220-4-4-30K-1	
F1	CEILING FAN	BIG ASS FANS	B3213-X2-BCW-0402-D-01-009407-259	
P1	PENDANT @ VESTIBULE	HUBBARDTON FORGE	138589-SKT-STND-07-ZMXX	
P2	FLUSH DOME 14" PERFORATED	ALLIED MAKER	WAC-016; 14" DOME; BRONZE EXTERIOR/BRASS INTERIOR/WHITE OAK	
P3	SYNERGY PENDANT @ BUSINESS CENTER	KUZCO	CH93834-AN	
P4	CUSTOM RING PENDANT @ FUNCTION RM	LAMPOLITE	CUSTOM RING PENDANT ON SINGLE CANOPY W/ REMOTE DRIVER; TOTAL OF (4) RINGS PER FIXTURE, DIMMING.	W/ DIMMING SWITCH; CONTACT: BRANDI ALLEN-BAKER, AMBIANCE LIGHTING - 240-475-7366
P5	VETRA FLUSH MOUNT LED	CIRCA LIGHTING	700FMVTRLS-LED927	W/ DIMMING SWITCH
P6	HANGING PENDANT @ STAIR A	LINDSLEY LIGHTING	LLRD-PN-15-30-1300-BR-60-WHCP	
P7	MANETTE GRANDE PENDANT LIGHT	TECH LIGHTING	UU537545	W/ DIMMING SWITCH
S1	3" ADJUSTABLE LED WALL WASH DOWNLIGHT	FUSION LIGHTING	ER3-LED-1200L-DIM10-MVOLT-WD-30K-90-ER3-F-1302-WH	
S2	3" LED CANOPY SPOTLIGHT, DIMMABLE	BRUCK	137430-21LM-30K-90-120-ELV-WH-XX-MP	
W1	ROUSSEAU DOUBLE LED WALL SCENCE	VISUAL COMFORT	KW 2282AB-SG	AT RESTROOMS
W2	MELANGE ELONGATED WALL SCENCE	VISUAL COMFORT	KW 2013AB-ALB	
W3	PRESTON WALL SCENCE	KUZCO	601471BK-LED	
W4	EXTERIOR SCENCE	TBD		

**REFLECTED CEILING NOTES**

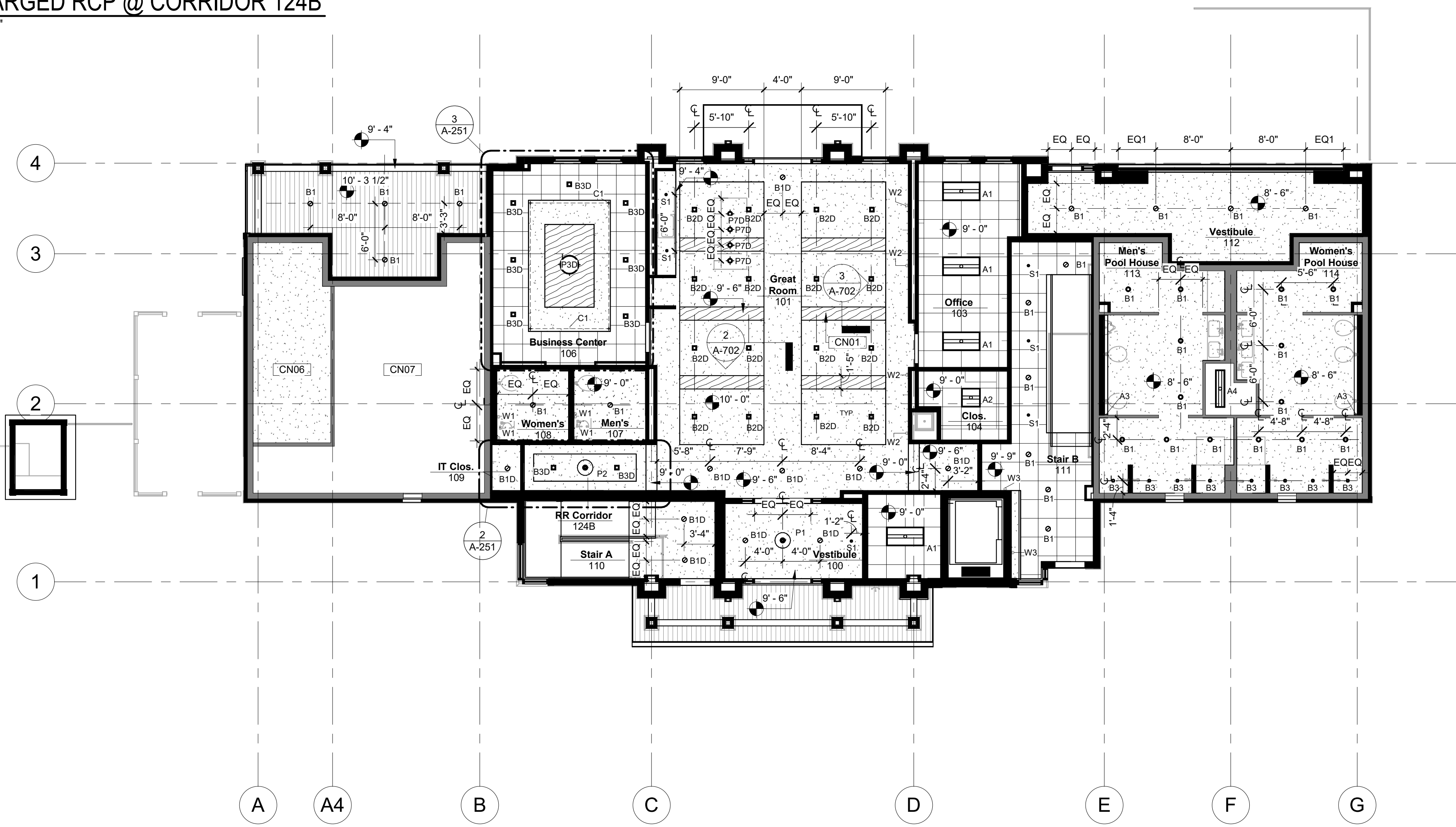
- REFER TO SPECIFICATIONS FOR ADDITIONAL NOTES.
- REFER TO SHEET A-041 FOR SWITCH MOUNTING HEIGHTS. ARCHITECTURAL SWITCH MOUNTING HEIGHTS OVERRIDE MEP SWITCH MOUNTING HEIGHTS.
- REFER TO ARCHITECTURAL PLAN FOR EXACT QUANTITY, LOCATIONS AND SPECIFICATIONS OF LIGHT FIXTURES. REFER TO ALL ARCHITECTURAL AND ENGINEERING DRAWINGS AND NOTIFY ARCHITECT OF DISCREPANCIES PRIOR TO DELIVERY OF PRICING AND PROCEEDING WITH WORK.
- CUSTOM-LENGTH FIXTURES TO BE VERIFIED IN FIELD BY GC AND RUN END-TO-END (MAX 1" OFF END WALL) PRIOR TO ORDERING.
- PROVIDE ALL LIGHT FIXTURES AS SPECIFIED; NO SUBSTITUTIONS UNLESS APPROVED BY ARCHITECT.
- REFER TO ARCHITECTURAL PLAN FOR VARYING CEILING HEIGHTS AND MATERIALS.
- VERIFY AND COORDINATE ALL CONDITIONS IN FIELD INCLUDING CLEARANCES AT MECHANICAL DUCTS, ELECTRICAL ITEMS, SPRINKLERS, PLUMBING PIPING AND SLAB DROPS. NOTIFY ARCHITECT IF EXISTING CONDITIONS TO REMAIN OR NEW ITEMS SPECIFIED INTERFERE WITH CEILING HEIGHT SPECIFIED, PRIOR TO CEILING INSTALLATION.
- IN AREAS WHERE PERIMETER WINDOW FRAME HEIGHT IS ABOVE CEILING HEIGHT SPECIFIED, GC TO INSTALL PERIMETER POCKET DETAIL, PRIOR TO CEILING INSTALLATION.
- ALL ELECTRICAL, SPRINKLER AND MECHANICAL DEVICES REQUIRING ACCESS (PER CODE) TO BE RELOCATED AS REQUIRED TO ELIMINATE ACCESS PANELS IN GWB CEILINGS. REVIEW RELOCATION CONFIGURATIONS WITH ARCHITECT, MEP, BUILDING OWNER AND BUILDING ENGINEER PRIOR TO RELOCATIONS.
- IF REQUIRED, ACCESS PANELS TO BE FRAMELESS TYPE, UON. REVIEW ACCESS PANEL LOCATIONS WITH ARCHITECT, MEP, BUILDING OWNER AND BUILDING ENGINEER PRIOR TO INSTALLATION.
- IN AREAS WHERE GWB CEILING-TO-ACT TRANSITIONS ALIGN, PROVIDE ARMSTRONG TRANSITION MOULDING 7907 (OR EQUAL) FOR TEGULAR TILES, ARMSTRONG TRANSITION MOULDING 7905 (OR EQUAL) FOR LAY-IN TILES.
- PROVIDE LEVEL 5 FINISH AT GWB CEILINGS WHERE CEILING COVE LIGHTS ARE INSTALLED.
- INSTALL CEILING GRID MAIN TEES AS REQUIRED TO ALLOW INSTALLATION OF FIXTURES AS INDICATED.
- FOR EXISTING ACT CEILINGS, GC TO VERIFY THAT MAIN TEE LOCATIONS WORK WITH NEW LIGHT FIXTURE LAYOUT. NOTIFY ARCHITECT OF DISCREPANCIES FOR RESOLUTION.
- COORDINATE GRID ORIGIN LOCATIONS WITH ARCHITECT PRIOR TO CEILING GRID INSTALLATION, UON.
- INSTALL LIGHT FIXTURES TO BE CENTERED IN CEILING TILE, UON.
- ADJUST WALL WASHER LENSES TO ADEQUATELY THROW LIGHT ONTO ADJACENT WALLS BEING ILLUMINATED.
- COORDINATE LIGHT FIXTURE AND CEILING ELEMENT PLACEMENT WITHIN GWB CEILINGS PRIOR TO INSTALLATION, UON.
- CONFIRM HANG HEIGHT OF ALL PENDANT HUNG LIGHT FIXTURES IN FIELD WITH ARCHITECT PRIOR TO INSTALLATION.
- FOR EXPOSED SLAB/OPEN CEILINGS SPECIFIED, CONFIRM THAT ALL ELEMENTS THAT ARE NOT REQUIRED FOR THIS BUILD-OUT ARE REMOVED. CLEAN UP AND SECURE ALL CABLING, WIRING AND MISC. CEILING ELEMENTS TIGHT TO THE UNDERSIDE OF SLAB ABOVE. ALL NEW CABLE/POWER TO BE BUNDLED AND APPEAR NEAT.
- FOR EXPOSED SLAB/OPEN CEILINGS SPECIFIED, WHEN SPRAYED FIREPROOFING IS INSTALLED, PROVIDE MISSING PATCHES AS REQUIRED BY CODE.
- PATCH AND REPAIR REUSED CEILING AS REQUIRED FOR NEW WORK. FILL HOLES AND REPAIR OR REPLACE DAMAGED EXISTING CEILING GRID TO LIKE NEW APPEARANCE. REPLACE DAMAGED OR MISMATCHED CEILING TILES TO MATCH ADJACENT EXISTING, UON.
- FOR ALL EXISTING TO REMAIN OR REUSED CEILING ITEMS / DEVICES SHALL BE REPAIRED AND CLEANED FOR LIKE NEW APPEARANCE.
- ANY/ALL CEILING MOUNTED DEVICES TO BE WHITE, UNLESS OTHERWISE APPROVED BY ARCHITECT.
- PAINT EDGES OF EXPOSED, FIELD CUT TEGULAR TILES WITH MANUFACTURER'S TOUCH-UP PAINT, AS REQUIRED FOR CONSISTENT FINISH APPEARANCE.
- PROVIDE ALLOWANCE TO REPLACE EXISTING CEILING MOUNTED DEVICES TO MATCH NEW FINISHES, UON.

**CEILING PLAN LEGEND**



**SHEET NOTES**

- CN01 FAUX MILLWORK BEAM WRAPPED IN WD-1 WOOD VENEER. SEE DETAILS FOR ADD'L INFO.
- CN03 GWB CEILING AND PENDANT IN THIS ROOM TO ALIGN WITH TV SCREEN AND CORE DRILLS FOR FURNITURE. GC TO COORDINATE WITH ELECTRICIAN, AV, AND FURN VENDORS.
- CN06 EXISTING CEILING AND LIGHTING TO REMAIN
- CN07 SEE ELECTRICAL FOR LIGHTING CONFIGURATION IN THIS ROOM



**1 LEVEL 1 REFLECTED CEILING PLAN**  
1/8" = 1'-0"



**d|c|s**  
DESIGN

DAVIS  
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SCOTT Ltd

Architecture  
Interior Architecture  
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REVISION DATE

PROJECT TITLE  
**ECA CLUBHOUSE EXPANSION**

8400 UPPER SKY WAY  
LAUREL, MD 20723

PROJECT NO. 320762.00

DRAWING TITLE  
**REFLECTED CEILING PLAN**

DRAWN BY SHMS  
QC CHECKED BY MS  
CA REVIEWED BY

DRAWING NUMBER  
**A-251**







Schedule EQUIPMENT					
ITEM	DESCRIPTION	MANUFACTURER	MODEL #	COLOR	REMARKS
EQ1	REFRIGERATOR	GE	PFD28KSLSS	STAINLESS STEEL	GC TO FURNISH & INSTALL; PROVIDE COPPER WATERLINE
EQ2	DISHWASHER	GE	GDT22SSLS	STAINLESS STEEL	GC TO FURNISH & INSTALL; PROVIDE COPPER WATERLINE
EQ3	PROJECTOR SCREEN - RECESSED	-	-	-	PROVIDED BY OWNER; COORD. W/ AV
EQ4	PROJECTOR - CEILING MOUNTED	-	-	-	PROVIDED BY OWNER; COORD. W/ AV
EQ5	MICROWAVE	GE	PEB9159SJSS	STAINLESS STEEL	GC TO FURNISH & INSTALL
EQ6	WARMING DRAWER	VIKING	RVEWD330	STAINLESS STEEL	-
EQ7	UNDERCOUNTER ICE MAKER	HOSHIZAKI	AM-50BAJ-ADDS	STAINLESS STEEL	ADA COMPLIANT
EQ8	TV	SAMSUNG	FRAME	-	65" SIZE TYP.; WITH RECESSED BACK BOX (CHIEF PAC501)
EQ9	LED FIREPLACE	TBD	CUSTOM	BLACK	SEE ALT-01 ALTERNATE PRICING NOTE.
EQ10	DISPLAY SCREEN	-	-	-	-

Schedule PLUMBING					
ITEM	DESCRIPTION	MANUFACTURER	MODEL #	COLOR	REMARKS
PF1	GREAT ROOM SINK/FAUCET/DISPOSAL	ELKAY/KOHLER/IN SINK ERATOR	ECTRU21179TC/K-22974-2MB/LC-50	STAINLESS STEEL/VIBRANT BRUSHED MODERNE BRASS	-
PF2	RESTROOM FAUCET	BRADLEY	S53-3300	BRUSHED BRASS	-
PF3	RESTROOM FAUCET	BRADLEY	S53-3300	POLISHED CHROME	-
PF5	URINAL	KOHLER	K-4991-ET/K-10956-SV	0 WHITE / CP POLISHED CHROME	-
PF6	RESTROOM SINK	KOHLER	K-2781-1	0 WHITE	-
PF7	CATERING PANTRY SINK/FAUCET/DISPOSAL	ELKAY/KOHLER/IN SINK ERATOR	ECTRU21179TC/K-72218-B7-CP/LC-50	STAINLESS STEEL/POLISHED CHROME	-
PF8	RESTROOM SINK	KOHLER	K-2783-1	0 WHITE	-
PF9	DRINKING FOUNTAIN	ELKAY	LCRSP8K	STAINLESS STEEL	REMOTE CHILLER
PF10	FLOOR MOUNTED TOILET	KOHLER	K-96057-B/K-10956-SV	0 WHITE / CP POLISHED CHROME	-
PF11	ADA SHOWER TRIM KIT	Bradley Corporation	K-99242	-	-
PF12	SHOWER TRIM KIT	KOHLER	K-72416/K-7395/K-TS74042-4	POLISHED CHROME	-
PF13	POOL HOUSE UNDERMOUNT SINK	KOHLER	K-2214-0	0 WHITE	-

### DEVICE NOTES

- REFER TO SHEET A-041 FOR STANDARD MOUNTING HEIGHTS. NOTE: ARCHITECTURAL MOUNTING HEIGHTS SHOWN OVERRIDE MEP MOUNTING HEIGHTS.
- ALL DEVICES SHOWN ON PLAN ARE THE DESIRED CONFIGURATION FOR THIS SPACE. CONTRACTOR TO REVIEW LOCATIONS OF ALL DEVICES AND WITH TENANT'S FURNITURE VENDOR OR TENANT'S FURNITURE COORDINATOR FOR APPROVAL, PRIOR TO INSTALLATION.
- NEW DEVICES TO BE WHITE WITH WHITE COVER PLATES, UN. ALL COLORS OF COVER PLATES ON TILE, STONE, OR WOOD FINISHES TO BE VERIFIED W/ ARCHITECT.
- DEDICATED DEVICES TO BE ORANGE WITH WHITE COVER PLATES, UN.
- COMPUTER RECEPTACLES TO BE GRAY WITH WHITE COVER PLATES, UN.
- ALL COVER PLATES TO BE WHITE LUTRON NTR-15-WH OR APPROVED EQUAL.

### DEVICE PLAN LEGEND

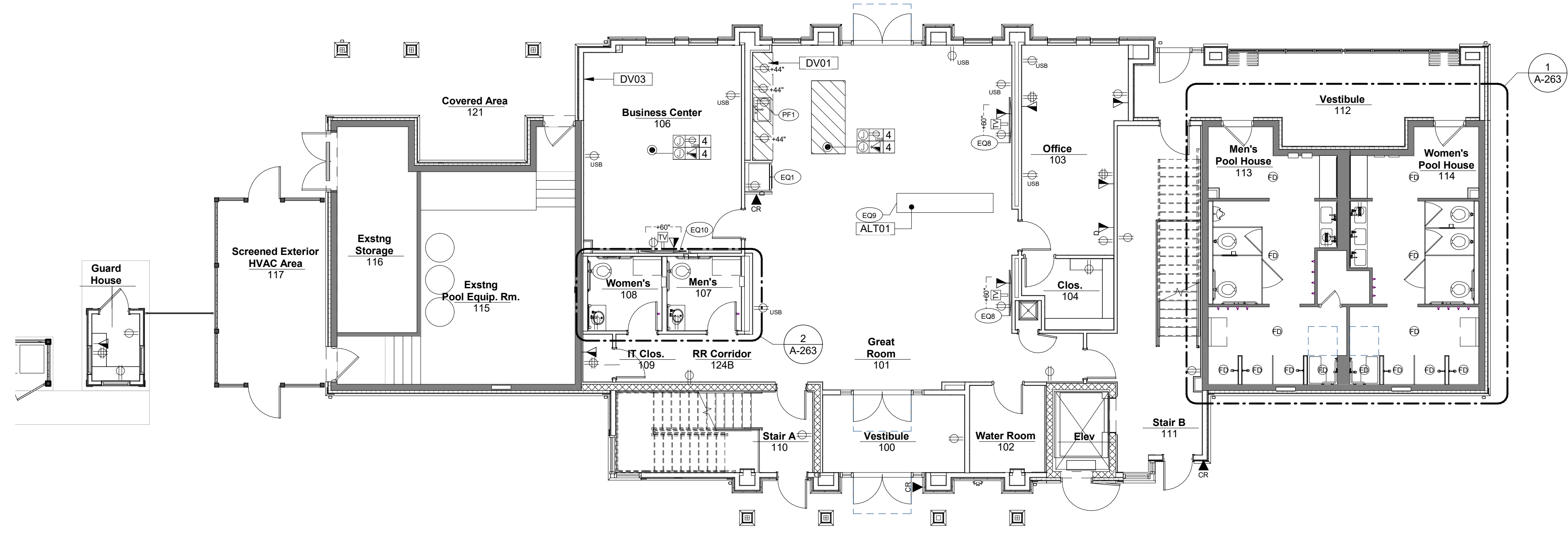
⊕	DUPLEX OUTLET	⊕	FURNITURE FEED FROM FLOOR (WHIP)
⊕	QUAD OUTLET	⊕	FURNITURE FEED FROM WALL (WHIP)
⊕	TELEPHONE/DATA OUTLET	D	DENOTES DEDICATED DEVICE FOR EQUIPMENT
CR	CARD READER	+XX"	DENOTES HEIGHT ABOVE FINISHED FLOOR
⊕	POKE THROUGH DEVICE (CONFIRM HARDWARE OR PLUG-IN DEVICE)	⊕	DENOTES EQUIPMENT TYPE (SEE EQUIPMENT SCHEDULE)
TV	CABLE TV OUTLET	?	DENOTES DEVICE SHEET KEYNOTE.
PP	POWER POLE	?	DENOTES ALTERNATE PRICING KEYNOTE.
J	JUNCTION BOX (FLOOR MOUNTED)		
J	JUNCTION BOX (CEILING MOUNTED)		
S	SINGLE POLE SWITCH		
---	CONDUIT FOR POKE THROUGH DEVICE		

**NUMBER OF DEVICES SERVED BY BASE FEED**

⊕	DENOTES NUMBER OF DEDICATED PC OUTLETS
⊕	DENOTES NUMBER OF DATA/TELEPHONE
⊕	DENOTES NUMBER OF OUTLETS

### SHEET NOTES

- ALT01 GC TO PROVIDE ADD ALT PRICING FOR MILLWORK SURROUND (SS-1) W/ 2-SIDED ELECTRIC FIREPLACE INSERT. MILLWORK TO BE APPROX 34"HX22"D X96"W, WITH 60" WIDE INSERT. SEE DEVICE PLAN FOR SPECIFICATION.
- DV01 GC TO PROVIDE 1/2" COPPER WATER LINE FOR COFFEE MAKER.
- DV03 PROVIDE ACCESS PANEL TO ELECTRICAL PANEL.



**1 LEVEL 1 DEVICE PLAN**  
1/8" = 1'-0"



**d|c|s**  
DESIGN

DAVIS  
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Architecture  
Interior Architecture  
Land Planning

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PROJECT TITLE  
**ECA CLUBHOUSE EXPANSION**

8400 UPPER SKY WAY  
LAUREL, MD 20723

PROJECT NO. 320762.00

DRAWING TITLE  
**LEVEL 1 DEVICE PLAN**

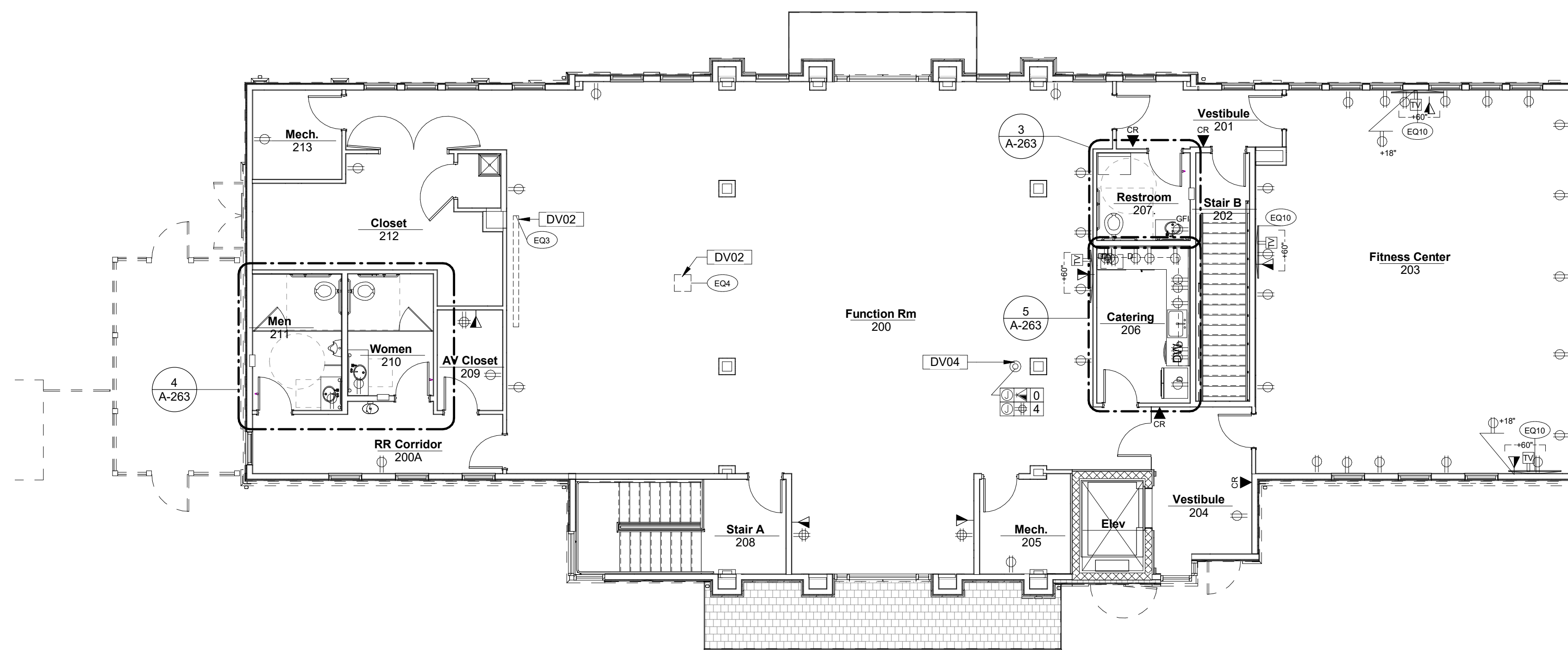
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QC CHECKED BY MS  
CA REVIEWED BY

DRAWING NUMBER  
**A-261**



Schedule EQUIPMENT					
ITEM	DESCRIPTION	MANUFACTURER	MODEL #	COLOR	REMARKS
EQ1	REFRIGERATOR	GE	PF28KSLSS	STAINLESS STEEL	GC TO FURNISH & INSTALL; PROVIDE COPPER WATERLINE
EQ2	DISHWASHER	GE	GDT225SLSS	STAINLESS STEEL	GC TO FURNISH & INSTALL; PROVIDE COPPER WATERLINE
EQ3	PROJECTOR SCREEN - RECESSED	-			PROVIDED BY OWNER; COORD. W/ AV
EQ4	PROJECTOR - CEILING MOUNTED	-			PROVIDED BY OWNER; COORD. W/ AV
EQ5	MICROWAVE	GE	PEB9159SJS	STAINLESS STEEL	GC TO FURNISH & INSTALL
EQ6	WARMING DRAWER	VIKING	RVEWD330	STAINLESS STEEL	
EQ7	UNDERCOUNTER ICE MAKER	HOSHIZAKI	AM-50BAJ-ADDS	STAINLESS STEEL	ADA COMPLIANT
EQ8	TV	SAMSUNG	FRAME		65" SIZE TYP.; WITH RECESSED BACK BOX (CHIEF PAC501)
EQ9	LED FIREPLACE	TBD	CUSTOM	BLACK	SEE ALT-01 ALTERNATE PRICING NOTE.
EQ10	DISPLAY SCREEN	-			

Schedule PLUMBING					
ITEM	DESCRIPTION	MANUFACTURER	MODEL #	COLOR	REMARKS
PF1	GREAT ROOM SINK/FAUCET/DISPOSAL	ELKAY/KOHLER/IN SINK ERATOR	ECTRU21179TC/K-22974-2MB/LC-50	STAINLESS STEEL/VIBRANT BRUSHED MODERNE BRASS	
PF2	RESTROOM FAUCET	BRADLEY	S53-3300	BRUSHED BRASS	
PF3	RESTROOM FAUCET	BRADLEY	S53-3300	POLISHED CHROME	
PF5	URINAL	KOHLER	K-4991-ET/K-10956-SV	0 WHITE / CP POLISHED CHROME	
PF6	RESTROOM SINK	KOHLER	K-2781-1	0 WHITE	
PF7	CATERING PANTRY SINK/FAUCET/DISPOSAL	ELKAY/KOHLER/IN SINK ERATOR	ECTRU21179TC/K-72218-B7-CP/LC-50	STAINLESS STEEL/POLISHED CHROME	
PF8	RESTROOM SINK	KOHLER	K-2783-1	0 WHITE	
PF9	DRINKING FOUNTAIN	ELKAY	LCRSP8K	STAINLESS STEEL	REMOTE CHILLER
PF10	FLOOR MOUNTED TOILET	KOHLER	K-96057-B/K-10956-SV	0 WHITE / CP POLISHED CHROME	
PF11	ADA SHOWER TRIM KIT	KOHLER	K-99242		
PF12	SHOWER TRIM KIT	KOHLER	K-72416/K-7395/K-TS74042-4	POLISHED CHROME	
PF13	POOL HOUSE UNDERMOUNT SINK	KOHLER	K-2214-0	0 WHITE	



## DEVICE NOTES

- REFER TO SHEET A-041 FOR STANDARD MOUNTING HEIGHTS. NOTE: ARCHITECTURAL MOUNTING HEIGHTS SHOWN OVERRIDE MEP MOUNTING HEIGHTS.
- ALL DEVICES SHOWN ON PLAN ARE THE DESIRED CONFIGURATION FOR THIS SPACE. CONTRACTOR TO REVIEW LOCATIONS OF ALL DEVICES AND WITH TENANT'S FURNITURE VENDOR OR TENANT'S FURNITURE COORDINATOR FOR APPROVAL, PRIOR TO INSTALLATION.
- NEW DEVICES TO BE WHITE WITH WHITE COVER PLATES, UNLESS NOTED OTHERWISE. ALL COLORS OF COVER PLATES ON TILE, STONE, OR WOOD FINISHES TO BE VERIFIED WITH ARCHITECT.
- DEDICATED DEVICES TO BE ORANGE WITH WHITE COVER PLATES, UNLESS NOTED OTHERWISE.
- COMPUTER RECEPTACLES TO BE GRAY WITH WHITE COVER PLATES, UNLESS NOTED OTHERWISE.
- ALL COVER PLATES TO BE WHITE LUTRON NTR-15-WH OR APPROVED EQUAL.

## DEVICE PLAN LEGEND

- ⊕ DUPLEX OUTLET
- ⊕ QUAD OUTLET
- ⊕ TELEPHONE/DATA OUTLET
- CR CARD READER
- ⊕ POKE THROUGH DEVICE (CONFIRM HARDWARE OR PLUG-IN DEVICE)
- TV CABLE TV OUTLET
- PP POWER POLE
- J JUNCTION BOX (FLOOR MOUNTED)
- ⊕ JUNCTION BOX (CEILING MOUNTED)
- ⊕ SINGLE POLE SWITCH
- CONDUIT FOR POKE THROUGH DEVICE
- NUMBER OF DEVICES SERVED BY BASE FEED
- ⊕ DENOTES NUMBER OF DEDICATED PC OUTLETS
- ⊕ DENOTES NUMBER OF DATA/TELEPHONE
- ⊕ DENOTES NUMBER OF OUTLETS
- ⊕ FURNITURE FEED FROM FLOOR (WHIP)
- ⊕ FURNITURE FEED FROM WALL (WHIP)
- D DENOTES DEDICATED DEVICE FOR EQUIPMENT
- +XX" DENOTES HEIGHT ABOVE FINISHED FLOOR
- ⊕ DENOTES EQUIPMENT TYPE (SEE EQUIPMENT SCHEDULE)
- ? DENOTES DEVICE SHEET KEYNOTE.
- ? DENOTES ALTERNATE PRICING KEYNOTE.

## SHEET NOTES

- DV02 PROVIDE JUNCTION BOX ABOVE CEILING FOR AV EQUIPMENT PROVIDED BY OWNER  
 DV04 COORDINATE FINAL LOCATION OF POKE-THRU WITH OWNER



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PROJECT TITLE  
**ECA CLUBHOUSE EXPANSION**

8400 UPPER SKY WAY  
LAUREL, MD 20723

PROJECT NO. 320762.00

DRAWING TITLE  
**LEVEL 2 DEVICE PLAN**

DRAWN BY SHMS  
QC CHECKED BY MS  
CA REVIEWED BY

DRAWING NUMBER

**A-262**

## 1 LEVEL 2 DEVICE PLAN

1/8" = 1'-0"









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PROJECT TITLE  
**ECA CLUBHOUSE EXPANSION**

8400 UPPER SKY WAY  
LAUREL, MD 20723

PROJECT NO. 320762.00

DRAWING TITLE  
**LEVEL 1 FINISH PLAN**

DRAWN BY SHMS  
QC CHECKED BY MS  
CA REVIEWED BY

DRAWING NUMBER  
**A-271**

**FINISH NOTES**

1. REFER TO SPECIFICATIONS FOR ADDITIONAL NOTES AND INFORMATION.
2. REFER TO SHEET A-042 FOR STANDARD FLOORING TRANSITION DETAILS.
3. ALL MATERIALS TO BE INSTALLED PER MANUFACTURER'S INSTALLATION INSTRUCTIONS, INCLUDING PREPARATION OF SUBSTRATE.
4. ALL FINISHES TO COMPLY WITH IBC TABLE 803.9.

**PARTITIONS**

1. INSIDE CLOSETS TO MATCH ADJACENT ROOMS.

**DOORS AND FRAMES**

1. REUSED AND RELOCATED PAINT GRADE AND/OR STAINED DOORS AND FRAMES TO BE SANDED SMOOTH, PRIMED (AS REQUIRED TO BLOCK WOOD) AND REPAINTED TO 'LIKE NEW' CONDITION. SEE SHEET A-050 FOR SPECIFIED PAINT FINISH.
2. GC TO PROVIDE ADEQUATE TRANSITION STRIPS AT ALL FLOOR TRANSITIONS (SCHLUTER OR EQUAL), PROVIDE TO ARCHITECT FOR APPROVAL.

**CEILING**

1. FOR EXPOSED SLAB/OPEN CEILING SPECIFIED, CONTRACTOR TO PROPERLY PRIME AND PAINT ALL ELEMENTS AS SPECIFIED. COVER/PROTECT ALL CODE-REQUIRED OR VISIBLE TAGS.

**MISCELLANEOUS**

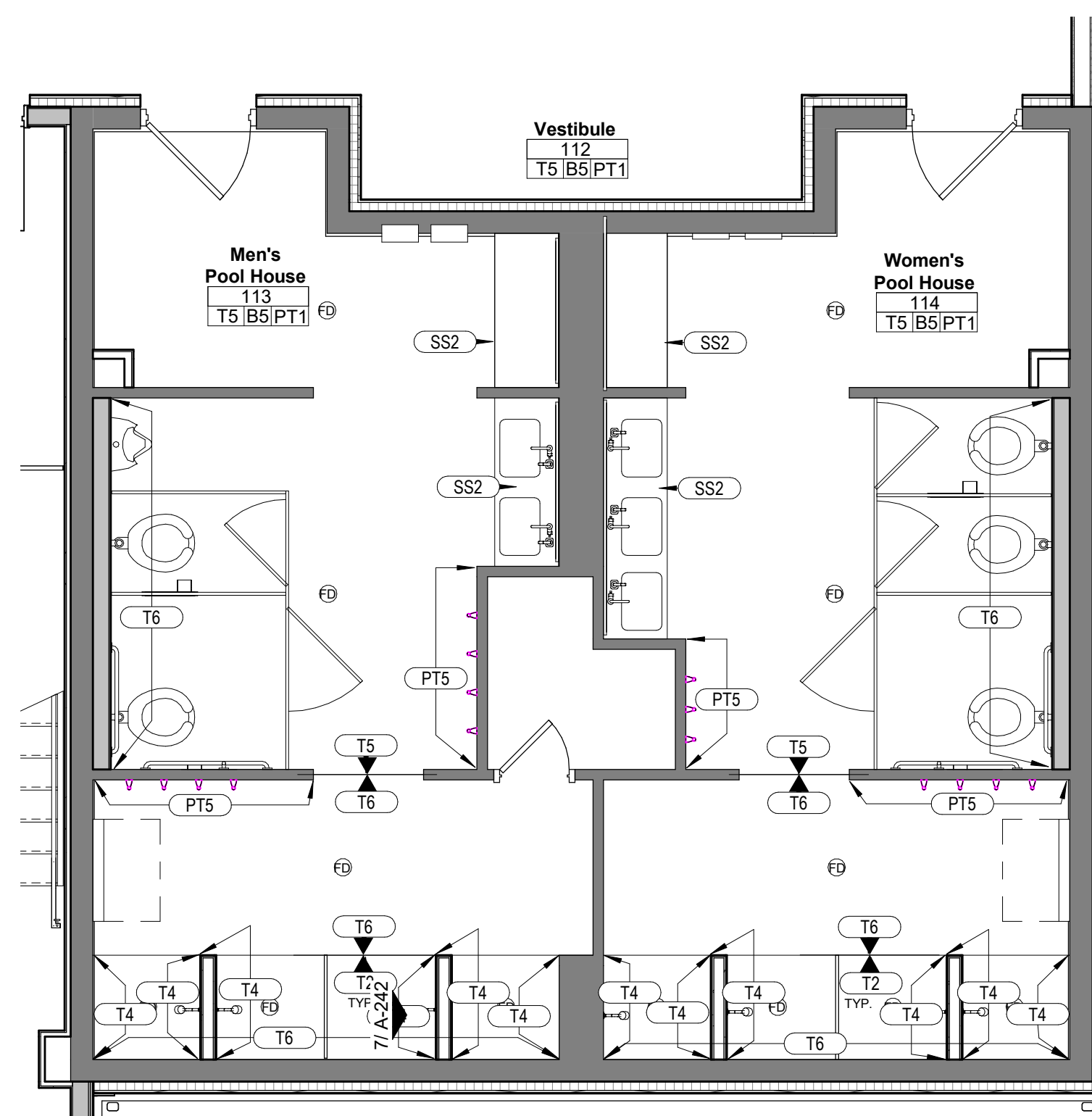
1. VERIFY EXISTING CONDITIONS OF PERIMETER WINDOW SILLS, FRAMES, MULLIONS, AND/OR CONVECTOR UNITS AND PREPARE TO 'LIKE NEW' CONDITION. ALLOWANCE TO BE INCLUDED IN CONSTRUCTION PRICING.
2. ALL FIRE EXTINGUISHER CABINETS AND FIRE STANDPIPE CABINETS TO BE PRIMED AND PAINTED IN A SEMI-GLOSS FINISH TO MATCH ADJACENT PARTITION FINISH, UON.
3. AT ALL WALKING SURFACES (FLOOR) OF MEANS OF EGRESS (STAIR TREADS AND LANDING) PROVIDE SLIP-RESISTANT CONCRETE SURFACES.
4. FLOORING AND BASE INSIDE CLOSETS TO MATCH ADJACENT ROOMS, U.O.N.

**FINISH PLAN LEGEND**

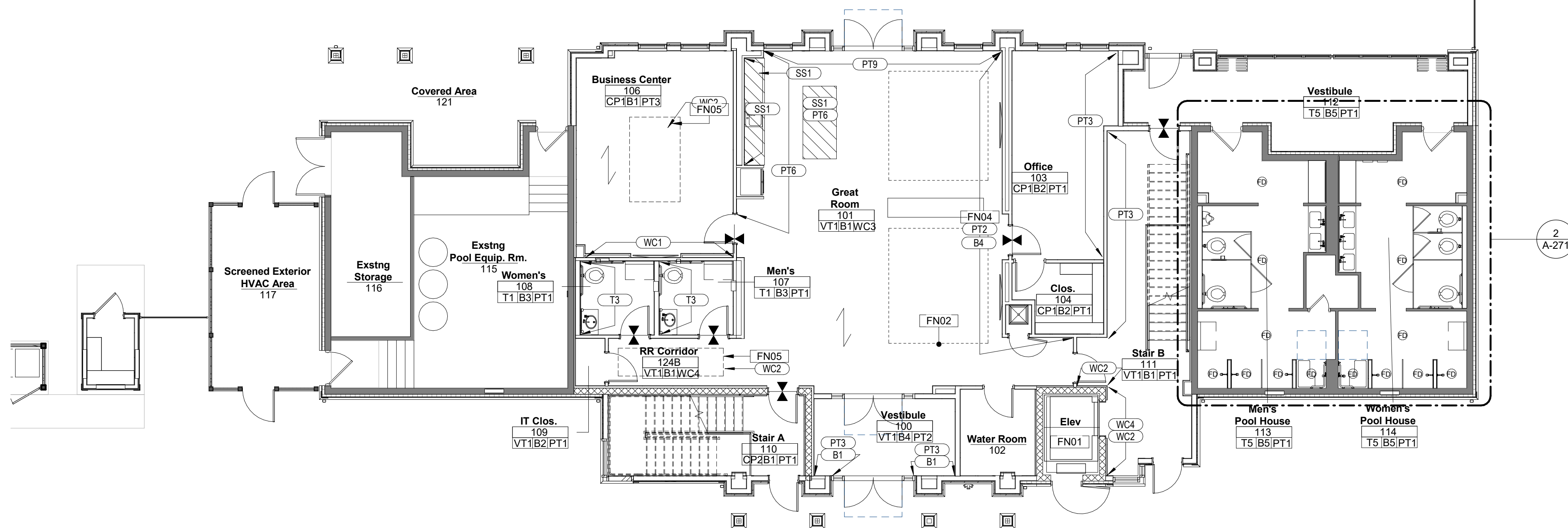
- FINISH PATTERN DIRECTION
- PLAN KEYNOTES
- ALTERNATE PRICING KEYNOTES
- NIC (THIS AREA NOT IN CONTRACT)
- FINISH SYMBOL
- FLOORING TRANSITION AS SPECIFIED
- FULL TILE START POINT

**SHEET NOTES**

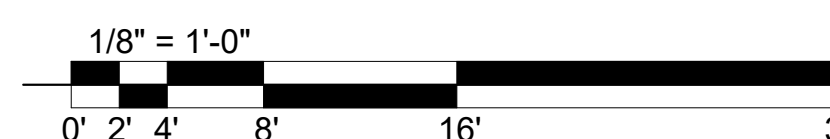
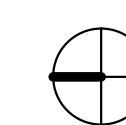
FN01	INTERIOR ELEVATOR CAB WALL AND CEILING FINISHES TO BE FROM ELEVATOR MANUF PRE-FABRICATED FINISHES. LAMINATE WALL PANELS, FLAT HANDRAIL, LED PERIMETER CEILING BY OTIS. FLOORING TO BE VT-1.
FN02	ALLOWANCE FOR (2) 10X12 CUSTOM AREA RUGS, \$5,000.
FN04	INSTALL 2-1/2"X1/2" WOOD WALL MOULDING TRIM AT ALL LOCATIONS NOTED. SEE ELEVATIONS FOR ADDITIONAL DETAILS. PAINT TO MATCH WALL FINISH.
FN05	WC2 WALLCOVERING APPLIED TO DRYWALL CEILING IN THIS AREA. DRYWALL TO BE LEVEL 5 FINISH; SEE RCP.



**2 POOL HOUSE ENLARGED FINISH PLAN**  
1/4" = 1'-0"



**1 LEVEL 1 INTERIORS FINISH PLAN**  
1/8" = 1'-0"





### FINISH NOTES

- REFER TO SPECIFICATIONS FOR ADDITIONAL NOTES AND INFORMATION.
- REFER TO SHEET A-042 FOR STANDARD FLOORING TRANSITION DETAILS.
- ALL MATERIALS TO BE INSTALLED PER MANUFACTURER'S INSTALLATION INSTRUCTIONS, INCLUDING PREPARATION OF SUBSTRATE.
- ALL FINISHES TO COMPLY WITH IBC TABLE 803.9.

#### PARTITIONS

- INSIDE CLOSETS TO MATCH ADJACENT ROOMS.

#### DOORS AND FRAMES

- REUSED AND RELOCATED PAINT GRADE AND/OR STAINED DOORS AND FRAMES TO BE SANDED SMOOTH, PRIMED (AS REQUIRED TO BLOCK WOOD) AND REPAINTED TO 'LIKE NEW' CONDITION. SEE SHEET A-050 FOR SPECIFIED PAINT FINISH.
- GC TO PROVIDE ADEQUATE TRANSITION STRIPS AT ALL FLOOR TRANSITIONS (SCHLUTER OR EQUAL). PROVIDE TO ARCHITECT FOR APPROVAL.

#### CEILING

- FOR EXPOSED SLAB/OPEN CEILINGS SPECIFIED, CONTRACTOR TO PROPERLY PRIME AND PAINT ALL ELEMENTS AS SPECIFIED. COVER/PROTECT ALL CODE-REQUIRED OR VISIBLE TAGS.

#### MISCELLANEOUS

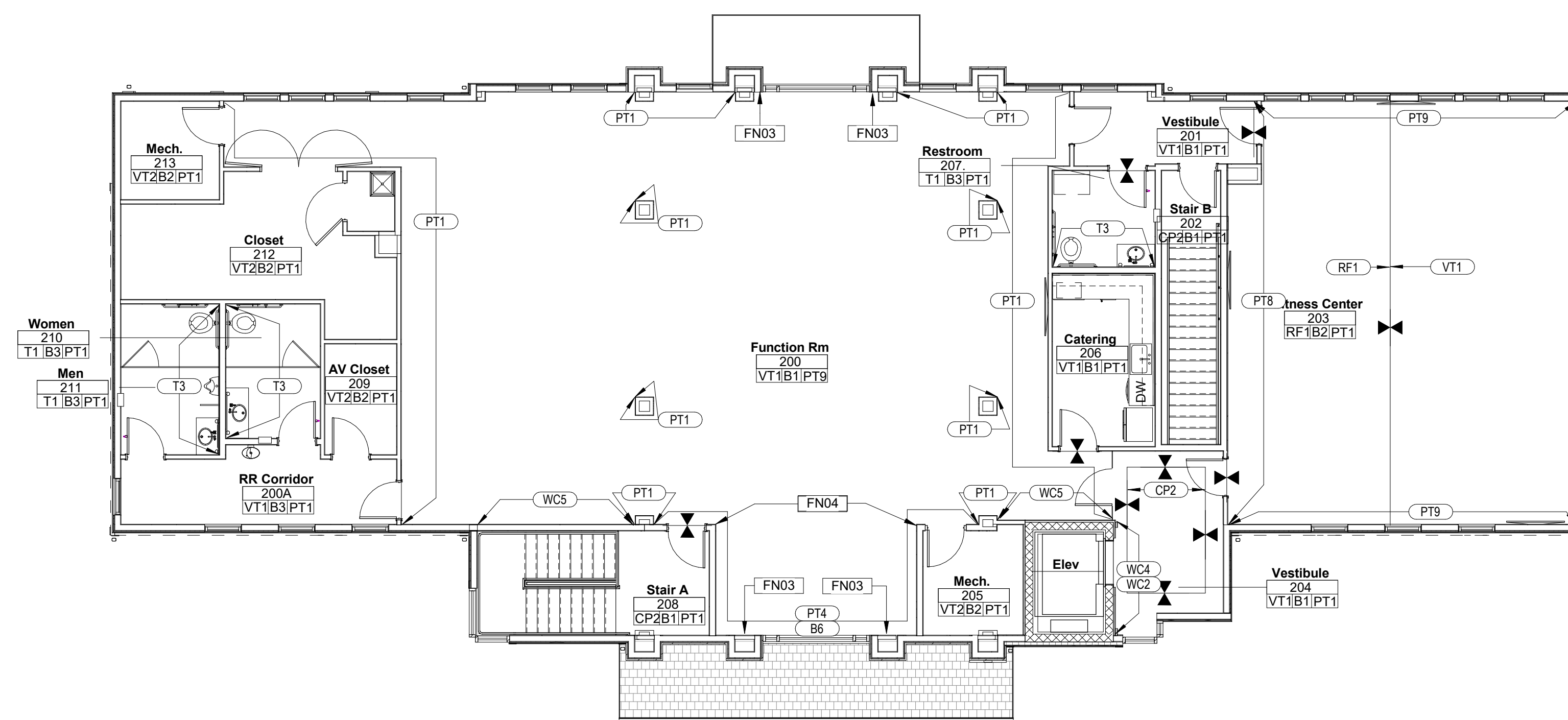
- VERIFY EXISTING CONDITIONS OF PERIMETER WINDOW SILLS, FRAMES, MULLIONS, AND/OR CONVECTOR UNITS AND PREPARE TO 'LIKE NEW' CONDITION. ALLOWANCE TO BE INCLUDED IN CONSTRUCTION PRICING.
- ALL FIRE EXTINGUISHER CABINETS AND FIRE STANDPIPE CABINETS TO BE PRIMED AND PAINTED IN A SEMI-GLOSS FINISH TO MATCH ADJACENT PARTITION FINISH, U.O.N.
- AT ALL WALKING SURFACES (FLOOR) OF MEANS OF EGRESS (STAIR TREADS AND LANDING) PROVIDE SLIP-RESISTANT CONCRETE SURFACES.
- FLOORING AND BASE INSIDE CLOSETS TO MATCH ADJACENT ROOMS, U.O.N.

### FINISH PLAN LEGEND

- FINISH PATTERN DIRECTION
- PLAN KEYNOTES
- ALTERNATE PRICING KEYNOTES
- NIC (THIS AREA NOT IN CONTRACT)
- FINISH SYMBOL
- FLOORING TRANSITION AS SPECIFIED
- F.T. FULL TILE START POINT

### SHEET NOTES

- FN03 GC TO FURNISH AND INSTALL FULL-HEIGHT DRAPERY STATIONARY PANELS IN RECESSED DRAPERY POCKET. FABRIC ALLOWANCE: 340/YD.
- FN04 INSTALL 2-1/2"X1/2" WOOD WALL MOULDING TRIM AT ALL LOCATIONS NOTED. SEE ELEVATIONS FOR ADDITIONAL DETAILS. PAINT TO MATCH WALL FINISH.



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ISSUE DATE  
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PERMIT SUBMISSION 02/05/2021  
PRICING SET 03/24/2021

REVISION DATE

PROJECT TITLE  
**ECA CLUBHOUSE EXPANSION**

8400 UPPER SKY WAY  
LAUREL, MD 20723

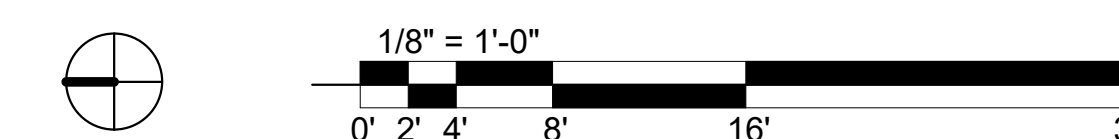
PROJECT NO. 320762.00

DRAWING TITLE  
**LEVEL 2 FINISH PLAN**

DRAWN BY SHMS  
QC CHECKED BY MS  
CA REVIEWED BY

DRAWING NUMBER  
**A-272**

**1 LEVEL 2 INTERIORS FINISH PLAN**  
1/8" = 1'-0"





EXTERIOR ELEVATION KEYNOTES	
KEY VALUE	DESCRIPTION
EL01	BRICK - EXISTING TO REMAIN
EL02	THIN STONE VENEER - EQUIVALENT TO K2STONE / OCEAN PEARL COURSED PACIFIC ASHLAR 2", 4", 6" & 8"
EL03	5/16" FIBER CEMENT BOARD - LAP SIDING - HARDIE OR SIMILAR; COLOR: ARCTIC WHITE
EL04	5/16" FIBER CEMENT BOARD - LAP SIDING - HARDIE OR SIMILAR; COLOR: COBBLE STONE
EL05	STONE SILL - EQUIVALENT TO K2STONE / OCEAN PEARL SPLIT TOP WAINSCOT SILL
EL06	PVC TRIM BOARD - VERSATEX 1"x8" OR SIMILAR; COLOR: WHITE
EL07	VINYL PICTURE WINDOW W / LOW E CLEAR INSULATED GLASS - MI 4340 PICTURE WINDOW OR SIMILAR - COLOR: WHITE
EL08	VINYL CASEMENT WINDOW W / LOW E CLEAR INSULATED GLASS - MI 9770 CASEMENT WINDOW OR SIMILAR - COLOR: WHITE
EL10	METAL SCUPPER AND DOWNSPOUT; COLOR: WHITE
EL11	ASPHALT ROOF SHINGLES
EL12	ALUMINUM STOREFRONT SYSTEM
EL13	ARCHITECTURAL LOUVER; COLOR TO MATCH ADJACENT FINISH.

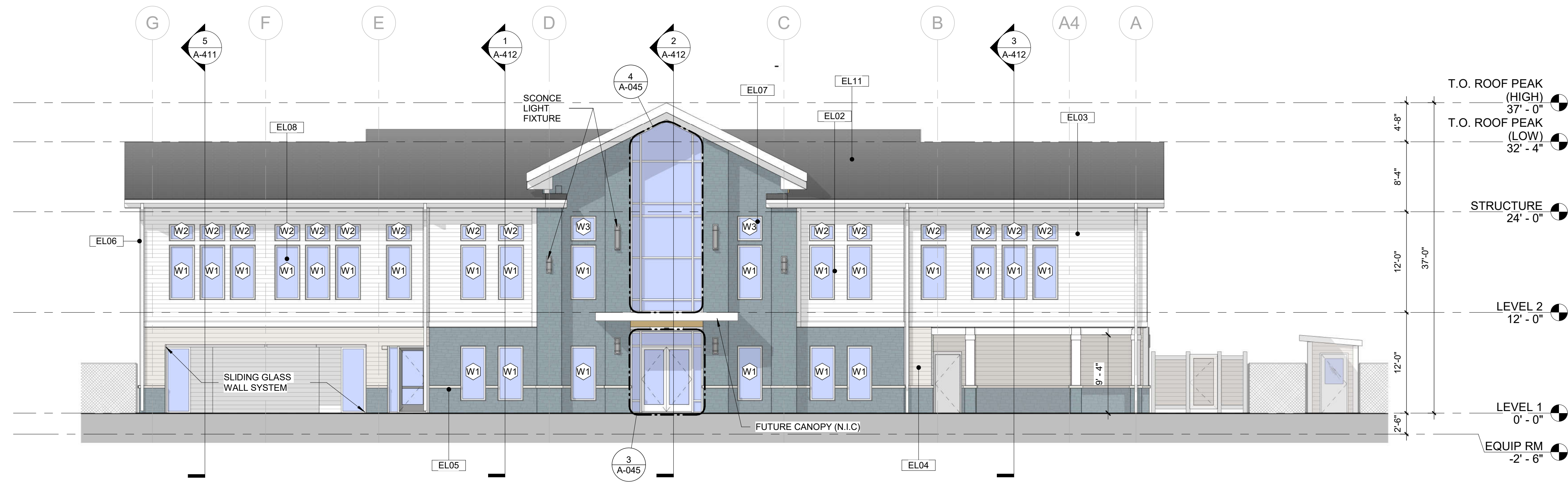
**d|c|s**  
DESIGN

DAVIS  
CARTER  
SCOTT Ltd

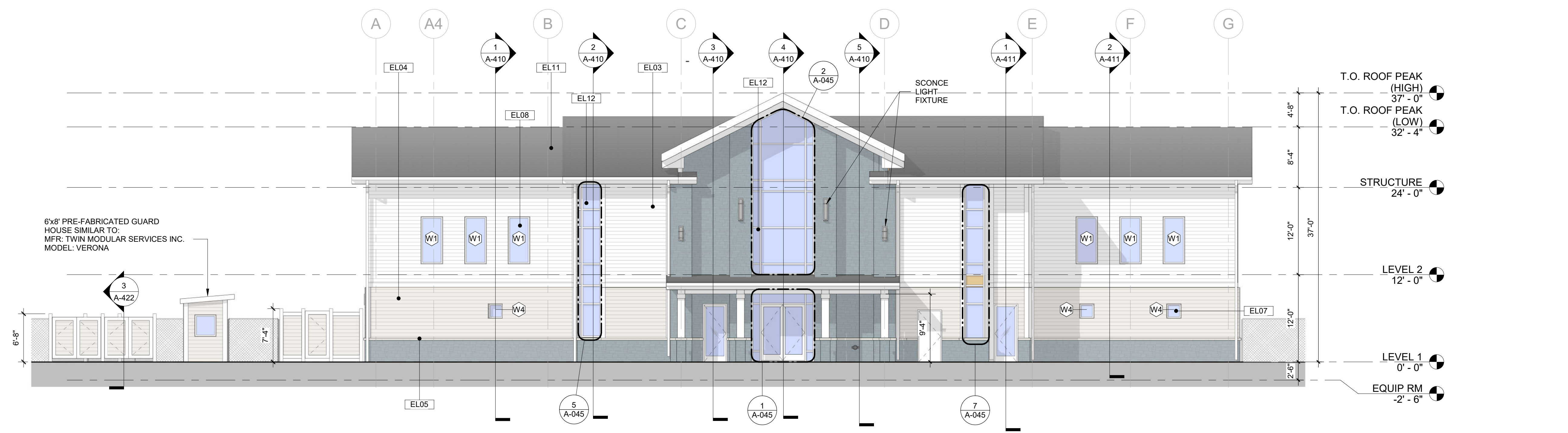
Architecture  
Interior Architecture  
Land Planning

8614 Westwood Center Dr.  
Suite 800  
Tysons, Virginia 22182

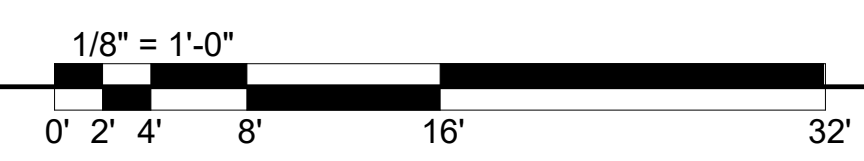
P 703 556 9375  
F 703 821 6976  
www.dcsdesign.com



**2 EAST ELEVATION**  
1/8" = 1'-0"



**1 WEST ELEVATION**  
1/8" = 1'-0"



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PRICING SET 03/24/2021

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PROJECT TITLE  
**ECA CLUBHOUSE EXPANSION**

8400 UPPER SKY WAY  
LAUREL, MD 20723

PROJECT NO. 320762.00

DRAWING TITLE  
**EXTERIOR ELEVATIONS**

DRAWN BY MK  
QC CHECKED BY CG  
CA REVIEWED BY

DRAWING NUMBER  
**A-301**

C:\Users\jcarroll\OneDrive\Desktop\ECA Clubhouse Expansion\320762.00\_ECA Clubhouse Expansion.dwg 3/24/2021 4:35:18 PM

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PROJECT TITLE  
**ECA CLUBHOUSE EXPANSION**

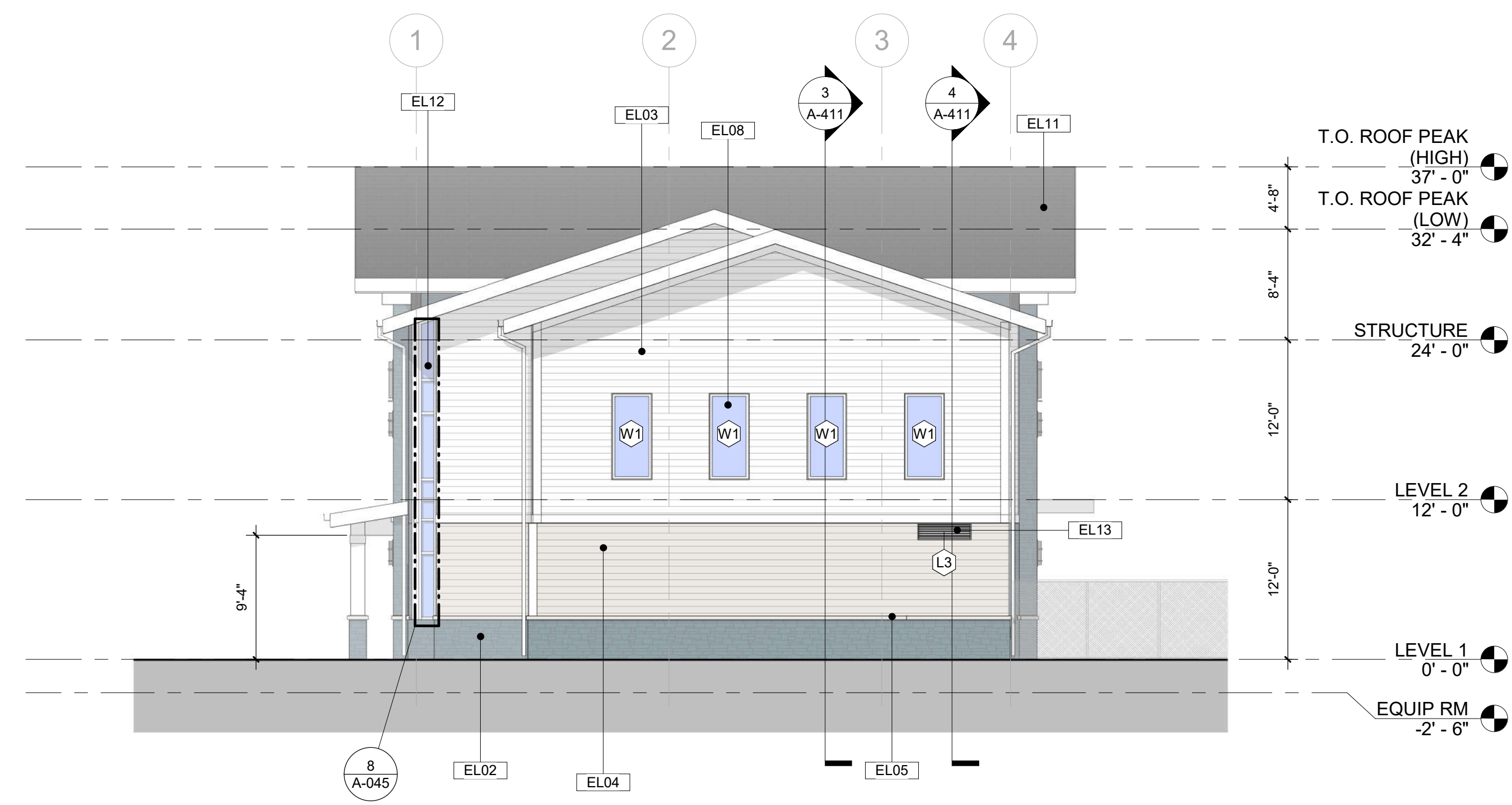
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LAUREL, MD 20723

PROJECT NO. 320762.00

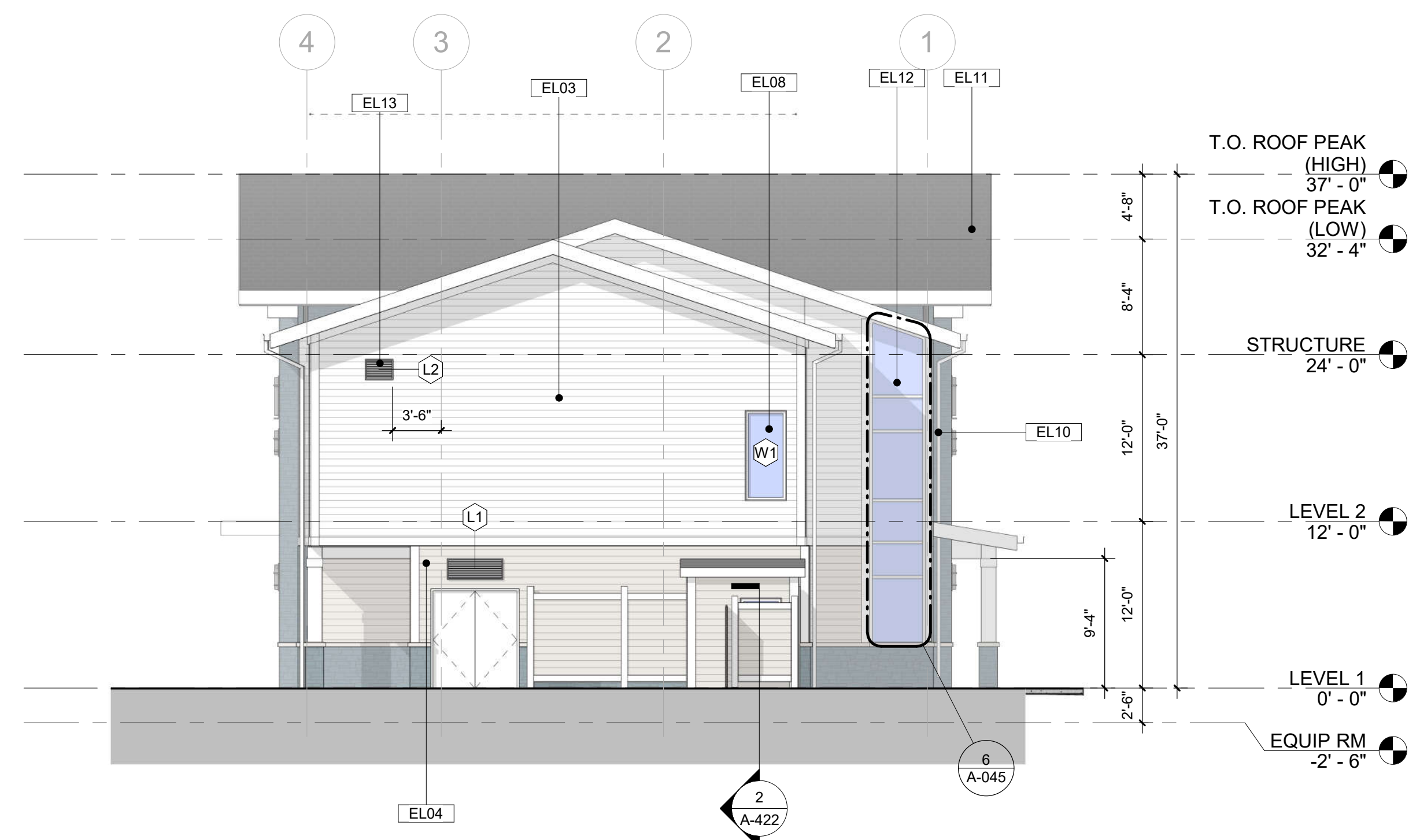
DRAWING TITLE  
**EXTERIOR ELEVATIONS**

DRAWN BY MK  
QC CHECKED BY CG  
CA REVIEWED BY

DRAWING NUMBER  
**A-302**



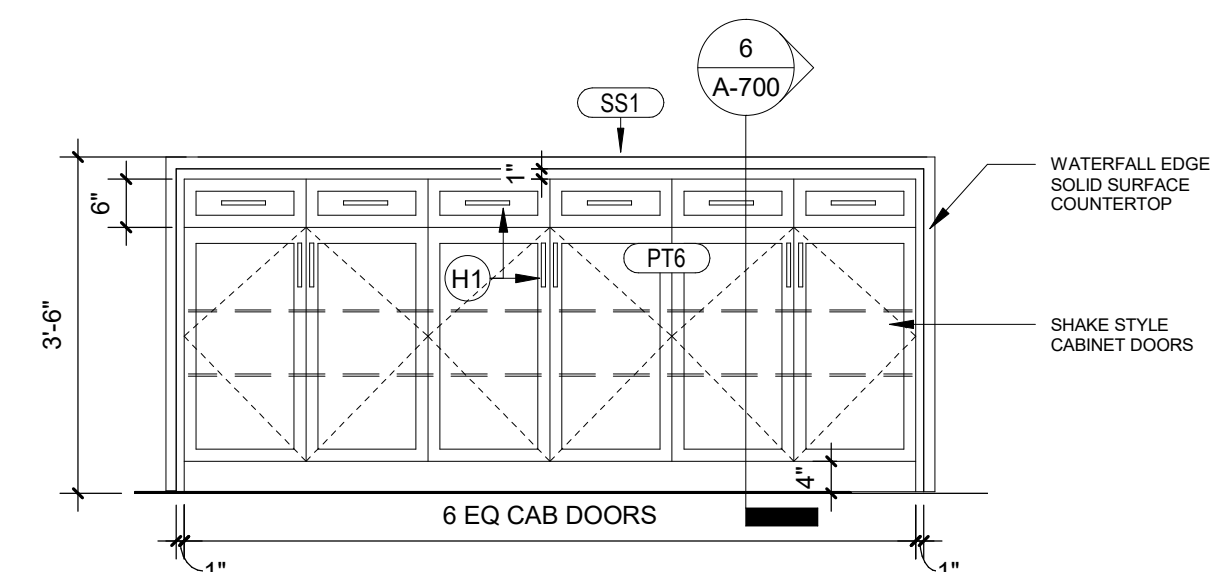
**2 SOUTH ELEVATION**  
1/8" = 1'-0"



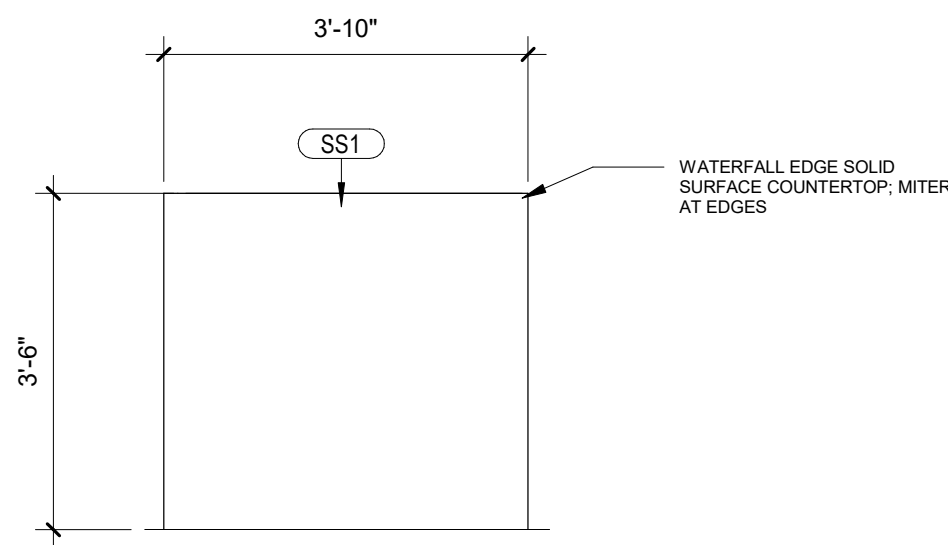
**1 NORTH ELEVATION**  
1/8" = 1'-0"



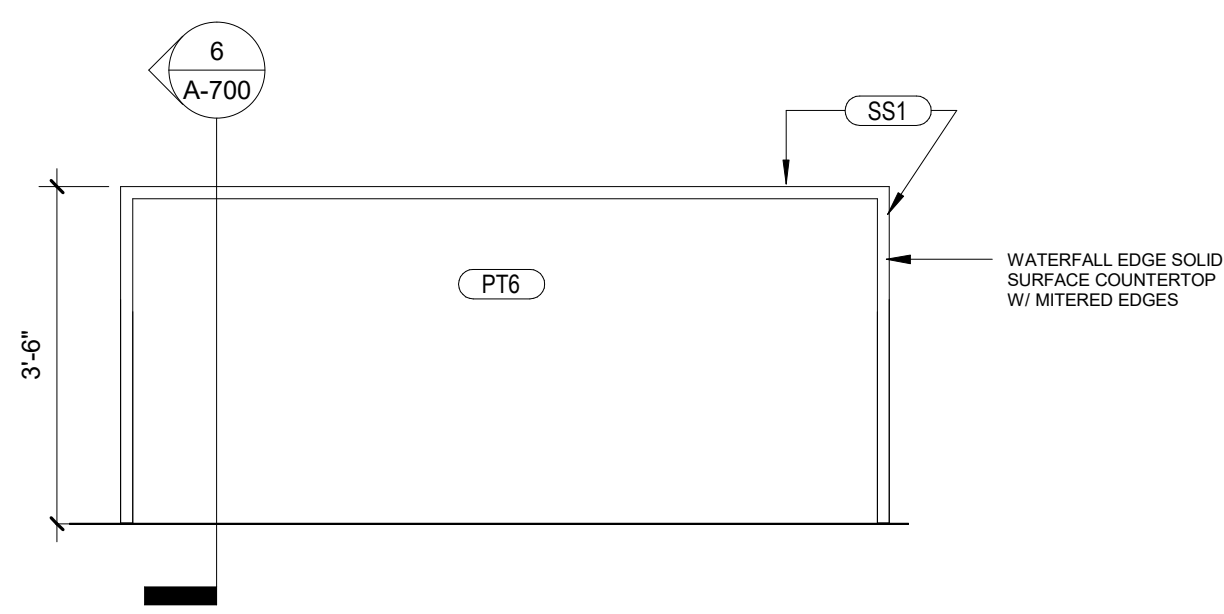
MILLWORK HARDWARE SCHEDULE						
ITEM	DESCRIPTION	MANUF.	MODEL	FINISH	SIZE	REMARKS
H1	HANDLE: DISTRICT COLLECTION	HAFELE	155.01.905	BRUSHED BRASS	128 MM CTC	
H2	BAR HANDLE: COSMOPOLITAN COLLECTION	HAFELE	155.99.000	BRUSHED NICKEL	96 MM CTC	



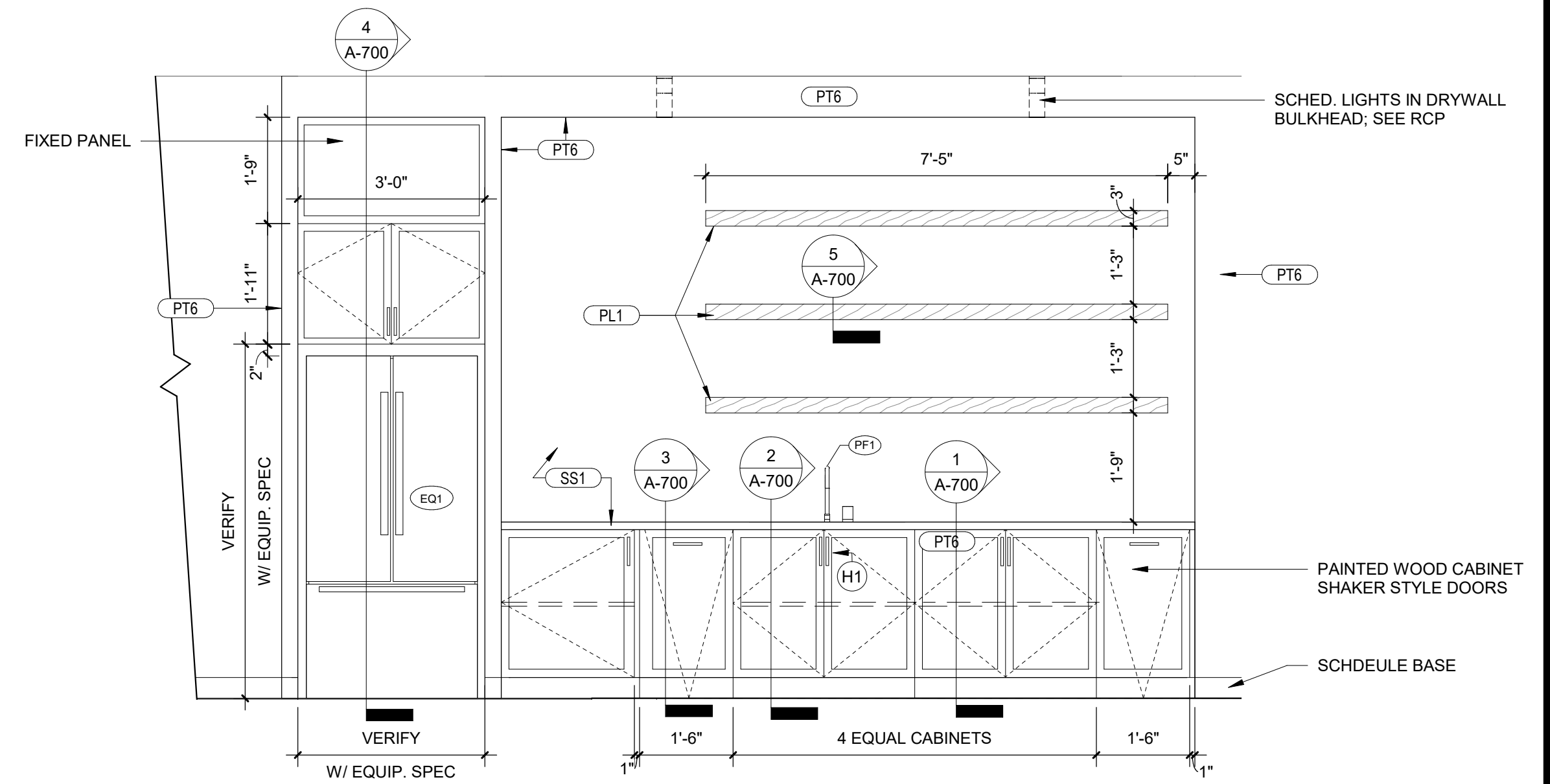
**10 ELEVATION @ GREAT ROOM ISLAND C**  
1/2" = 1'-0"



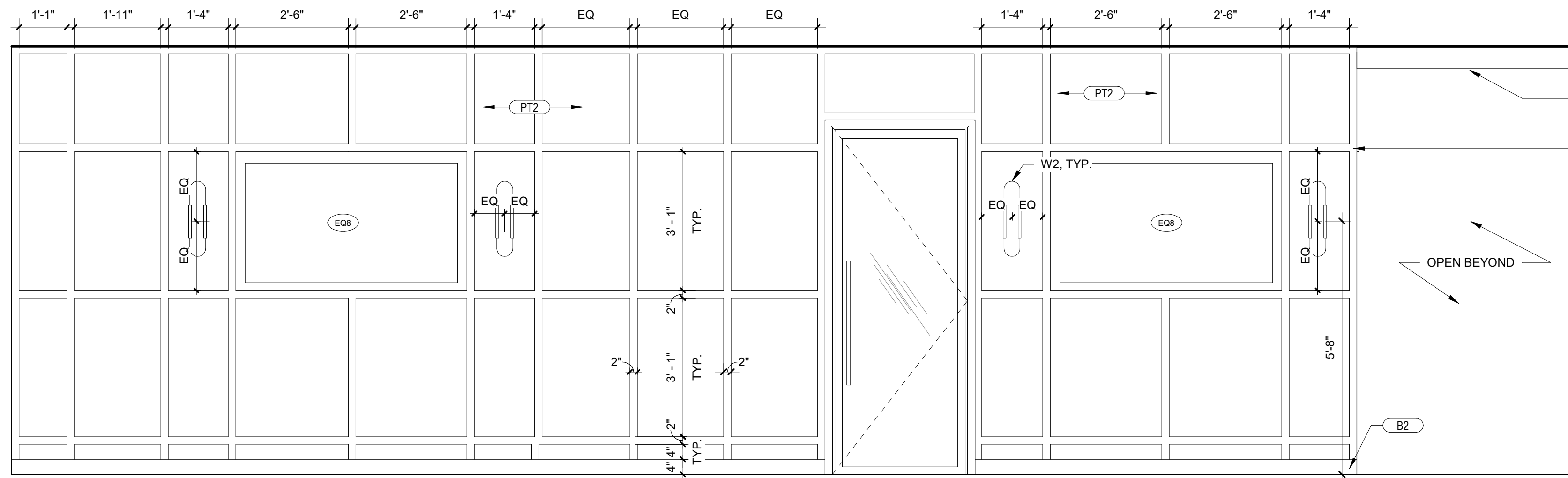
**9 ELEVATION @ GREAT ROOM ISLAND B**  
1/2" = 1'-0"



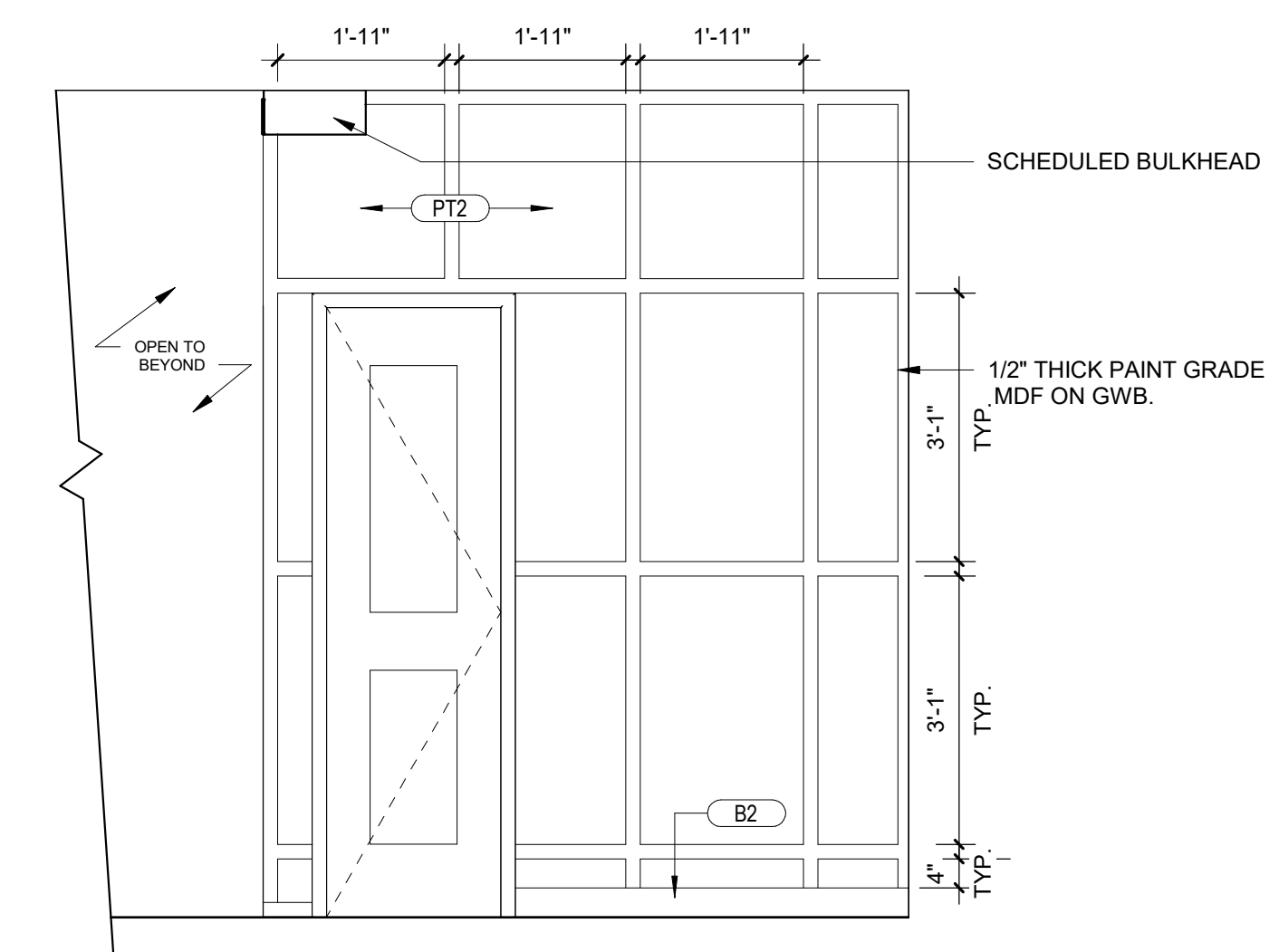
**8 ELEVATION @ GREAT ROOM ISLAND A**  
1/2" = 1'-0"



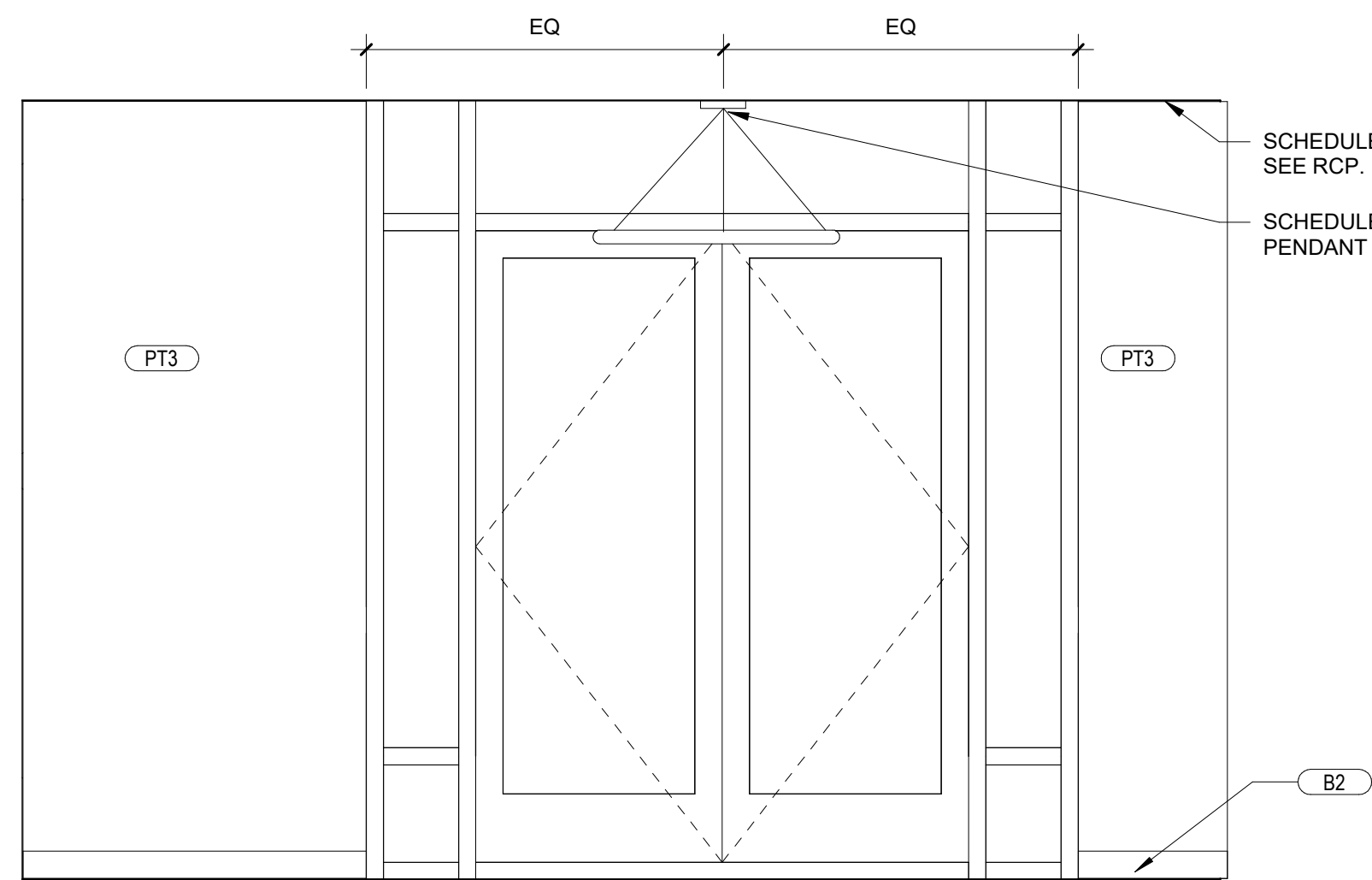
**7 ELEVATION @ GREAT ROOM BAR**  
1/2" = 1'-0"



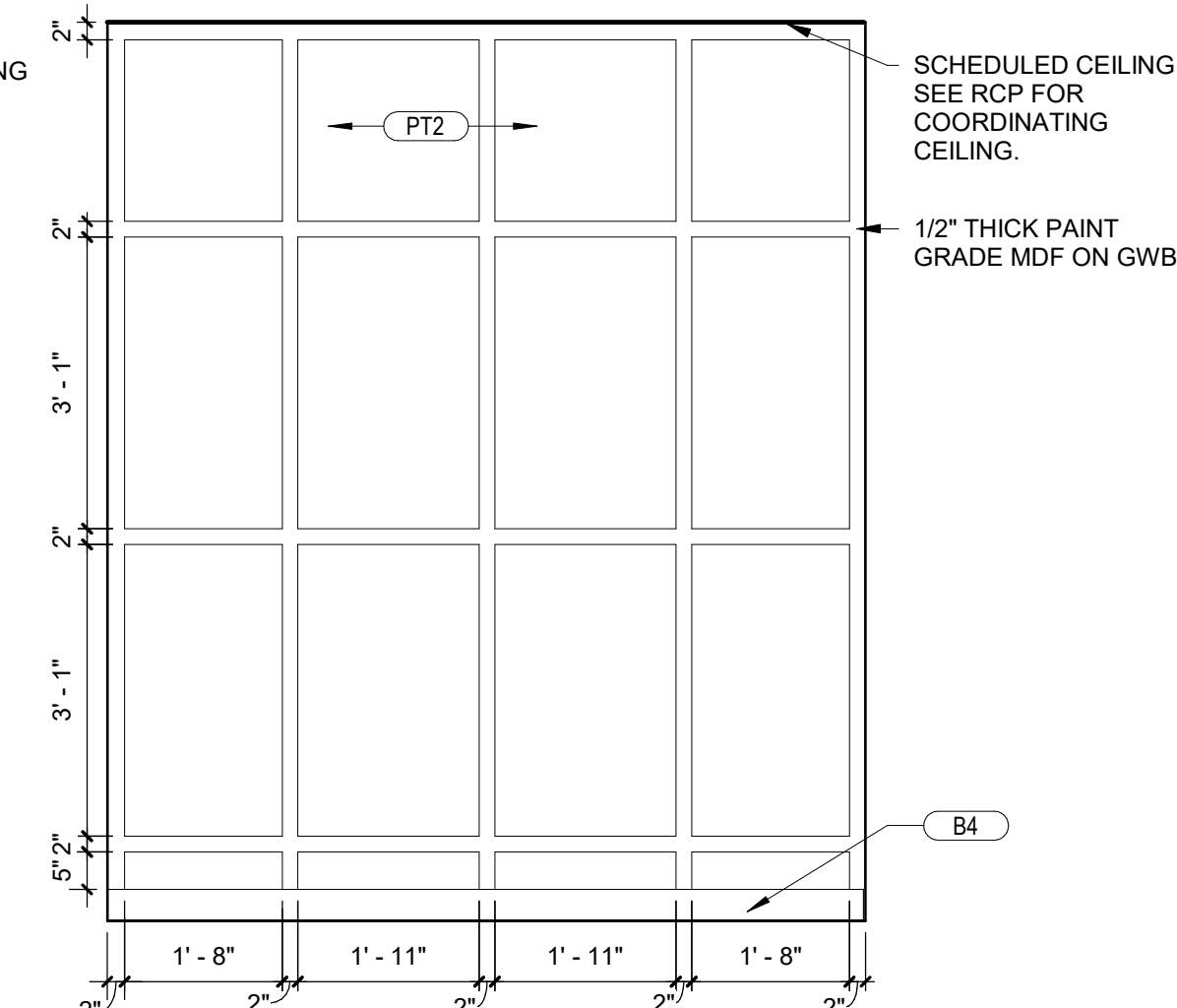
**6 ELEVATION @ GREAT ROOM B**  
1/2" = 1'-0"



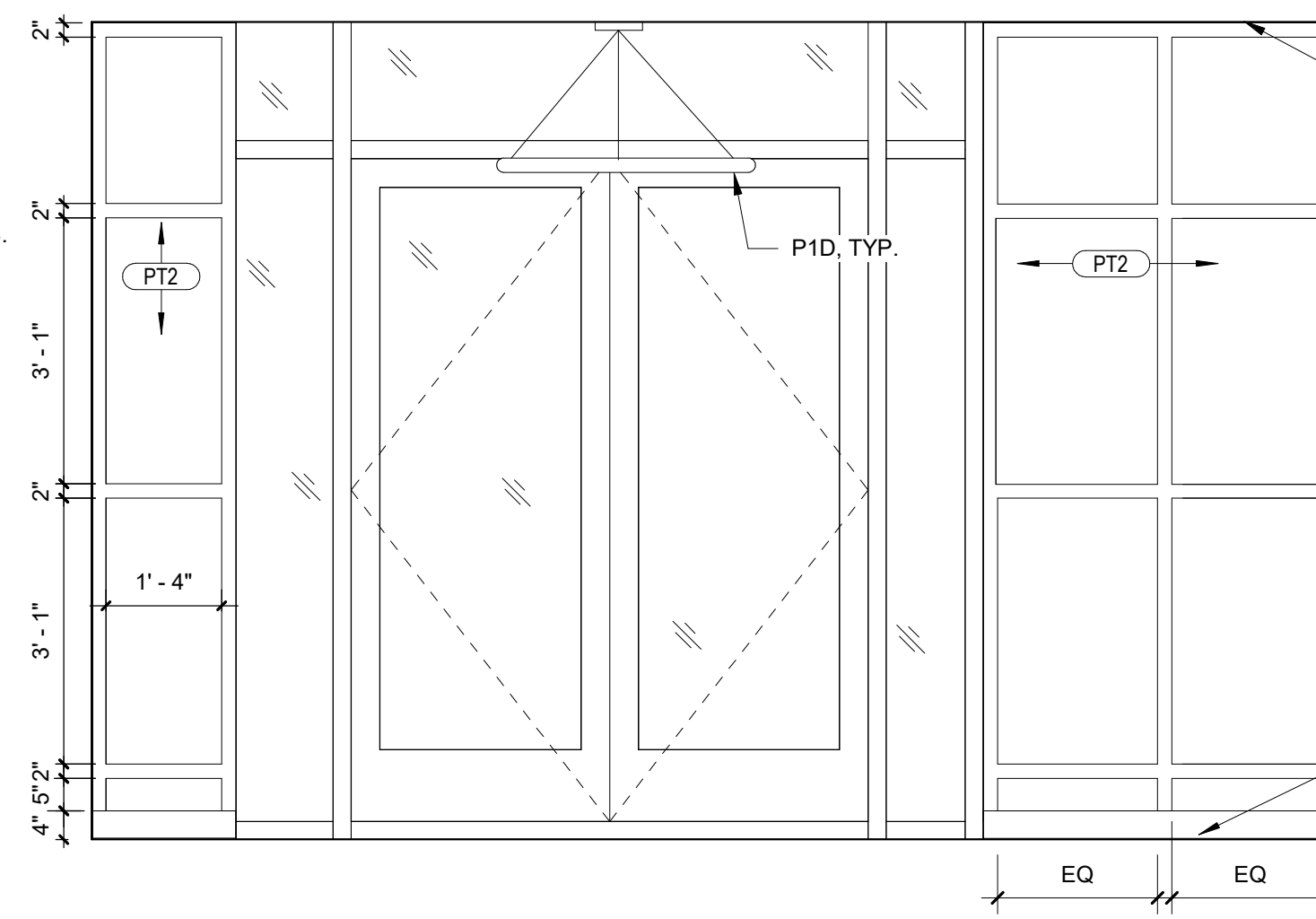
**5 ELEVATION @ GREAT ROOM A**  
1/2" = 1'-0"



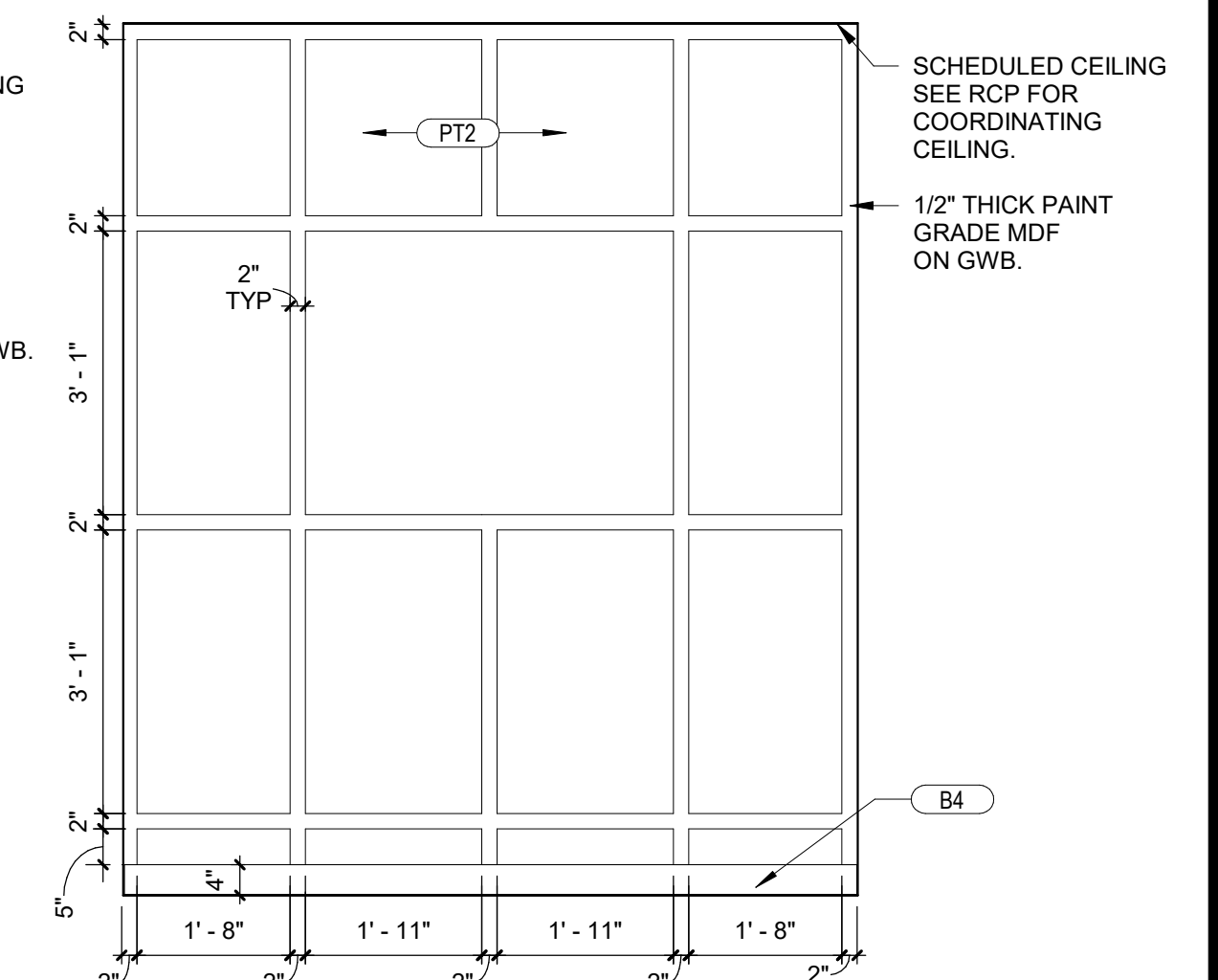
**4 ELEVATION @ VESTIBULE 100 D**  
1/2" = 1'-0"



**3 ELEVATION @ VESTIBULE 100 C**  
1/2" = 1'-0"



**2 ELEVATION @ VESTIBULE 100 B**  
1/2" = 1'-0"



**1 ELEVATION @ VESTIBULE 100 A**  
1/2" = 1'-0"



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PROJECT TITLE

ECA CLUBHOUSE EXPANSION

8400 UPPER SKY WAY  
LAUREL, MD 20723

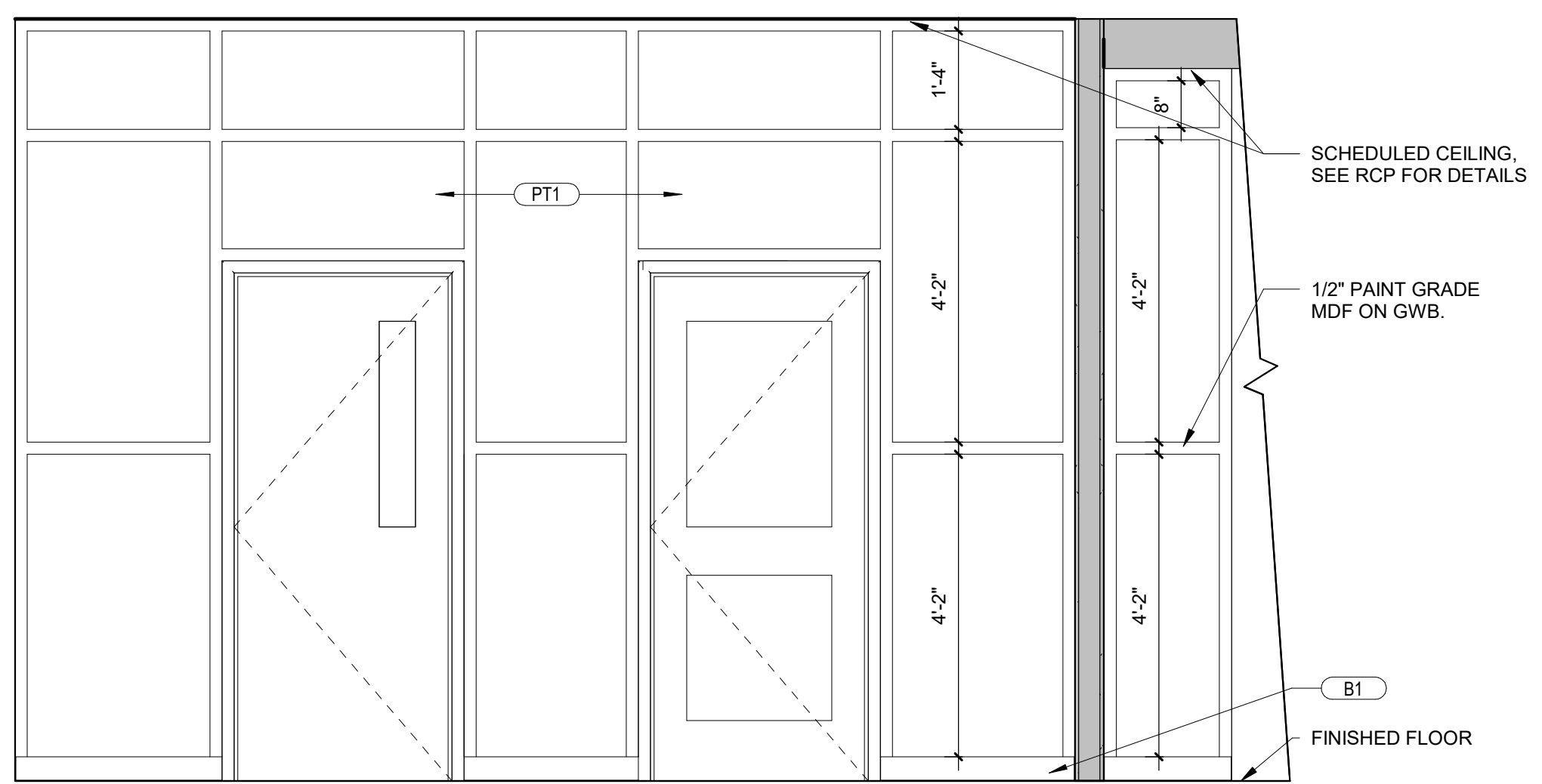
PROJECT NO. 320762.00

DRAWING TITLE  
INTERIOR ELEVATIONS

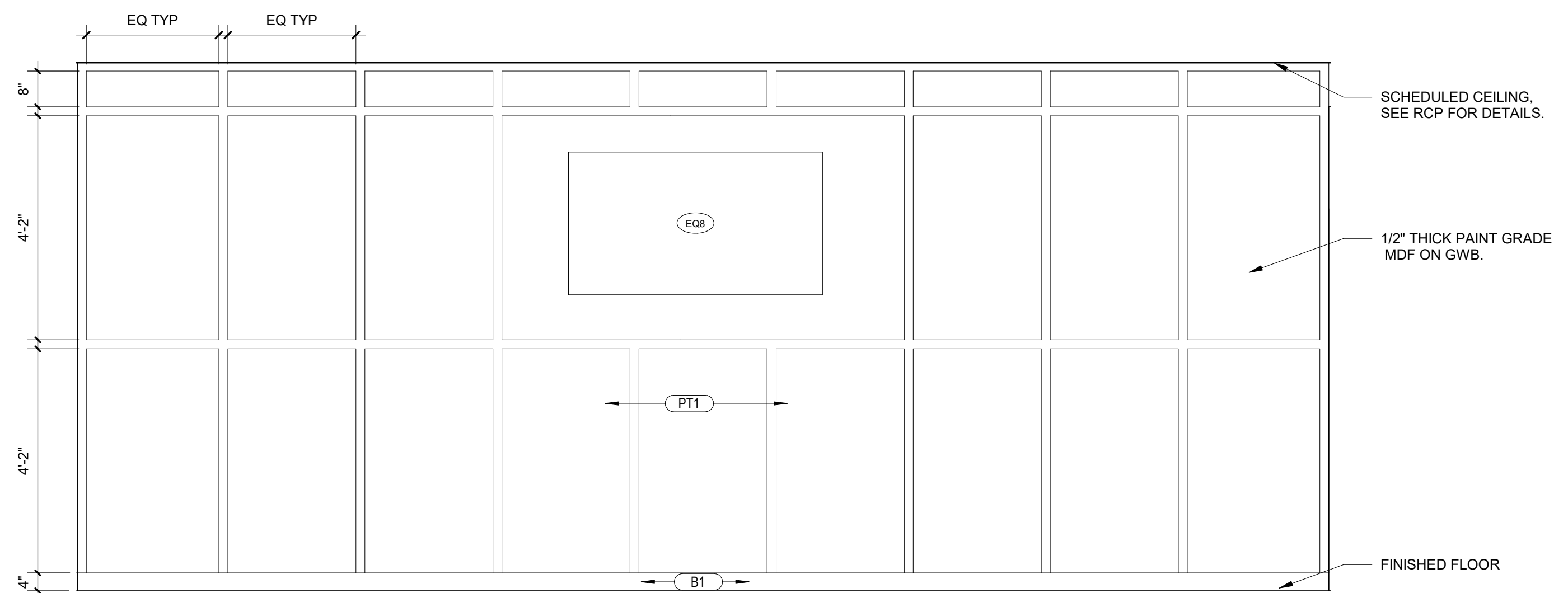
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DRAWING NUMBER

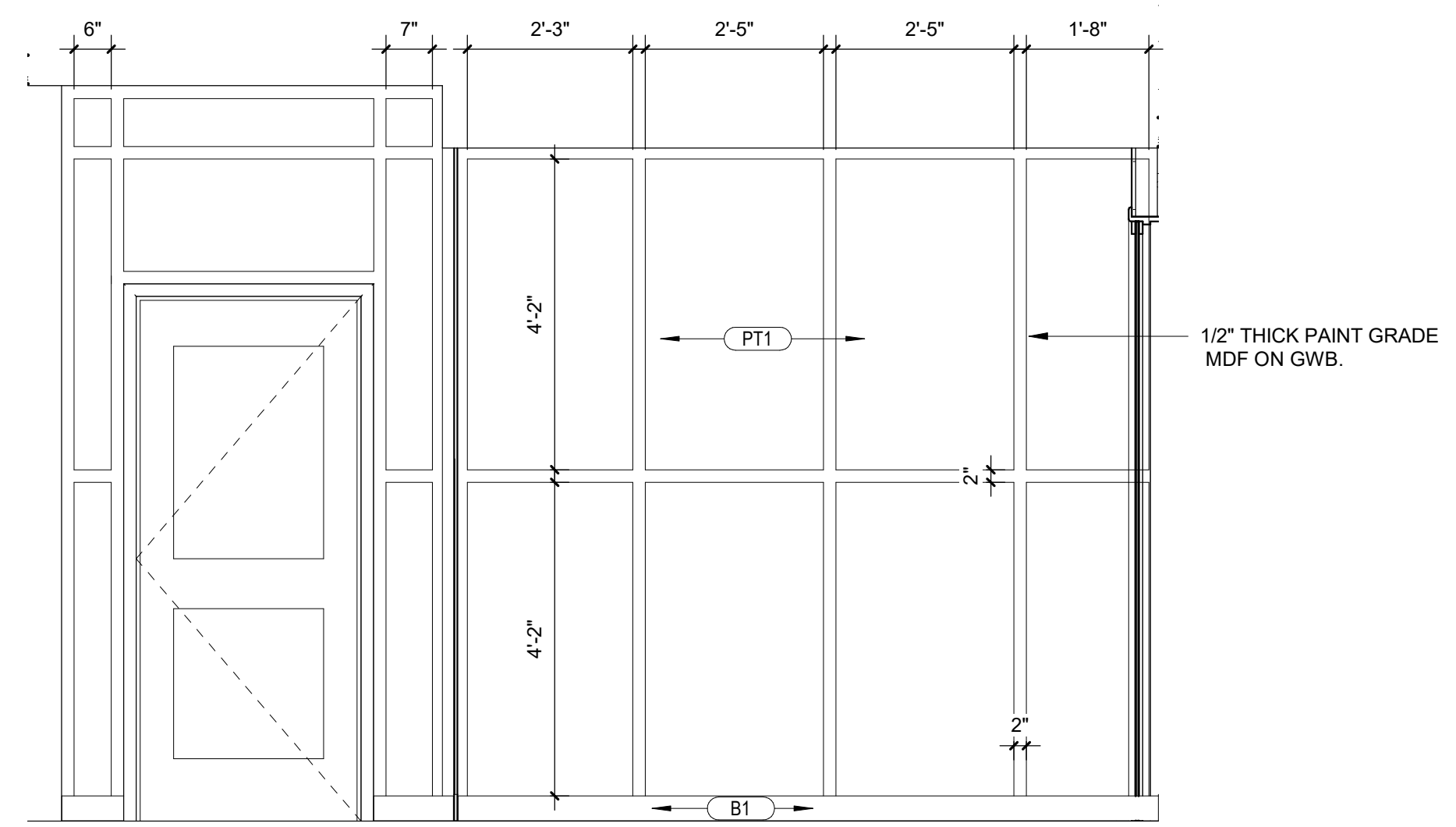
A-351



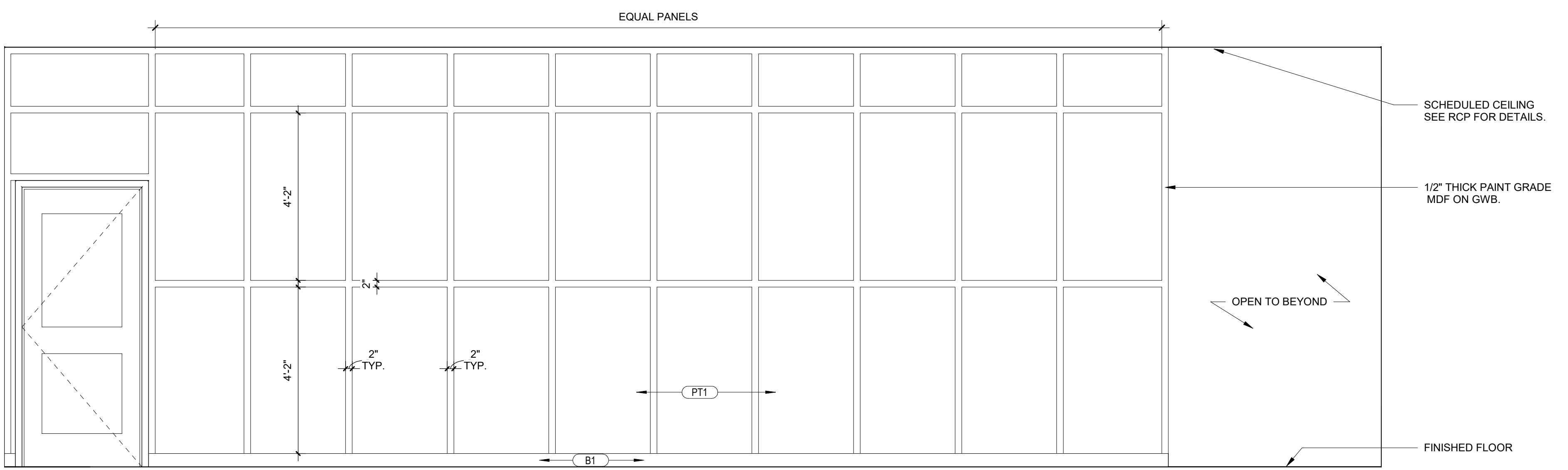
**7** ELEVATION @ VESTIBULE 201  
1/2" = 1'-0"



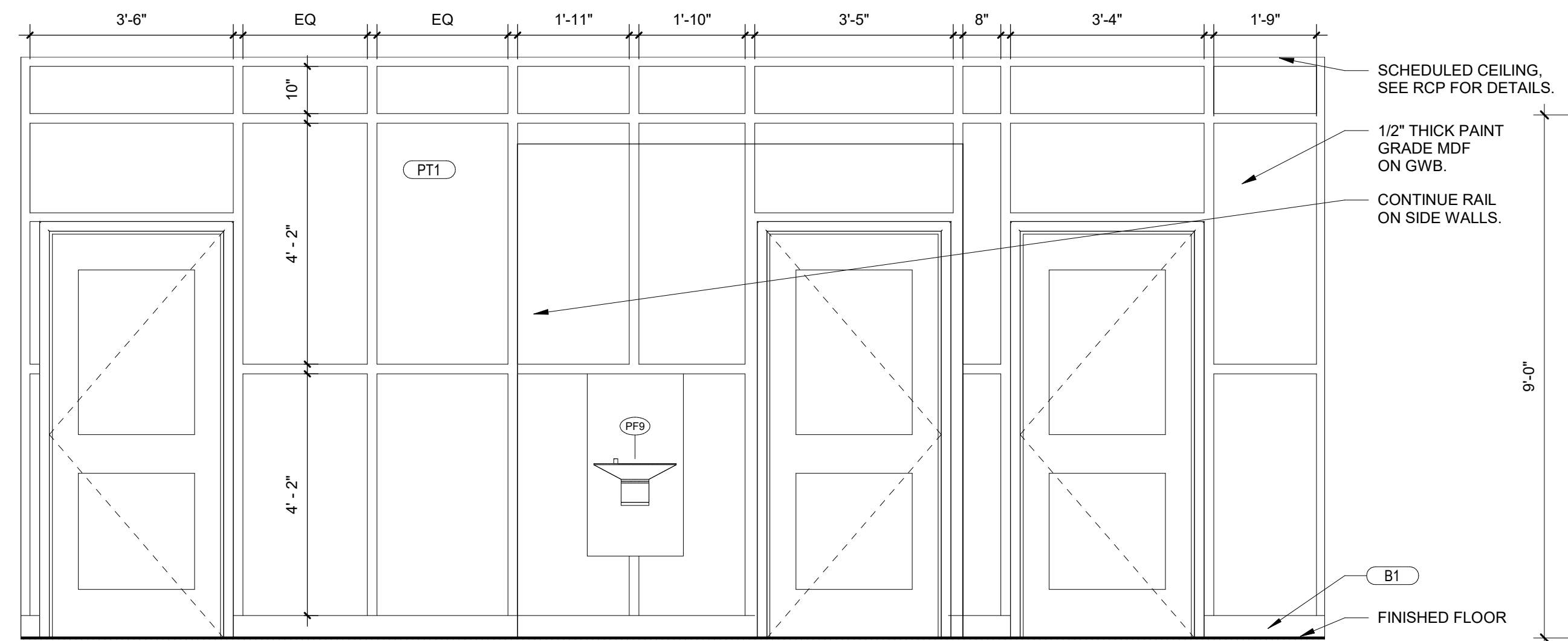
**6** ELEVATION @ TV PANELED WALL  
1/2" = 1'-0"



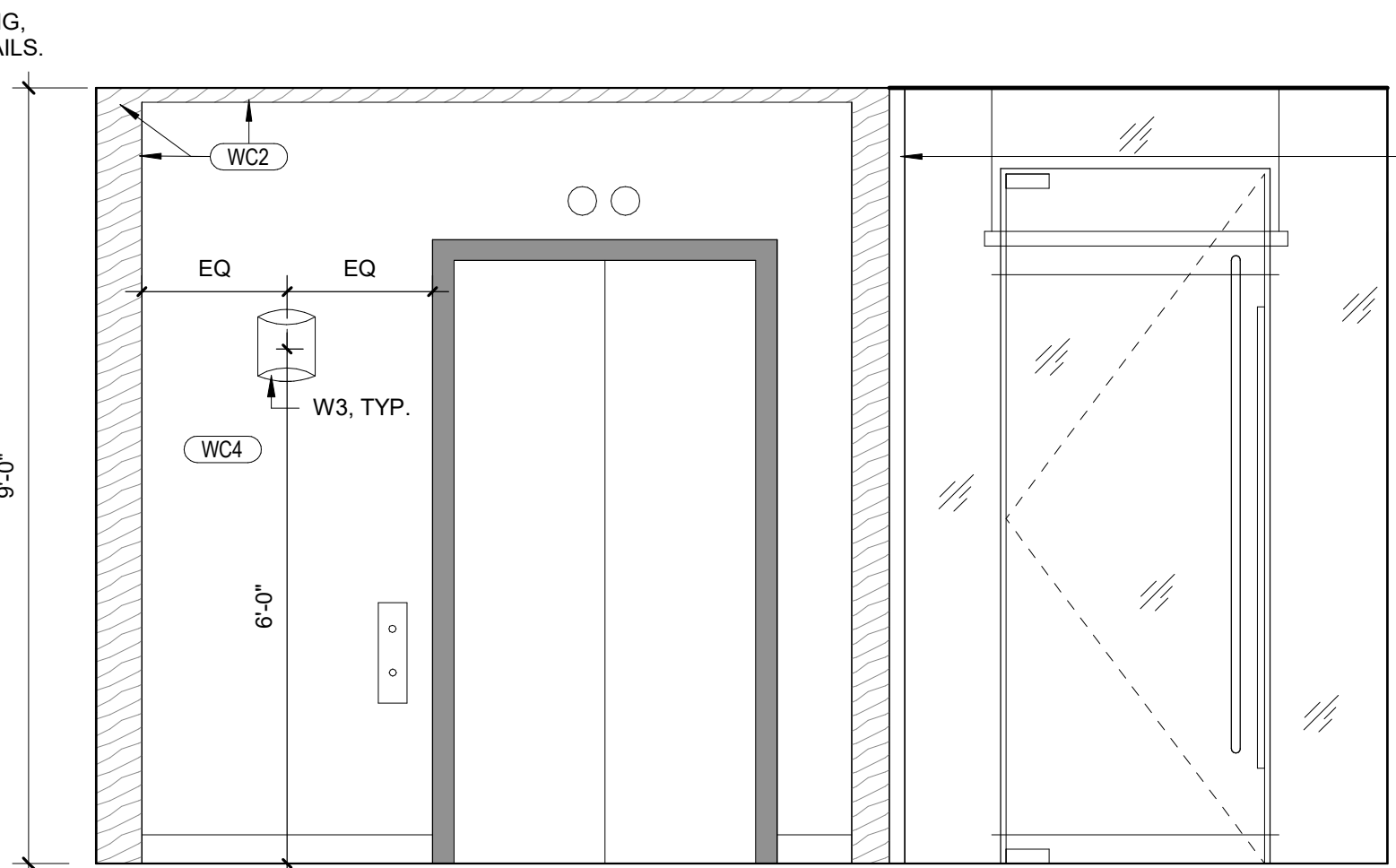
**5** ELEVATION @ VESTIBULE 204  
1/2" = 1'-0"



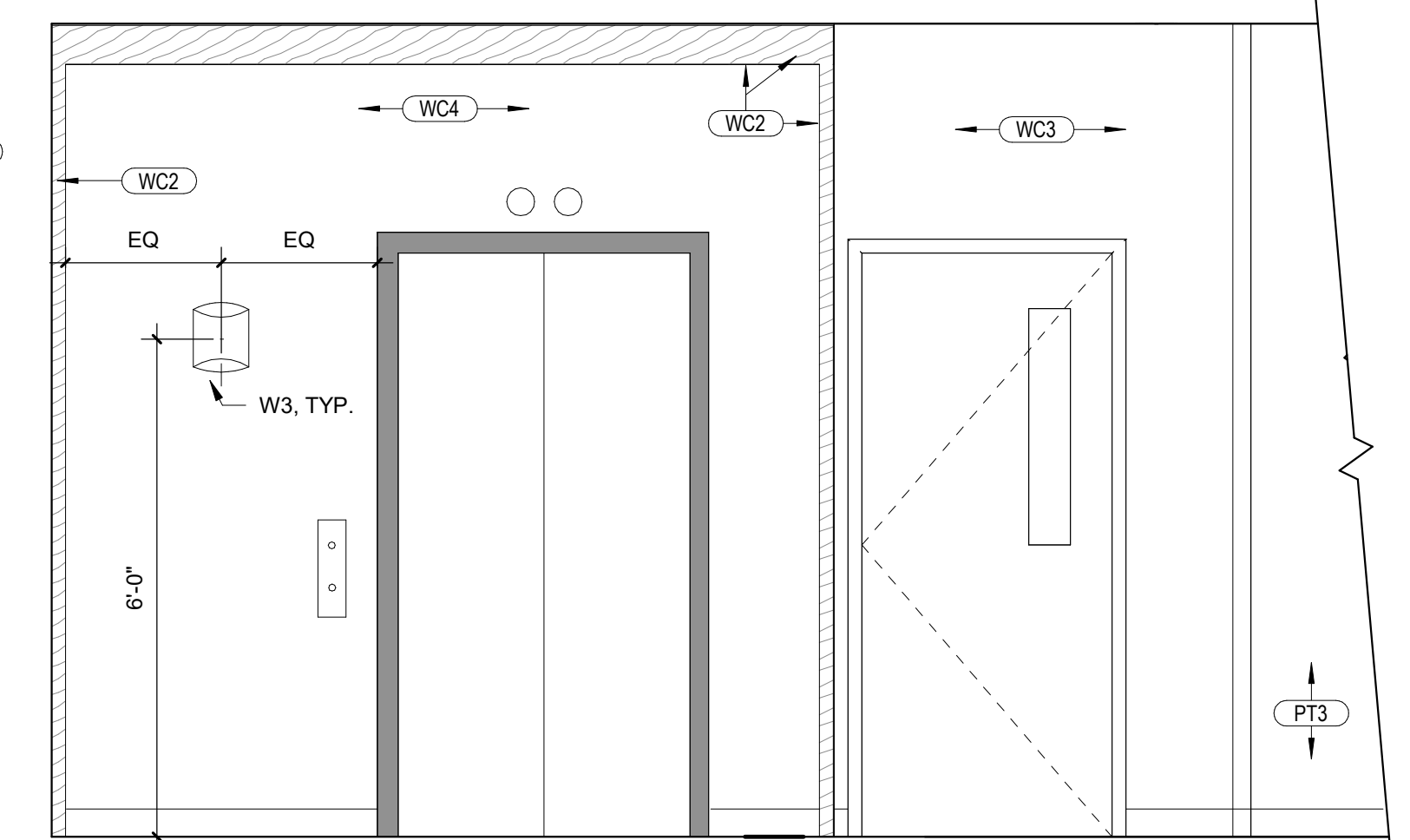
**4** ELEVATION @ FUNCTION ROOM A  
1/2" = 1'-0"



**3** ELEVATION @ CORRIDOR 200A-A  
1/2" = 1'-0"



**2** ELEVATION @ ELEVATOR 2ND FLOOR  
1/2" = 1'-0"



**1** ELEVATION @ ELEVATOR 1ST FLOOR  
1/2" = 1'-0"

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**ECA CLUBHOUSE EXPANSION**

8400 UPPER SKY WAY  
LAUREL, MD 20723

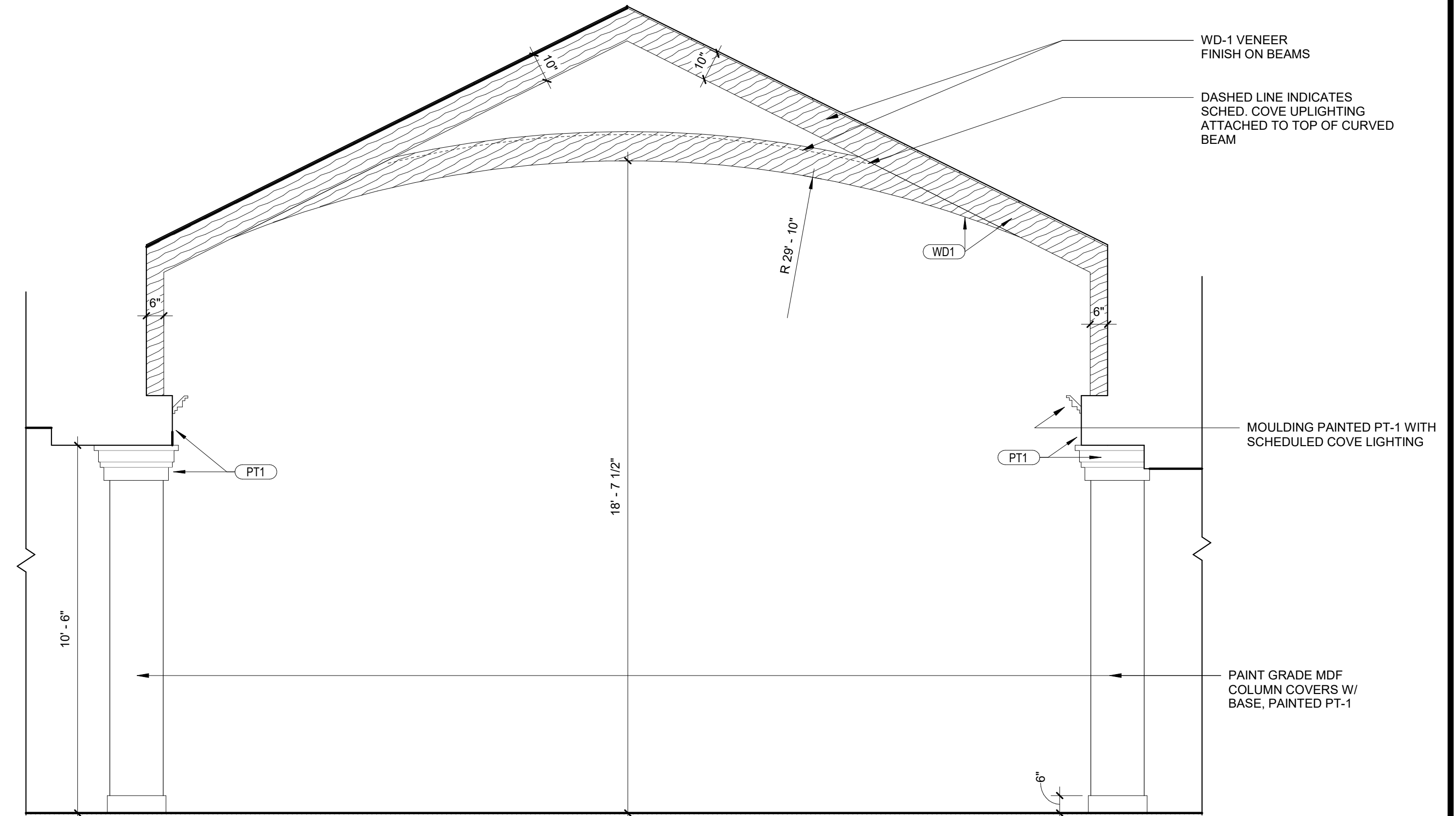
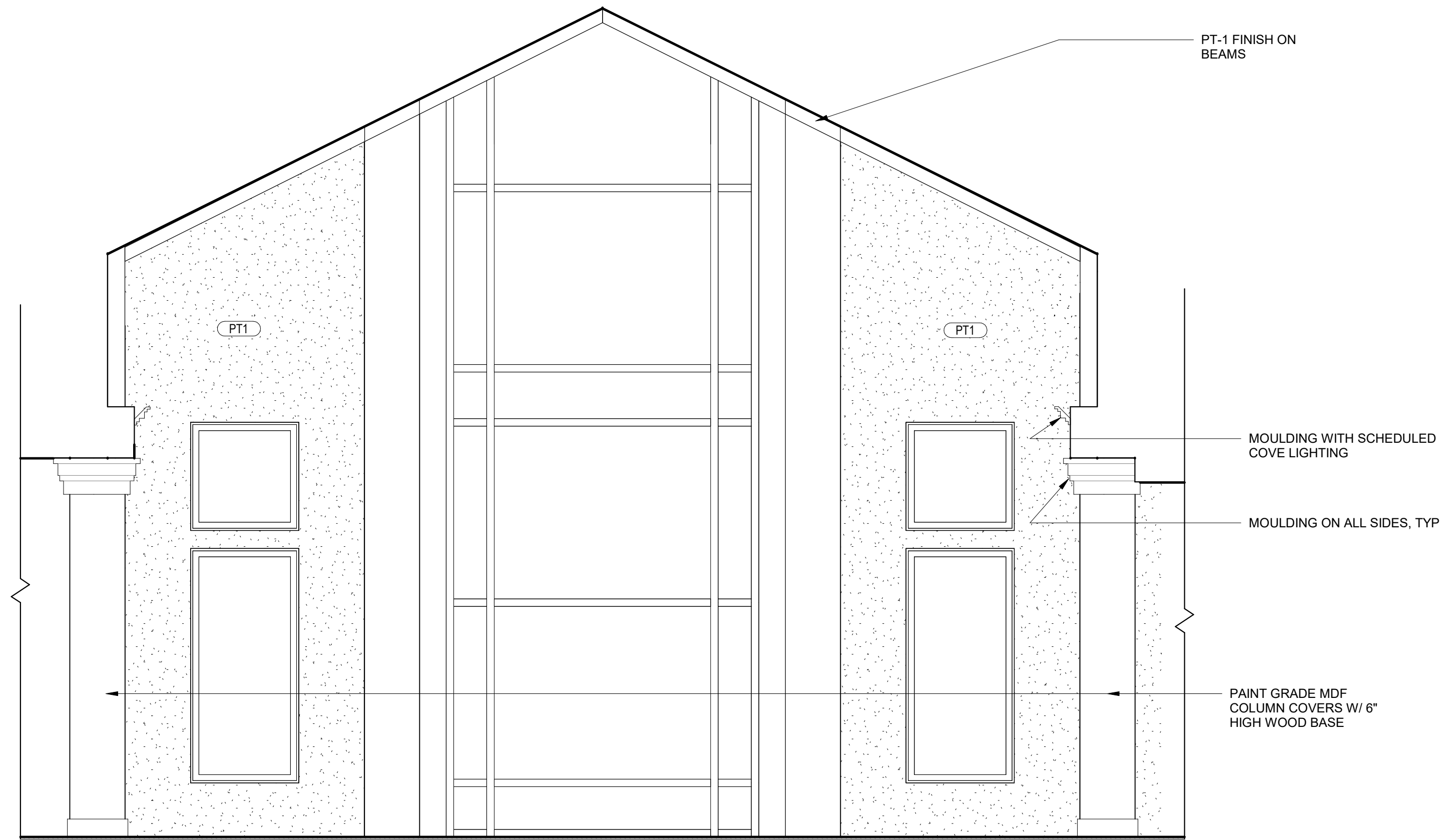
PROJECT NO. 320762.00

DRAWING TITLE  
**INTERIOR ELEVATIONS**

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CA REVIEWED BY

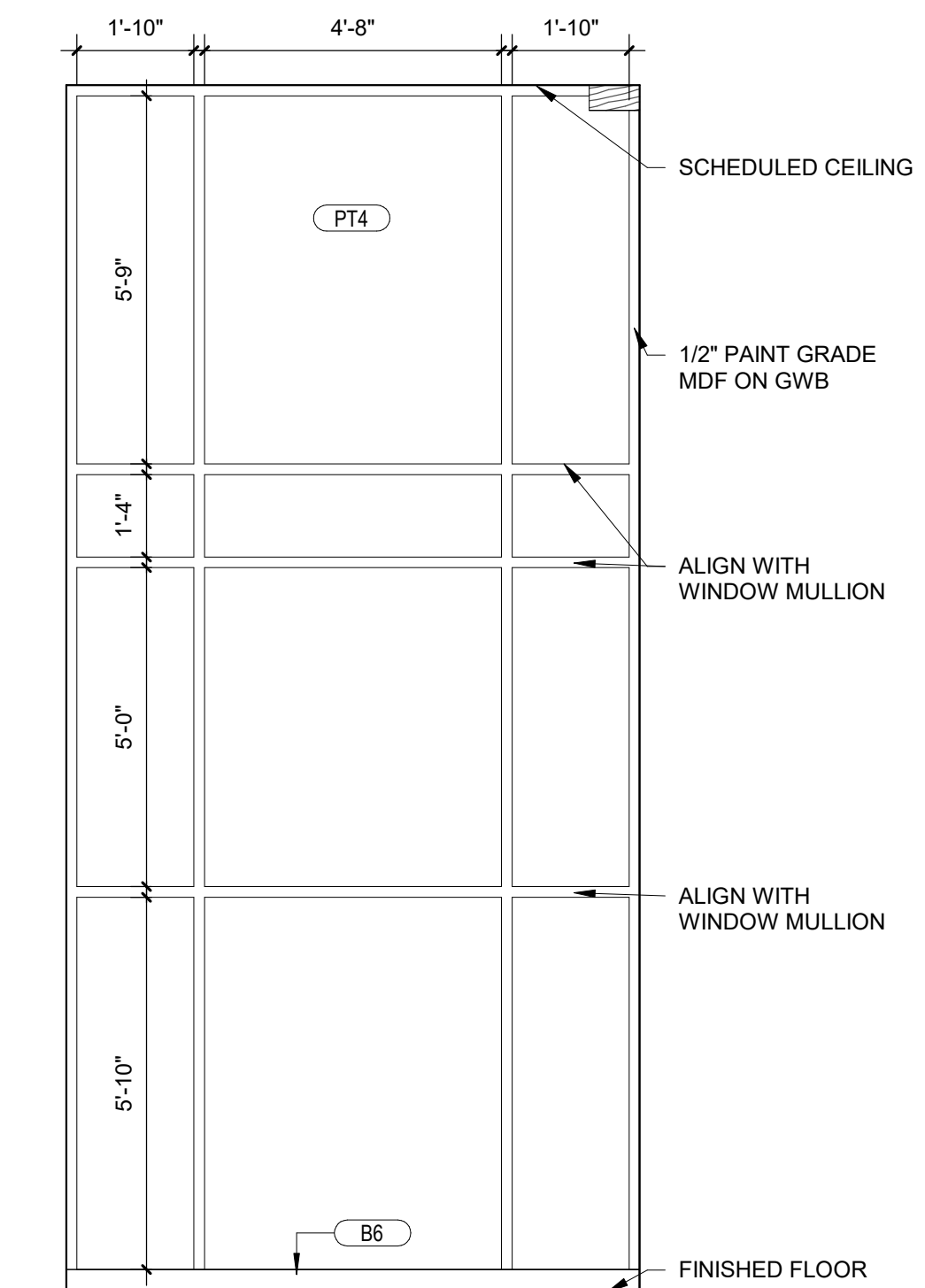
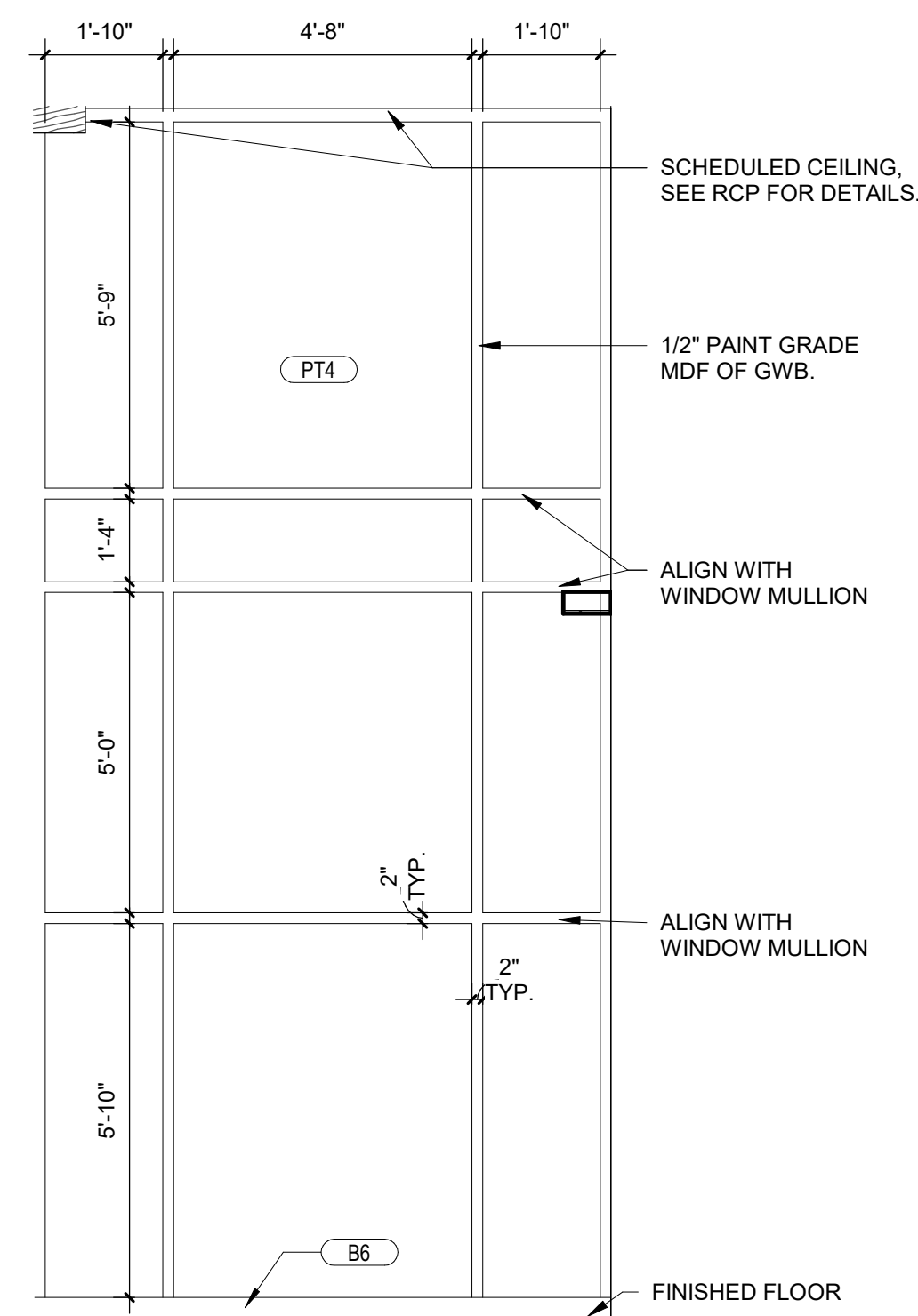
DRAWING NUMBER

**A-352**



**5** ELEVATION @ FUNCTION RM NORTH WALL  
3/8" = 1'-0"

**4** ELEVATION @ FUNCTION RM CURVED BEAMS  
3/8" = 1'-0"



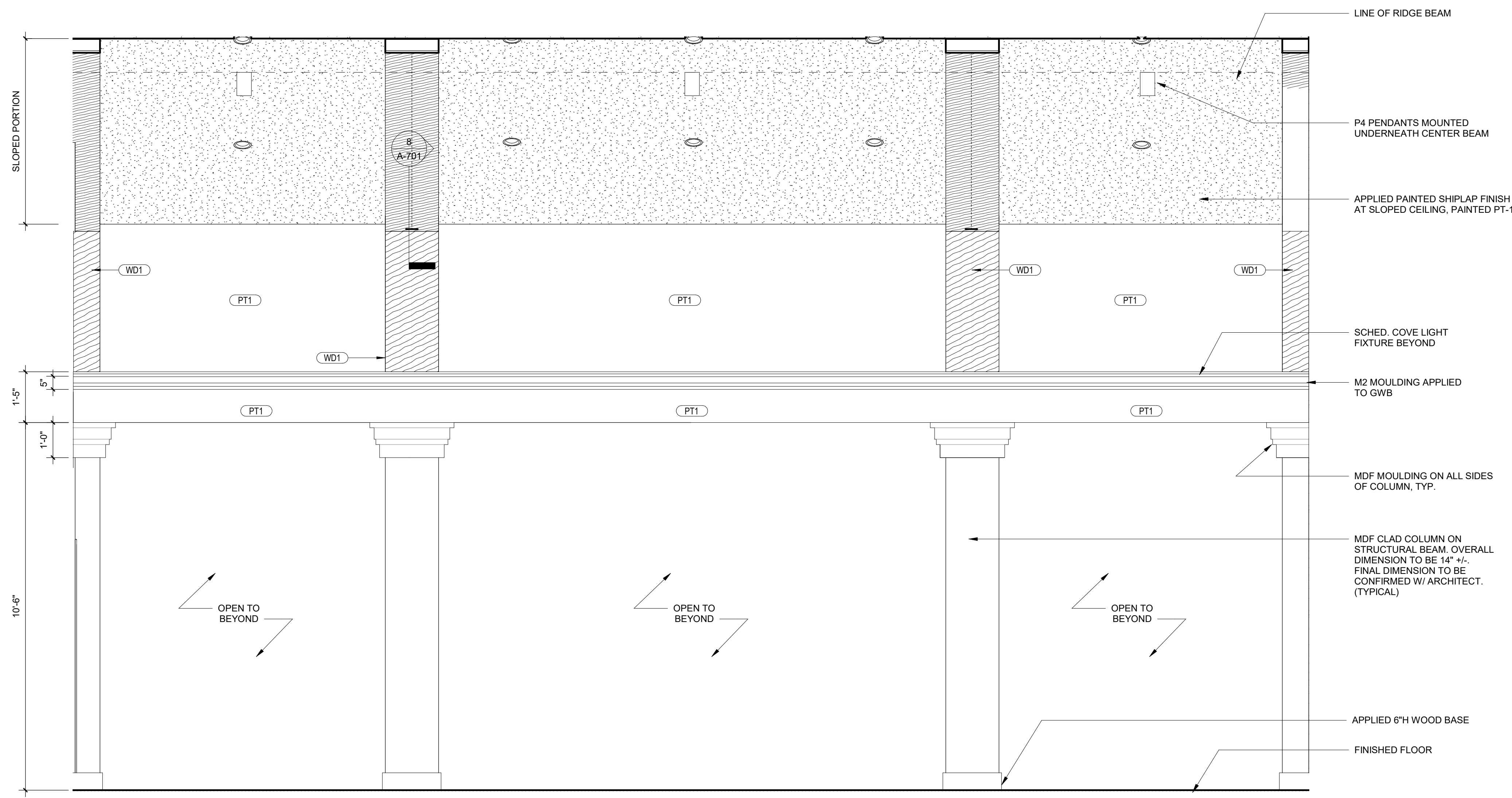
**3** ELEVATION @ FUNCTION RM ALCOVE EAST  
3/8" = 1'-0"

**2** ELEVATION @ FUNCTION RM SOUTH WALL  
3/8" = 1'-0"

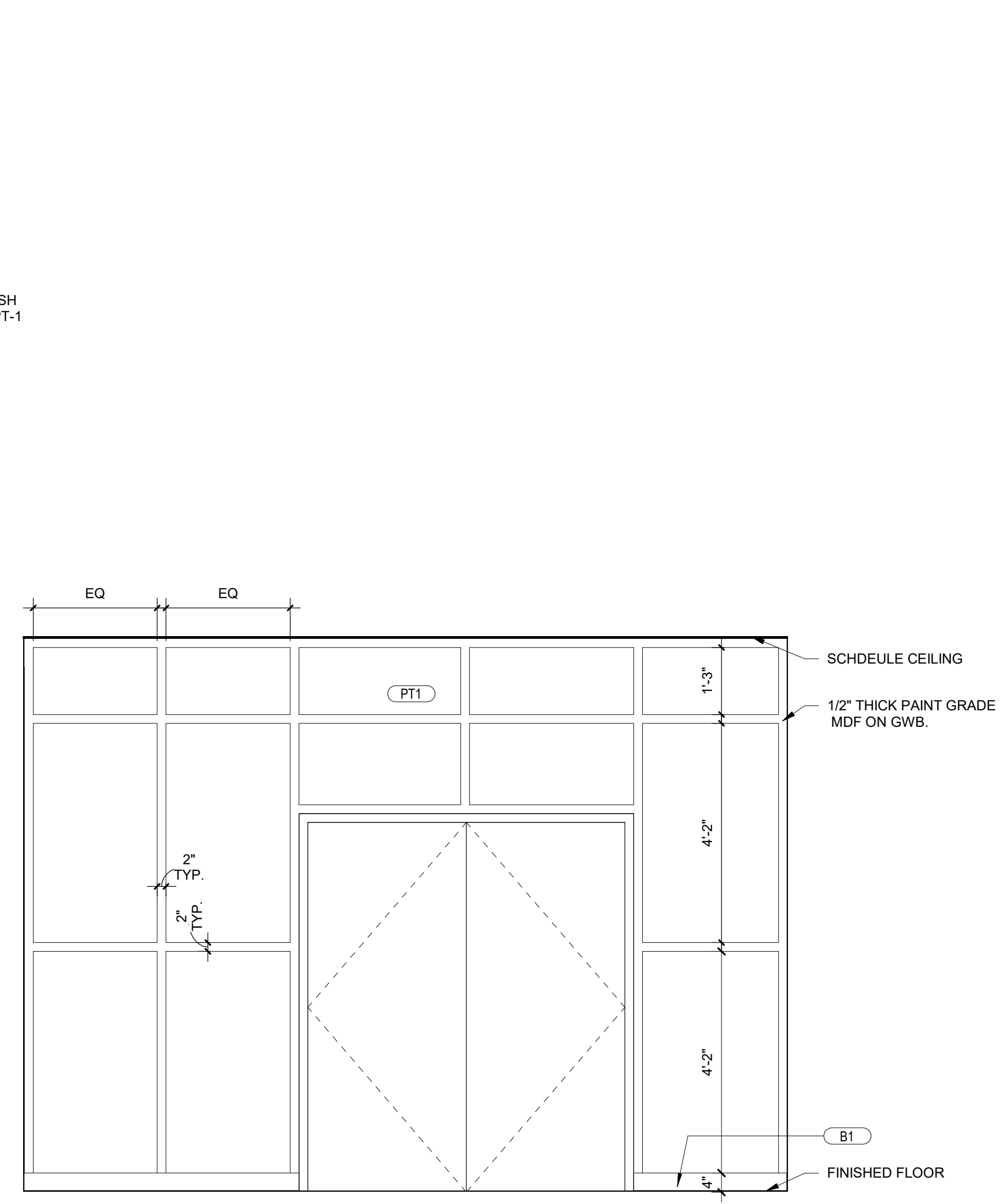
**1** ELEVATION @ FUNCTION RM ALCOVE WEST  
3/8" = 1'-0"



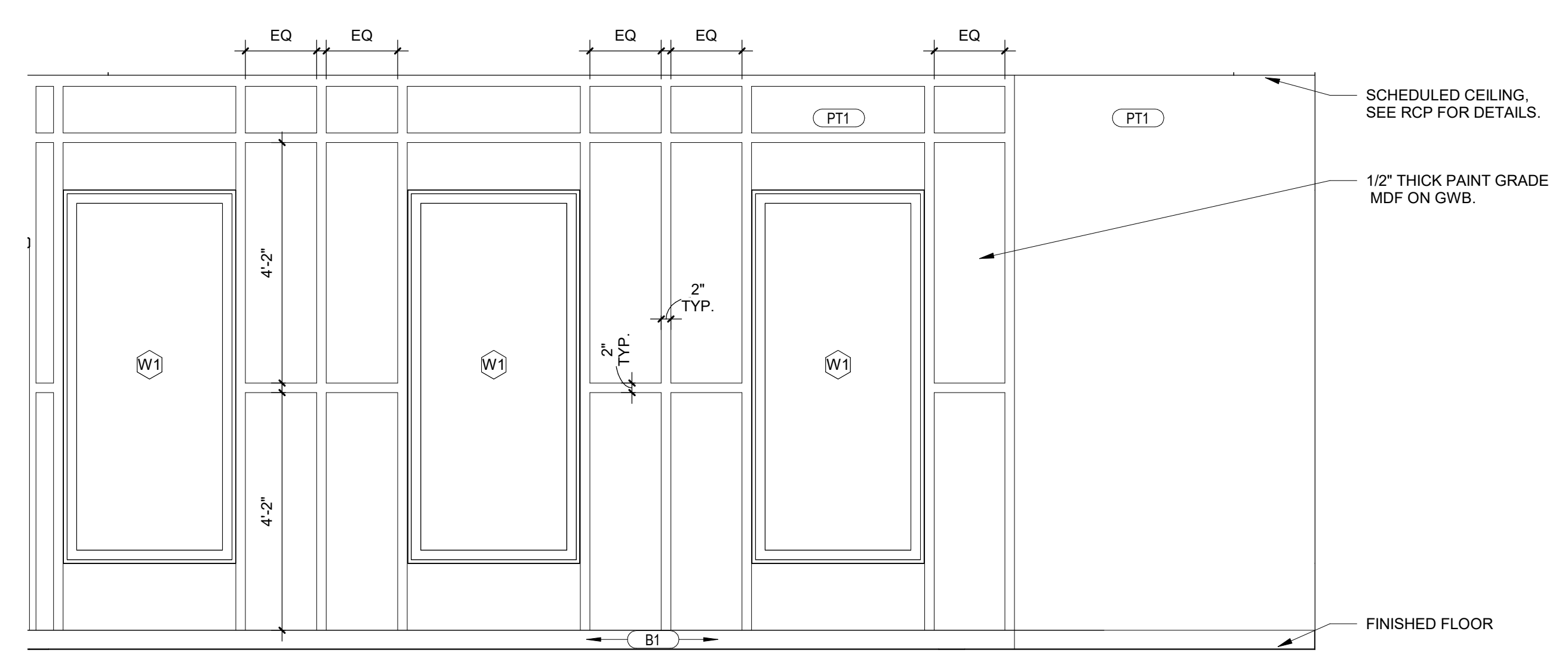
MILLWORK HARDWARE SCHEDULE						
ITEM	DESCRIPTION	MANUF.	MODEL	FINISH	SIZE	REMARKS
H1	HANDLE: DISTRICT COLLECTION	HAFELE	155.01.905	BRUSHED BRASS	128 MM CTC	
H2	BAR HANDLE: COSMOPOLITAN COLLECTION	HAFELE	155.99.000	BRUSHED NICKEL	96 MM CTC	



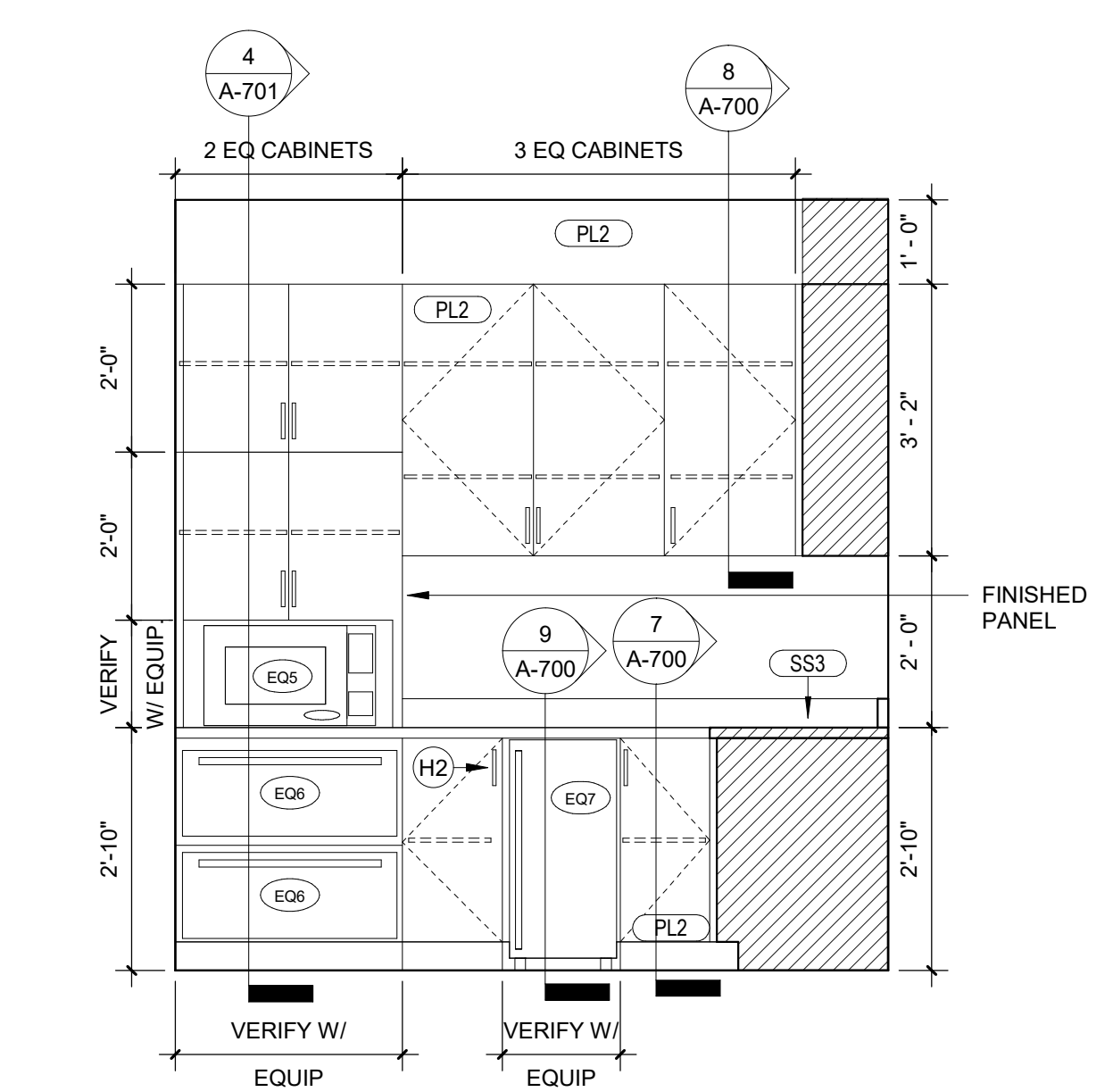
**5 ELEVATION @ FUNCTION ROOM COLUMNS**  
1/2" = 1'-0"



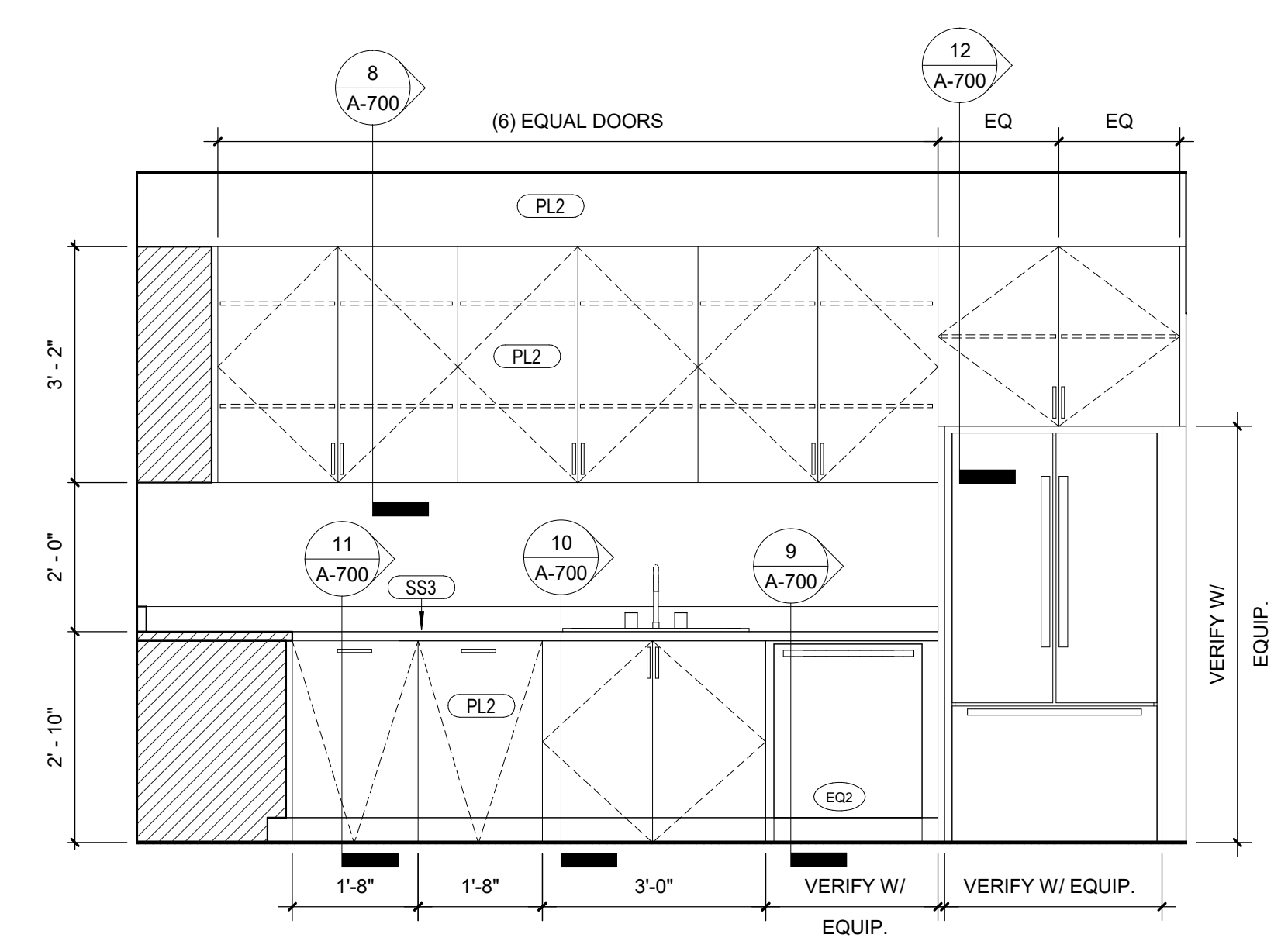
**4 ELEVATION @ CORRIDOR OF CLOSET 212**  
1/2" = 1'-0"



**3 ELEVATION @ CORRIDOR 200A-B**  
1/2" = 1'-0"



**2 ELEVATION @ CATERING PANTRY A**  
1/2" = 1'-0"



**1 ELEVATION @ CATERING PANTRY B**  
1/2" = 1'-0"

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**ECA CLUBHOUSE EXPANSION**

8400 UPPER SKY WAY  
LAUREL, MD 20723

PROJECT NO. 320762.00

DRAWING TITLE  
**INTERIOR ELEVATIONS**

DRAWN BY  
QC CHECKED BY  
CA REVIEWED BY Approver

DRAWING NUMBER  
**A-353**



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LAUREL, MD 20723

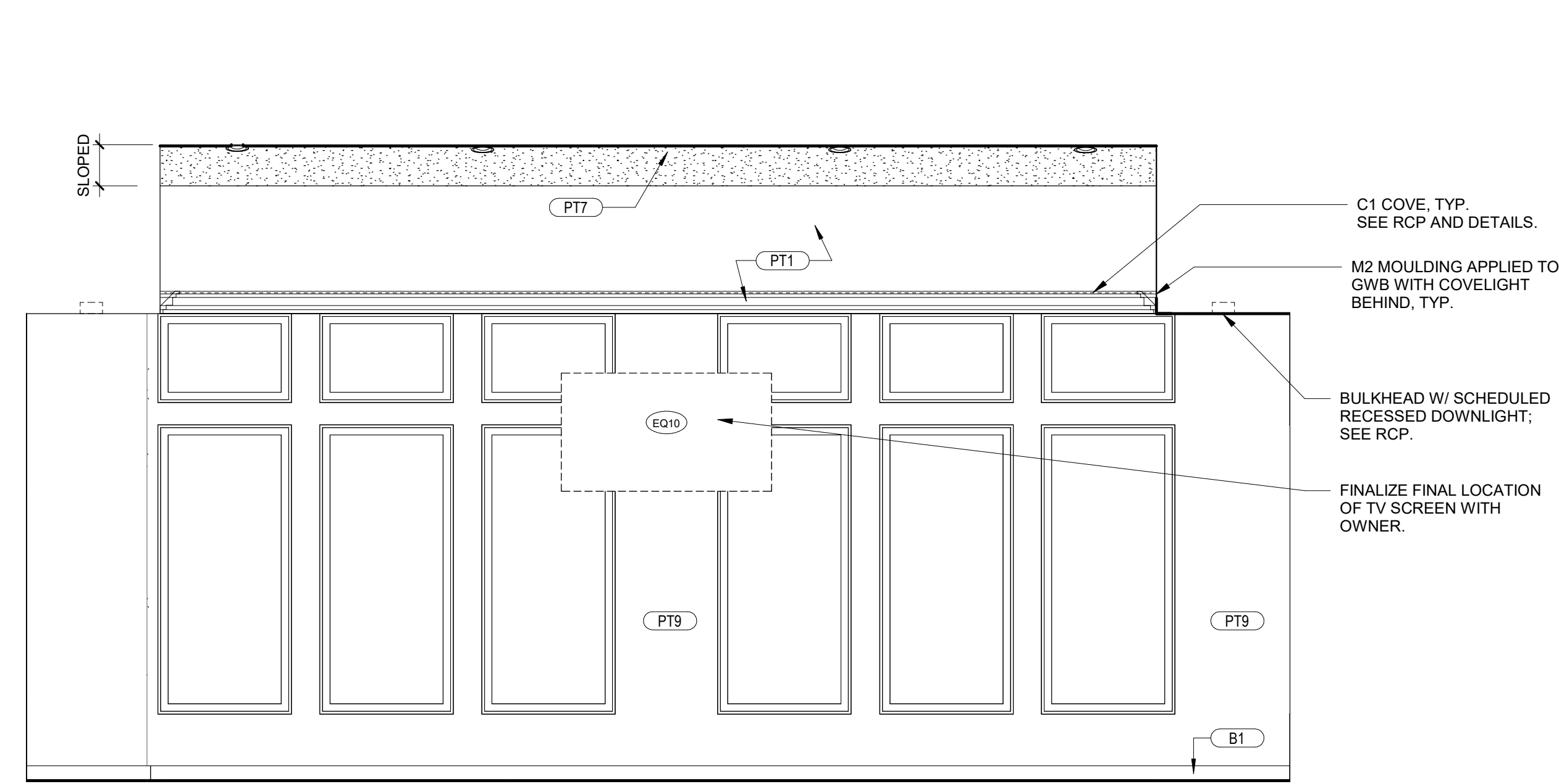
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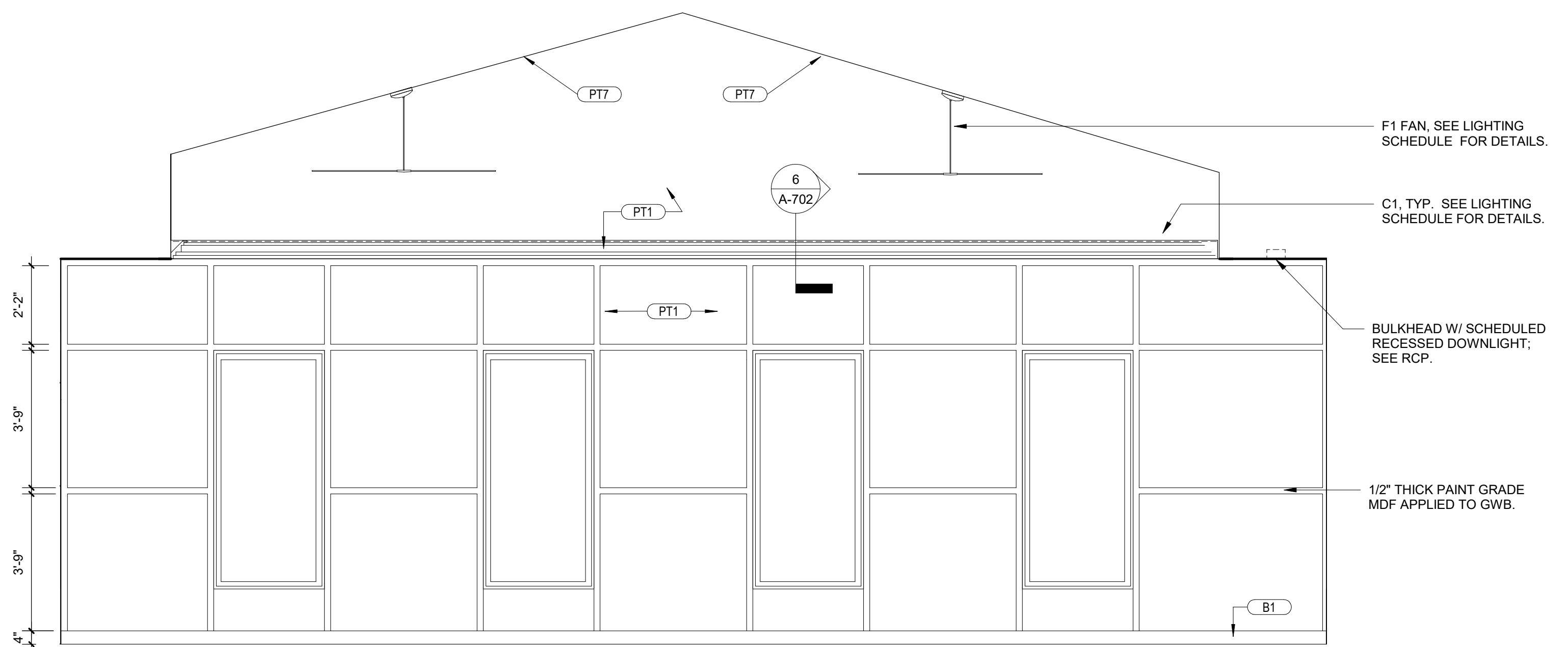
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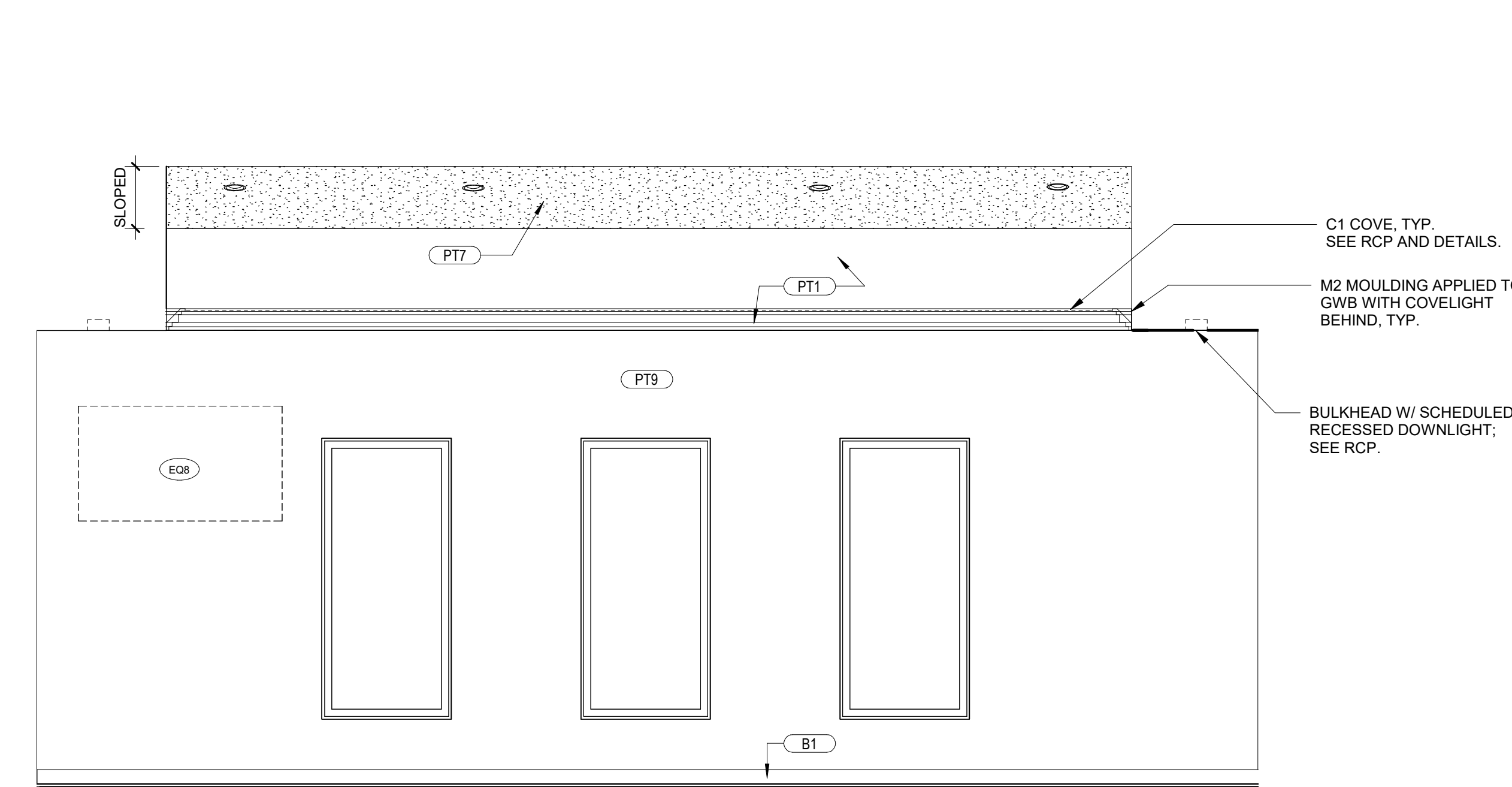
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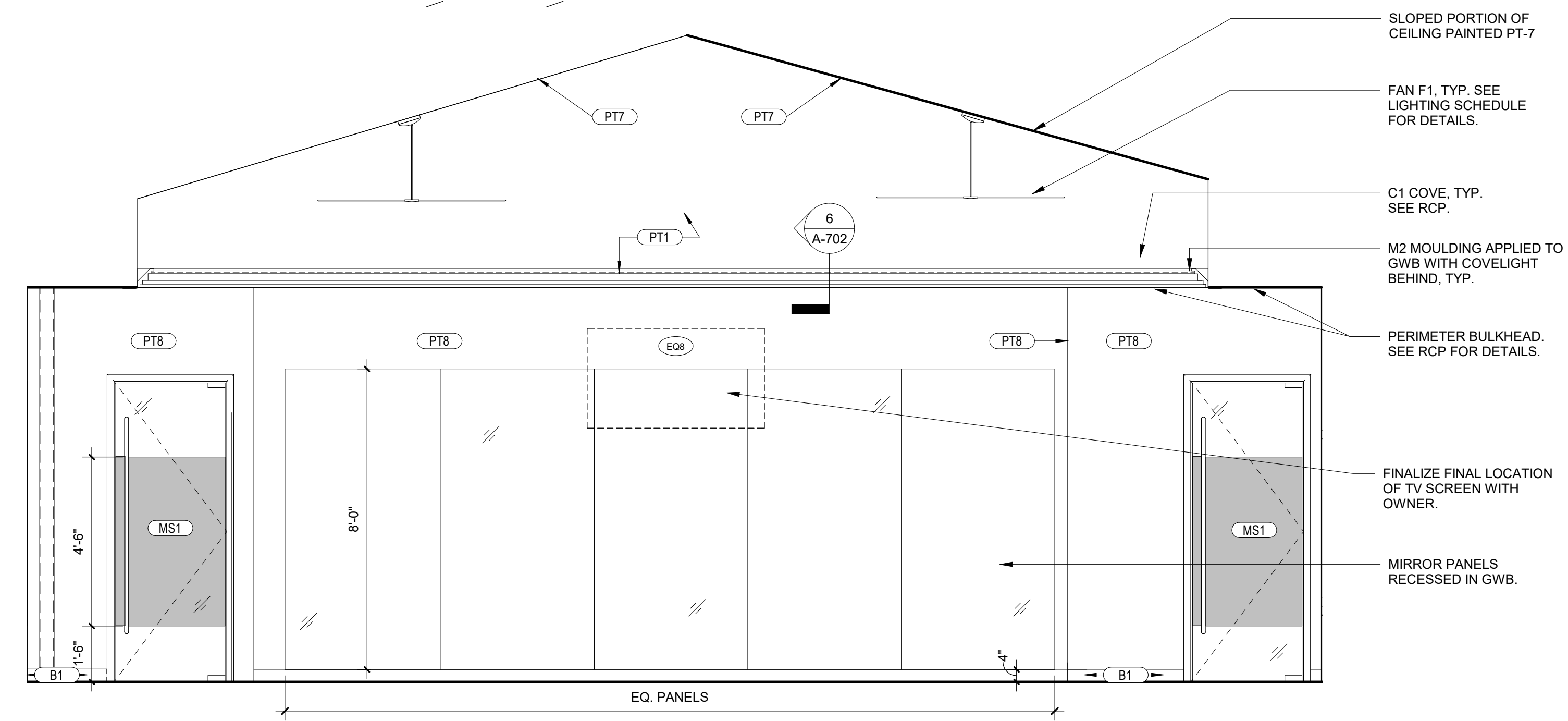
**4** ELEVATION @ FITNESS CENTER D  
3/8" = 1'-0"



**3** ELEVATION @ FITNESS CENTER C  
3/8" = 1'-0"



**2** ELEVATION @ FITNESS CENTER B  
3/8" = 1'-0"

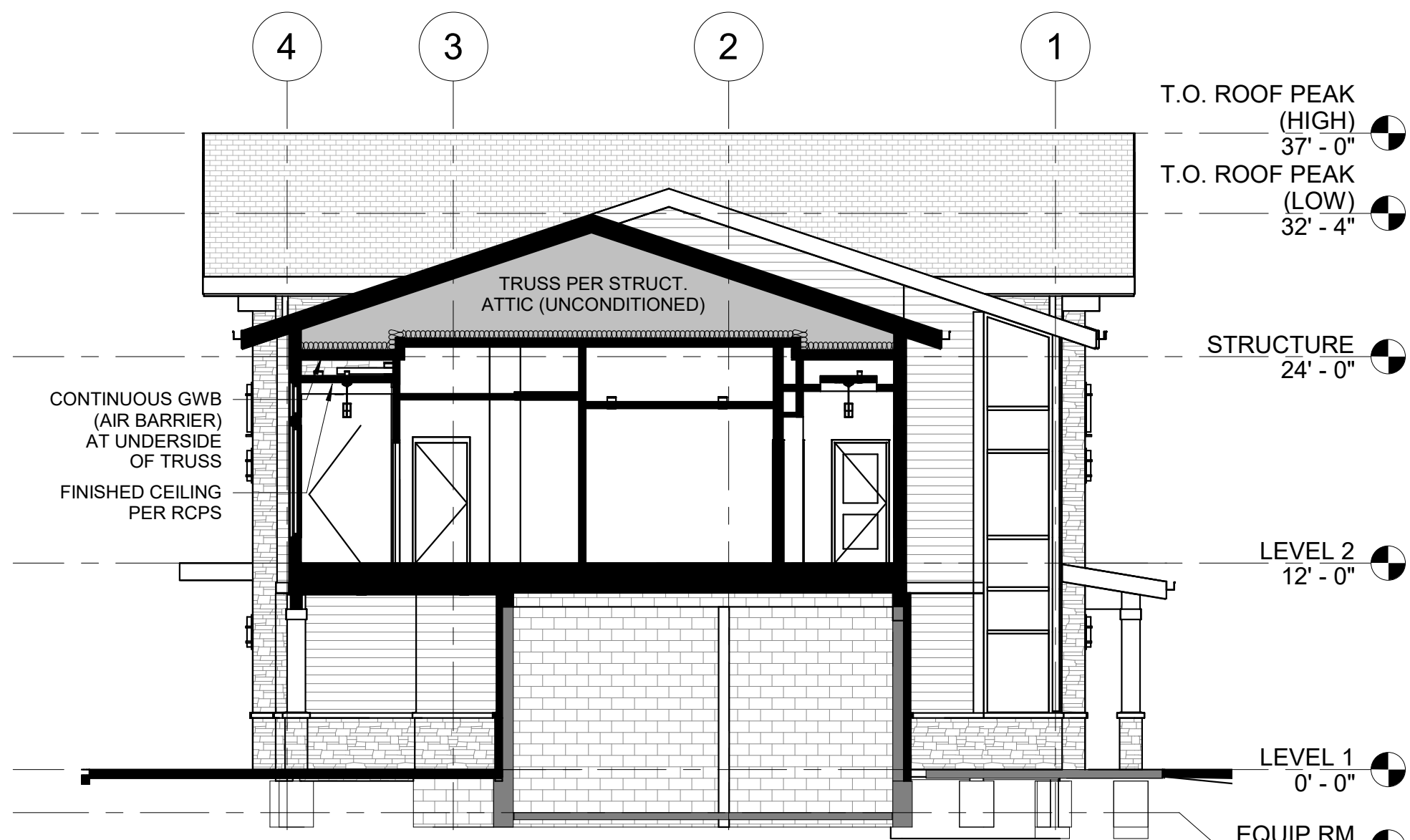


**1** ELEVATION @ FITNESS CENTER A  
3/8" = 1'-0"

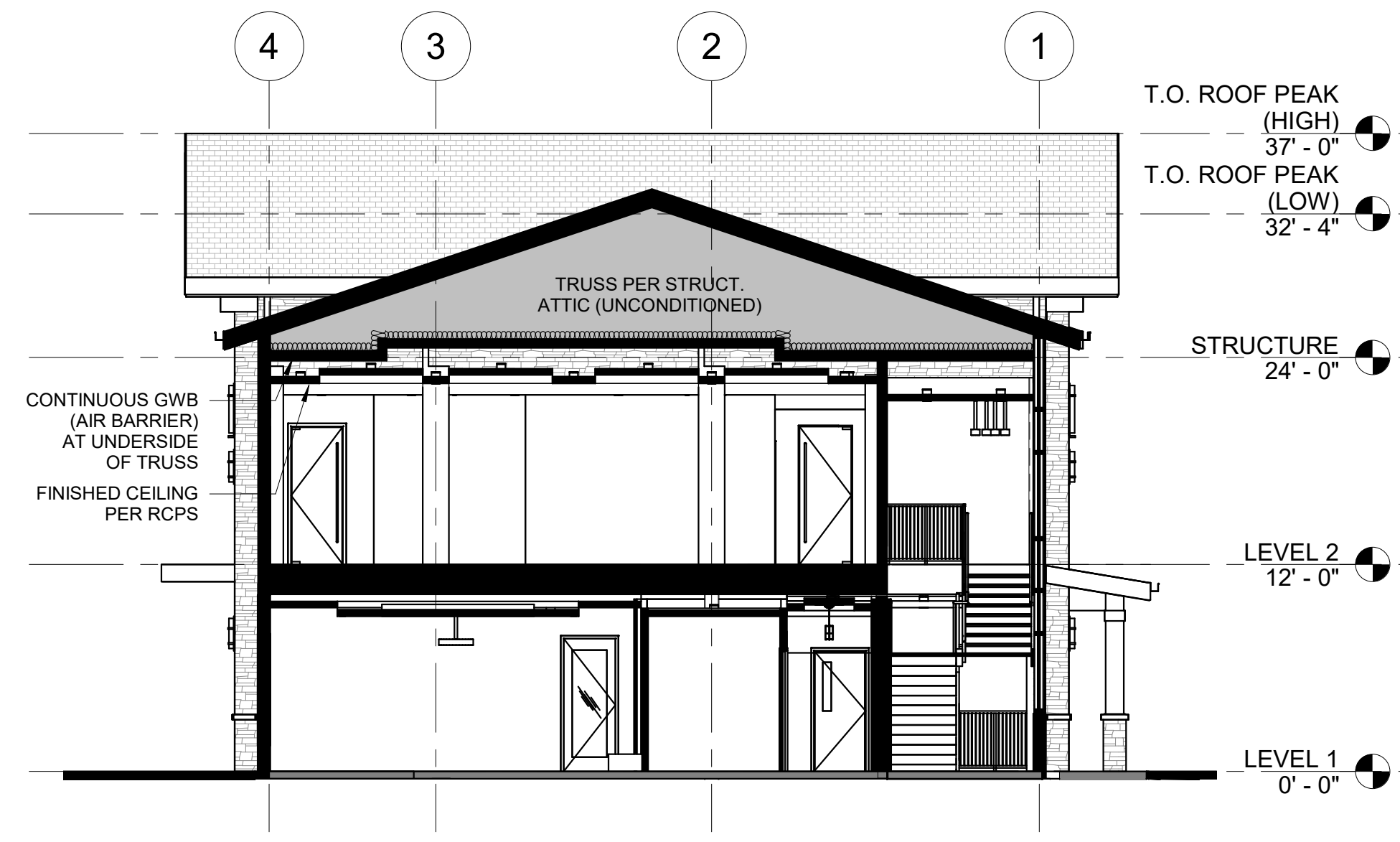
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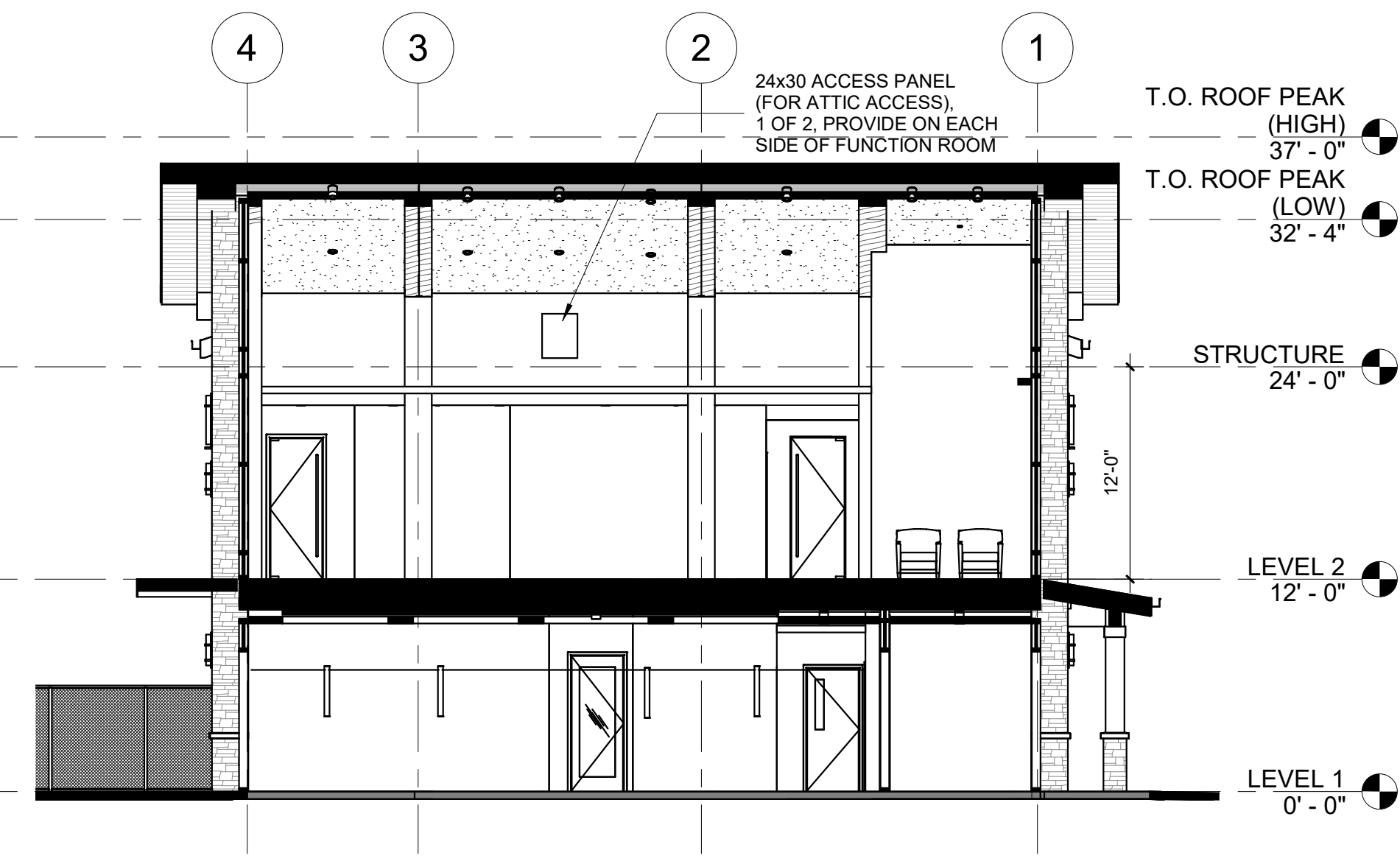




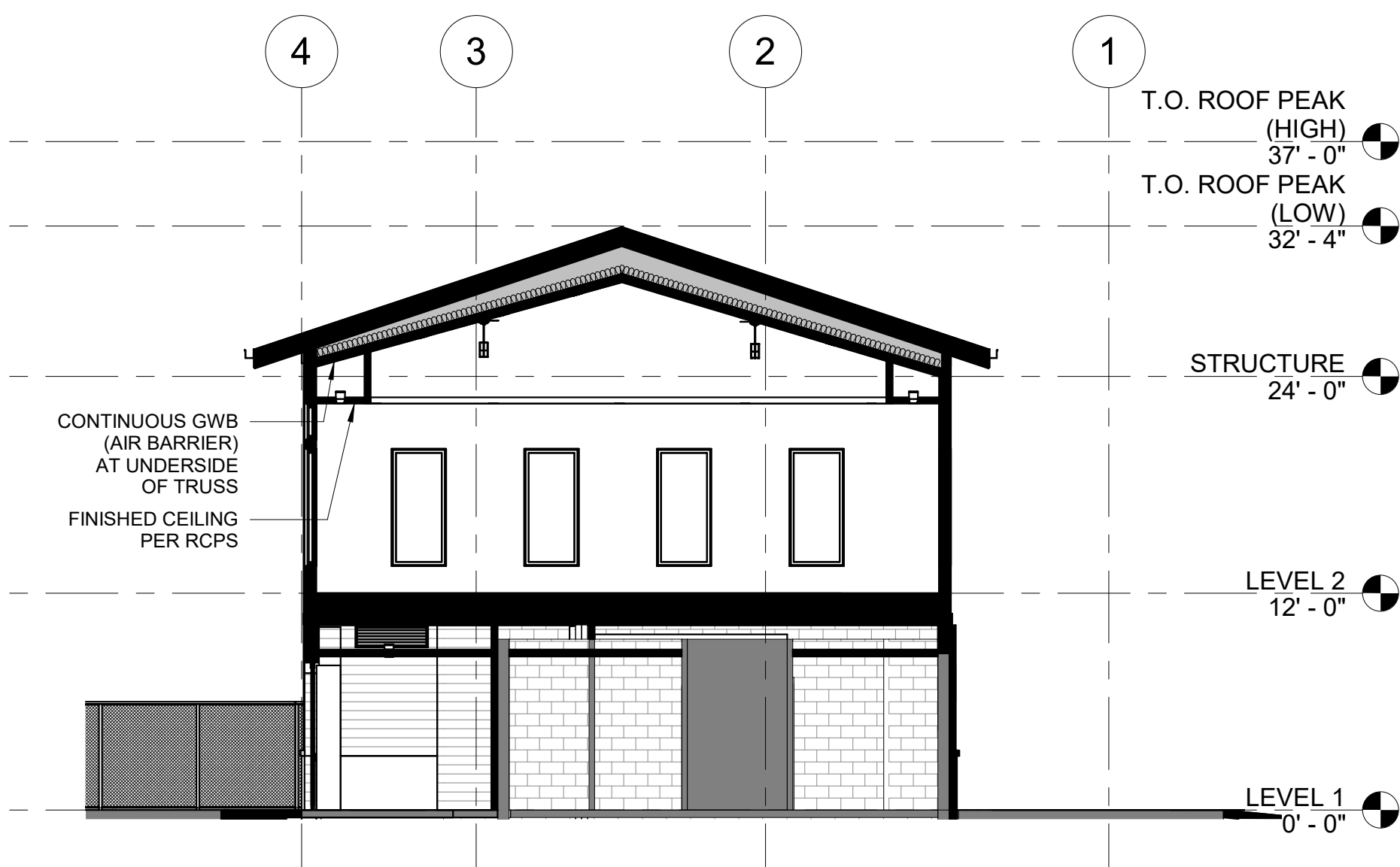
**6 BUILDING SECTION**  
1/8" = 1'-0"



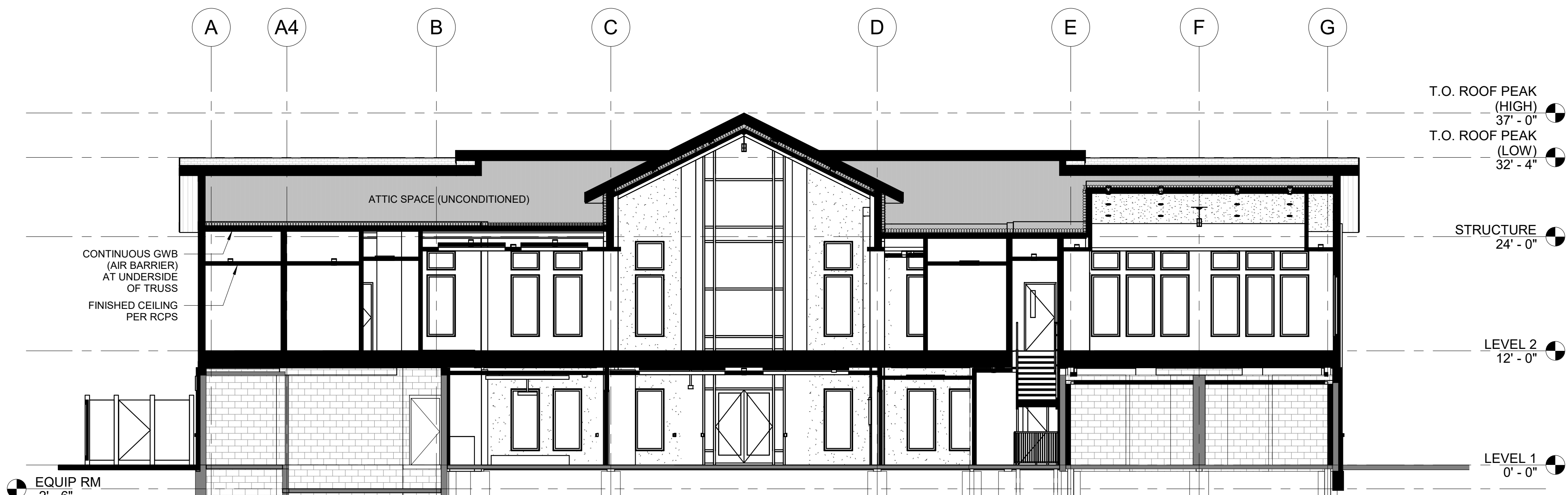
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1/8" = 1'-0"



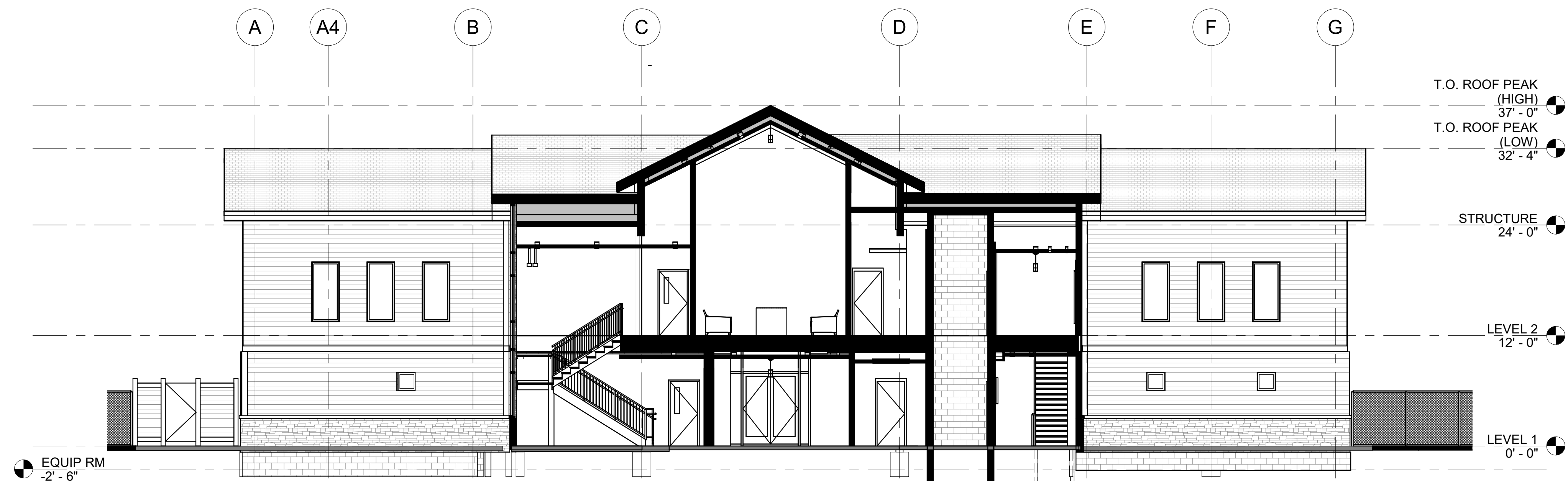
**4 BUILDING SECTION**  
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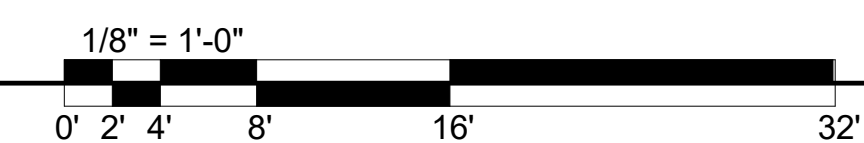
**3 BUILDING SECTION**  
1/8" = 1'-0"



**2 BUILDING SECTION**  
1/8" = 1'-0"



**1 BUILDING SECTION**  
1/8" = 1'-0"













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PERMIT SUBMISSION 02/05/2021  
PRICING SET 03/24/2021

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PROJECT TITLE  
**ECA CLUBHOUSE EXPANSION**

8400 UPPER SKY WAY  
LAUREL, MD 20723

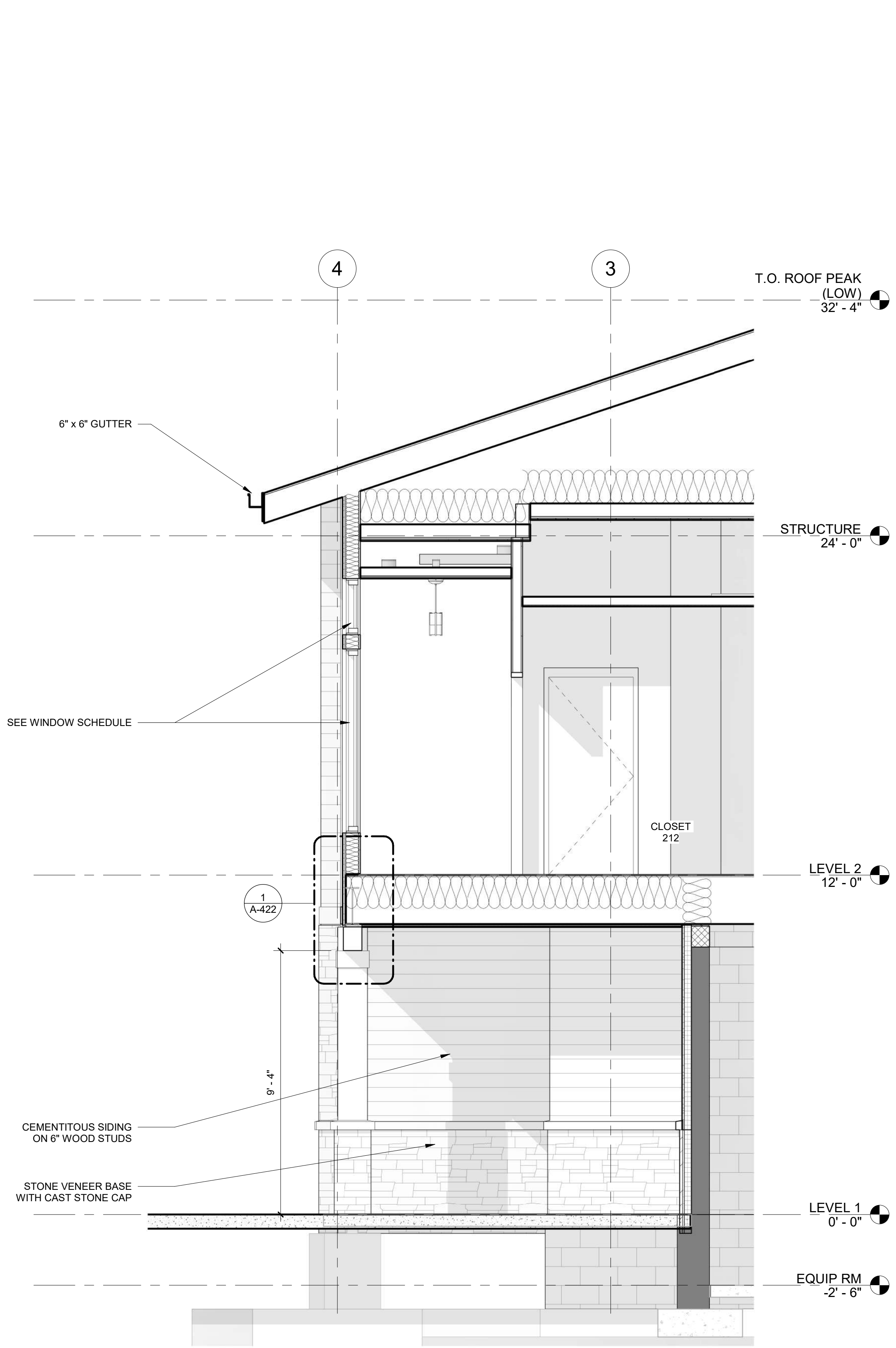
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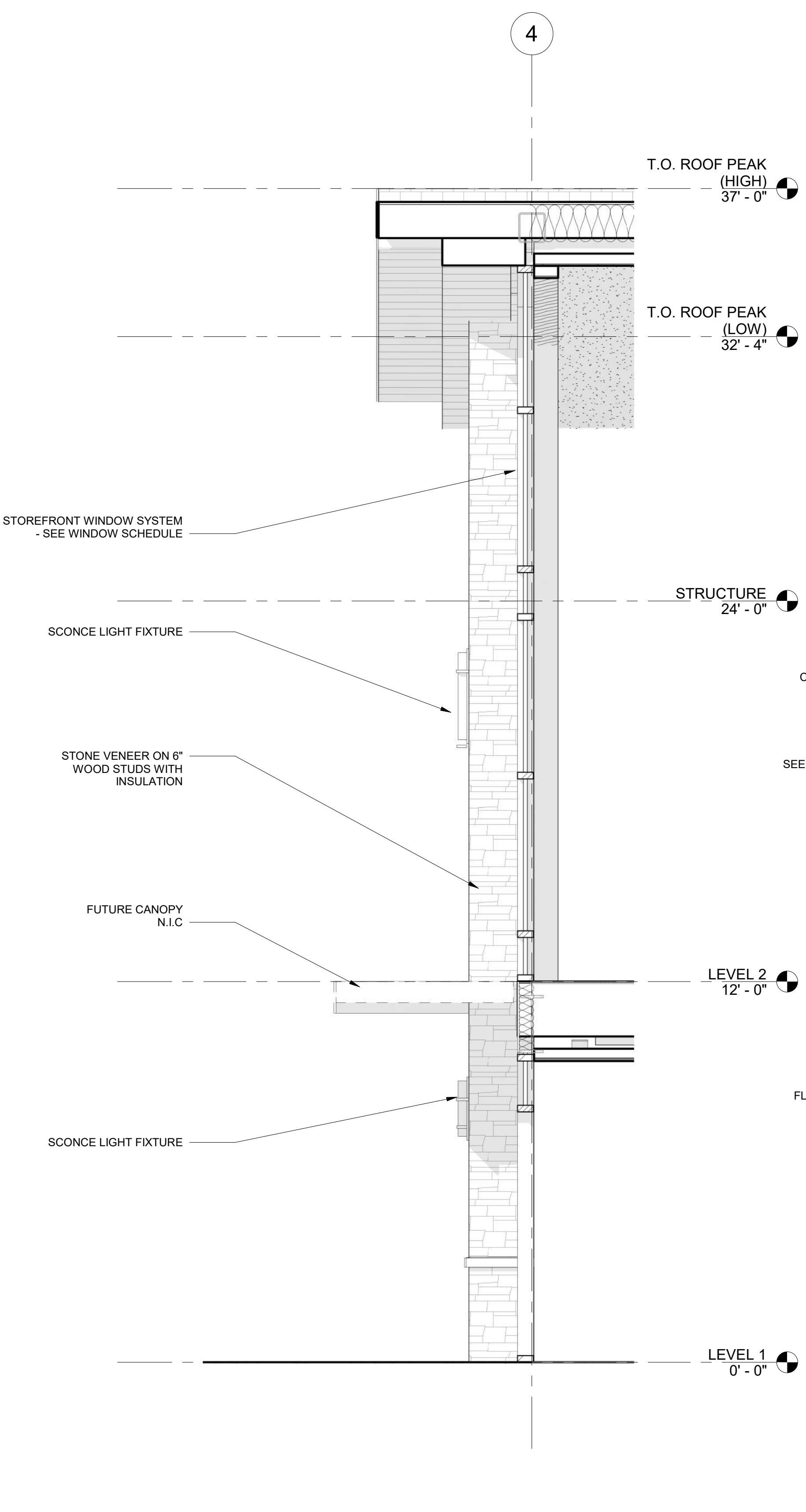
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QC CHECKED BY CG  
CA REVIEWED BY

DRAWING NUMBER

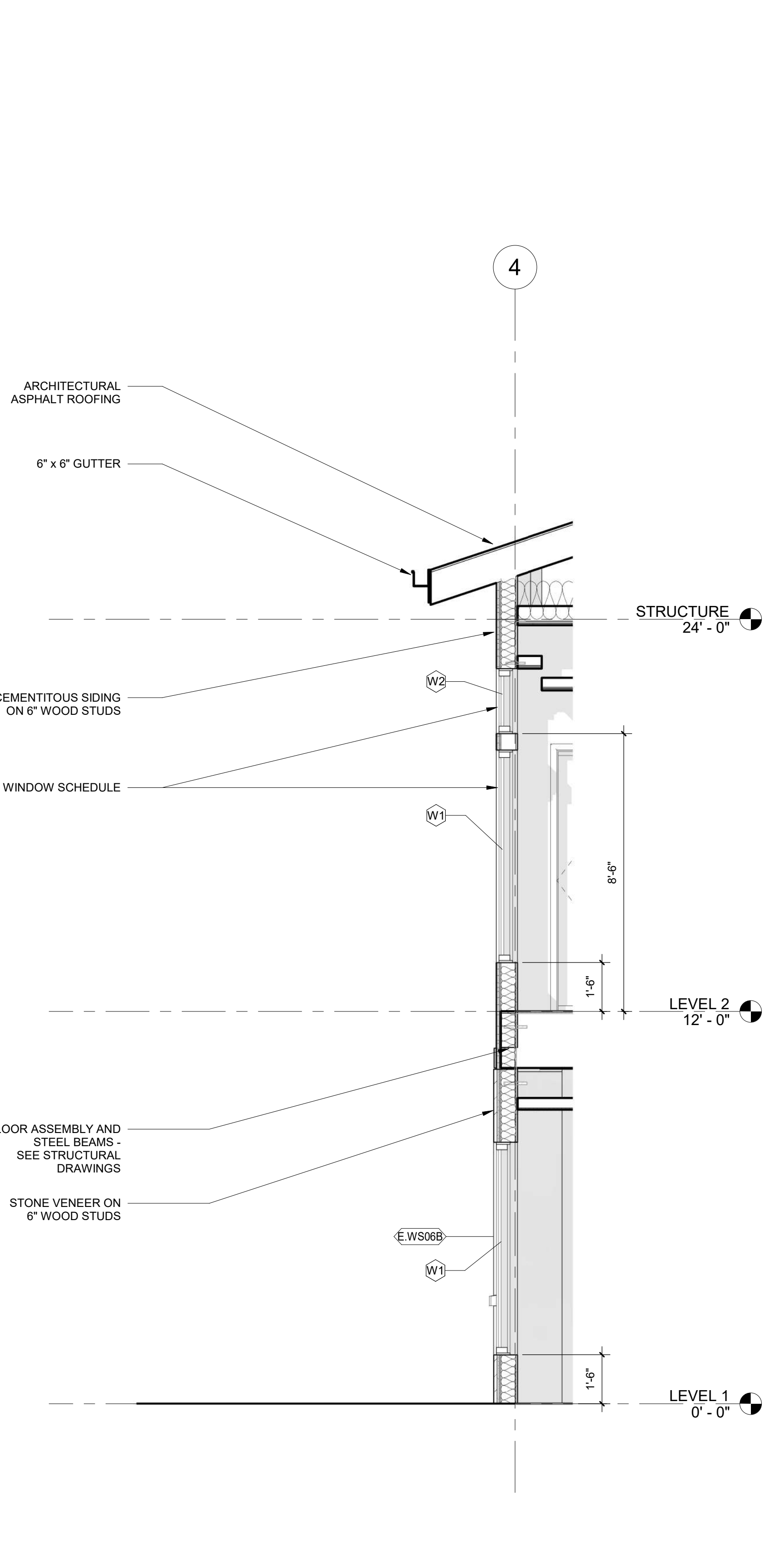
**A-412**



**3 WALL SECTION**  
3/8" = 1'-0"



**2 WALL SECTION**  
3/8" = 1'-0"



**1 WALL SECTION**  
3/8" = 1'-0"











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PRINT DATE 3/24/2021 4:36:58 PM

ISSUE DATE

PRICING SET 03/24/2021

REVISION DATE

PROJECT TITLE  
**ECA CLUBHOUSE EXPANSION**

8400 UPPER SKY WAY  
LAUREL, MD 20723

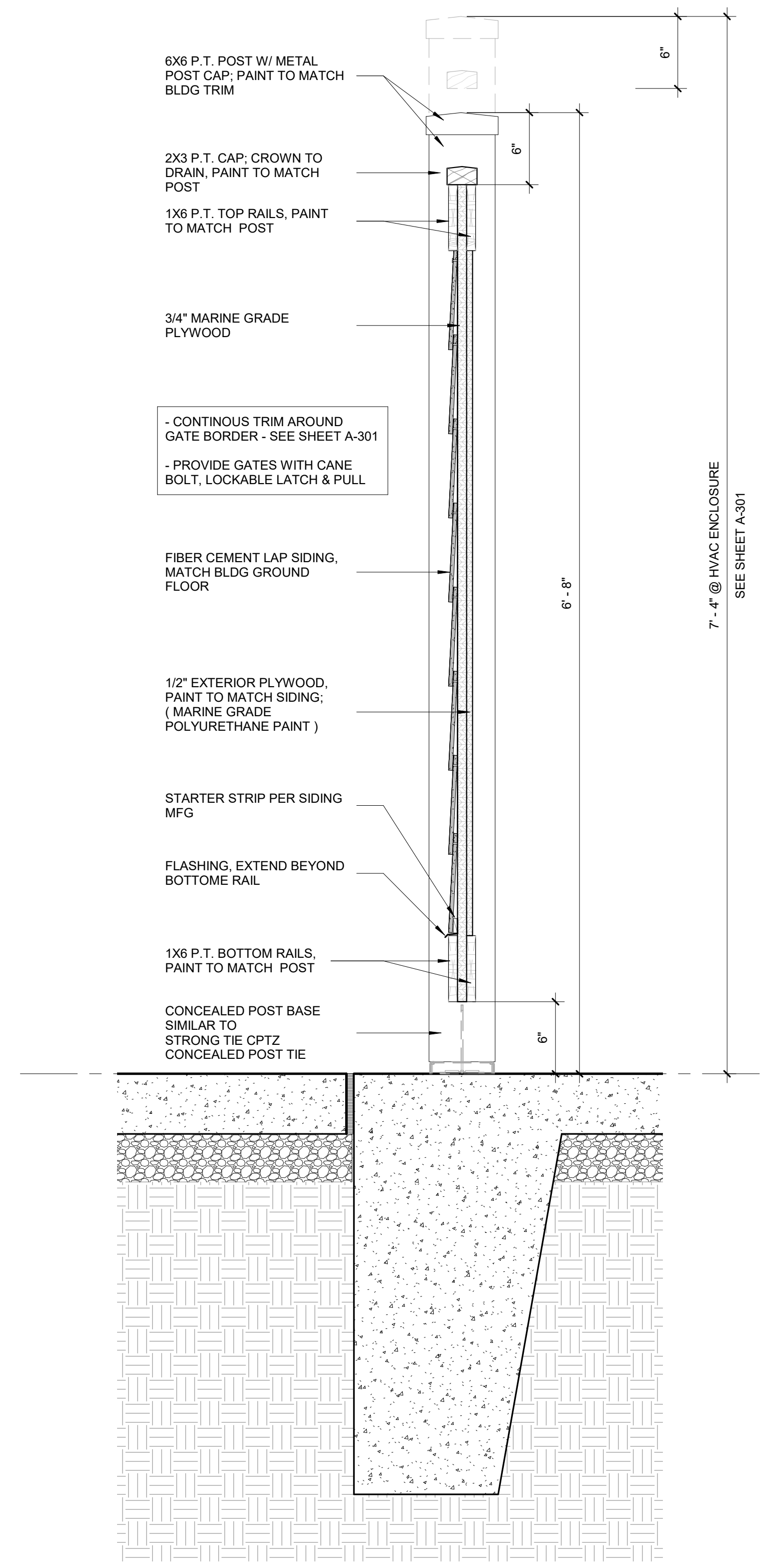
PROJECT NO. 320762.00

DRAWING TITLE  
**SECTION DETAILS**

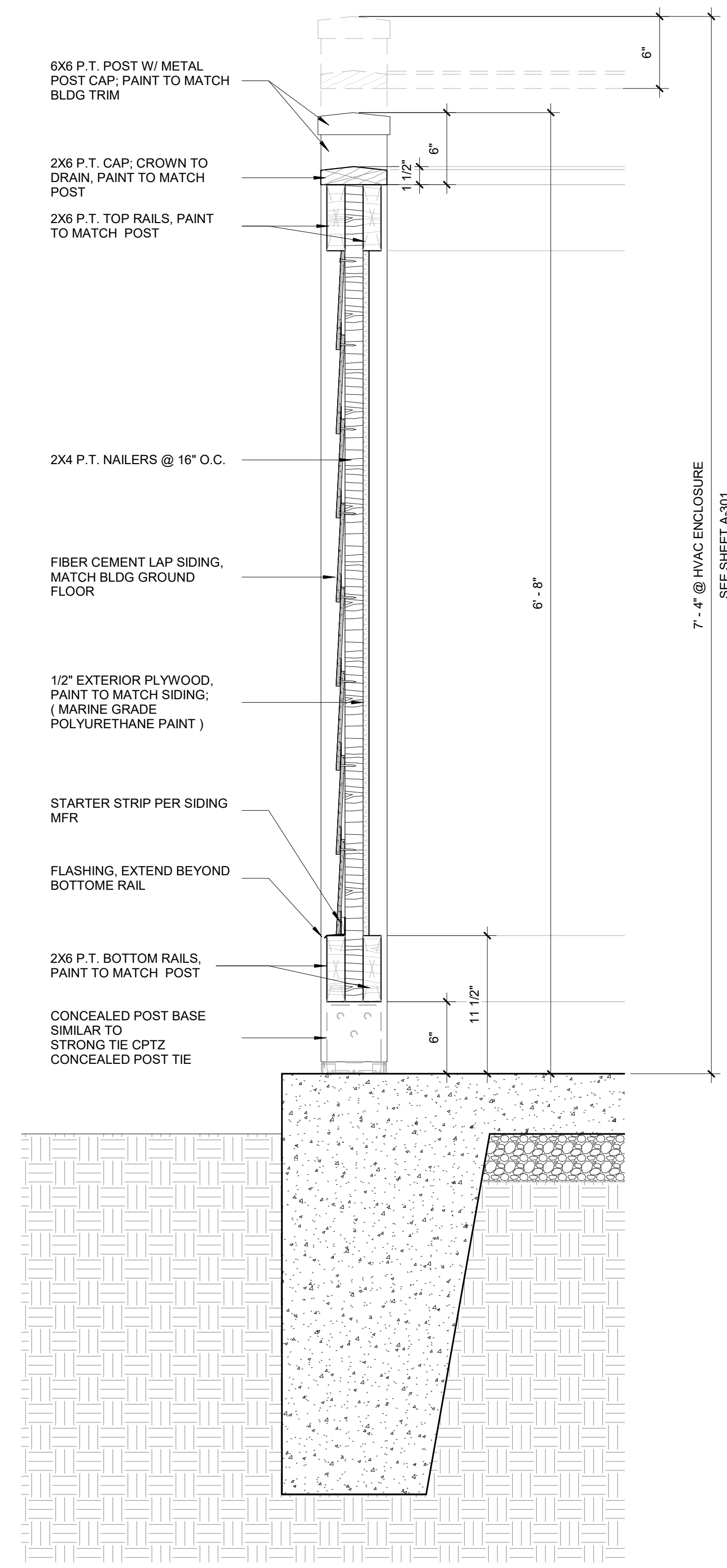
DRAWN BY MK  
QC CHECKED BY CG  
CA REVIEWED BY

DRAWING NUMBER

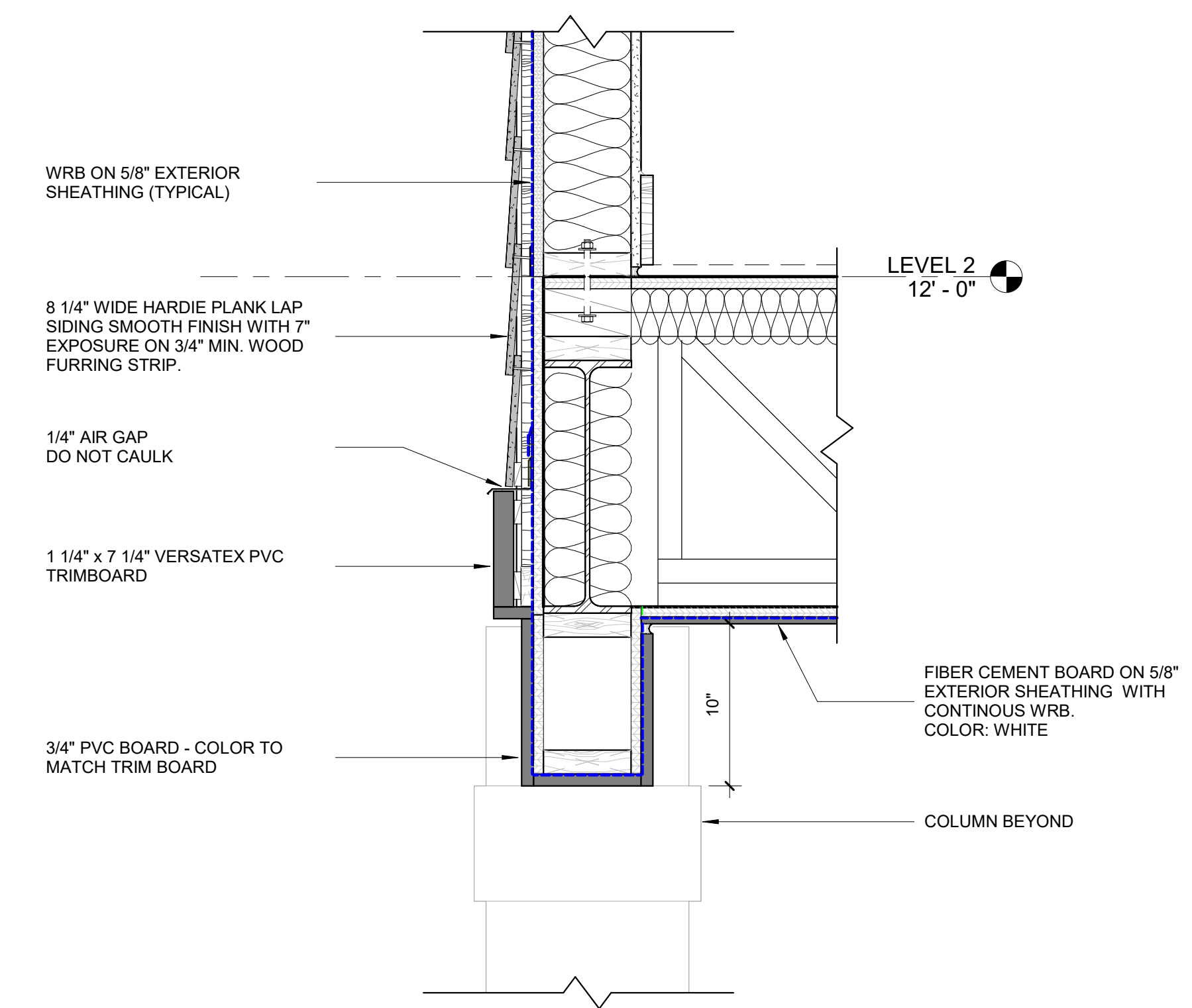
**A-422**



**3 GATE @ TRASH ENCLOSURE**  
1 1/2" = 1'-0"



**2 SCREEN @ TRASH ENCLOSURE**  
1 1/2" = 1'-0"



**1 SECTION DETAIL @ COVERED AREA**  
1 1/2" = 1'-0"



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PRINT DATE 3/24/2021 4:37:01 PM

ISSUE DATE

PERMIT SUBMISSION 02/05/2021  
PRICING SET 03/24/2021

REVISION DATE

PROJECT TITLE  
**ECA CLUBHOUSE EXPANSION**

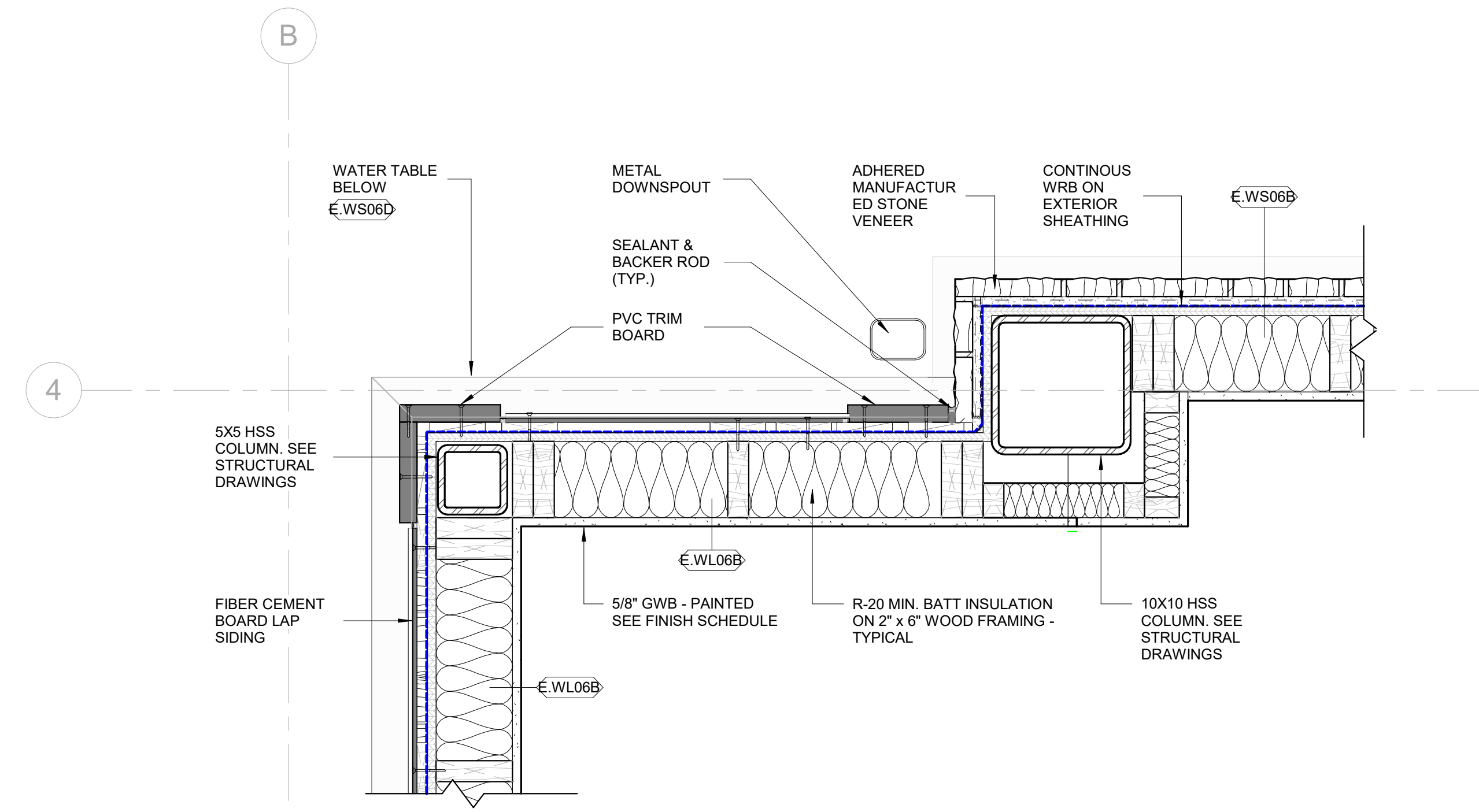
8400 UPPER SKY WAY  
LAUREL, MD 20723

PROJECT NO. 320762.00

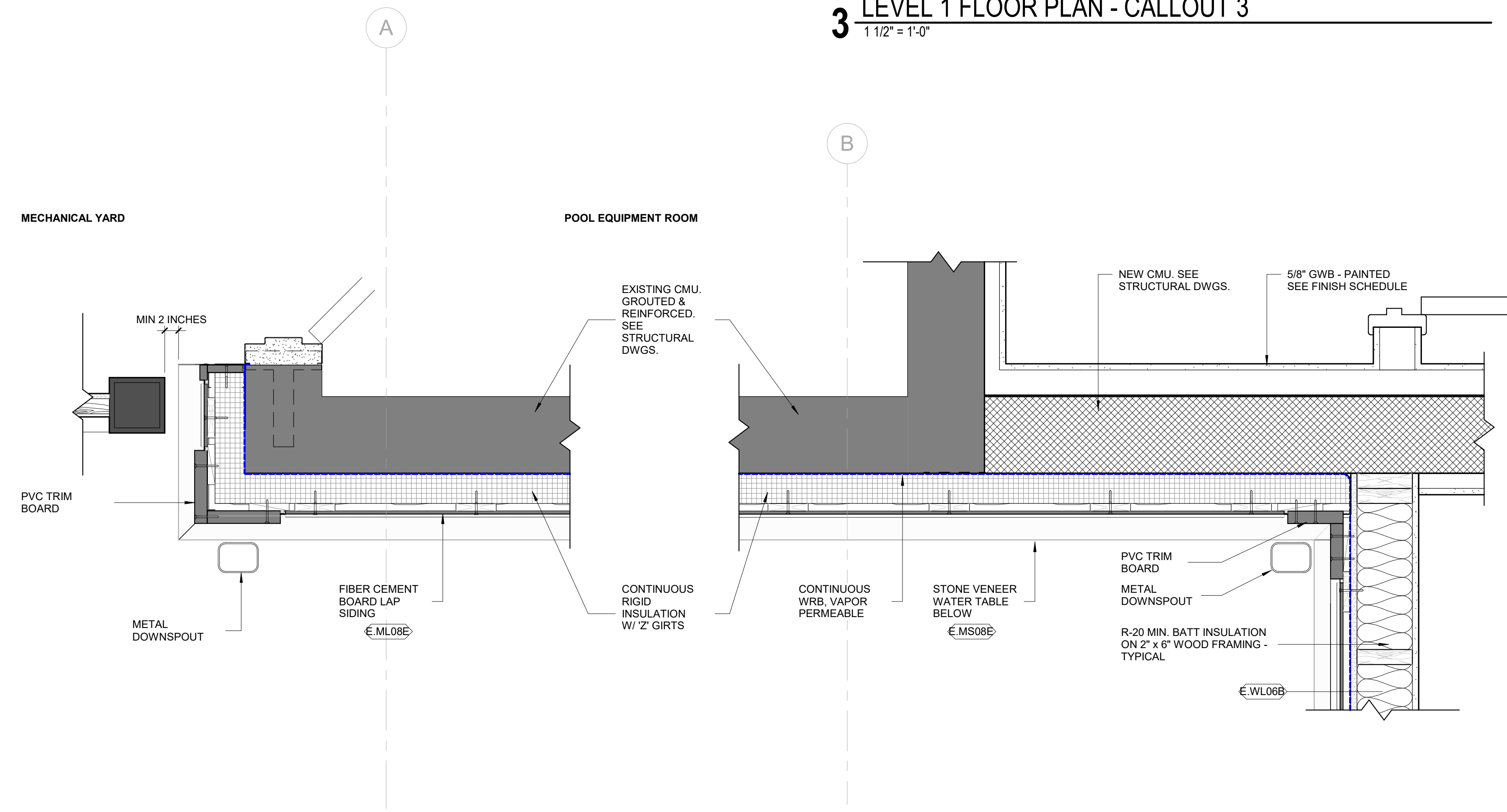
DRAWING TITLE  
**PLAN DETAILS**

DRAWN BY MK  
QC CHECKED BY CG  
CA REVIEWED BY

DRAWING NUMBER  
**A-500**

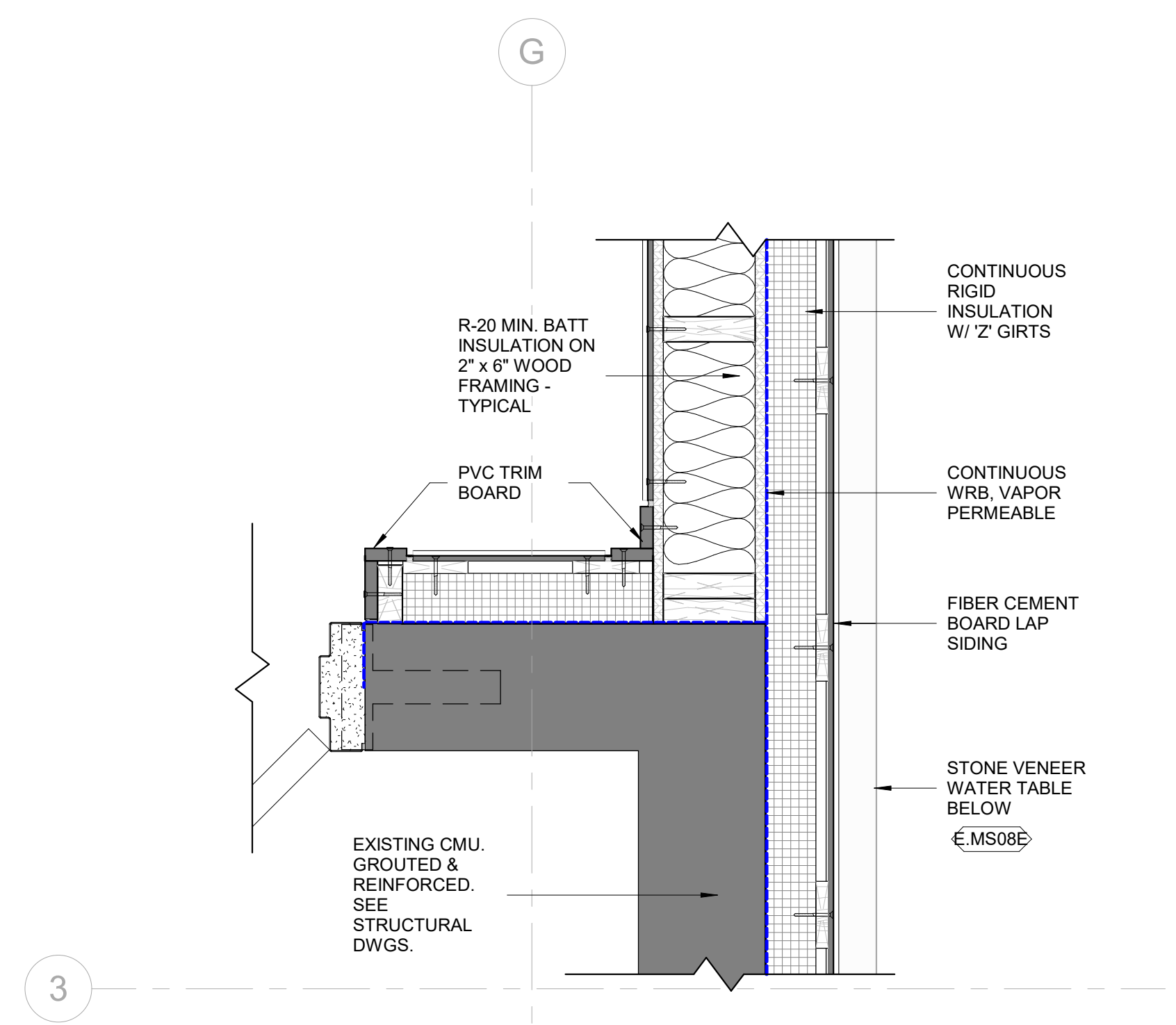


**3** LEVEL 1 FLOOR PLAN - CALLOUT 3  
1 1/2" = 1'-0"

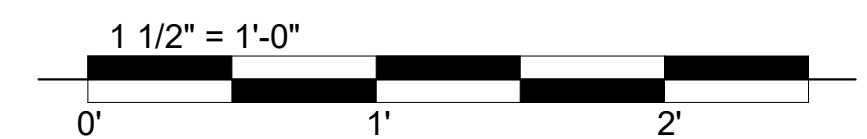


**1** LEVEL 1 FLOOR PLAN - CALLOUT 1  
1 1/2" = 1'-0"

**2** LEVEL 1 FLOOR PLAN - CALLOUT 2  
1 1/2" = 1'-0"



**4** LEVEL 1 FLOOR PLAN - CALLOUT 4  
1 1/2" = 1'-0"







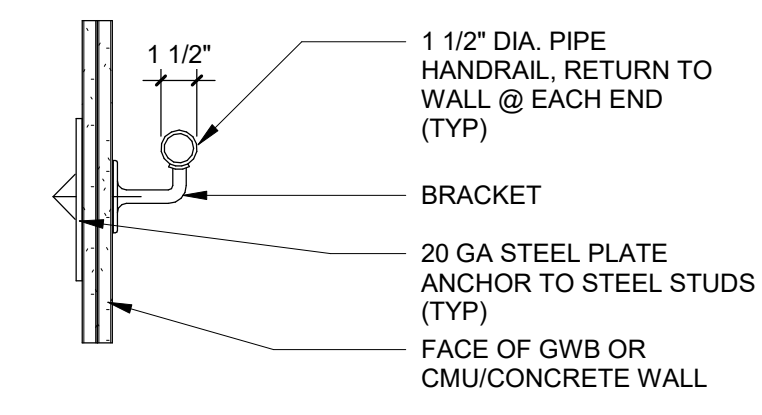


**STAIR NOTES**

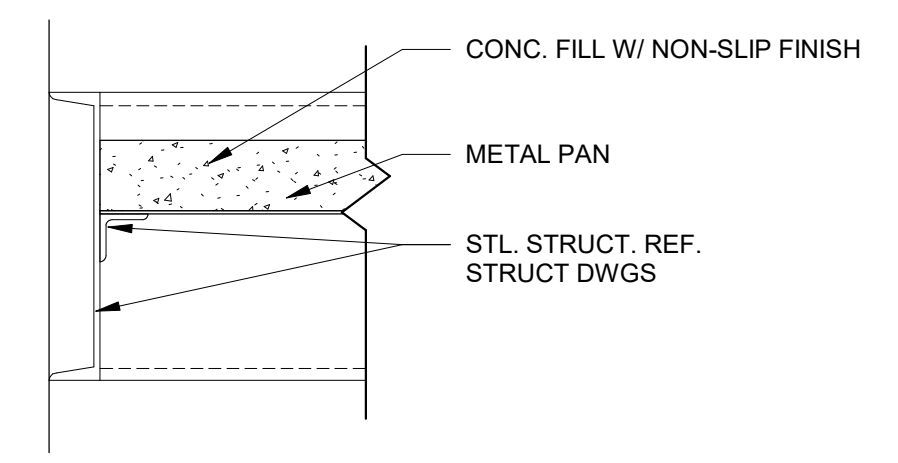
1. ALL CONCRETE STAIRS TO RECEIVE INTEGRAL STAIR NOSING FOR FULL WIDTH OF TREAD.
2. FOR ADDITIONAL INFORMATION, SEE STRUCTURAL DRAWINGS AND SPECIFIC DELEGATED DESIGN REQUIREMENTS AND SUBMITTALS



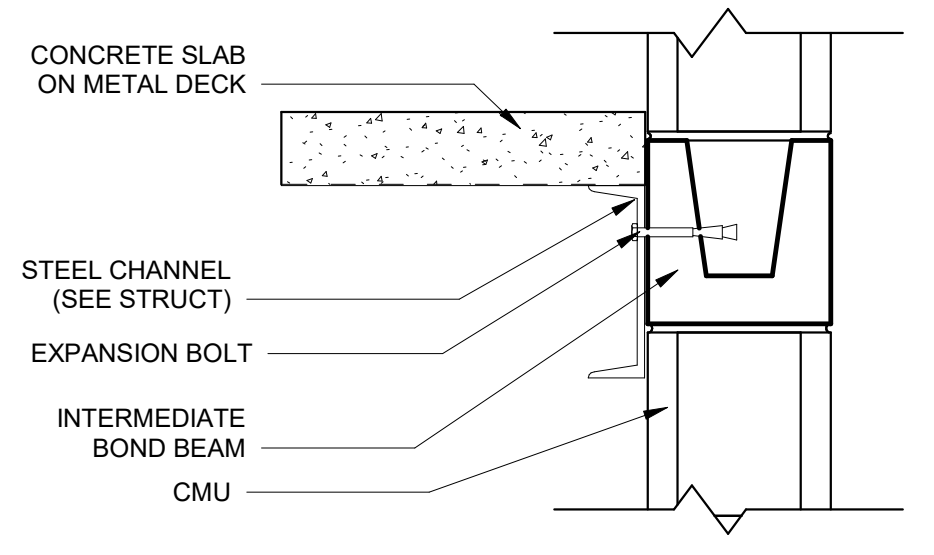
DAVIS  
CARTER  
SCOTT Ltd  
Architecture  
Interior Architecture  
Land Planning  
8614 Westwood Center Dr.  
Suite 800  
Tysons, Virginia 22182  
P 703.556.9375  
F 703.821.6976  
www.dcsdesign.com



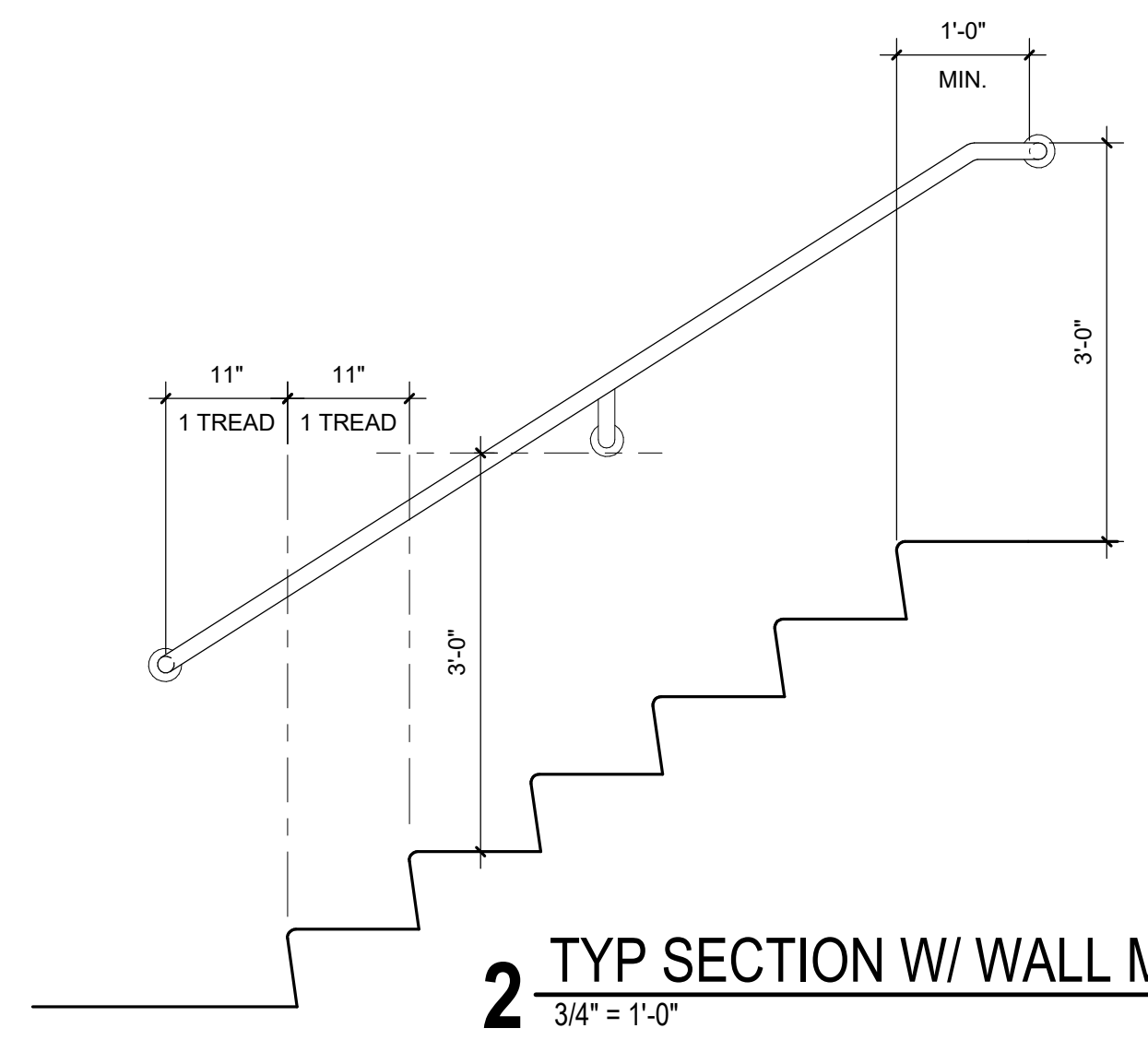
**HANDRAIL DETAIL F**



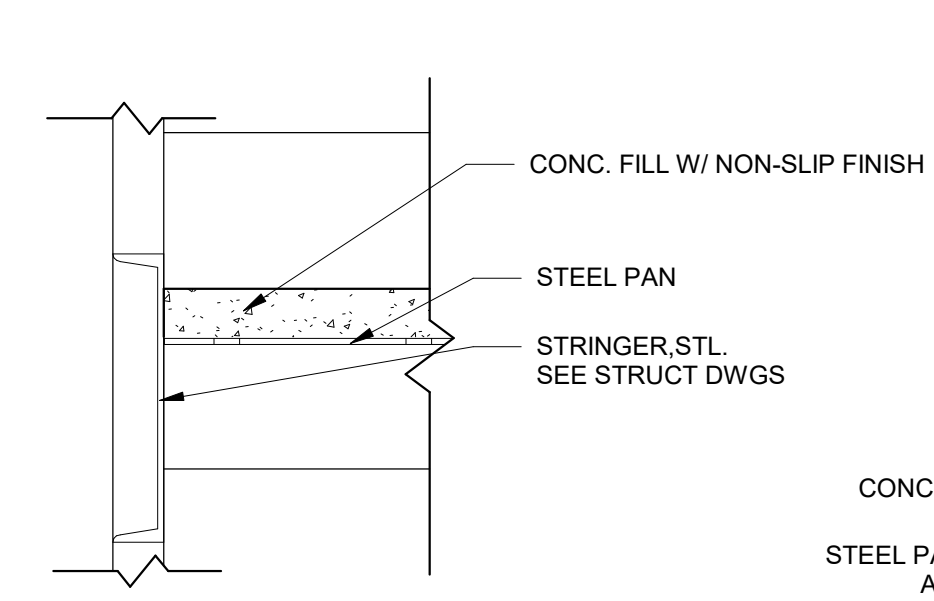
**LANDING DETAIL D**



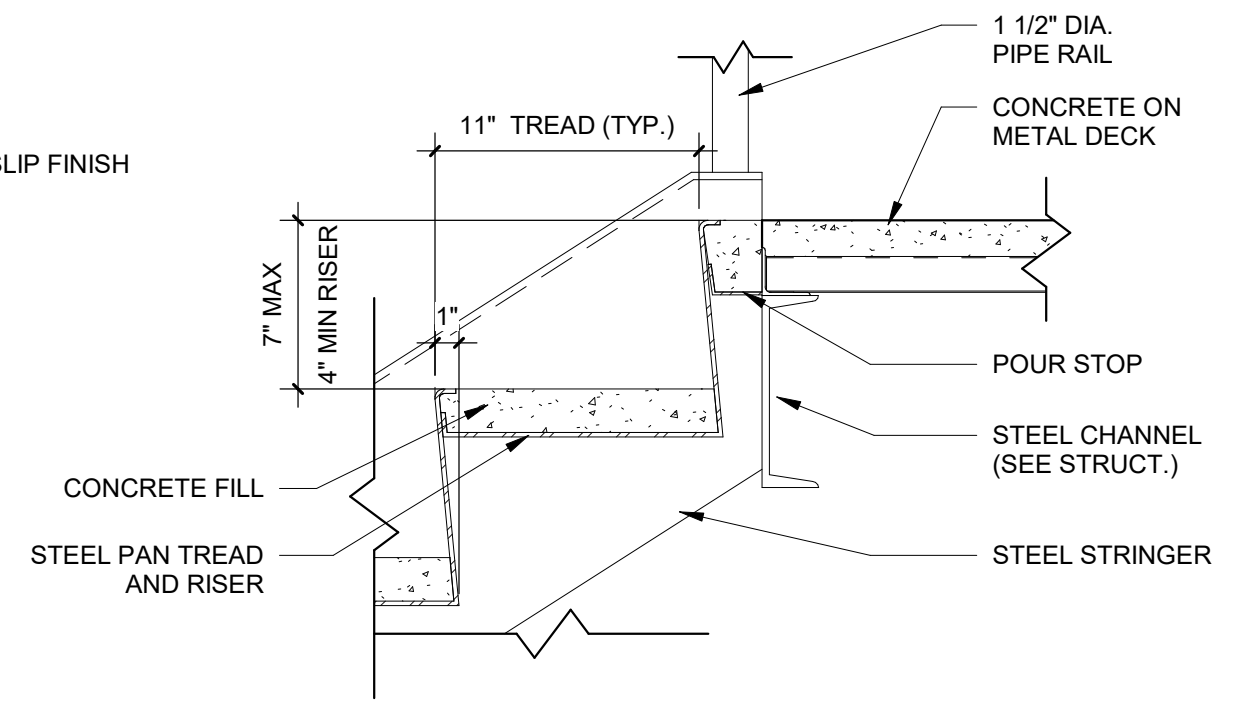
**LANDING DETAIL B**



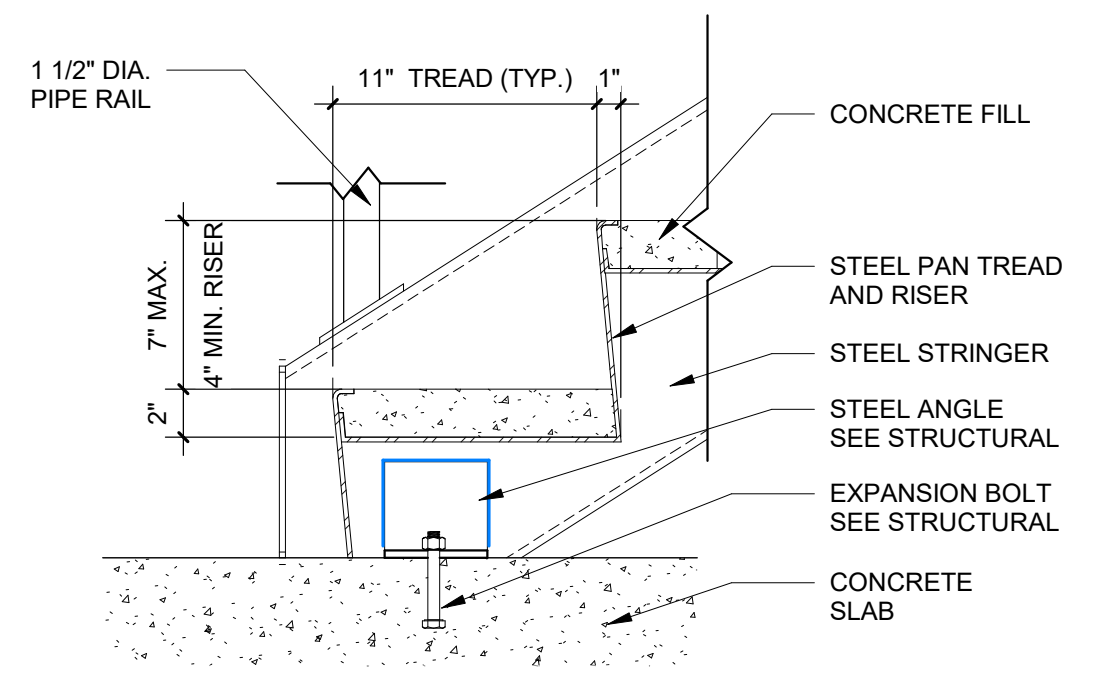
**2 TYP SECTION W/ WALL MTD HANDRAIL**  
3/4" = 1'-0"



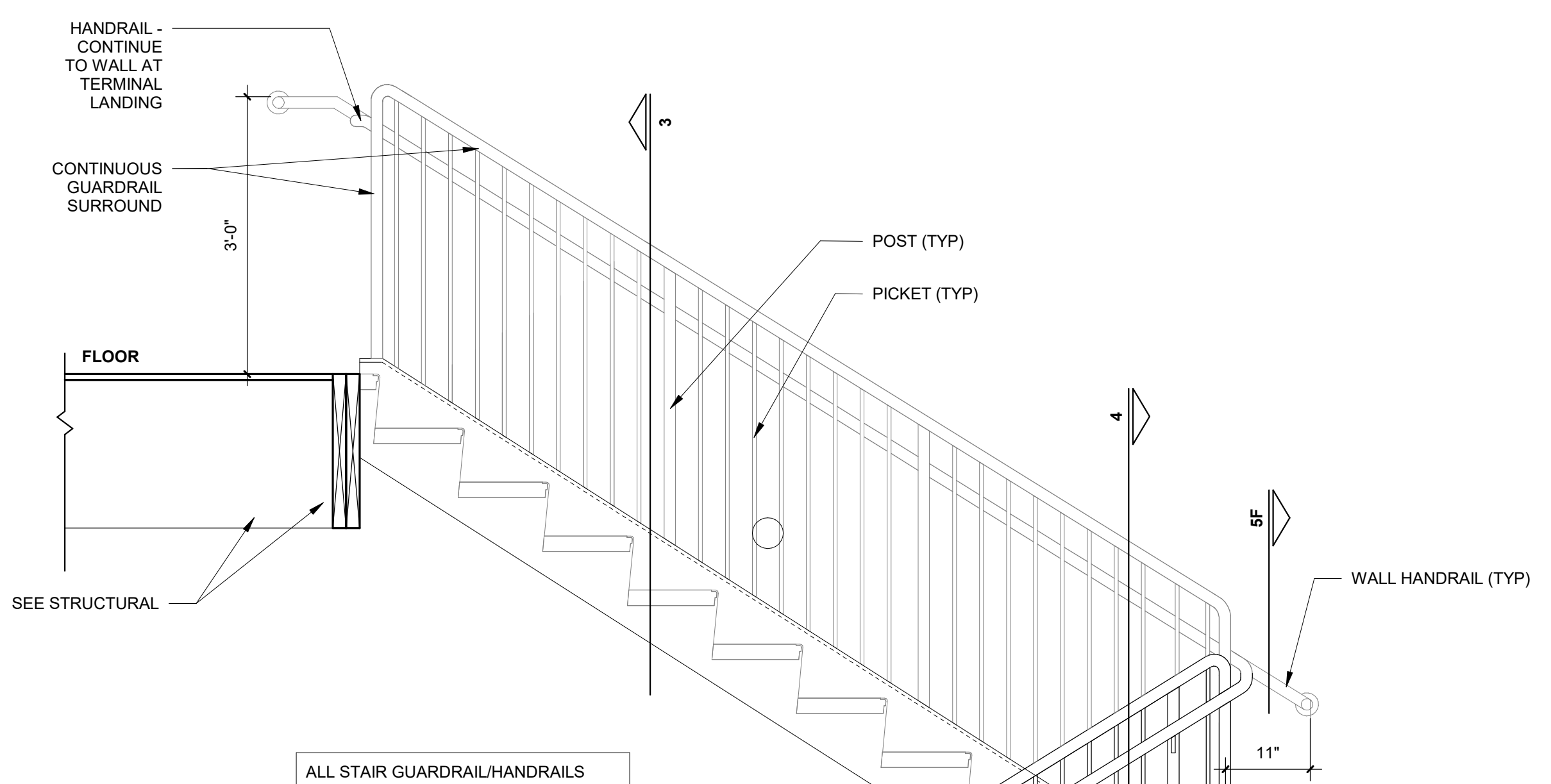
**TREAD DETAIL E**



**LANDING DETAIL C**



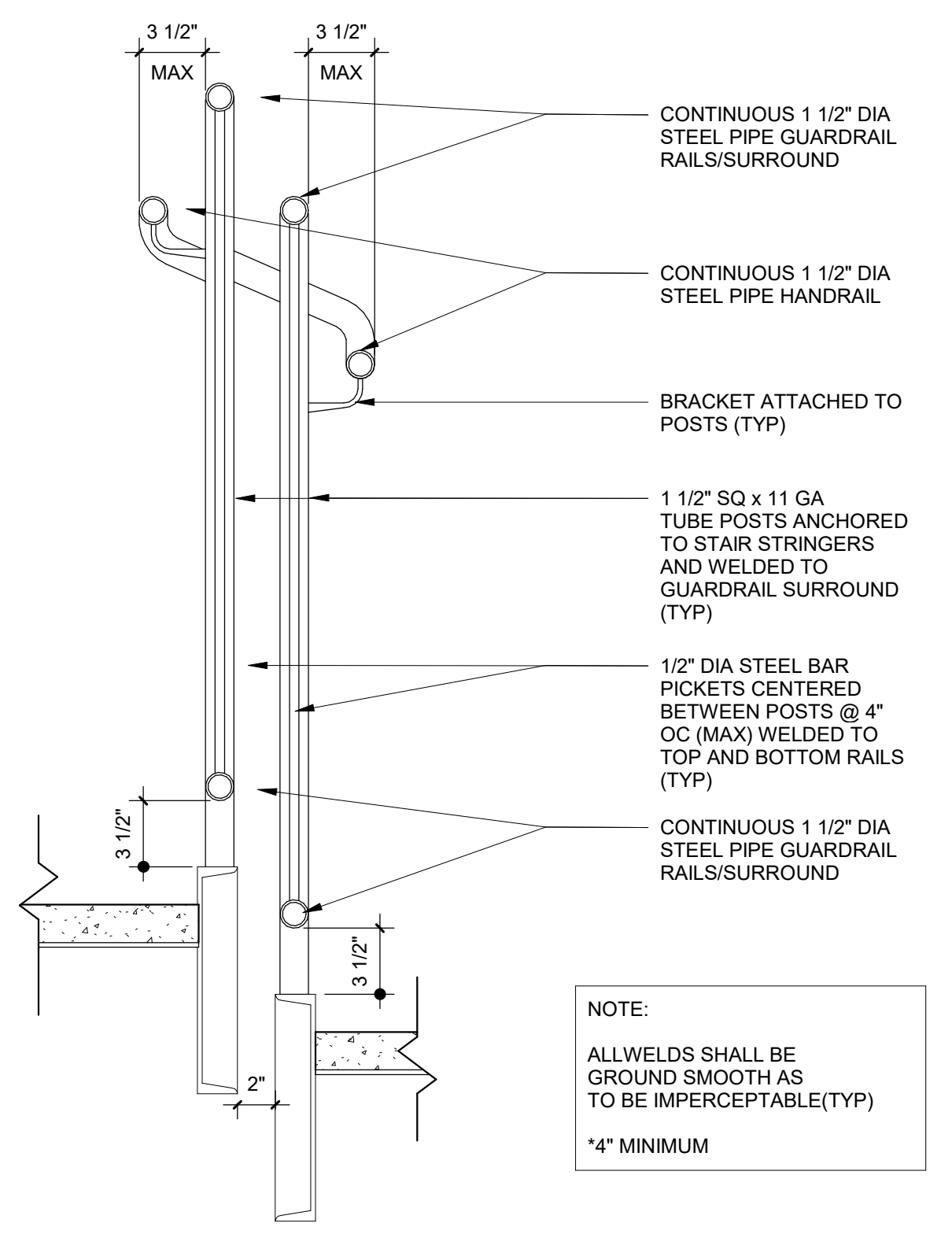
**TREAD DETAIL A**



ALL STAIR GUARDRAIL/HANDRAILS  
PTD WITH COLOR BLACK, SEMI-GLOSS

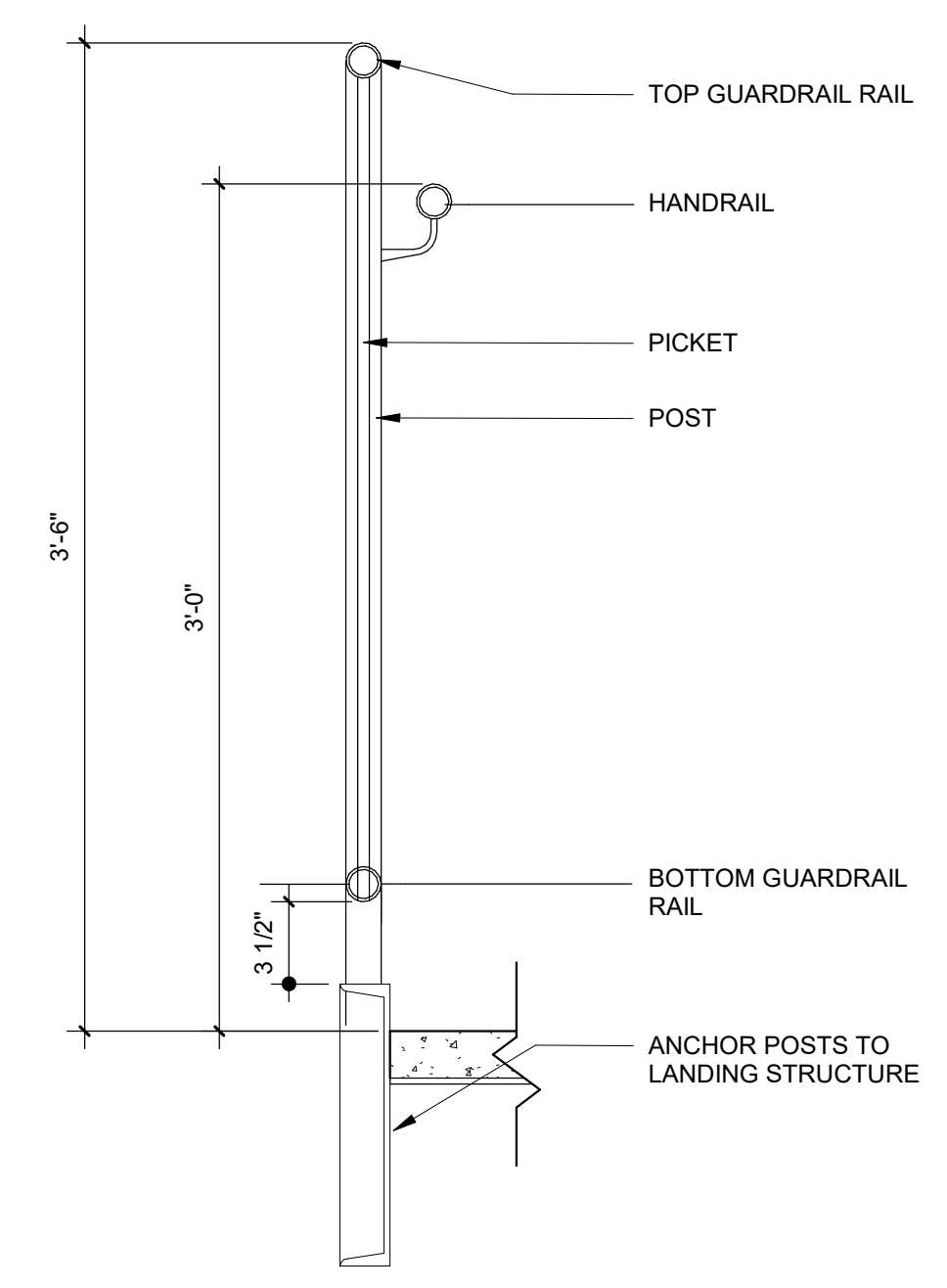
**1 TYP STAIR SECTION - METAL**  
3/4" = 1'-0"

**5 STAIR DETAILS**  
1 1/2" = 1'-0"



**4 STEEL STAIR HANDRAIL SECTION DETAIL**  
1 1/2" = 1'-0"

NOTE:  
ALL WELDS SHALL BE  
GROUND SMOOTH AS  
TO BE IMPERCEPTABLE (TYP)  
\*4" MINIMUM



**3 TOP MOUNT - STEEL**  
1 1/2" = 1'-0"

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PRINT DATE 3/24/2021 4:37:05 PM

ISSUE DATE  
PERMIT SUBMISSION 02/05/2021  
PRICING SET 03/24/2021

REVISION DATE

PROJECT TITLE  
**ECA CLUBHOUSE EXPANSION**

8400 UPPER SKY WAY  
LAUREL, MD 20723

PROJECT NO. 320762.00

DRAWING TITLE  
**STAIR TYPICAL DETAILS**

DRAWN BY PFS  
QC CHECKED BY CG  
CA REVIEWED BY

DRAWING NUMBER  
**A-600**







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PRINT DATE 3/24/2021 4:37:13 PM

ISSUE DATE 10/21/2020  
DESIGN DEVELOPMENT 02/05/2021  
PERMIT SUBMISSION 03/24/2021  
PRICING SET

REVISION DATE

PROJECT TITLE  
**ECA CLUBHOUSE EXPANSION**

8400 UPPER SKY WAY  
LAUREL, MD 20723

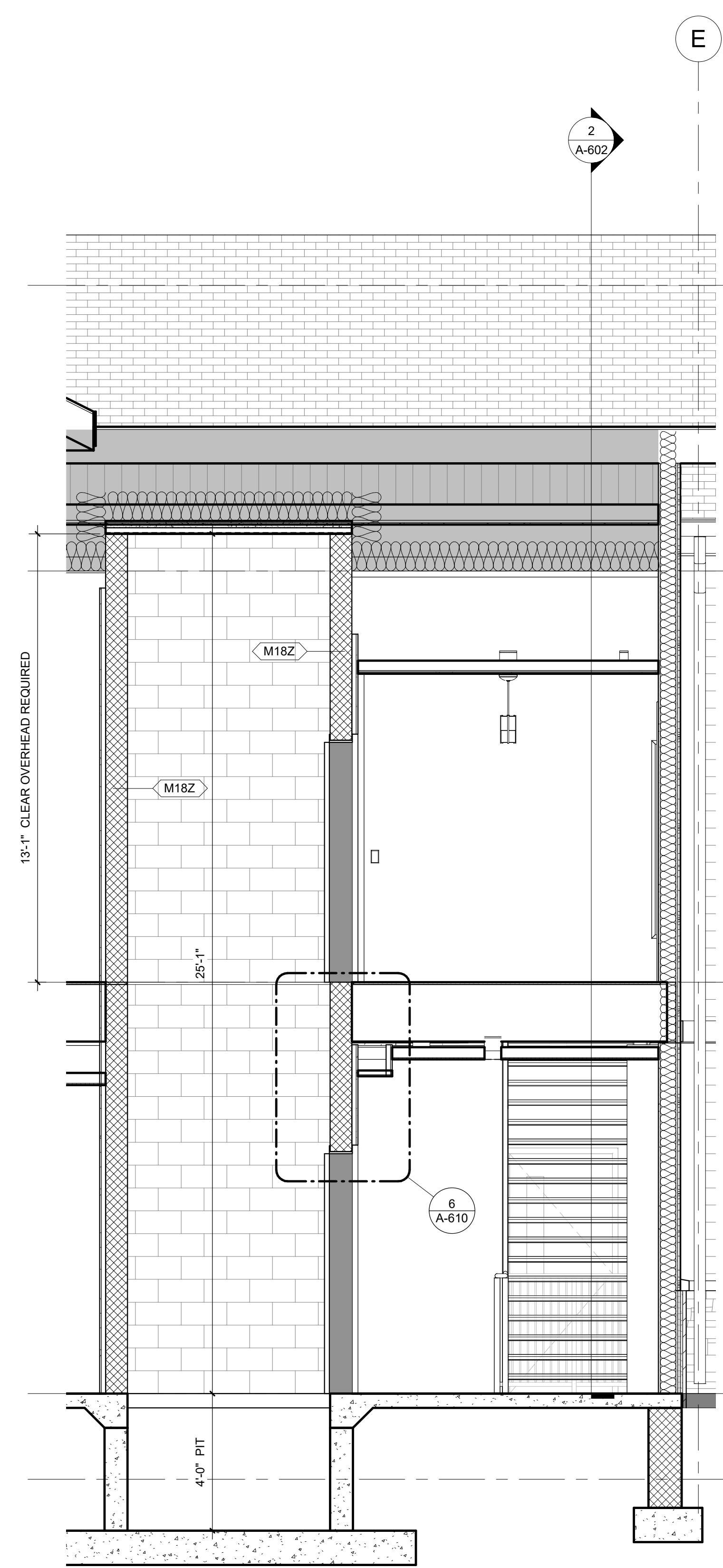
PROJECT NO. 320762.00

DRAWING TITLE  
**PLANS & SECTIONS - STAIR B & ELEVATOR**

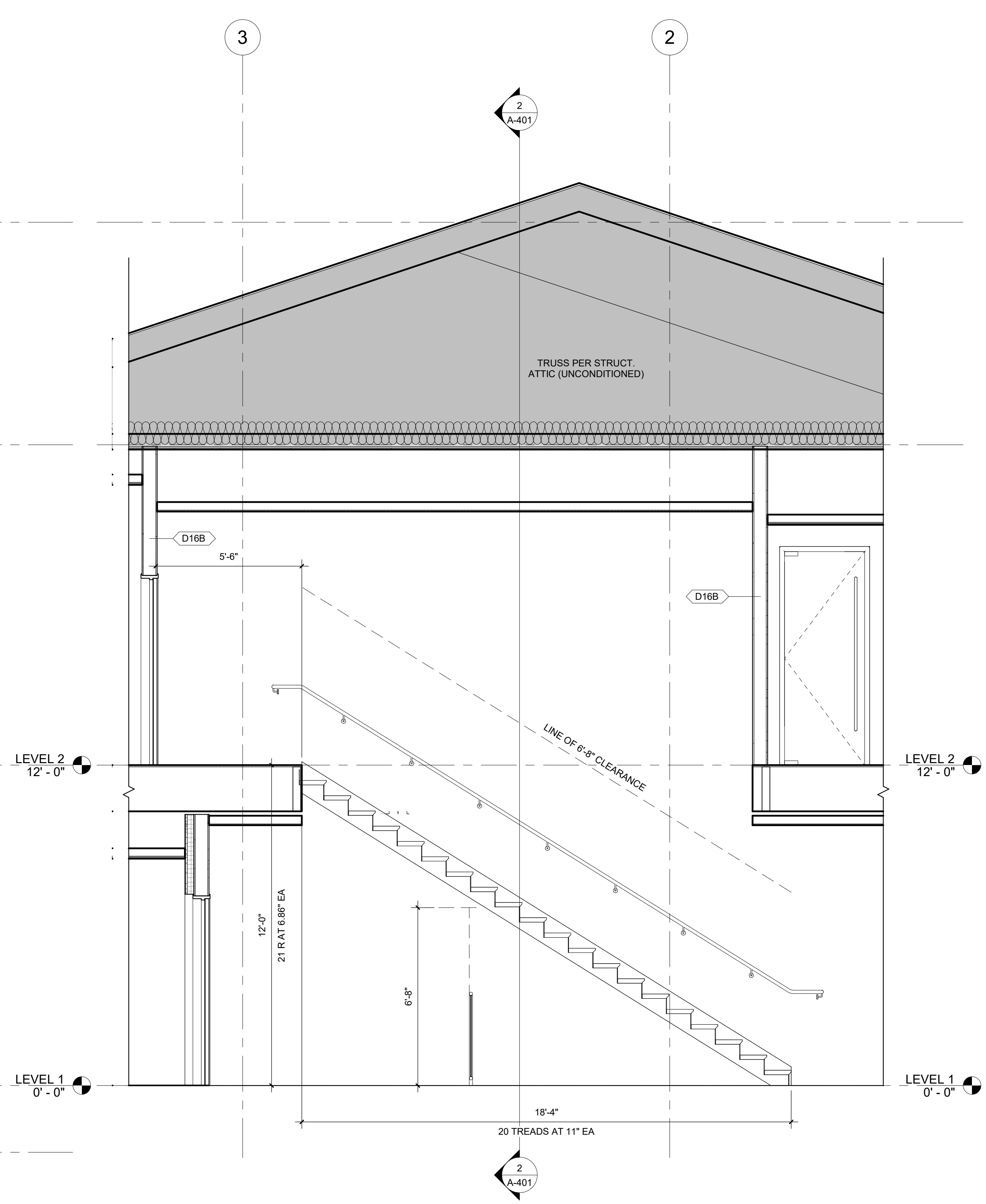
DRAWN BY PFS  
QC CHECKED BY CG  
CA REVIEWED BY

DRAWING NUMBER

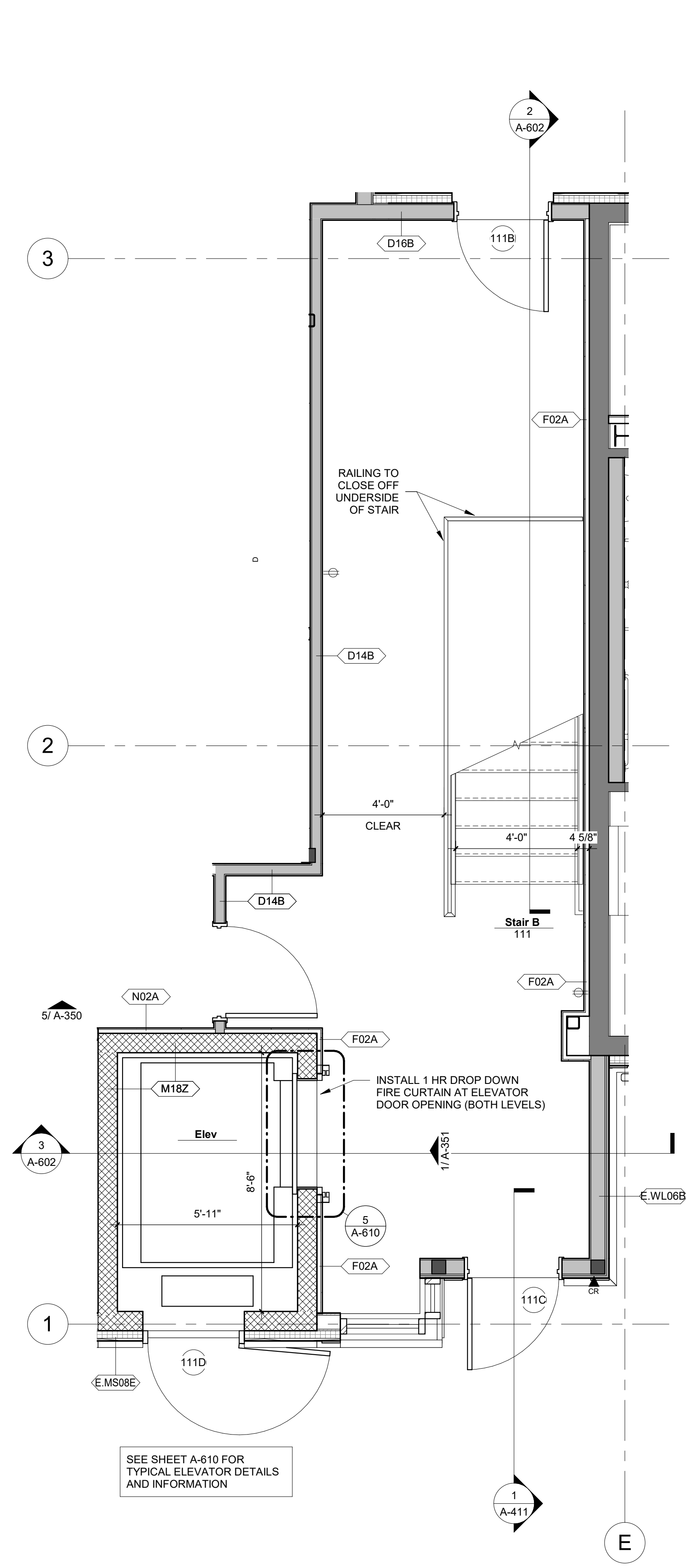
**A-602**



**3 ELEVATOR SECTION**  
3/8" = 1'-0"



**2 STAIR B SECTION**  
3/8" = 1'-0"



**1 LEVEL 1 PLAN**  
3/8" = 1'-0"

C:\Users\pfs\OneDrive\Documents\A-602\_ElevatorClubhouse\_0210\_rch.dwg  
3/24/2021 4:37:13 PM

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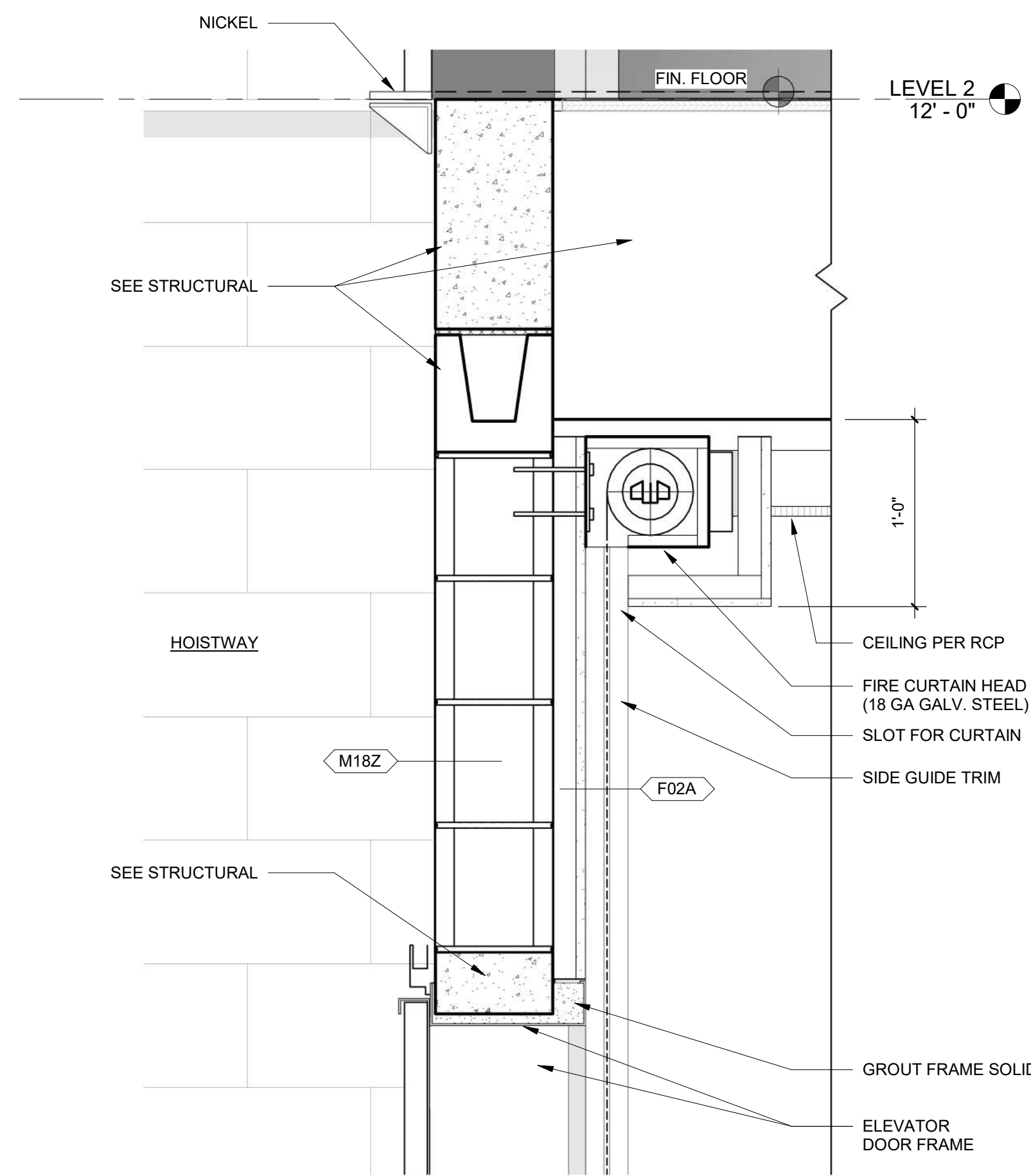


## ELEVATOR NOTES

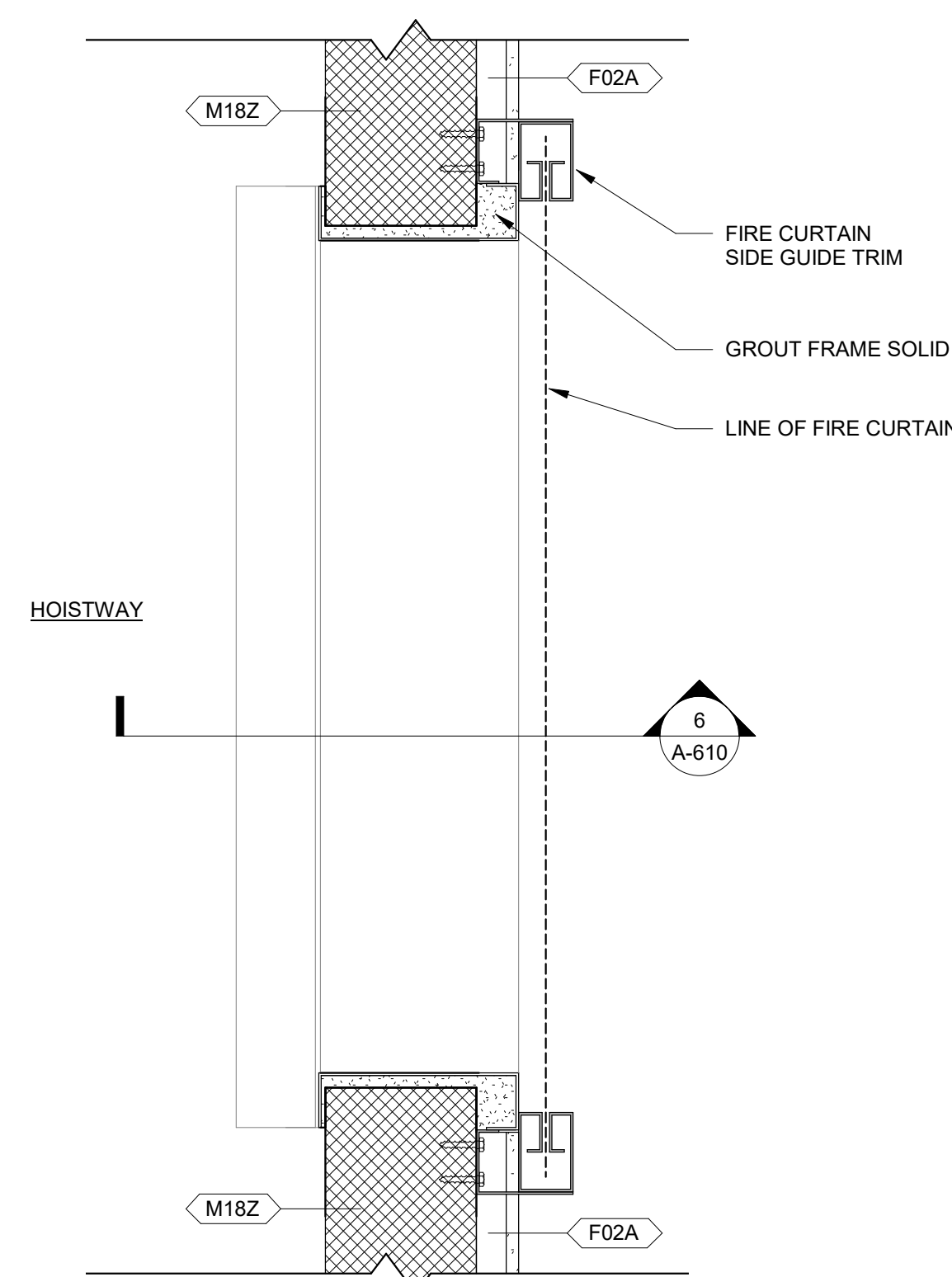
- ELEVATOR BASIS OF DESIGN: OTIS HYDROFIT MRL, 2500LB, 100 FPM
- CONTRACTOR RESPONSIBLE IN COORDINATING WITH REQUIRED CUTOUTS TO ACCOMMODATE ELEVATOR EQUIPMENT.
- VERTICAL OR ADDITIONAL HORIZONTAL STRUCTURAL SUPPORT FOR RAIL BRACKETING AS REQUIRED FOR CAR AND/OR COUNTERWEIGHT BOTH SIDES OF HOISTWAY TO MEET BRACKET SPACING CRITERIA INDICATED IN THE SECTION. VERTICAL SUPPORT FOR RAIL BRACKETING IS PROVIDED BY HOISTWAY WALLS IN THE CASE OF REINFORCED CONCRETE AND MASONRY CONSTRUCTION.
- REFER TO PLANS FOR LOCATION AND SURROUNDING ELEMENTS.
- REFER TO INTERIOR FINISH DRAWINGS FOR ELEVATOR CAB AND OUTSIDE WALL SURROUND FINISH.

## PIT NOTES

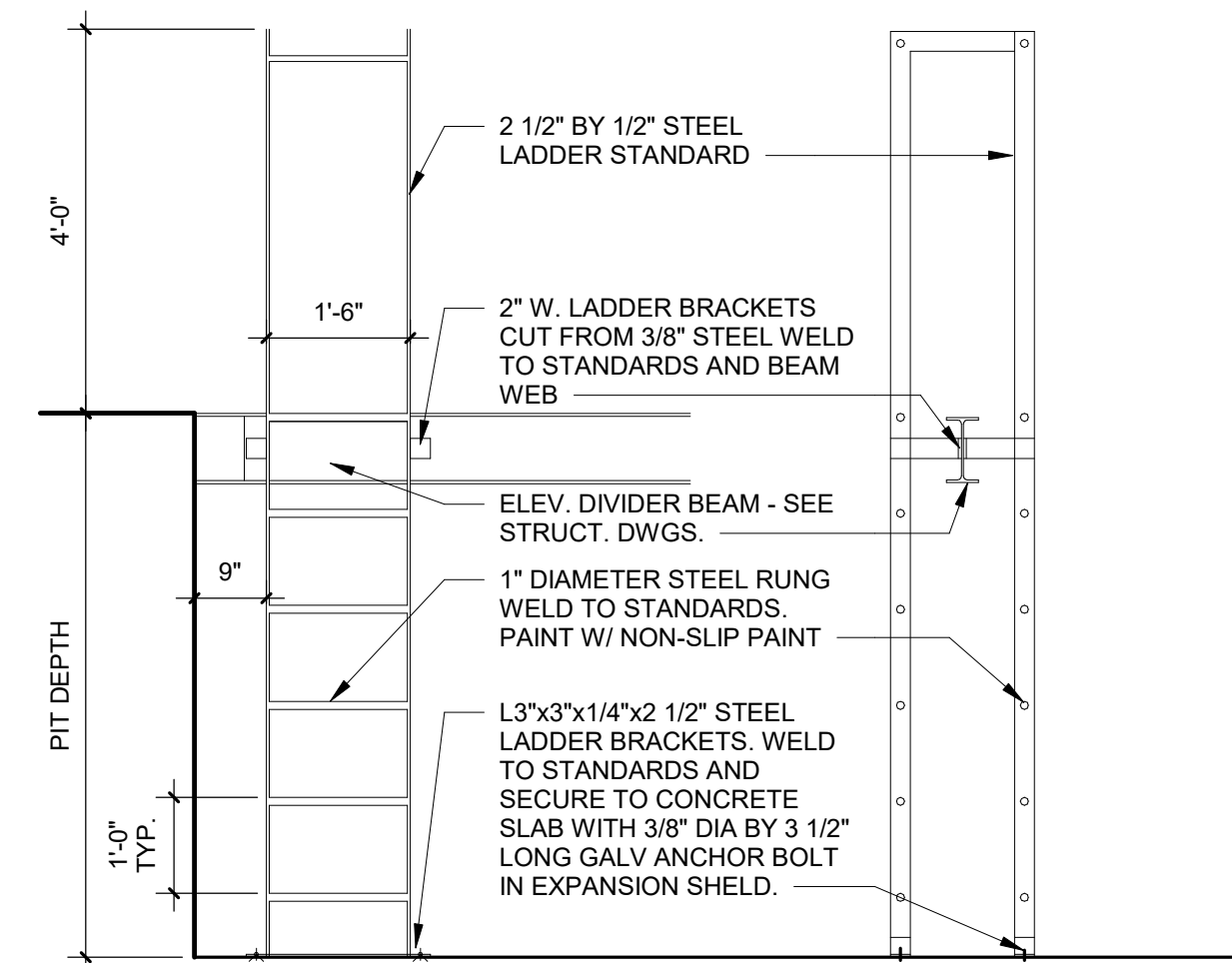
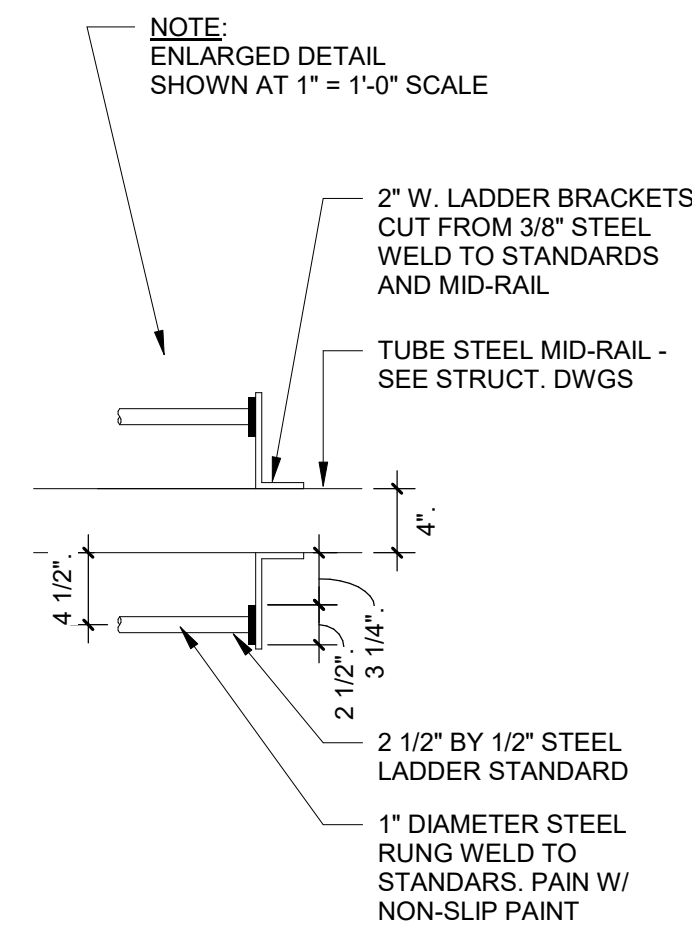
- INSTALL PERMANENT LIGHT FIXTURE IN THE ELEVATOR PIT WITH ILLUMINATION OF NOT LESS THAN 10 FC MEASURED AT THE PIT FLOOR. LIGHT BULB SHALL BE EXTERNALLY GUARDED TO PREVENT CONTACT OR ACCIDENTAL BREAKAGE. COORDINATE WITH ELECTRICAL DRAWINGS. HOISTWAY LIGHT SWITCH LOCATED 3'-2" ABOVE TOP LANDING.
- PROVIDE AND INSTALL FIXED VERTICAL PIT LADDER FOR ELEVATOR. LADDER 23" WIDE AND 2 1/2" DEEP X PI DEPTH +4'-0". ELEVATOR MANUFACTURER TO CONFIRM SPECIFIC LOCATION PRIOR TO FABRICATION.
- PROVIDE LIGHT SWITCHES, LIGHTS, AND GRCI-PROTECTED UTILITY OUTLETS.
- PROVIDE ON PIT LADDER, LIGHT, LIGHT SWITCH, LIGHT FIXTURE AND GFCI-PROTECTED UTILITY OUTLET PER ELEVATOR.
- PROVIDE ADEQUATE STRUCTURAL SUPPORT REQUIRED FOR BUFFER AND RAIL FORCE REACTIONS.
- ALL PITS TO RECEIVE TWO COATS OF WHITE PAINT ON WALLS.
- ELEVATOR PIT SHALL RECEIVE BENTONITE WATERPROOFING FOR HYDROSTATIC CONDITION (CETCO ULTRASEAL BE AT VERTICAL AND SP FOR HORIZONTAL SURFACE OR EQUAL).
- INTERIOR OF PIT TO RECEIVE CRYSTALLINE WATERPROOFING (XYPEX OR EQUAL).



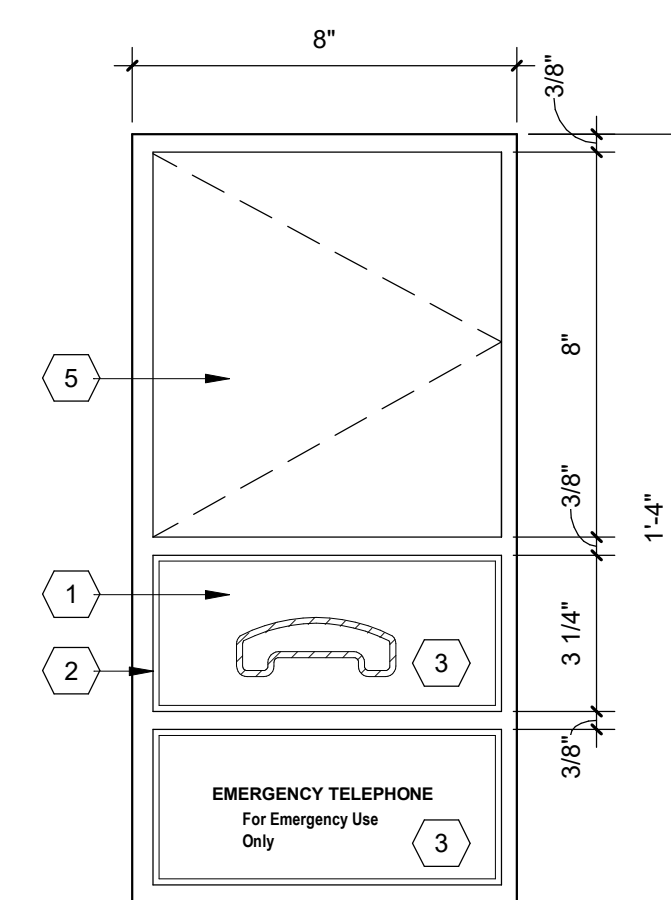
**6 SECTION DETAIL - HEAD / FIRE CURTAIN**  
1 1/2" = 1'-0"



**5 PLAN DETAIL - JAMB / FIRE CURTAIN**  
1 1/2" = 1'-0"



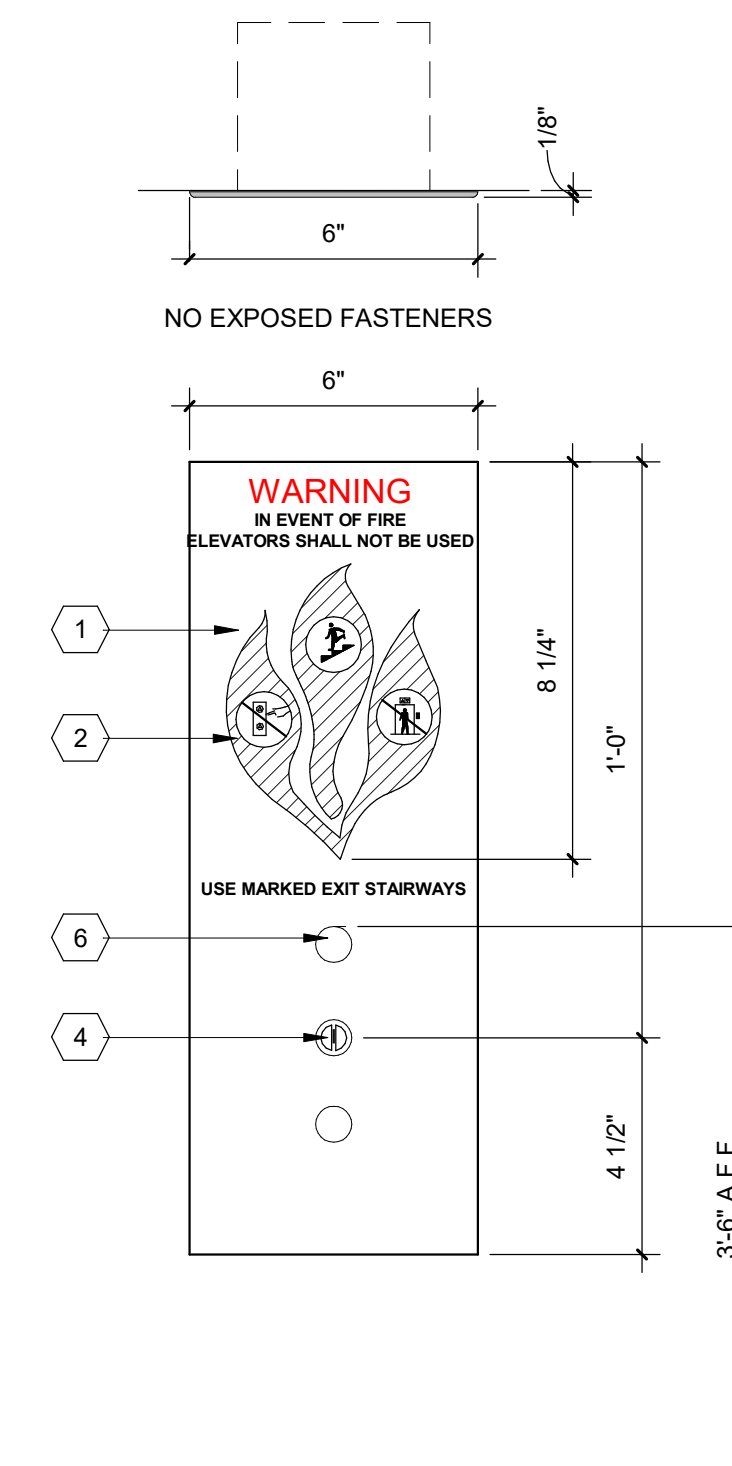
**4 PIT LADDER DETAILS**  
1/2" = 1'-0"



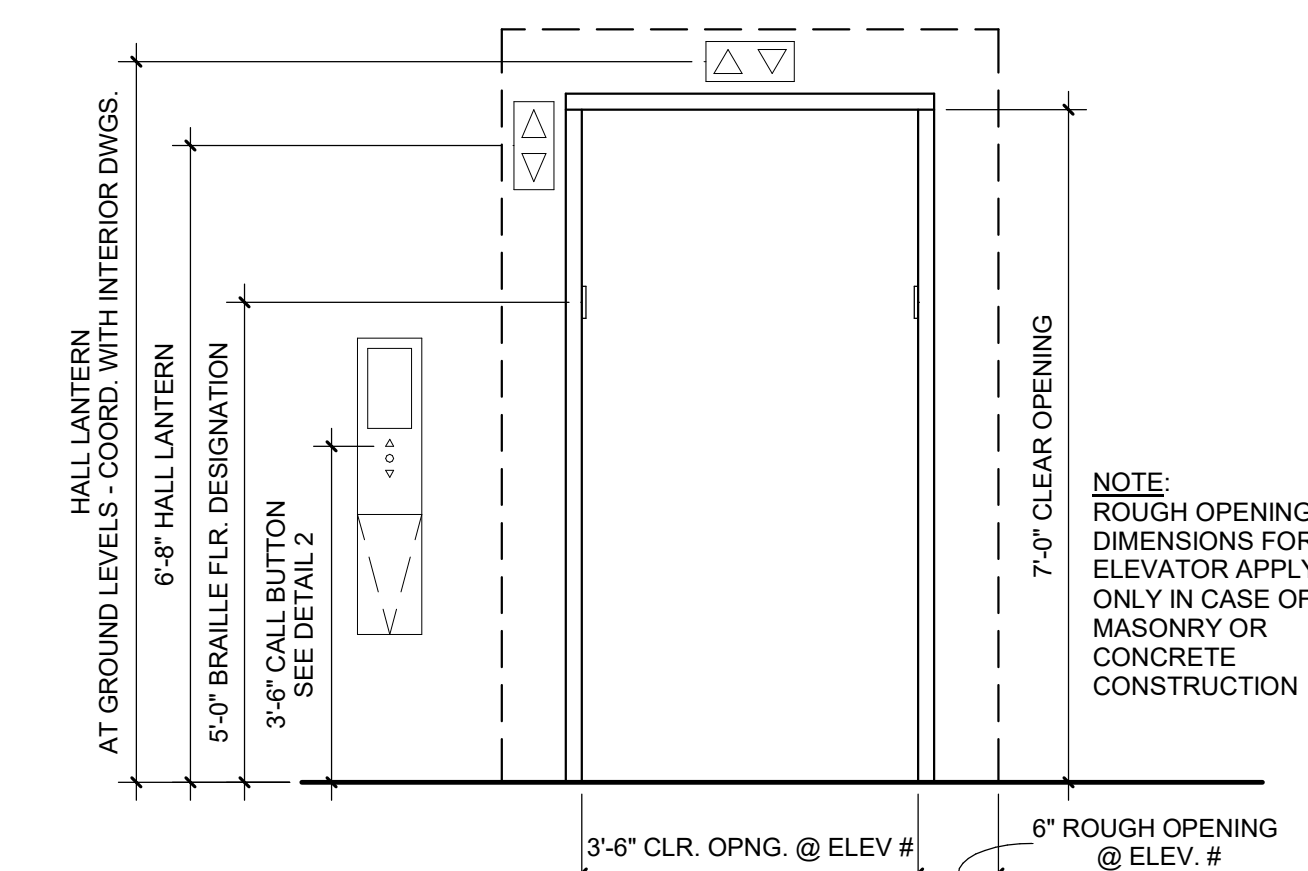
**3 ELEVATOR EMERGENCY PHONE**  
3" = 1'-0"

## SIGN CONSTRUCTION

- SATIN FINISH 16 GA. 1/8" STAINLESS STEEL SIGN W/ BEVELED EDGES MOUNT TO WALL WITH CONCEALED FASTENERS.
- SATIN FINISH 1/8" THK. STAINLESS STEEL 1/8" SCORED LINE
- GRAPHICS AND TEXT ARE ETCHED AND COLOR FILLED. SEE KEY FOR COLORS.
- FIREMAN'S KEY SWITCH AT FIRST FLOOR ONLY.
- SATIN FINISH STAINLESS STEEL DOOR WITH CONCEALED PIANO HINGE
- CALL BUTTON STATION. COORDINATE WITH ELEVATOR SHOP DRAWINGS.



**2 ELEVATOR CALL BUTTON**  
3" = 1'-0"



**1 STANDARD ELEVATOR ENTRANCE DETAIL**  
1/2" = 1'-0"











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PROJECT TITLE

**ECA CLUBHOUSE EXPANSION**

8400 UPPER SKY WAY  
LAUREL, MD 20723

PROJECT NO. 320762.00

DRAWING TITLE

**CEILING DETAILS**

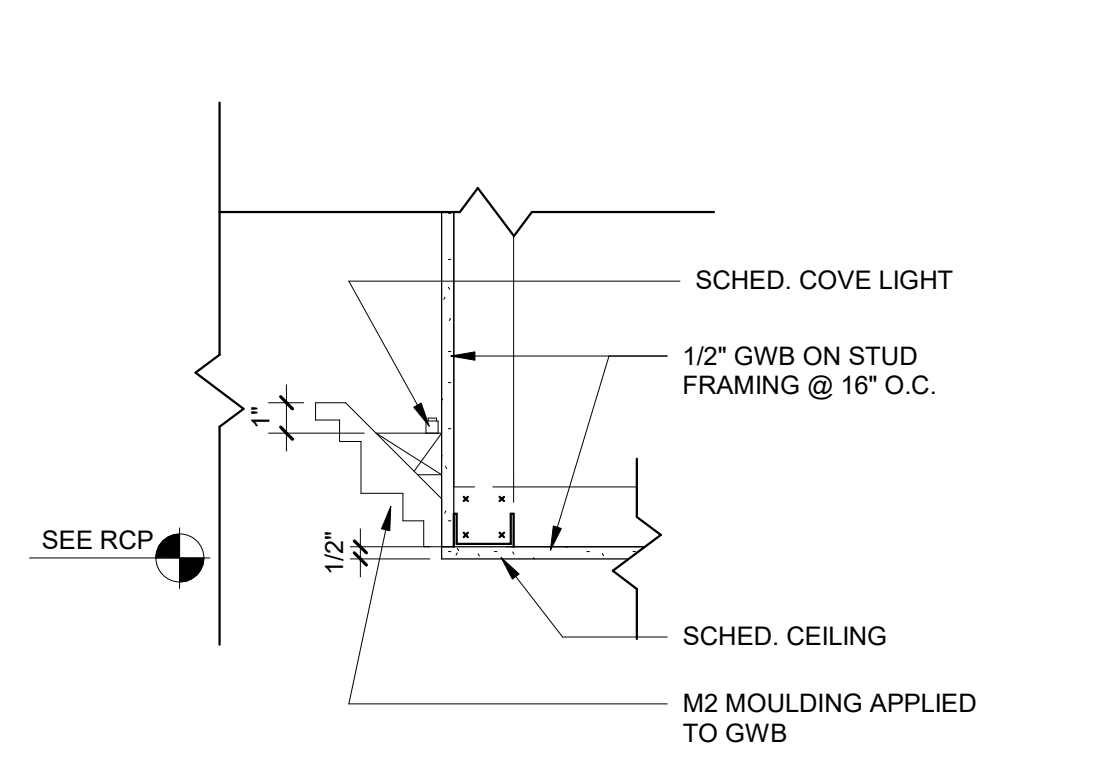
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QC CHECKED BY PB

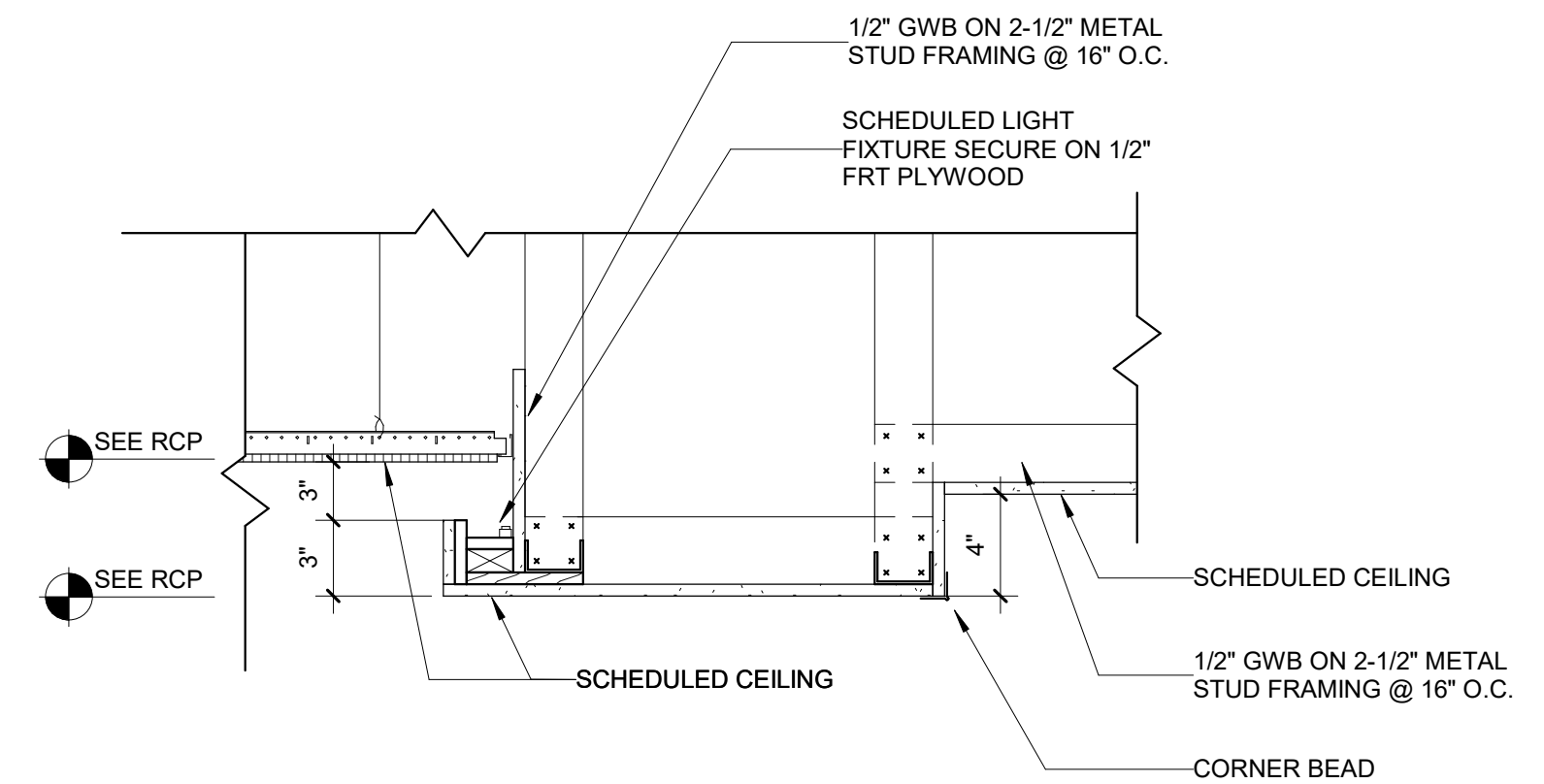
CA REVIEWED BY Approver

DRAWING NUMBER

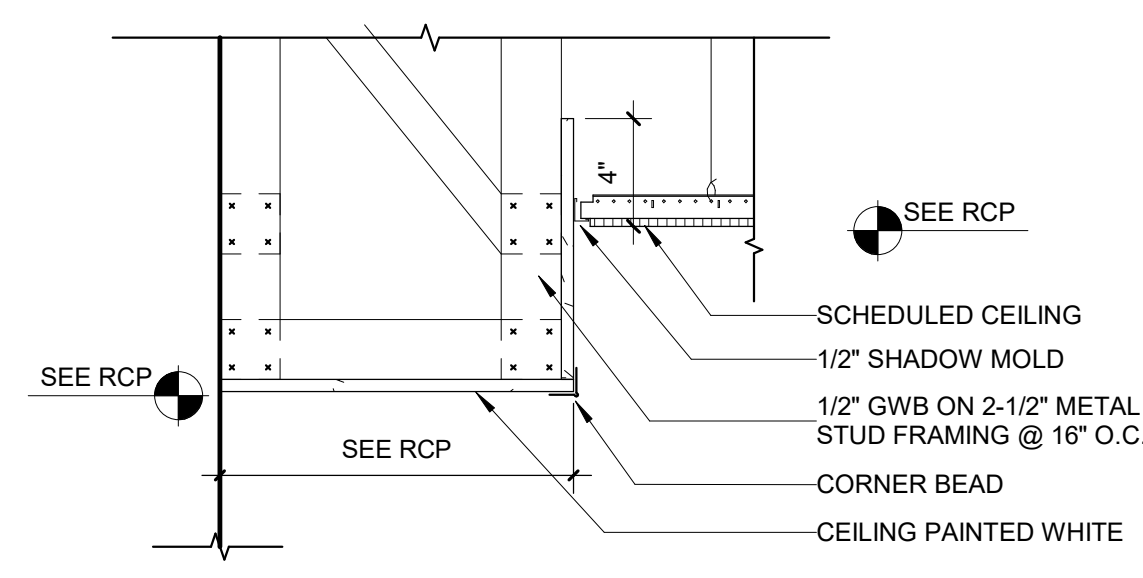
**A-702**



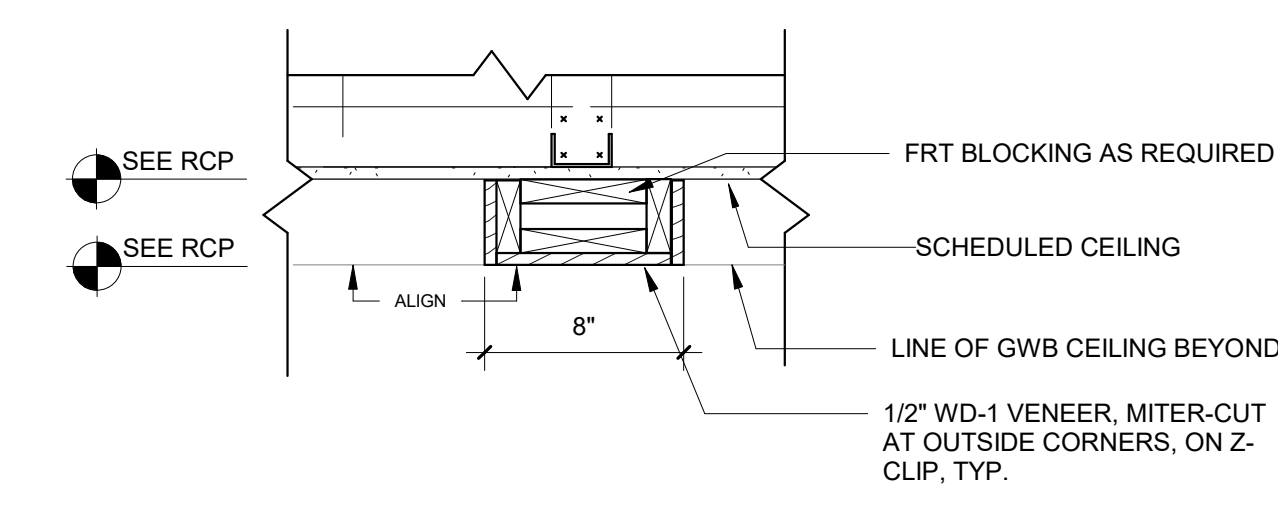
**6 SECTION @ FITNESS CENTER COVE DETAIL**  
1 1/2" = 1'-0"



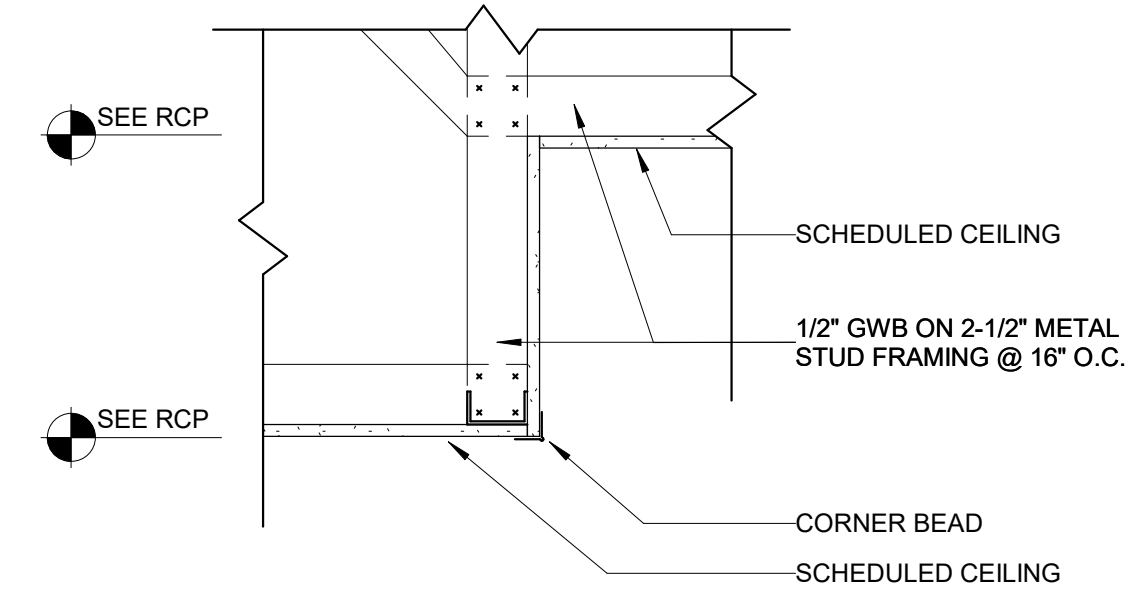
**5 SECTION @ ACT TO GWB**  
1 1/2" = 1'-0"



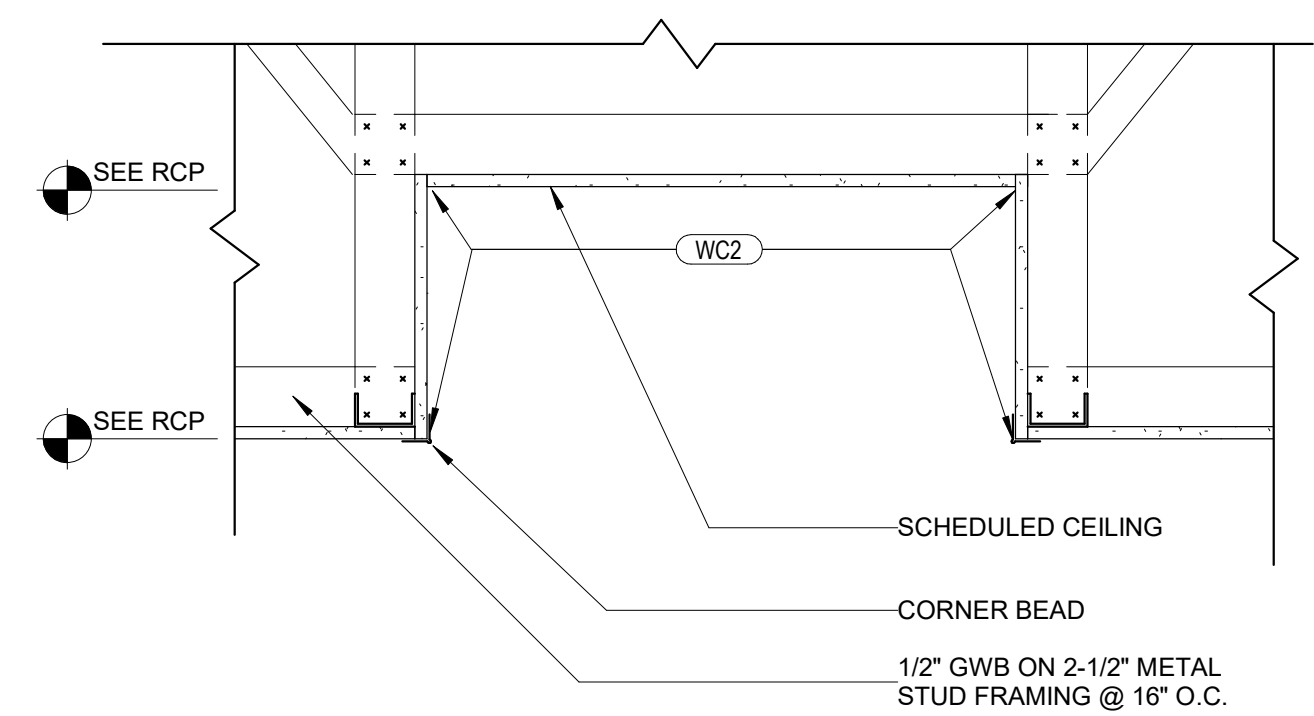
**4 SECTION @ GWB BULKHEAD TO ACT**  
1 1/2" = 1'-0"



**3 SECTION @ GWB TO WOOD BEAM**  
1 1/2" = 1'-0"



**2 SECTION @ GWB TO GWB2**  
1 1/2" = 1'-0"



**1 SECTION @ GWB TO GWB1**  
1 1/2" = 1'-0"





GROUND FLOOR VESTIBULE



GREAT ROOM



GREAT ROOM



GREAT ROOM MILLWORK



BUSINESS CENTER



TYP RESTROOM



FUNCTION ROOM PLAN NORTH WALL



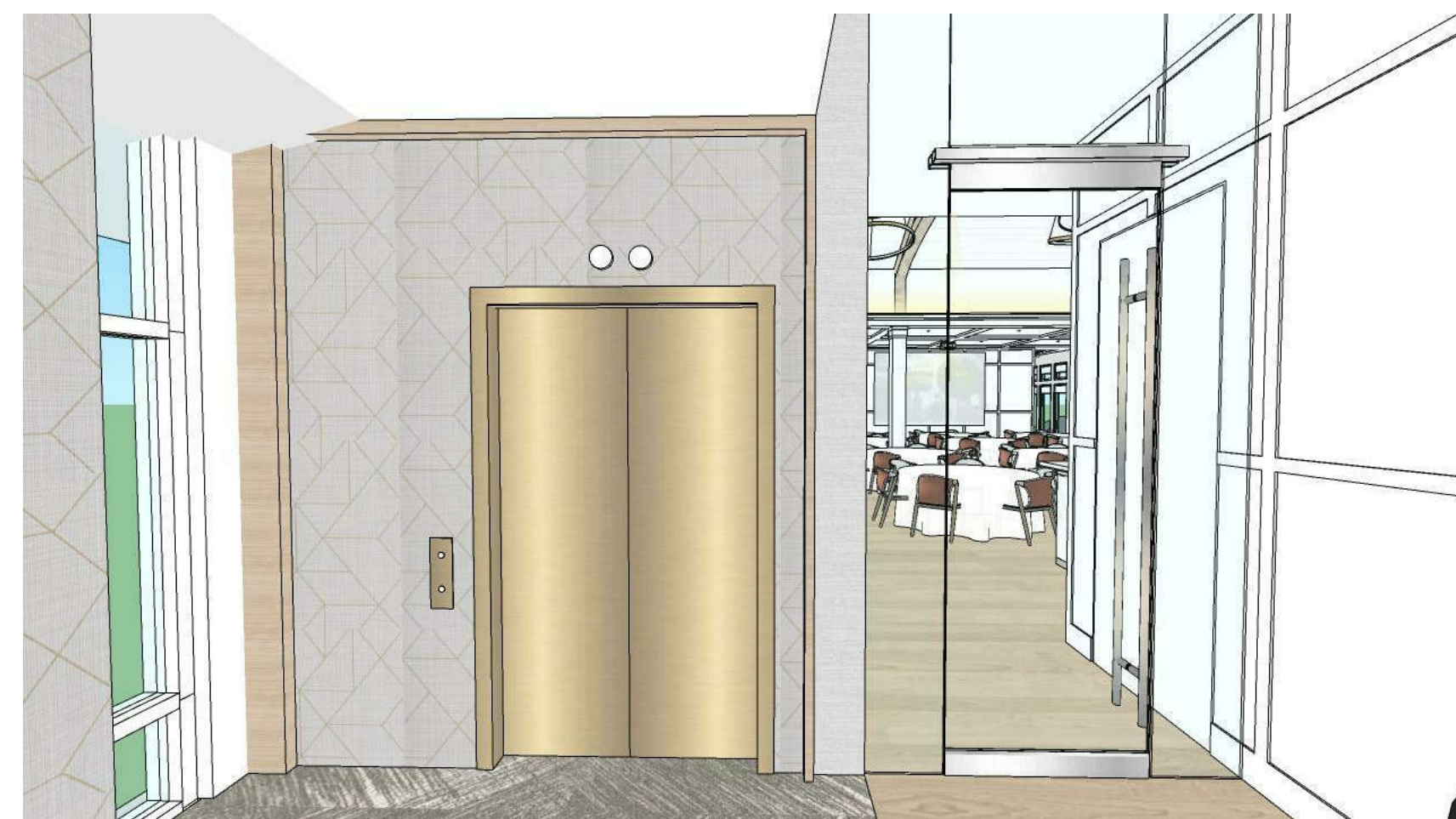
FUNCTION ROOM PLAN SOUTH WALL



FUNCTION ROOM PLAN WEST



FUNCTION ROOM PLAN EAST



TYP ELEVATOR LOBBY



FITNESS CENTER

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PRINT DATE 3/24/2021 4:37:33 PM

ISSUE DATE

PRICING SET 03/24/2021

REVISION DATE

PROJECT TITLE  
ECA CLUBHOUSE  
EXPANSION

8400 UPPER SKY WAY  
LAUREL, MD 20723

PROJECT NO. 320762.00

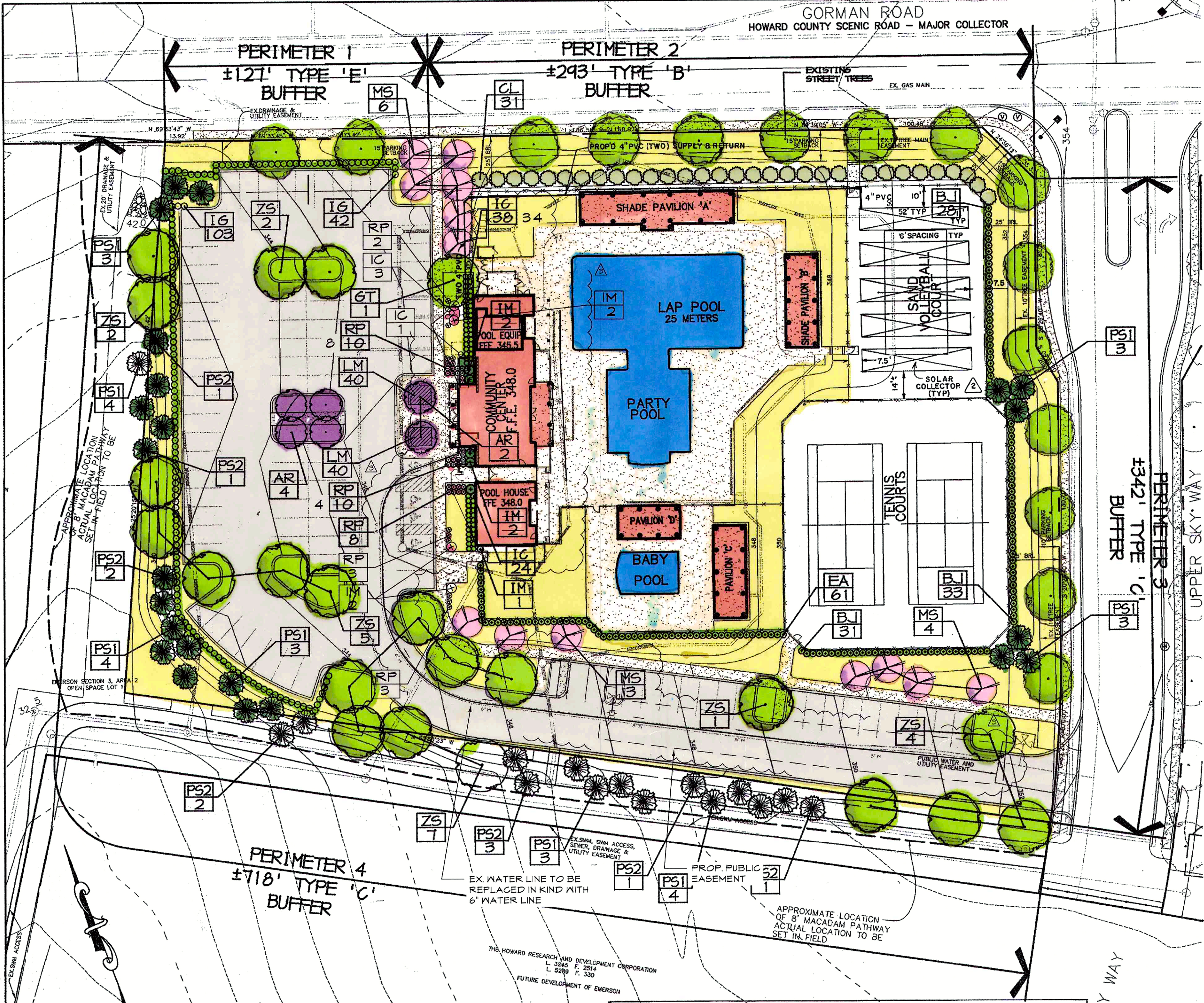
DRAWING TITLE  
INTERIOR  
RENDERINGS

DRAWN BY SH  
QC CHECKED BY MS  
CA REVIEWED BY Approver

DRAWING NUMBER

A-800





**PLANTING SPECIFICATIONS**

- Plants, related material, and operations shall meet the detailed description, as given on the plans and as described herein. Where discrepancies exist between Standards & Guidelines referenced within these specifications and the Howard County Landscape Manual, the latter takes precedence.
- All plant material, unless otherwise specified, that is not nursery grown, uniformly branched, does not have a vigorous root system, and does not conform to the most recent edition of the American Association of Nurserymen (AAN) Standards will be rejected. Plant material that is not healthy, vigorous, free from defects, decay, disfiguring roots, sunscald injuries, abrasions of the bark, plant disease, insect pest eggs, borers and all forms of insect infestations or objectionable disfigurements will be rejected. Plant material that is weak or which has been cut back from larger grades to meet specified requirements will be rejected. Trees with forked leaders will be rejected. All B & B plants shall be freshly dug; no healed-in plants or plants from cold storage will be accepted.
- Unless otherwise specified, all general conditions, planting operations, details and planting specifications shall conform to the most recent edition of the "Landscape Specification Guidelines by the Landscape Contractors Association of MD, DC, & VA", (hereinafter "Landscape Guidelines") approved by the Landscape Contractors Association of Metropolitan Washington and the Potomac Chapter of the American Society of Landscape Architects.
- Contractor shall guarantee all plant material for a period of one year after date of acceptance in accordance with the appropriate section on the Landscape Guidelines. Contractor's attention is directed to the maintenance requirements found within the one year specifications including watering and replacement of specified plant material.
- Contractor shall be responsible for notifying all relevant and appropriate utility companies, utility contractors, and "Miss Utility" a minimum of 48 hours prior to the beginning of any work. Contractor may make minor adjustments in spacing and location of plant material to avoid conflicts with utilities. Major changes will require the approval of the landscape architect. Damage to existing structure and utilities shall be repaired at the expense of the Contractor.
- Protection of existing vegetation to remain if present shall be accomplished via the temporary installation of 4 foot high snow fence at the drip line, see detail.
- Contractor is responsible for installing all material in the proper planting season for each plant type. All planting is to be completed within growing season of completion of site construction. Do not plant *Pinus strobus* or *Xcupressocyparis leylandii* between November 15 and March 15. Landscape plants are not to be installed before site is graded to final rough grade.
- Contractor to regrade, fine grade, sod, hydroseed and straw mulch all areas disturbed by their work.
- Bid shall be based on actual site conditions. No extra payment shall be made for work arising from actual site conditions differing from those indicated on drawings and specifications.
- Plant quantities are provided for the convenience of the contractor only. If discrepancies exist between quantities shown on plan and those shown on the plant list, the quantities on the plan take precedence. Where discrepancies on the plan exist between the symbols and the callout leader, the number of symbols take precedence.
- All shrubs and groundcover areas shall be planted in continuous planting beds, prepared as specified, unless otherwise indicated on plans. (See Specification 13). Beds to be mulched with minimum 2" and maximum 3" of composted, double-shredded hardwood mulch throughout.
- Positive drainage shall be maintained on planting beds (minimum 2 percent slope).
- Bed preparation shall be as follows: Till into a minimum depth of 6" 1 yard of Compro or Leafgro per 200 SF of planting bed, and 1 yard of topsoil per 100 SF of bed. Add 5 lbs of standard 5-10-5 Fertilizer per cubic yard of planting mix and till. Ericaceous plants (Azaleas, Rhododendrons, etc.) top dress after planting with iron sulfate or comparable product according to package directions. *Toxus baccata* 'Repandens' (English weeping yew): Top dress after planting with 1/4 to 1/2 cup lime each.
- Planting mix: For trees not in a prepared bed, mix 50% Compro or Leafgro with 50% soil from tree hole to use as backfill, see tree planting detail.
- Weed & Insect control: Incorporate a pre-emergent herbicide into the planting bed following recommended rates on the label. For tree planting, apply a pre-emergent on top of soil and root ball before mulching. Caution: For areas to be planted with a ground cover, be sure to carefully check the chemical used to assure its adaptability to the specific groundcover to be treated. Maintain the mulch weed-free for the extent of the warranty period. Under no circumstances is a pesticide containing chlorpyrifos to be used as a means of pest control.
- Water: All plant material planted shall be watered thoroughly the day of planting. All plant material not yet planted shall be properly protected from drying out until planted. At a minimum, water unplanted plant material daily and as necessary to avoid desiccation.
- Pruning: Do not heavily prune trees and shrubs at planting. Prune only broken, dead, or diseased branches.
- All areas within contract limits disturbed during or prior to construction not designated to receive plants and mulch shall be fine graded, grass seed planted, and covered with straw mulch.

**GENERAL NOTES**

- THIS PLAN MEETS THE HOWARD COUNTY LANDSCAPE MANUAL AND THE CRITERIA OF 5-99-12 THROUGH ALTERNATE COMPLIANCE. SEE EMERSON (KEY PROPERTY) LANDSCAPE, PARKING AND STREETSCAPE DESIGN CRITERIA. THE LAND USE FOR THIS PARCEL IS RECREATIONAL, THEREFORE THE SKETCH PLAN REQUIREMENTS ARE BETTER MET WITH ALTERNATIVE COMPLIANCE RATHER THAN APPLYING STRICT EMPLOYMENT USE REQUIREMENTS.
- FINANCIAL SURETY FOR THE PROPOSED LANDSCAPING MUST BE POSTED AS PART OF THE DEVELOPER'S AGREEMENT IN THE AMOUNT OF \$1,710.  
 10 SHADE TREES @ \$300 = \$3,000  
 2 FLOWERING TREES @ \$150 = \$300  
 21 EVERGREEN TREES @ \$150 = \$3,150  
 42 SHRUBS @ \$30 = \$1,260
- THIS PLAN IS FOR LANDSCAPING PURPOSES ONLY.
- CONTRACTOR IS SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES, AND SAFETY PRECAUTIONS AND PROGRAMS.
- ALL MATERIAL SELECTED SHALL BE EQUAL TO OR BETTER THAN THE REQUIREMENTS OF THE "USA STANDARD FOR NURSERY STOCK", LATEST EDITION, AS PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
- ALL MATERIAL SHALL BE PLANTED IN ACCORDANCE WITH THE MINIMUM STANDARDS CITED IN THE LATEST EDITION OF "LANDSCAPE SPECIFICATION GUIDELINES" PUBLISHED BY THE LANDSCAPE CONTRACTORS ASSOCIATION.
- AT THE TIME OF INSTALLATION, ALL SHRUBS AND OTHER PLANTINGS SHALL BE OF THE PROPER HEIGHT AND/OR SPREAD REQUIREMENTS IN ACCORDANCE WITH THIS PLAN AND THE HOWARD COUNTY LANDSCAPE MANUAL.
- NO SUBSTITUTIONS OR RELOCATION OF PLANTS MAY BE MADE WITHOUT PRIOR APPROVAL FROM THE DEPARTMENT OF PLANNING AND ZONING OF HOWARD COUNTY. ANY DEVIATION FROM THIS LANDSCAPE PLAN MAY RESULT IN A REQUIREMENT FOR SUBMITTAL OF AN OFFICIAL "REDLINE REVISION" TO THE SITE DEVELOPMENT PLAN(S) AND/OR DENIAL IN THE RELEASE OF LANDSCAPE SURETY.

**DEVELOPER'S/BUILDER'S CERTIFICATE**

I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION, A CERTIFICATION OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

Signature: *[Signature]* DATE: 3/25/03

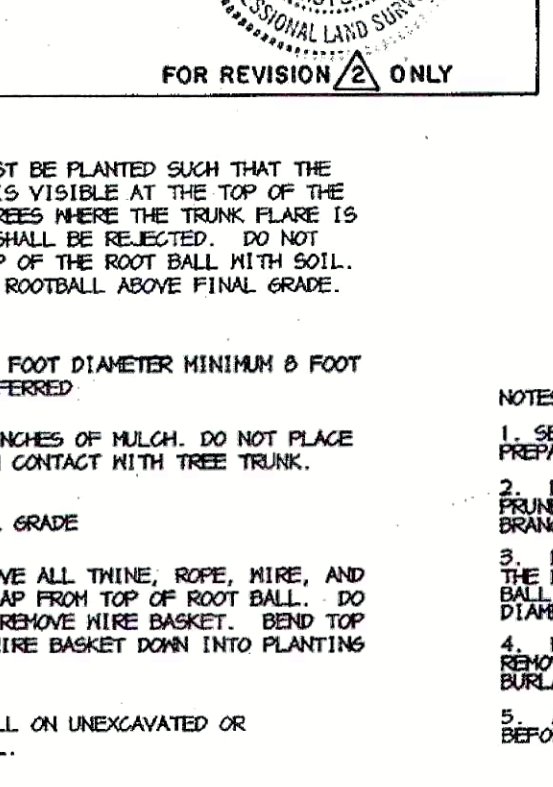
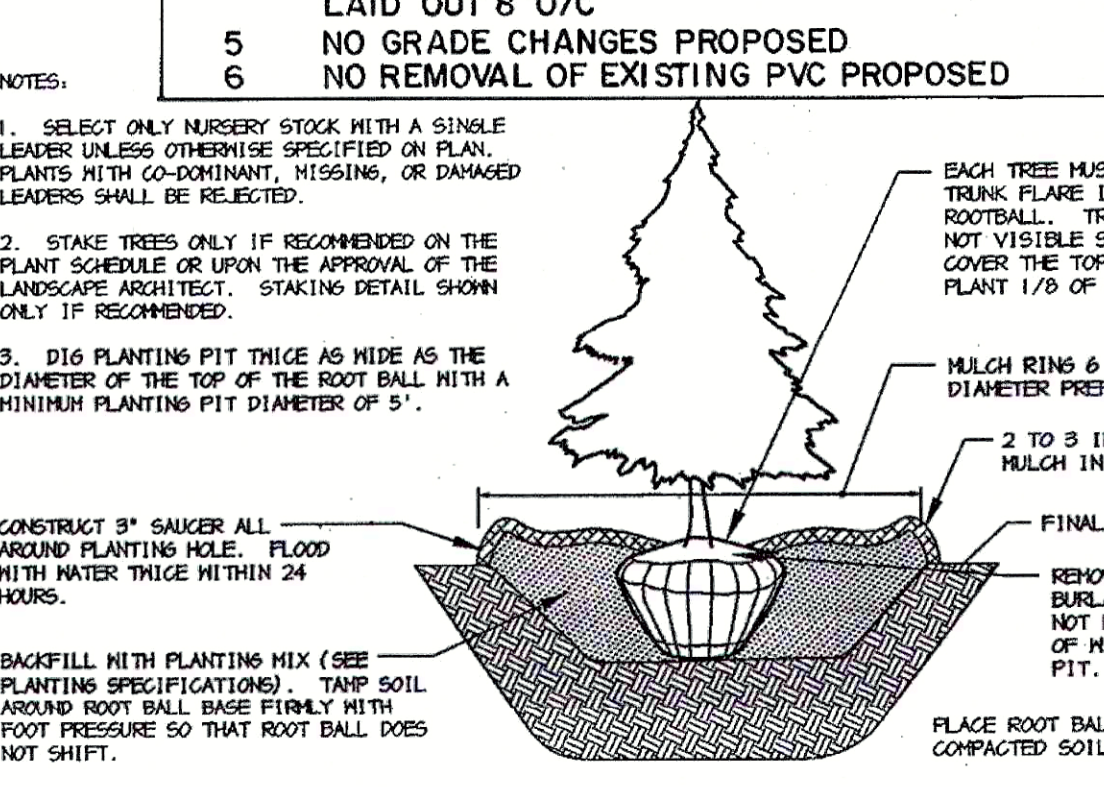
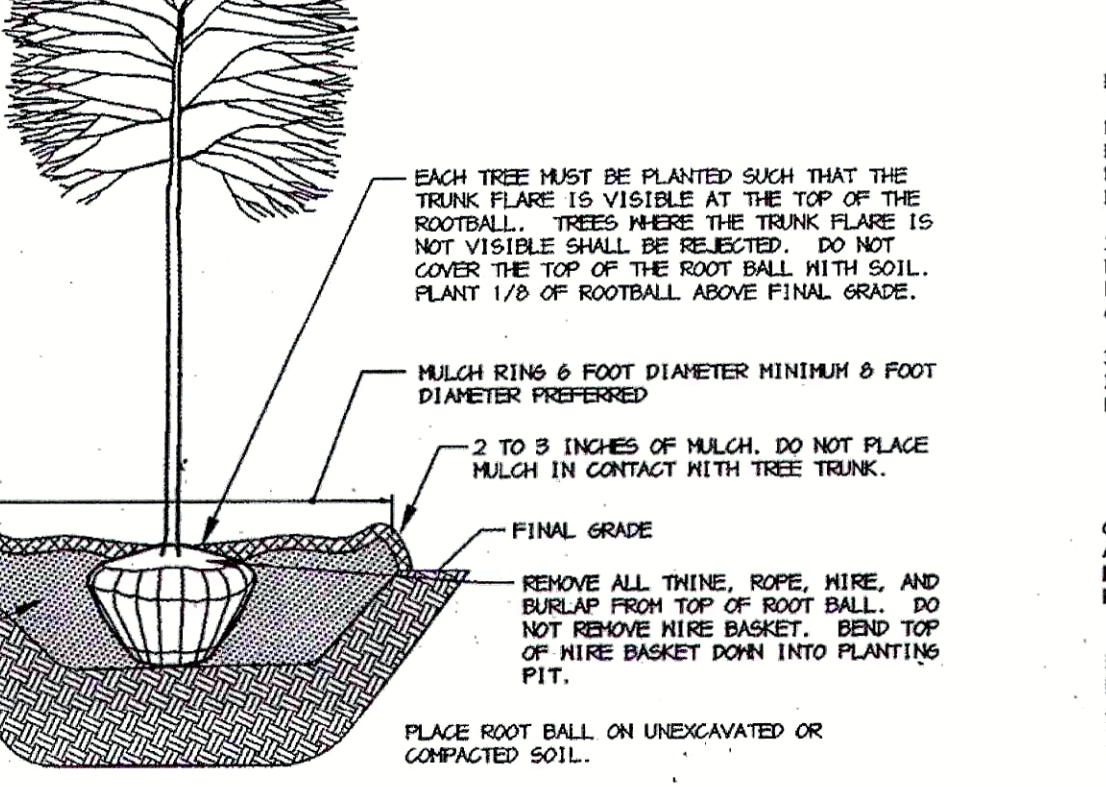
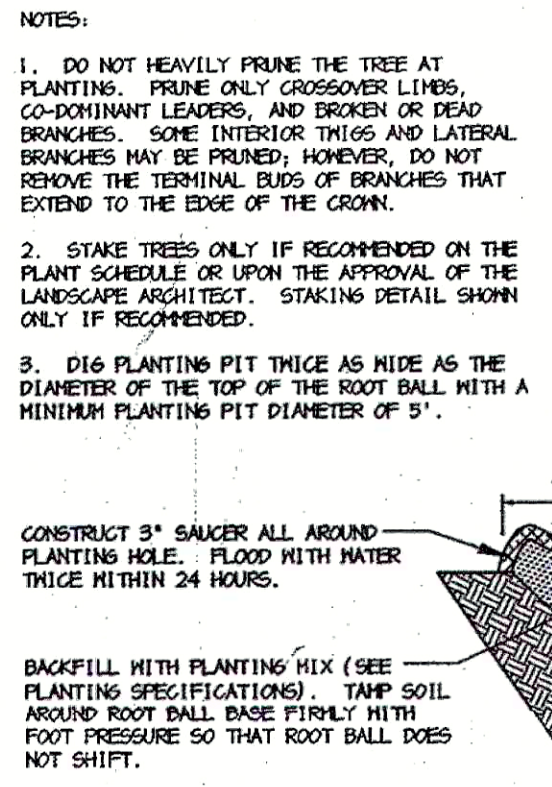
**NOTES FOR PROPOSED SOLAR COLLECTORS**  
(REVISION  $\Delta$ )

- FIVE COLLECTORS PROPOSED
- DIMENSIONS EACH = 11' x 52'
- SPACING = 6' EDGE TO EDGE
- COLLECTORS WILL BE ERECTED ON & CONNECTED TO PIERS LAID OUT 8' O/C
- NO GRADE CHANGES PROPOSED
- NO REMOVAL OF EXISTING PVC PROPOSED

FOR REVISION  $\Delta$  ONLY

**LEGEND**

EXISTING TREE *		PROPOSED SHRUB	
PROPOSED SHADE TREE		PROP. FENCE	
PROPOSED EVERGREEN TREE		* SEE F-02-170 FOR STREET TREES	



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

DIRECTOR: *[Signature]* DATE: 4/14/03  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION (M-K)

CHIEF, DIVISION OF LAND DEVELOPMENT: *[Signature]* DATE: 4/24/03

Community Clubhouse Renovation & Expansion Landscaping  
 ADD SOLAR COLLECTION SYSTEM OVER BK VOLLEY BALL CT (EAST)

OWNER/DEVELOPER: THE HOWARD RESEARCH AND DEVELOPMENT CORPORATION  
 THE ROUSE BUILDING  
 10275 LITTLE PATUXENT PARKWAY  
 COLUMBIA, MARYLAND 21044  
 410-992-6000

PROJECT: EMERSON SECTION THREE AREA TWO PARCEL A

AREA: TAX MAP 47 BLOCK 8 & 9  
 ZONE: PEC-MXD-3 PARCEL: 462  
 6H ELECTION DISTRICT HOWARD COUNTY, MARYLAND

TITLE: LANDSCAPE PLAN

Patton Harris Rust & Associates, pc  
 Engineers, Surveyors, Planners, Landscape Architects.  
 8818 Centre Park Drive  
 Columbia, MD 21045  
 T 410.997.8900  
 F 410.997.9282

DATE: 3-26-03 DESIGNED BY: DMD  
 DRAWN BY: GTH, XZZ  
 CHECKED BY: PJS  
 PROJECT NO: 22456/FINALS  
 L201LND.DWG  
 DATE: MARCH 25, 2003  
 SCALE: 1" = 30'  
 DRAWING NO. 7 OF 7

APPROVED PLANNING BOARD OF HOWARD COUNTY  
 DATE: 10/2/02

DAVID T. DOWS R.L.A. #830



SHEET INDEX	
NO	DESCRIPTION
1	TITLE SHEET
2	SITE DEVELOPMENT PLAN
3	GRADING AND SEDIMENT CONTROL PLAN
4	SEDIMENT CONTROL DETAILS
5	DETAILS
6	PROFILES
7	LANDSCAPE PLAN

# REVISED SITE DEVELOPMENT PLAN

# EMERSON

## SECTION THREE AREA TWO

## 6th ELECTION DISTRICT

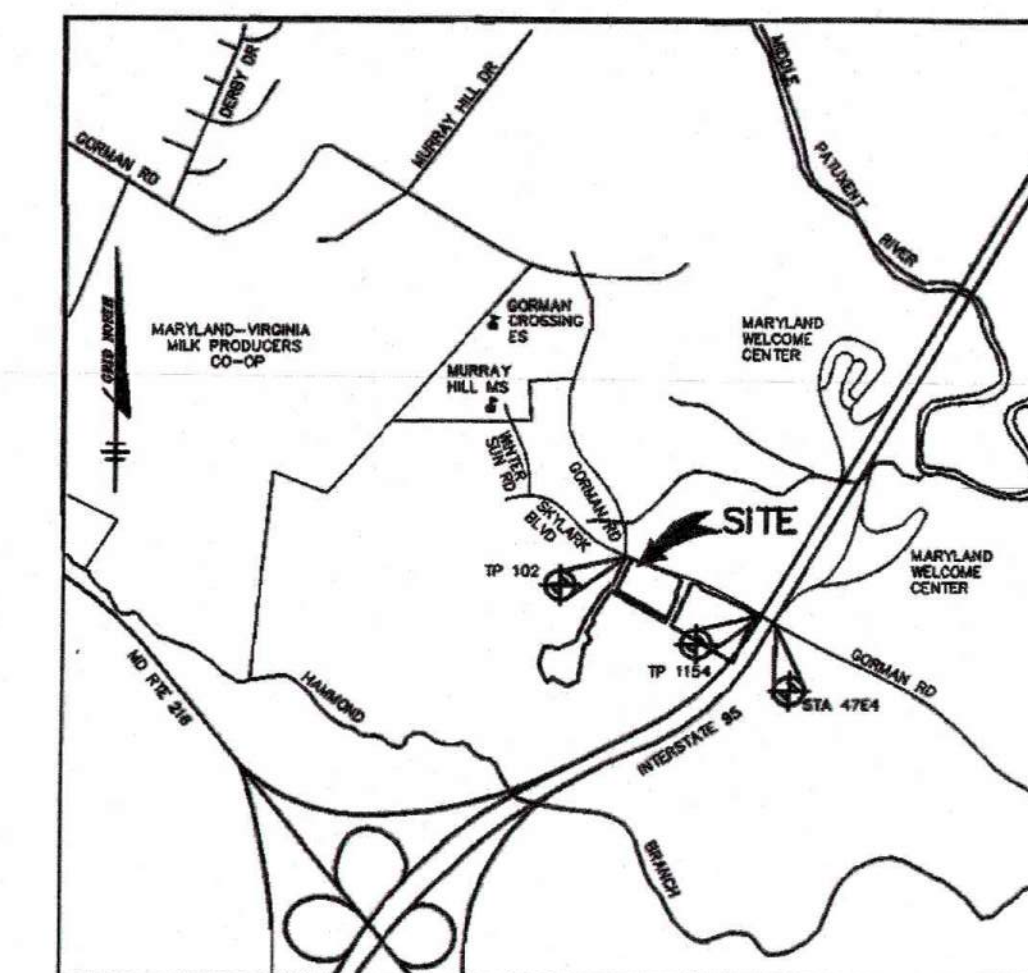
## HOWARD COUNTY, MARYLAND

### BENCHMARKS

TRAVERSE POINT 102  
ELEVATION 346.19  
N 536,499.165  
E 1,353,974.017  
LOCATED NEAR THE  
INTERSECTION OF GORMAN  
ROAD AND SKYLARK BLVD.

TRAVERSE POINT 1154  
ELEVATION 347.45  
N 536,018.069  
E 1,355,129.333  
LOCATED NEAR THE  
I-95 BRIDGE ALONG  
GORMAN ROAD

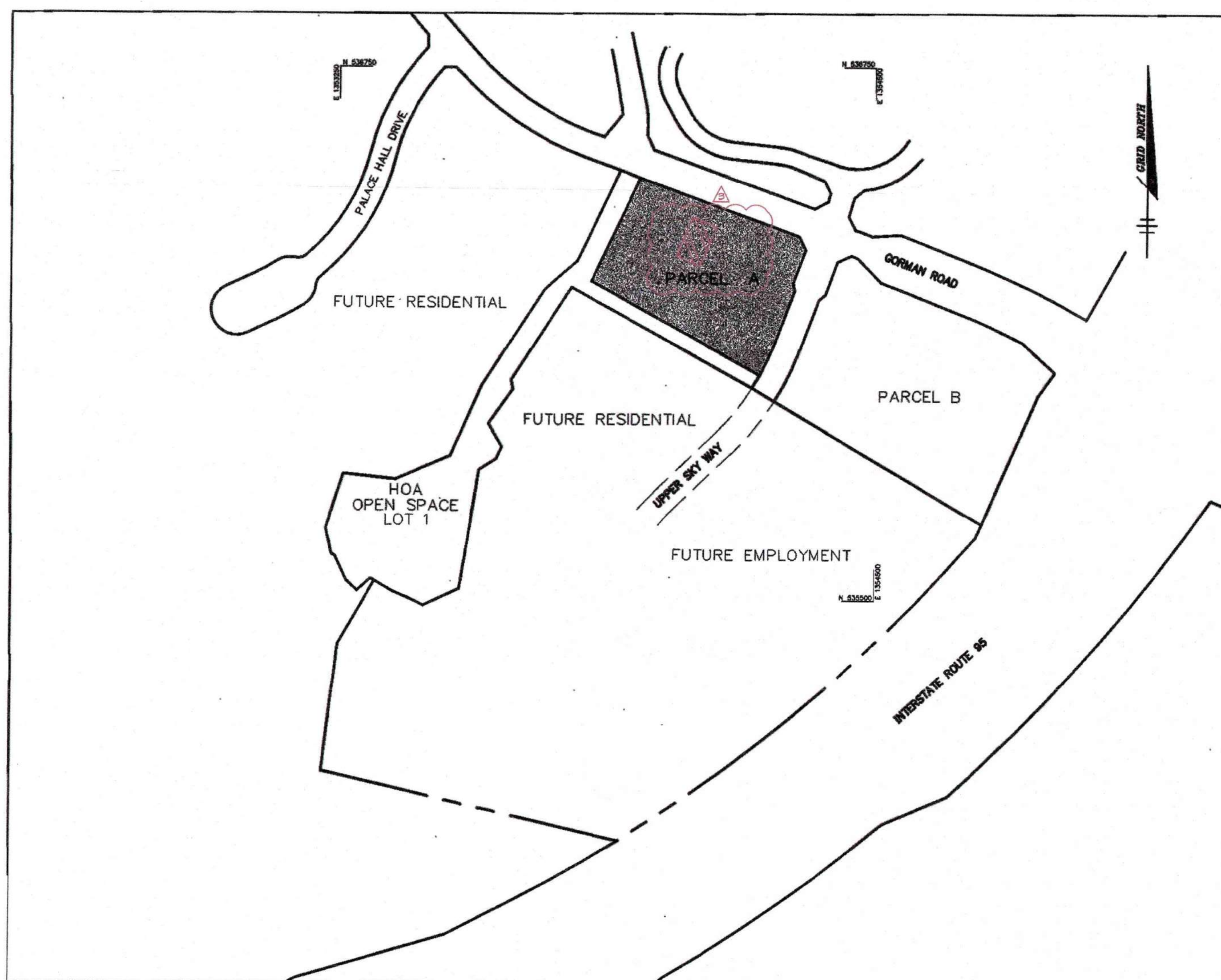
CONTROL STATION 47E4  
ELEVATION 339.00  
N 535,846.18  
E 1,355,431.23  
LOCATED NEAR THE  
I-95 BRIDGE ALONG  
GORMAN ROAD



VICINITY MAP  
SCALE: 1"=2000'

### GENERAL NOTES

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE HOWARD COUNTY DESIGN MANUAL, VOL. IV "STANDARD SPECIFICATIONS AND DETAILS FOR CONSTRUCTION" PLUS MSHA STANDARDS AND SPECIFICATIONS, IF APPLICABLE.
- THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
- THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
- TRAFFIC CONTROL DEVICES, MARKINGS, AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
- ALL PLAN DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
- THE EXISTING TOPOGRAPHY IS TAKEN FROM AERIAL SURVEY MAPS WITH MAXIMUM TWO FOOT CONTOUR INTERVALS PREPARED BY AIR SURVEY CORP. FLOWN IN APRIL 1988. EXISTING GROUND ON PARCEL A AND UPPER SKY WAY IS THE PROPOSED GRADING OF F-02-178.
- THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL WHICH IS BASED UPON THE MARYLAND STATE PLANE COORDINATE SYSTEM. HOWARD COUNTY MONUMENT NOS. 47 E4 ALONG WITH 2 TRAVERSE POINTS WERE USED FOR THIS PROJECT.
- WATER IS PUBLIC. CONTRACT NO. 14-4049-D.
- SEWER IS PUBLIC. CONTRACT NO. 14-4049-D. DRAINAGE AREA = PATUXENT.
- THE STORMWATER MANAGEMENT FOR THIS SITE WILL BE PROVIDED VIA THE GRASS CHANNEL CREDIT, AND A PUBLIC WET POND.
- APPROXIMATE LOCATION OF EXISTING UTILITIES ARE SHOWN. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND MAINTAIN UNINTERRUPTED SERVICE. ANY DAMAGE INCURRED DUE TO CONTRACTOR'S OPERATION SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE. EXISTING UTILITIES ARE SHOWN BASED ON THE BEST AVAILABLE INFORMATION.
- THE WETLANDS DELINEATION STUDY FOR THIS PROJECT WAS PREPARED BY DAFT McCUNE & WALKER, INC.
- THE TRAFFIC STUDY FOR THIS PROJECT WAS PREPARED BY WELLS & ASSOCIATES DATED FEBRUARY 2000, AND AGAIN BY THE TRAFFIC GROUP DATED NOVEMBER 2002.
- THE NOISE STUDY FOR THIS PROJECT WAS PREPARED BY CENTURY ENGINEERING DATED MARCH 1999.
- THIS PROJECT FALLS UNDER THE APPROVED AFPO STUDY OF S-99-12.
- THE BOUNDARY SURVEY FOR THIS PROJECT WAS PREPARED BY DAFT, McCUNE & WALKER, INC. JULY 2000.
- SUBJECT PROPERTY ZONED PEC-MXD-3 PER ZONING BOARD CASE ZB-979-M.
- ALL ELEVATIONS SHOWN ARE BASED ON THE U.S.C. AND G.S. MEAN SEA LEVEL DATUM, 1929.
- SEE DEPARTMENT OF PLANNING AND ZONING FILE NO'S: S-99-12, PB-339, PB-359, ZB-979-M, P-02-22, F-02-178
- THE CONTRACTOR SHALL TEST PIT EXISTING UTILITIES AT LEAST (5) DAYS BEFORE STARTING WORK SHOWN ON THESE DRAWINGS.
- CONTRACTOR IS SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES, AND SAFETY PRECAUTIONS AND PROGRAMS.
- PIPE SHALL NOT BE INSTALLED BY THE CONTRACTOR UNTIL THE LENGTH CALLED FOR AT EACH STATION HAS BEEN APPROVED BY THE ENGINEER IN THE FIELD.
- NO PIPE SHALL BE LAID UNTIL LINES OF EXCAVATION HAVE BEEN BROUGHT WITHIN 6" OF FINISHED GRADE.
- ALL INLETS SHALL BE CONSTRUCTED IN ACCORDANCE WITH HOWARD COUNTY STANDARDS.
- ALL PIPE ELEVATIONS SHOWN ARE INVERT ELEVATIONS.
- PROFILE STATIONS SHALL BE ADJUSTED AS NECESSARY TO CONFORM TO PLAN DIMENSIONS.
- STREAM BUFFERS ARE DETERMINED BY LAND USE ADJOINING THE OPEN SPACE. EMPLOYMENT USE = 50' BUFFER FROM ANY STREAM.
- THE 100-YEAR FLOODPLAIN FOR HAMMOND BRANCH WAS OBTAINED FROM THE HOWARD COUNTY FLOODPLAIN STUDY DATED NOV. 1980 REF. D-5-10-287 & AUG 1986 REF. D-1065. THE 100 YEAR FLOODPLAIN FOR THE REMAINING STREAMS ARE FROM THE FLOODPLAIN STUDY PREPARED BY DAFT McCUNE AND WALKER MARCH 2000.
- FOREST CONSERVATION REQUIREMENTS FOR THIS PHASE WERE ADDRESSED UNDER F-02-178. WHEN CONSIDERED CUMULATIVELY WITH PREVIOUS PHASES OF THE PROJECT, NO REFORESTATION IS REQUIRED.
- THERE ARE NO KNOWN CEMETARIES OR GRAVE SITES ON THIS PROPERTY.
- SOIL MAP #33.



PLAN  
SCALE: 1" = 200'

### SITE TABULATION

SITE AREA-PARCEL A	3.193 ACRES
LIMIT OF DISTURBED AREA	3.7 ACRES
PRESENT ZONING	PEC-MXD-3
PROPOSED USE	COMMUNITY CENTER/ RECREATION FACILITY (ONE STORY)
FLOOR AREA COMMUNITY CENTER	4765 SF - 9,639 SF
PAVILIONS	FOR SHADE ONLY
PARKING SPACES REQUIRED	
SWIMMING POOL 5910 SF @	
1 PERSON PER 12 SF	= 493 PEOPLE
1 SPACE/7 PEOPLE	70 SPACES
TENNIS COURT 4.0 SP/COURT	8 SPACES
TOTAL	78 SPACES
PARKING SPACES PROVIDED	95 SPACES (INCLUDES 4 HC SPACES)
FLOOR AREA RATIO - 9,639 SF / 139,087 SF = 0.07	
EMPLOYMENT LAND USE AREA = 513,720 SF / 6,747,444 SF = 0.76	

APPROVED : HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.	
<i>Mark D. Long</i>	7/28/03
DIRECTOR	DATE
<i>Chris Williams</i>	9/14/02
CHIEF, DEVELOPMENT ENGINEERING DIVISION MK	DATE
<i>Cindy Hamet</i>	4/22/02
CHIEF, DIVISION OF LAND DEVELOPMENT	DATE

DATE NO.	REVISION
9/21/20	Community Clubhouse Renovation & Expansion
OWNER/DEVELOPER	
THE HOWARD RESEARCH AND DEVELOPMENT CORPORATION THE ROUSE BUILDING 10275 LITTLE PATUXENT PARKWAY COLUMBIA, MARYLAND 21044 410-992-6000	

PROJECT	EMERSON SECTION THREE AREA TWO PARCEL A
AREA	TAX MAP 47 BLOCK 8 & 9 ZONED: PEC-MXD-3 PARCEL: 462 6th ELECTION DISTRICT HOWARD COUNTY, MARYLAND

TITLE	TITLE SHEET
-------	-------------

Patton Harris Rust & Associates, pc  
Engineers, Surveyors, Planners, Landscape Architects.

**PHRA**  
8815 Centre Park Drive  
Columbia, MD 21045  
T 410.997.8900  
F 410.997.9282

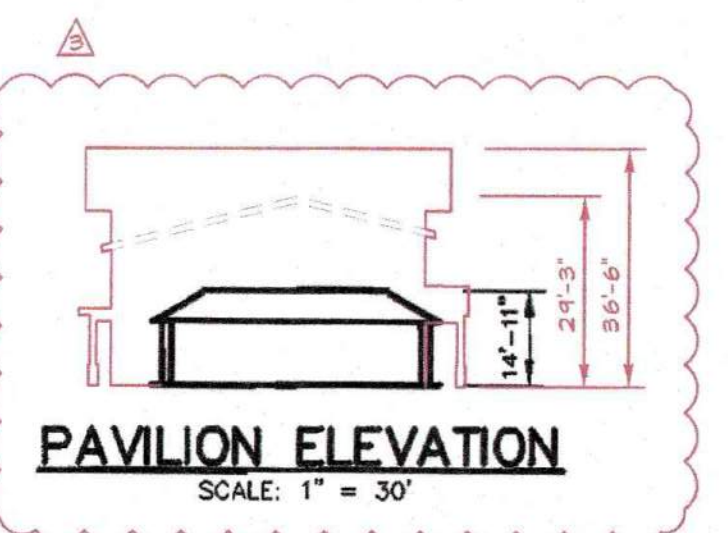
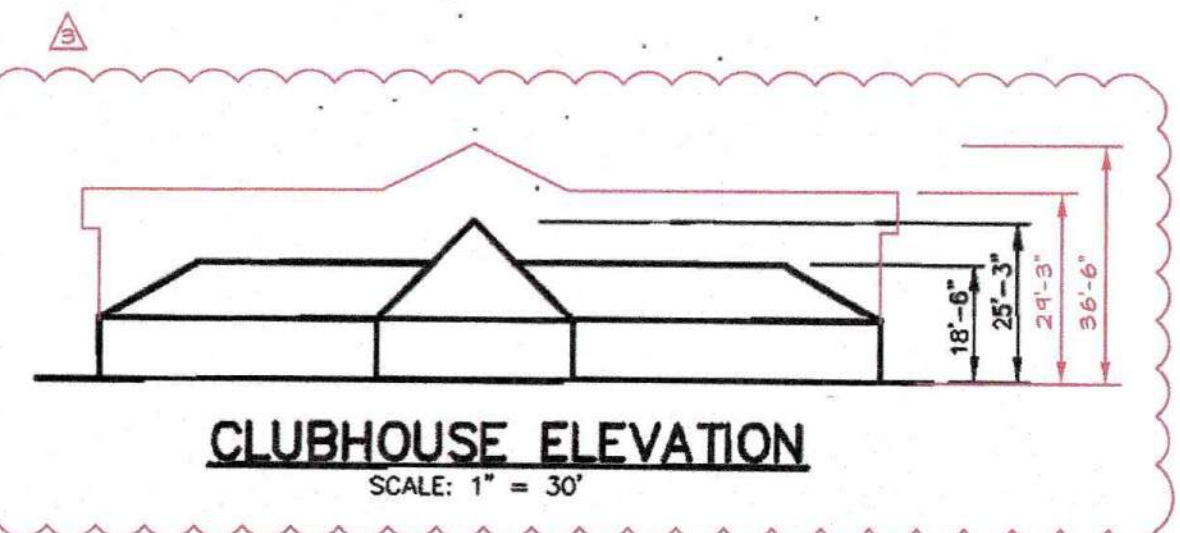
DATE	DESIGNED BY : C.J.R.
3.18.03	DRAWN BY : DAM
	CHECKED BY : C.J.R.
	PROJECT NO : 22456/FINALS
	C-SDP1.DWG
	DATE : MARCH 25, 2003
	SCALE : AS SHOWN
	DRAWING NO. 1 OF 7

APPROVED  
PLANNING BOARD  
of HOWARD COUNTY  
DATE 10/2/02

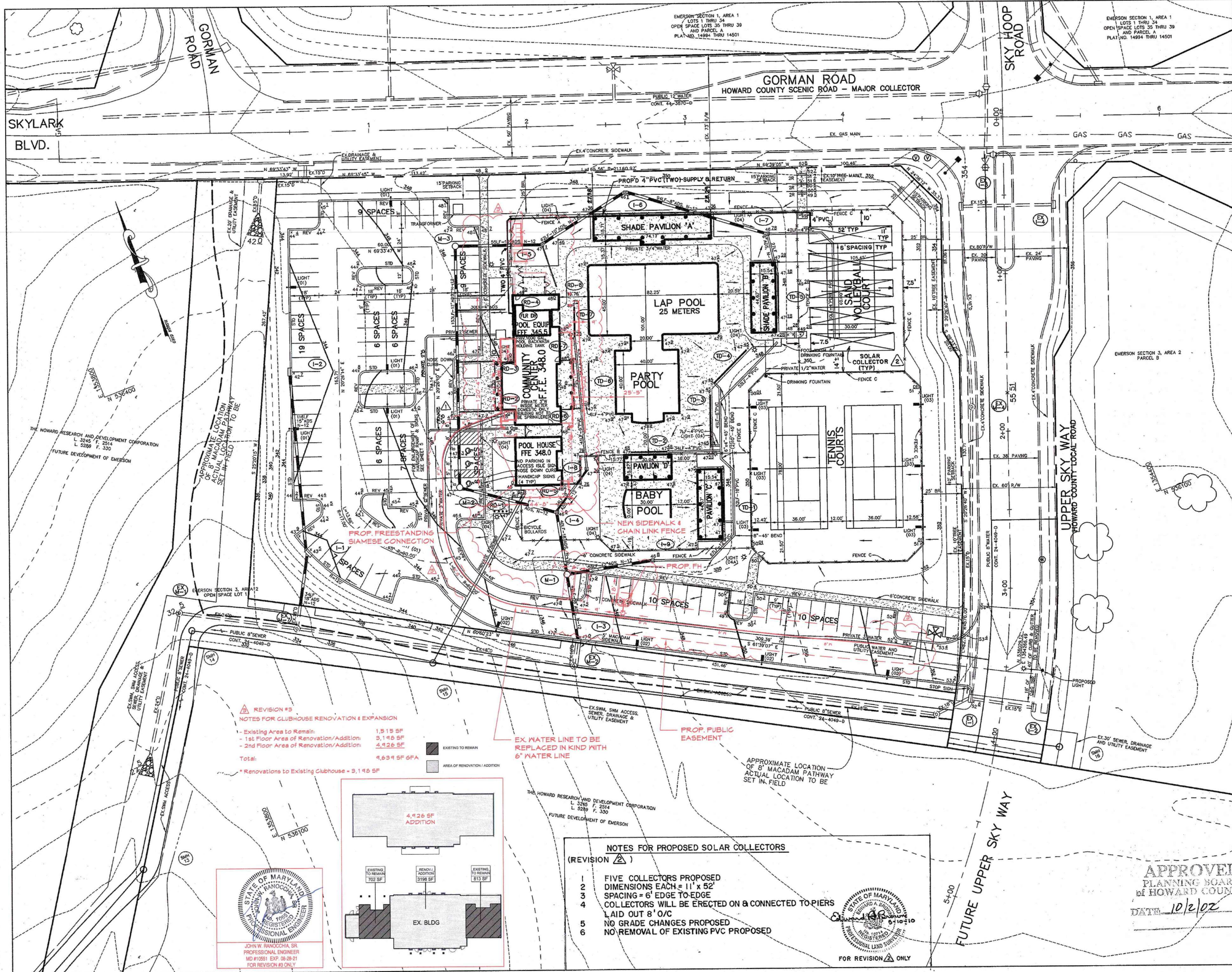
### ADDRESS CHART

LOT NUMBER	STREET ADDRESS
A	UPPER SKY WAY

SUBDIVISION NAME	SECT./AREA	PARCEL
EMERSON	S/3 A/2	A
PLAT #	BLOCK #/ZONING	TAX MAP NO./ELECT. DIST./CENSUS TRACT
#15888-15911	8&9 PEC-MXD-3	47 6th 6088.02
WATER CODE	SEWER CODE	
E-15	7390000	







### LIGHTING FIXTURE SCHEDULE

TYPE	LAMPS	MOUNTING	DESCRIPTION	VOLTAGE	CATALOG NO.
01	250W MH	25' ROUND STRAIGHT ALUMINUM POLE	TYPE 3 CUT OFF PARKING LUMINAIRE (BLACK FINISH) WITH MATCHING POLE	208V	KIM LIGHTING #AET3250MH BL-P/VSF-ISA POLE #PRA25-6188A/BL-P
02	250W MH	25' ROUND STRAIGHT ALUMINUM POLE	SAME AS TYPE '01' EXCEPT TYPE IV (FORWARD THROW OPTICS)	208V	KIM LIGHTING #AET4250MH BL-P/VSF-ISA POLE #PRA25-6188A/BL-P
03	1000W MH	25' ROUND STRAIGHT ALUMINUM POLE	TYPE IV CUT OFF TENNIS COURT LUMINAIRE (BLACK FINISH) WITH MATCHING POLE	208V	SPAULDING #CEIPM1000VMS6B POLE #25-RAP-6-SOL-508
04	50W MH	10' ROUND TAPERED FIBERGLASS	DECORATIVE POST TOP METAL HALIDE WITH ACRYLIC FROSTED LENS AND BLACK FINISH	120V	BEACON PRODUCTS #AL2622-AF-50MH-BLK SHARESPARE POLE #A0100298801/CP5H1821
04A	50W MH	10' ROUND TAPERED FIBERGLASS	SAME AS TYPE '04' EXCEPT VOLTAGE	208V	BEACON PRODUCTS #AL2622-AF-50MH-BLK SHARESPARE POLE #A0100298801/CP5H1821

### PIPE INVS

NO.	INVERTS FROM MAIN	PIPE SIZE AND LENGTH	INVERTS AT 5' FROM BLDG
RD-1	341.98	4" ADS-51F02.0X	342.08
RD-2	342.49	4" ADS-22F02.0X	342.83
RD-3	342.64	4" ADS-22F02.0X	343.08
RD-4	342.85	4" ADS-30F02.0X	343.45
RD-5	342.40	4" ADS-21F02.0X	342.44
RD-6	344.56	4" ADS-81F02.0X	344.72
RD-7	345.49	4" ADS-51F02.0X	345.59
RD-8	343.72	4" ADS-281F02.0X	344.28
FLR DR	342.81	4" ADS-301F02.0X	343.41
3" W	-	-	340.8
6" S	-	-	338.11
2" S	-	-	340.88

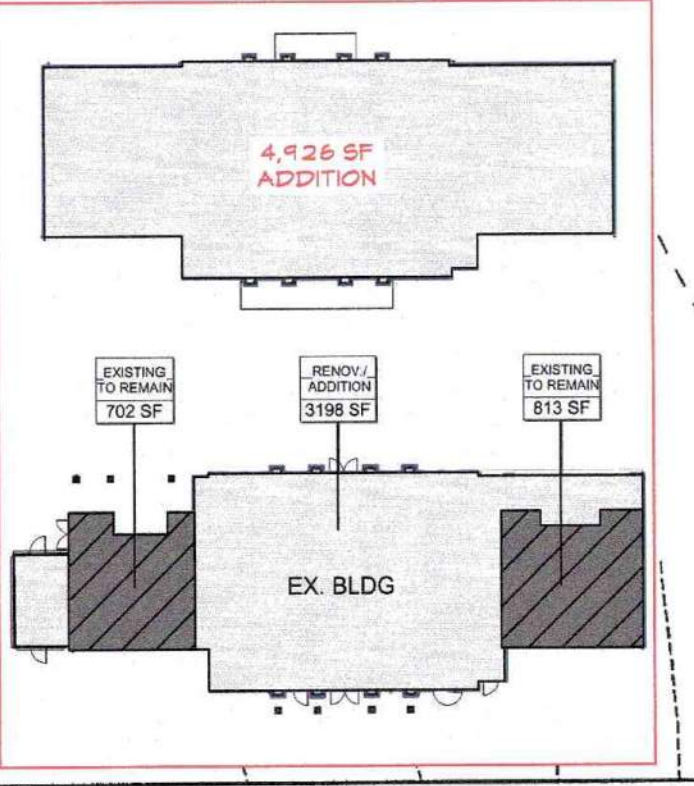
- ### NOTES:
- ALL CURB RADI ARE 5' UNLESS OTHERWISE NOTED.
  - ALL DIMENSIONS ARE TO FACE OF CURB OR BUILDING UNLESS OTHERWISE NOTED.
  - ALL ON-SITE ROADS ARE PRIVATE.
  - ALL LIGHTING IS TO BE DIRECTED/REFLECTED AWAY FROM ADJACENT PUBLIC ROADS AND RESIDENTIALLY ZONED PROPERTIES, AND BE IN ACCORDANCE WITH SECTION 134 OF THE HOWARD COUNTY ZONING REGULATIONS.
  - \* STD/REV - STANDARD TO REVERSE CURB TRANSITION.
  - P-2 PAVING
  - CONCRETE
  - FENCE A - 6' HIGH VINYL COATED CHAIN LINK FENCE
  - FENCE B - 3' HIGH ALUMINUM PICKET FENCE
  - FENCE C - 10' HIGH VINYL COATED CHAIN LINK FENCE
  - ALL CLUBHOUSE DOORS MUST HAVE A 5' LEVEL LANDING AREA.
  - STREET LIGHT, STA 3+50, 23' LEFT OF CL, 250 WATT HPS (SAG) MOUNTED AT 30' ON A BRONZE FIBERGLASS POLE USING A 12' ARM.

#### REVISION #3

NOTES FOR CLUBHOUSE RENOVATION & EXPANSION

- Existing Area to Remain: 1,515 SF
- 1st Floor Area of Renovation/Addition: 3,148 SF
- 2nd Floor Area of Renovation/Addition: 4,126 SF
- Total: 9,634 SF GFA

\* Renovations to Existing Clubhouse = 3,148 SF



#### NOTES FOR PROPOSED SOLAR COLLECTORS (REVISION #1)

- FIVE COLLECTORS PROPOSED
- DIMENSIONS EACH = 11' x 52'
- SPACING = 6' EDGE TO EDGE
- COLLECTORS WILL BE ERECTED ON & CONNECTED TO PIERS LAID OUT 8' O/C
- NO GRADE CHANGES PROPOSED
- NO REMOVAL OF EXISTING PVC PROPOSED

4/21/20 Community Clubhouse Renovation & Expansion

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

*Janet R. Leight* 4/21/20  
DIRECTOR DATE

*Chris D. ...* 4/14/20  
CHIEF, DEVELOPMENT ENGINEERING DIVISION MJK DATE

*Chris D. ...* 4/22/20  
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

4/21/10 ADD SOLAR COLLECTION SYSTEM OVER EX VOLLEY BALL CT. (EAB)

0-22-00 REV. SHG

DATE NO. REVISION

OWNER/DEVELOPER

THE HOWARD RESEARCH AND DEVELOPMENT CORPORATION  
THE ROUSE BUILDING  
10275 LITTLE PATUXENT PARKWAY  
COLUMBIA, MARYLAND 21044  
410-992-6000

PROJECT

EMERSON SECTION THREE AREA TWO PARCEL A

AREA TAX MAP 47 BLOCK 8 & 9  
ZONED: PEC-MXD-3 PARCEL: 462  
6th ELECTION DISTRICT HOWARD COUNTY, MARYLAND

TITLE

SITE DEVELOPMENT PLAN

Patton Harris Rust & Associates, pc  
Engineers, Surveyors, Planners, Landscape Architects.

**PHRA**  
8818 Centre Park Drive  
Columbia, MD 21045  
T 410.997.8900  
F 410.997.9282

3-18-03 DATE  
DESIGNED BY: C.J.R.  
DRAWN BY: DAM  
CHECKED BY: C.J.R.  
PROJECT NO: 22456/FINALS  
C-SDP2.DWG  
DATE: MARCH 25, 2003  
SCALE: 1" = 30'  
DRAWING NO. 2 OF 7

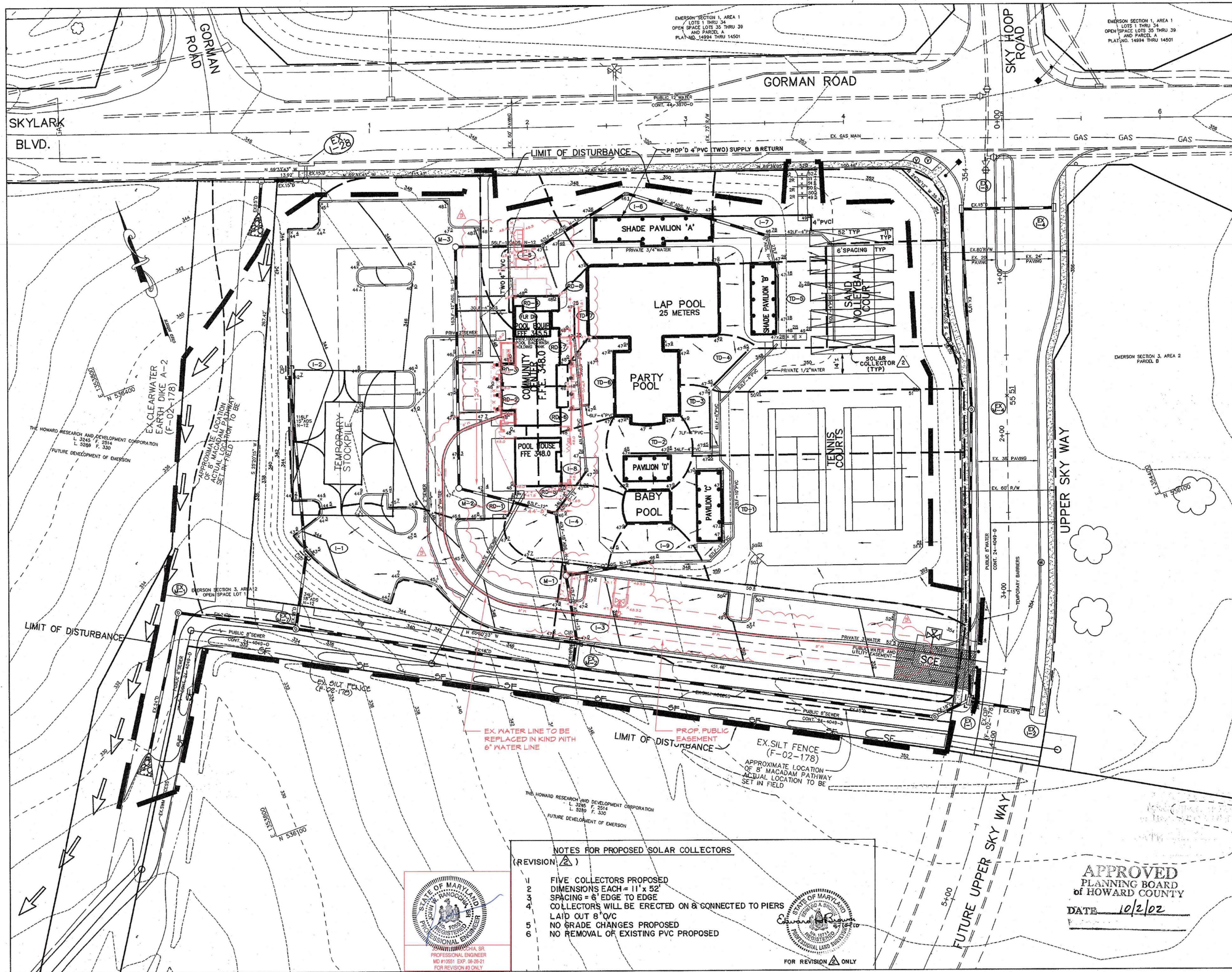
CHRISTOPHER J. REID #19949

APPROVED  
PLANNING BOARD  
OF HOWARD COUNTY  
DATE 10/2/02

STATE OF MARYLAND  
JOHN W. FRANKOVA, SR.  
PROFESSIONAL ENGINEER  
MD #10581 EXP. 08-28-21  
FOR REVISION #3 ONLY

STATE OF MARYLAND  
PROFESSIONAL LAND SURVEYOR  
DATE 5-10-10





DRAINAGE AREA DATA			
INLET NO.	DRAINAGE AREA	C FACTOR	PERCENT IMPERVIOUS
I-1	0.19 AC	0.74	79
I-2	0.63 AC	0.79	87
I-3	0.33 AC	0.76	82
I-4	0.08 AC	0.27	13
I-5	0.10 AC	0.39	30
I-6	0.13 AC	0.50	46
I-7	0.18 AC	0.31	11
I-8	0.03 AC	0.41	33
I-9	0.04 AC	0.55	50
TD-1	0.36 AC	0.58	58
TD-2	0.05 AC	0.86	100
TD-3	0.16 AC	0.65	69
TD-4	0.12 AC	0.53	50
TD-5	0.08 AC	0.53	50
TD-6	0.04 AC	0.86	100
TD-7	0.02 AC	0.86	100

BY THE DEVELOPER :

I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT.

*Paul G. [Signature]* 3/25/03  
DEVELOPER DATE

BY THE ENGINEER :

I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

*Chris J. [Signature]* 3.18.03  
ENGINEER DATE

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SOIL EROSION AND SEDIMENT CONTROL.

*Jim Meyer* 4/1/03  
NATURAL RESOURCES CONSERVATION SERVICE DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

*John L. [Signature]* 4/1/03  
HOWARD SOIL CONSERVATION DISTRICT DATE

APPROVED : HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

*David A. [Signature]* 4/24/03  
DIRECTOR DATE

*[Signature]* 4/14/03  
CHIEF, DEVELOPMENT ENGINEERING DIVISION M1K DATE

*[Signature]* 4/22/03  
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

3/21/2003 Community Clubhouse Renovation & Expansion

4/21/10 ADD SOLAR COLLECTION SYSTEM OVER EX VOLLEY BALL CT (EAB)  
DATE NO. REVISION

OWNER/DEVELOPER  
THE HOWARD RESEARCH AND DEVELOPMENT CORPORATION  
10275 LITTLE PATUXENT PARKWAY  
COLUMBIA, MARYLAND 21044  
410-992-6000

PROJECT  
EMERSON  
SECTION THREE AREA TWO  
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AREA TAX MAP 47 BLOCK 8 & 9  
ZONED: PEC-MXD-3 PARCEL: 462  
6th ELECTION DISTRICT HOWARD COUNTY, MARYLAND

TITLE  
GRADING AND  
SEDIMENT CONTROL PLAN

Patton Harris Rust & Associates, p.c.  
Engineers, Surveyors, Planners, Landscape Architects.

**P.H.R.A.**  
8818 Centre Park Drive  
Columbia, MD 21045  
T 410-997-8900  
F 410-997-9282

3.18.03  
DATE  
DESIGNED BY : C.J.R.

DRAWN BY : DAM

CHECKED BY : C.J.R.  
PROJECT NO : 22456/FINALS  
C-SDP3.DWG  
DATE : MARCH 25, 2003  
SCALE : 1" = 30'

DRAWING NO. 3 OF 7  
CHRISTOPHER J. REID #19949

- NOTES FOR PROPOSED SOLAR COLLECTORS  
(REVISION  $\Delta$ )
- 1 FIVE COLLECTORS PROPOSED
  - 2 DIMENSIONS EACH = 11' x 52'
  - 3 SPACING = 6" EDGE TO EDGE
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  - 5 NO GRADE CHANGES PROPOSED
  - 6 NO REMOVAL OF EXISTING PVC PROPOSED



APPROVED  
PLANNING BOARD  
of HOWARD COUNTY  
DATE 10/2/02



