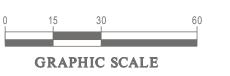


WOODMERE RETAIL
VILLAGE OF OWEN BROWN - PARCEL A-6
SDP-21-045



GENERAL NOTES

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS IF APPLICABLE.
- THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS, BUREAU OF ENGINEERING, CONSTRUCTION INSPECTION DIVISION AT (4(0) 313-1680 AT LEAST FIVE (5) WORKING DAYS PRIOR
- THE CONTRACTOR SHALL NOTIFY THE HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS, BUREAU OF UTILITIES AT (4(0) 313-4900 AT LEAST FIVE (5) DAYS PRIOR TO STARTING ANY EXCAVATION WORK
- 4. THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT I-800-251-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.

5. PROJECT BACKGROUND:
LOCATION:
TAX MAP \$42, GRID 3
XONNG:
BLECTION DISTRICT:
PARCEL AREA.
RECORDING REFERENCE:
935 AC.
RECORDING REFERENCE:
PLAT NO. 6513

6. PROPOSED USE: RESTAURANT

- ALL PLAN DIMENSIONS ARE TO FACE OF BUILDING AND/OR FACE OF CURB UNLESS OTHERWISE NOTED, DIMENSIONS ARE MEASURED PERPENDICULAR OR RADIALLY BETWEEN ITEMS UNLESS OTHERWISE NOTED.
- EXISTING TOPOGRAPHY IS SHOWN PER FIELD RUN SURVEY PERFORMED BY GUTSCHICK, LITTLE &
 MEBER, PA. IN NOVEMBER 2020 WITHIN THE LIMIT OF SUBMISSION AS MELL AS GRADES TAKEN FROM
 DESIGN IT-ANS FOR COINSTACTION AND MONARD COUNTY (616.
- COORDINATES AND BEARINGS ARE BASED UPON THE '21 MD STATE COORDINATE SYSTEM (NAD '21)
 AS PROJECTED BY HOWARD COUNTY GEODETIC CONTROL STATIONS NO. 36HB AND 42BB.
- IO. PROPERTY IS ZONED NT PER THE IO/06/13 COMPREHENSIVE ZONING PLAN.
- II. PREVIOUS DEPARTMENT OF PLANNING & ZONING FILE NUMBERS: FDP-125-A, 5DP-86-027, & ECP-21-028
- PROPOSED WATER AND SENER EXTENSIONS ARE PUBLIC PER ADO #4611 BROKEN LAND PARKWAY APPROVED ON SEPTEMBER 4, 2021.
- 13. EXISTING WATER AND SEMER IS PER CONTRACT #24-1406-D.
- 14. ALL EXISTING PRIVATE STORM DRAIN ON-SITE IS PER SDP-86-027.
- 15. STORMMATER MANAGEMENT FOR QUALITY AND QUANTITY CONTROL IS BEING PROVIDED IN THE FOLLOWING MANNER.
- FOLLOWING MANNER:

 1. STORMCEPTOR (PRIVATELY OWNED AND MAINTAINED)

 11. PERMEABLE PAVEMENT (PRIVATELY OWNED AND MAINTAINED)
- I6. EXISTING UTILITIES ARE BASED ON APPROVED DESIGN PLANS FOR CONSTRUCTION AND FIELD LOCATION BY GUTSCHICK, LITTLE & WEBER, P.A.
- IT. THERE ARE NO KNOWN CEMETERIES, GRAVE SITES OR HISTORIC STRUCTURES LOCATED ON THE SUBJECT PROPERTY.
- ID. THERE ARE NO SCENIC ROADS WITHIN OR ADJACENT TO THE SUBJECT PROPERTY.
 ID. THERE ARE NO FLOODPLAINS ON THIS SITE WITHIN THE LIMIT OF SUBMISSION.
- ______
- 2I. THIS PROPERTY IS WITHIN THE METROPOLITAN DISTRICT.
- 22. BUILDING SETBACKS AND BUILDING RESTRICTIONS ARE PER F-125-A.
- 23. BECAUSE THIS PLAN SUBMISSION IS NON-RESIDENTIAL, A NOISE STUDY IS NOT REQUIRED.
- 24. THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE NEW TOWN ALTERNATIVE COMPLIANCE PROVISIONS OF SECTION IS 124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANGSCAPE HANALL. AN APPLICATION HAS SUBMITTED TO ARE, IN JURE, 2014 AND APPROVED ON SEPTEMBER 22, 2021, A LANDSCAPE SURETY IN THE APOUNT OF STIDOLOO MILL BE POSTED AS PART OF THE DMY DEVILOPER ASSESSMENT. SEE SHEET 12 FOR DETAILS.
- 25. THERE ARE NO NEW SITE LIGHTS PROPOSED AT THIS TIME, EXISTING PARKING LOT LIGHTS ARE TO REMAIN OR ARE TO BE RELOCATED, ALL EXTENIOR LIGHT FIXITIZES SHALL BE FILLY OR PARTIALLY SHELLED TO DIFFECT LIGHT INVARDS AND DOWNWARDS AND FROM ALL DAJUNING RESIDENTIAL LIEE AREAS AND PUBLIC ROADS IN ACCORDANCE WITH SECTION 184 OF THE HOWARD COUNTY ZONING RESIDILATION.
- 26. THIS PLAN COMPLIED WITH THE REQUIREMENTS OF SECTION 16.1200 OF THE HOWARD COUNTY COD FOR FOREST CONSERVATION BY THE PAYMENT OF A FIEL-IN-LIEU OF FOREST CONSERVATION. THE FEEL-IN-LIEU 16.12(4):03. SEE SHEET 18 FOR FIEL COMPUTATION.
- FEE-IN-LIB IS **62/98/86**. SEE SHEET IS FOR FEE COMPUTATION

 21. A TRAFFIC STUDY WAS COMPLETED BY THE TRAFFIC 6RCUP. ON FEBRUARY 22, 2021 AND APPROVED ON JLY 12, 2021. THE FOLLOWING IS THE SHAMARY OF FINDINGS. THIS STUDY SHOWS THE PROPERTY OF THE PROPERTY
- 28. A GEOTECHNICAL REPORT WAS COMPLETED BY HILLIS CARNES ENGINEERING ASSOCIATES ON MAY 10, 2021.
- 29. A PRE-SUBMISSION COMMUNITY MEETING IS NOT REQUIRED FOR FLOOR EXPANSIONS OF LESS TH 25% PER SECTION (56 (a)(2)(b) OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS
- 30. A DESIGN MANUAL MAVER FROM DESIGN MANUAL VOL. III, APPENDIX 6, TO REDUCE THE MINIMAM MIDTH OF A ONE-MAY DRIVE LAVE IN PARKING LOT FROM 6/ TO 12; MAS APPROVED ON LINE 15, 2021. THE APPROVAL IS SUBJECT TO PROVIDING THAT THE AREA DIE TO THE LIMITED MIDTH, CANNOT BE USED FOR ANY OTHER PURPOSE INCLUDING LOADING REGUIREMENTS.
- 31. AS OF SEPTEMBER 26, 2021, SDP-20-042 HAS NOT BEEN APPROVED YET, THEREFORE, THE ALIGNMENT OF THE ASPHALT PATH ALONG BROKEN LAND PARSHAY MAY NEED TO BE ADJUSTED. HERE IT HERETS PARCEL, AS IF THE CURRENT PLAN CHANGES, THIS MAY REGUITE A REQUITE

Date

SITE DEVELOPMENT PLAN WOODMERE RETAIL

VILLAGE OF OWEN BROWN PARCEL A-6

SITE ANALYSIS DATA

- I. ZONING: NT-COMMERCIAL
- 2. GROSS AREA OF PARCEL A-6 = 233184 S.F. or 535 AC.
- 3. PLAT 6513
- 4. LIMIT OF DISTURBED AREA = 55,674 S.F. or 1.28 AC. (LIMIT OF PLAN SUBMISSION)
- 5. PROPOSED USE: RESTAURANT BUILDING 5,000 SF (I STORY)
- 6. BUILDING COVERAGE (% OF GROSS SITE AREA).
 EX. BUILDING '14. 66/174 5F. GFA or 152 AC. (FER SDP-66-027)
 FROP. BUILDING '15. 5000 5F. or 0.11 0.11
 TOTAL BUILDING '15. COVERAGE = 152 AC., + 0.11 AC., = 1.63 AC.,
 = 20.5% OF PARCEL. A-6 (5.35 AC.)

7. APPLICANT/OWNER:

FKM MOODMERE C/O ABRAMS DEVELOPMENT GROUP 8601 ROBERT FULTON DRIVE, SUITE ICO COLUMBIA, ND 21046 ATTM. PETER MATHLESON TEL. (443) 534-4806

ZONING STANDARDS: (PER FDP-125-A)

I, MINIMUM STRUCTURE SETBACK

EPON DIRILLS STREET BAN

4. PARKING ANALYSIS:

REQUIRED PARKING - EX. OFFICE BLDG 'A':

SEE SHARED USE PARKING AND TENANT SUMMARY TABLES (THIS SHEET)

REQUIRED PARKING - PROP. BLDG. 'B'i

SEE SHARED USE PARKING AND TENANT SUMMARY TABLES (THIS SHEET)

SITE TOTALS (PARCEL A-6):

TOTAL REQUIRED PARKING = <u>IGG SP</u> (NON-SHARED)

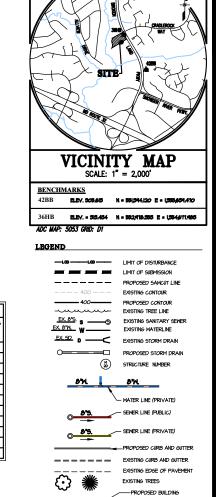
TOTAL REQUIRED HC PARKING = 6 SP

	/ / / /"									
\ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \	/ / //			SHAI	RED USE	PARKIN	G TABLI	8		
					MEE	KDAY			WEEKEND	
				MORNING 6am-8am	MID-DAY 8am-3pm	AFTERNOON 3pm-5pm	EVENING 5pm-mid	DAYTIME 6am-6pm	EVENING 6pm-mld	NIGHTT mid-6
\ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \			RESIDENTIAL	0,0 (0•80%)	0,0 (0060%)	(Os6O%)	OD (00100%)	(Oe100%)	(Oe)(O%)	(00)00
			OFFICE / INDUSTRIAL	(128e80%)	(128¢) (128¢100%)	(128e)(00%)	(128e10%)	(128e10%)	10	(1280
			RETAIL	O.O (Os20%)	OD (0860%)	OD (0860%)	0.0 (0e40%)	0.0 (0a100%)	0.0 (0a70%)	0.0 (O e 5
TIPARCEL A517	/ /P /		HOTEL / MOTEL	<i>O.O</i> (0e T5%)	(Oe 15%)	(Oe 15%)	(Oe100%)	OD (OaT5%)	(0e100%)	(00)
[C/O ABRAMS DEV. GROUP!			RESTAURANT	(95e5 <i>0%</i>)	(95e5c%)	(95e5c%)	95.0 (95el00%)	(95elCC%)	95.0 (95el00%)	(35e)
C C CUMUNUM S N		4	RESTAURANT (FAST FOOD)	36.0 (36e100%)	36.0 (36e100%)	36el00%)	36.0 (36e100%)	36.0 (36el00%)	36.0 (36e100%)	36.0 (36e)O
			THEATER, COMMERCIAL REC., NIGHTCLUB, OR RESTAURANT W ENTERTAINMENT	0.0 (0010%)	0.0 (00T0%)	<i>0.0</i> (0080%)	<i>0.0</i> (0e100%)	<i>0.0</i> (0e80%)	<i>0.0</i> (0e100%)	(Oe)C
										<u></u>
41.00	CRADLEROCK	1	TOTALS:	157.0	182,0	182,0	84.0	84.0	18.0	47.0
	WAY O	<u> </u>								

SCALE: I" = 200'

	CD 997						
BUILDING ADDRESS	UNIT	(2.0 SP/	(14.0 SP/	(FAST FOOD) ₍₁₎ (14.0 SP/	(5.0 SP/		
		66,179 SF ₍₃₎				128 SP	128 SP
9881 BROKEN LAND PKWY (BLDG 'A')							
	1 2500 9F 95 9P	18 SP					
	2			1,250 SF		IB SP	18 SP
9871 BROKEN LAND PKMY (BLDG 'B')	3			1,250 SF		18 SP	18 SP
TOTALS						199 SP	182 SP

REGUIRED PARKING PER ZONING SEC. 133.O.D.4 REGUIRED PARKING PER FDP-125-A



EXISTING BUILDING

-50IL BOUNDARY

EXISTING UTILITY POLES



KEY MAP

i u

(=) [

BUILDING ELEVATIONS



STOR	MWATER MANA	AGEMENT INFORMA	TION CHART	
LOT / PARCEL NO.	FACILITY NAME / NO.	PRACTICE TYPE (GUANTITY)	PUBLIC / PRIVATE	MISC.
PARCEL A-6	PERMEABLE PAVEMENT	A-2 (I)	PRIVATE	
PARCEL A-6	STORMCEPTOR (SC-I)	5 C (1)	PRIVATE	

	ADI	DRESS AN	ID PERMI	T INFOI	RMATION CHART			
BUILDING ADDRESS:					MID 21046 (BUILDING 'A' MID 21046 (BUILDING 'B'			
SUBDIVISION NAME: VILLAGE OF OWEN BR	ROWN		SECTION/AF	REA: L3 AREA	PARCEL: AREA: I PARCEL A-6			
PLAT REFERENCE: 6513		ZONE: NT	TAX MAP: 42	GRID:	ELECTION DISTRICT:	CENSUS TRACT: 6061.01		
NATER & SEWER WA	TERSHED	:						

GLW
PLANNING ENGING SURVEYING

APPROVED: HOWARD COUNTY HEALTH DEPARTMENT

PLANNING BOARD OF HOWARD COUNTY

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONIN

DESIGNED BY

DRAWN BY:

EWAL

CHECKED BY:

DATE

REVISION

BY APP

OWNER/DEVELOPER:
FKW WOODMERE LLC
C/O ABRAMS DEVELOPMENT GROUP
8601 ROBERT FULTON DRIVE, SUITE 100
COLUMBIA, MD 21046
ATTN: PETER MATHIESON
TEL: 443-539-4806

LOT 2 COLUMBIA ASSOC. INC PLAT 4641 ZONED, NT

GRAPHIC SCALE

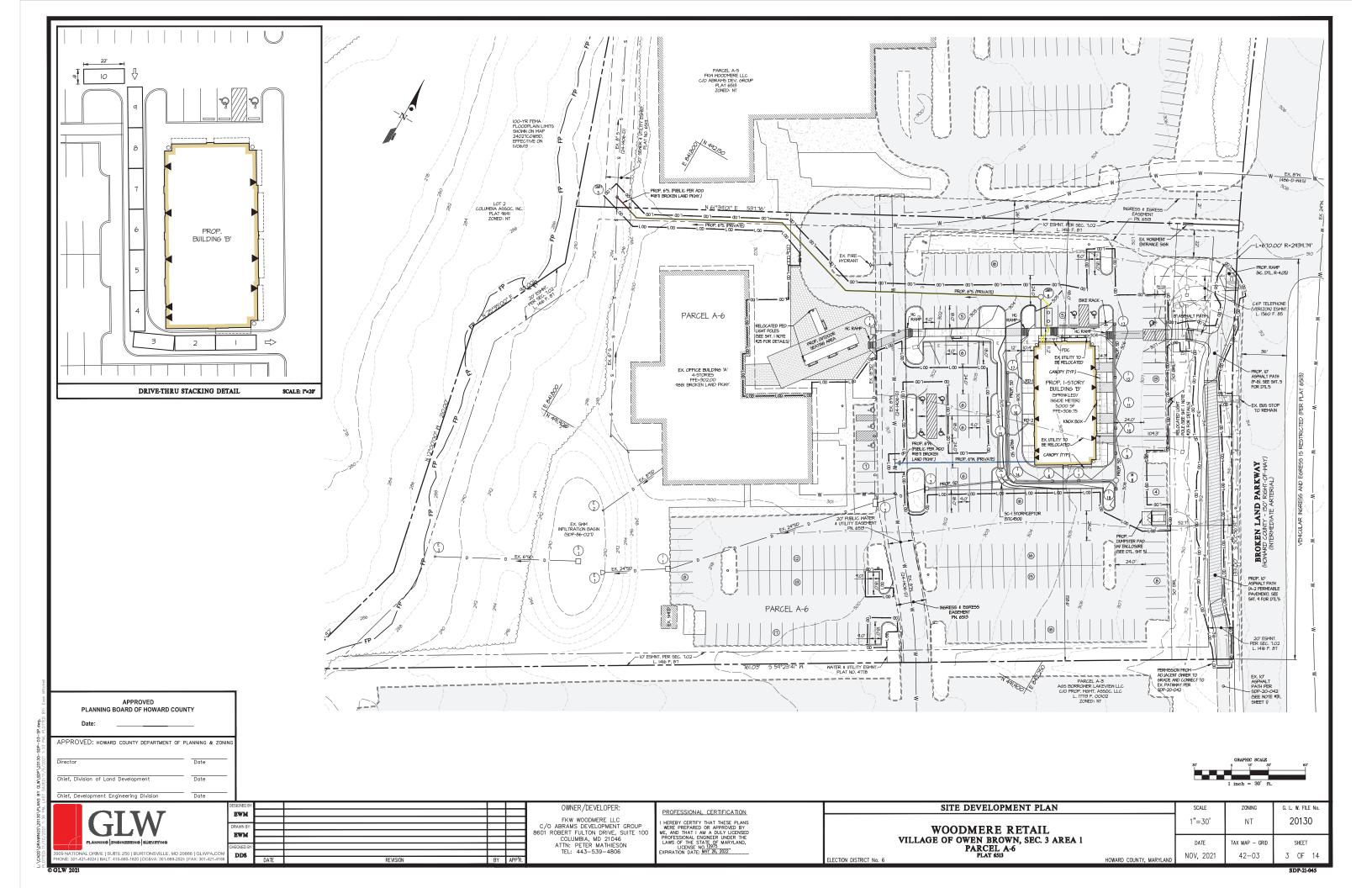
PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE PLANS
WERE PREPARED OR APPROVED BY
ME, AND THAT I AM A DULY LICENSED
PROFESSIONAL ENGINEER UNDER THE
LAWS OF THE STATE OF MARYLAND,
LICENSE NO. 12976
EXPERIENTO DATE: MAY ZB, 2022

WOODMERE RETAIL
VILLAGE OF OWEN BROWN, SEC. 3 AREA 1
PARCEL A-6
PLAT 6513
ELECTION DISTRICT No. 6

COVER SHEET

SDP-21-045



GENERAL NOTES

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS IF APPLICABLE.
- THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS, BUREAU OF ENGINEERING, CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR
- TO THE START OF WORK. THE CONTRACTOR SHALL NOTIFY THE HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS, BUREAU OF
- 4. THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT I-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.

UTILITIES AT (410) 313-4900 AT LEAST FIVE (5) DAYS PRIOR TO STARTING ANY EXCAVATION WORK.

PROJECT BACKGROUND:

TAX MAP #42, GRID 3 LOCATION:

ELECTION DISTRICT: PARCEL AREA: RECORDING REFERENCE: PLAT NO. 6513

- PROPOSED USE: RESTAURANT
- ALL PLAN DIMENSIONS ARE TO FACE OF BUILDING AND/OR FACE OF CURB UNLESS OTHERWISE NOTED. DIMENSIONS ARE MEASURED PERPENDICULAR OR RADIALLY BETWEEN ITEMS UNLESS
- 8. EXISTING TOPOGRAPHY IS SHOWN PER FIELD RUN SURVEY PERFORMED BY GUTSCHICK, LITTLE & WEBER, P.A. IN NOVEMBER 2020 WITHIN THE LIMIT OF SUBMISSION AS WELL AS GRADES TAKEN FROM DESIGN PLANS FOR CONSTRUCTION AND HOWARD COUNTY GIS.
- COORDINATES AND BEARINGS ARE BASED UPON THE '27 MD STATE COORDINATE SYSTEM (NAD '27) AS PROJECTED BY HOWARD COUNTY GEODETIC CONTROL STATIONS NO. 36HB AND 42BB.
- PROPERTY IS ZONED NT PER THE 10/06/13 COMPREHENSIVE ZONING PLAN.
- PREVIOUS DEPARTMENT OF PLANNING & ZONING FILE NUMBERS : FDP-125-A, SDP-86-027, & ECP-21-028
- 12. PROPOSED WATER AND SEWER EXTENSIONS ARE PUBLIC PER ADO #9871 BROKEN LAND PARKWAY APPROVED ON SEPTEMBER 9, 2021.
- 13. EXISTING WATER AND SEWER IS PER CONTRACT #24-1406-D.
- 14. ALL EXISTING PRIVATE STORM DRAIN ON-SITE IS PER SDP-86-027.
- 15. STORMWATER MANAGEMENT FOR QUALITY AND QUANTITY CONTROL IS BEING PROVIDED IN THE
- STORMCEPTOR (PRIVATELY OWNED AND MAINTAINED) PERMEABLE PAVEMENT (PRIVATELY OWNED AND MAINTAINED)
- 16. EXISTING UTILITIES ARE BASED ON APPROVED DESIGN PLANS FOR CONSTRUCTION AND FIELD LOCATION BY GUTSCHICK, LITTLE & WEBER, P.A.
- 7. THERE ARE NO KNOWN CEMETERIES, GRAVE SITES OR HISTORIC STRUCTURES LOCATED ON THE
- 18. THERE ARE NO SCENIC ROADS WITHIN OR ADJACENT TO THE SUBJECT PROPERTY.
- 19. THERE ARE NO FLOODPLAINS ON THIS SITE WITHIN THE LIMIT OF SUBMISSION.
- 20. THERE ARE NO WETLANDS ON THE SITE.
- 21. THIS PROPERTY IS WITHIN THE METROPOLITAN DISTRICT.
- 22. BUILDING SETBACKS AND BUILDING RESTRICTIONS ARE PER F-125-A.
- 23. BECAUSE THIS PLAN SUBMISSION IS NON-RESIDENTIAL, A NOISE STUDY IS NOT REQUIRED.
- 24. THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE NEW TOWN ALTERNATIVE COMPLIANCE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. AN APPLICATION WAS SUBMITTED TO A.R.C. IN JUNE, 2021 AND APPROVED ON SEPTEMBER 22, 2021. A LANDSCAPE SURETY IN THE AMOUNT OF \$17,130.00 WILL BE POSTED AS PART OF THE DPW DEVELOPER AGREEMENT. SEE SHEET 12 FOR DETAILS.
- 25. THERE ARE NO NEW SITE LIGHTS PROPOSED AT THIS TIME. EXISTING PARKING LOT LIGHTS ARE TO REMAIN OR ARE TO BE RELOCATED. ALL EXTERIOR LIGHT FIXTURES SHALL BE FULLY OR PARTIALLY SHIELDED TO DIRECT LIGHT INWARDS AND DOWNWARDS AWAY FROM ALL ADJOINING RESIDENTIAL USE AREAS AND PUBLIC ROADS IN ACCORDANCE WITH SECTION 134 OF THE HOWARD COUNTY ZONING
- THIS PLAN COMPLIED WITH THE REQUIREMENTS OF SECTION 16 1200 OF THE HOWARD COUNTY CODE FOR FOREST CONSERVATION BY THE PAYMENT OF A FEE-IN-LIEU OF FOREST CONSERVATION. THE FEE-IN-LIEU IS \$2,951.63. SEE SHEET I3 FOR FEE COMPUTATION
- 27. A TRAFFIC STUDY WAS COMPLETED BY THE TRAFFIC GROUP. ON FEBRUARY 22, 2021 AND APPROVED ON JULY 12, 2021. THE FOLLOWING IS THE SUMMARY OF FINDINGS. THIS STUDY SHOWS THAT TWO OF THE THREE INTERSECTIONS ARE PROJECTED TO MAINTAIN ACCEPTABLE LEVELS OF SERVICE DURING BOTH THE WEEKDAY MORNING AND EVENING PEAK HOURS. DURING THE WEEKDAY MORNING PEAK HOUR, ALL THREE STUDY INTERSECTIONS ARE PROJECTED TO OPERATE WITH ACCEPTABLE LEVEL OF SERVICE "B" OR BETTER CONDITIONS. DURING THE WEEKDAY EVENING PEAK HOUR, THE INTERSECTION OF BROKEN LAND PKMY. WITH SNOWDEN RIVER PKMY. IS PROJECTED TO OPERATE WITH LEVEL OF SERVICE "E" AND "F" CONDITIONS UNDER FUTURE, BACKGROUND, AND TOTAL TRAFFIC VOLUMES. HOWARD COUNTY HAS A CAPITAL PROJECT (J4167) TO PROVIDE INTERSECTION IMPROVEMENTS FOR THIS LOCATION. WITH A CONTRIBUTION OF \$16,030.38 TO THE CAPITAL PROJECT, THE PROPOSED DEVELOPMENT SATISFIES HOWARD COUNTY ADEQUATE ROAD FACILITIES TEST EVALUATION REQUIREMENTS.
- 28. A GEOTECHNICAL REPORT WAS COMPLETED BY HILLIS CARNES ENGINEERING ASSOCIATES ON MAY
- 29. A PRE-SUBMISSION COMMUNITY MEETING IS NOT REQUIRED FOR FLOOR EXPANSIONS OF LESS THAN 25% PER SECTION 156.(a)(2)(b) OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS.
- 30. A DESIGN MANUAL WAIVER FROM DESIGN MANUAL VOL. III, APPENDIX G, TO REDUCE THE MINIMUM WIDTH OF A ONE-WAY DRIVE LANE IN PARKING LOT FROM 16' TO 12', WAS APPROVED ON JUNE 15, 2021. THE APPROVAL IS SUBJECT TO PROVIDING THAT THE AREA, DUE TO THE LIMITED WIDTH, CANNOT BE USED FOR ANY OTHER PURPOSE INCLUDING LOADING REQUIREMENTS.
- 31. AS OF SEPTEMBER 28, 2021, SDP-20-042 HAS NOT BEEN APPROVED YET. THEREFORE. THE ALIGNMENT OF THE ASPHALT PATH ALONG BROKEN LAND PARKWAY MAY NEED TO BE ADJUSTED WHERE IT MEETS PARCEL A-3 IF THE CURRENT PLAN CHANGES. THIS MAY REQUIRE A REDLINE

SITE DEVELOPMENT PLAN WOODMERE RETAIL

VILLAGE OF OWEN BROWN PARCEL A-6

SITE ANALYSIS DATA

- I. ZONING: NT-COMMERCIAL
- 2. GROSS AREA OF PARCEL A-6 = 233,184 S.F. or 5.35 AC.
- 4. LIMIT OF DISTURBED AREA = 55.674 S.F. or 1.28 AC. (LIMIT OF PLAN SUBMISSION)
- 5. PROPOSED USE: RESTAURANT BUILDING 5,000 SF (I STORY)
- 6. BUILDING COVERAGE (% OF GROSS SITE AREA): EX. BUILDING 'A': 66,179 S.F. GFA or 1.52 AC. (PER SDP-86-027) PROP. BUILDING 'B': 5,000 S.F. or O.II AC. TOTAL BUILDING COVERAGE = 1.52 AC. + O.II AC. = 1.63 AC. = 30.5% OF PARCEL A-6 (5.35 AC.)
- 7. <u>APPLICANT/OWNER:</u>
- FKW WOODMERE C/O ABRAMS DEVELOPMENT GROUP 8601 ROBERT FULTON DRIVE, SUITE 100 ATTN .: PETER MATHIESON TEL. (443) 539-4806
- 8. ZONING STANDARDS: (PER FDP-125-A) I. MINIMUM STRUCTURE SETBACK

FROM PUBLIC STREET R/W:

<u>ALLOWED</u> 50 FT.

LOT 2 COLUMBIA ASSOC. INC. PLAT 9691 ZONED: NT

IAGS BORROWER LAKEVIEW I

9. <u>PARKING ANALYSIS:</u>

REQUIRED PARKING - EX. OFFICE BLDG 'A': SEE SHARED USE PARKING AND TENANT SUMMARY TABLES (THIS SHEET)

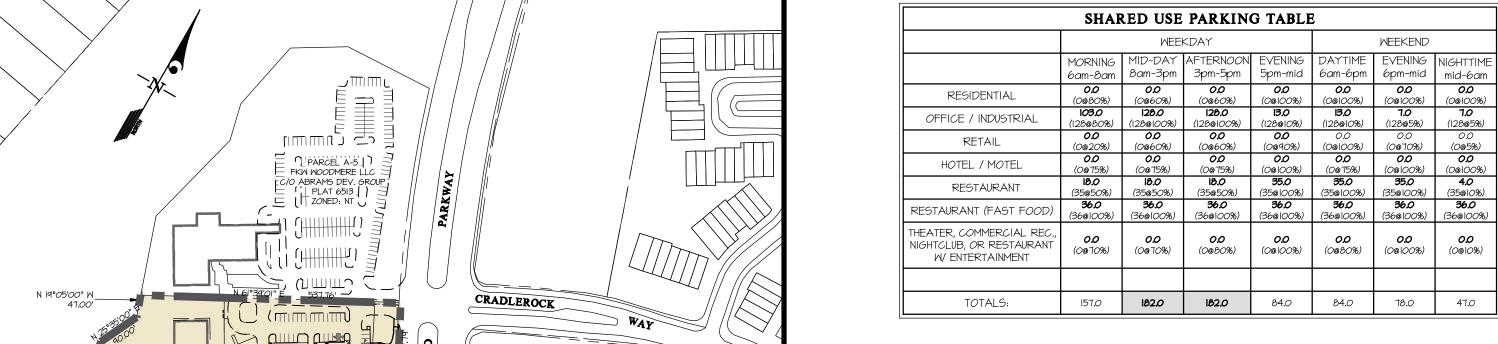
REQUIRED PARKING - PROP. BLDG. 'B':

SEE SHARED USE PARKING AND TENANT SUMMARY TABLES (THIS SHEET)

SITE TOTALS (PARCEL A-6):

TOTAL REQUIRED PARKING = 199 SP (NON-SHARED) TOTAL REQUIRED PARKING = <u>182 SP</u> (SEE SHARED USE TABLE) TOTAL PROVIDED PARKING = 197 SP

TOTAL REQUIRED HC PARKING = 6 SP TOTAL PROVIDED HC PARKING = 10 SP



SCALE: I" = 200'

ELECTION DISTRICT No. 6

TENANT PARKING SUMMARY TABLE												
BUILDING ADDRESS	UNIT	OFFICE ₍₂₎ (2.0 SP/ 1,000 SF)	RESTAURANT _(I) (14.0 SP/ 1,000 SF)	RESTAURANT (FAST FOOD) ₍₁₎ (14.0 SP/ 1,000 SF)	RETAIL ₍₁₎ (5.0 SP/ 1,000 SF)	REQUIRED PARKING SPACES	REQUIRED PARKING SPACES (SHARED USE)					
		66,179 SF ₍₃₎				128 SP	128 SP					
9881 BROKEN LAND PKMY (BLDG 'A')												
	ı		2,500 SF			35 SP	18 SP					
	2			1,250 SF		18 SP	18 SP					
9871 BROKEN LAND PKWY (BLDG 'B')	3			1,250 SF		18 SP	18 SP					
TOTALS						199 SP	182 SP					

(I) REQUIRED PARKING PER ZONING SEC. 133,0,D,4 (2) REQUIRED PARKING PER FDP-125-A

(3) BUILDING AREA PER SDP-86-027

	SCALE:	1 = 2,000
BENCH	MARKS	
42BB	ELEV. 305.613	N = 551,394.120 E = 1,355,639.47
36HB	ELEV. = 313.434	N = 552,918.353 E = 1,354,6T1.98
ADC MAP:	5053 GRID: D1	
<u>LEGENI</u>)	
_	LOD ————————————————————————————————————	LIMIT OF DISTURBANCE
		I LIMIT OF SUBMISSION
_		PROPOSED SAWOUT LINE
	400	EXISTING CONTOUR
	400	PROPOSED CONTOUR
_	mmm-	EXISTING TREE LINE
_ <u>E</u>	<u>x. 8"5</u> . s ——⑤	EXISTING SANITARY SEWER
	8"W. W —	EXISTING WATERLINE
<u>EX</u>	<u>SD</u> D ———	EXISTING STORM DRAIN
C		PROPOSED STORM DRAIN
	M 20	STRUCTURE NUMBER
	8"W.	8"W.
		─ WATER LINE (PRIVATE)
	© 8"S	SEWER LINE (PUBLIC)
	8"G	SEWER LINE (PRIVATE)
	© -	SEPTEN LINE (FINANCE)
_		PROPOSED CURB AND GUTTE
=		EXISTING CURB AND GUTTER
_		EXISTING EDGE OF PAVEMEN
کر	~~ **	EXISTING TREES
7		PROPOSED BUILDING
		[4]
		PROPOSED CONCRETE
		SIDEWALK
		I∵1 - SETBACK LINE
		SEID/ OR LINE
		EXISTING BUILDING
	T.B.R.	TO BE REMOVED
	-	SOIL BOUNDARY
	GnA⊸	SOIL TYPE
- \	——— OHW ————	EXISTING OVERHEAD WIRES
- \	——— ОНW —————	EXISTING OVERHEAD WIRES

-EXISTING UTILITY POLES

SHEET INDEX	
SHEET TITLE	SHEET NO.
COVER SHEET	
EXISTING CONDITIONS & DEMOLITION PLAN	2
SITE DEVELOPMENT PLAN	3
GRADING PLAN	4
SITE PLAN DETAILS	5
UTILITY PLAN AND PROFILES	6
SITE PLAN DETAILS	7
STORMWATER MANAGEMENT PLAN	8
STORMWATER MANAGEMENT DETAILS	9
SEDIMENT CONTROL PLAN	10
SEDIMENT CONTROL NOTES AND DETAILS	II
LANDSCAPE PLAN	12
LANDSCAPE DETAILS	13

BUILDING ELEVATIONS

DRAINAGE AREA MAP



STOR	RMWATER MANA	AGEMENT INFORMA	TION CHART	
LOT / PARCEL NO.	FACILITY NAME / NO.	PRACTICE TYPE (QUANTITY)	PUBLIC / PRIVATE	MISC.
PARCEL A-6	PERMEABLE PAVEMENT	A-2 (I)	PRIVATE	
	STORMCEPTOR (SC-1)	SC (1)	PRIVATE	

AD	DRESS AN	ID PERMI	T INFOI	RMATION CHART	•
			•	MD 21046 (BUILDING 'A' MD 21046 (BUILDING 'B',	
JBDIVISION NAME: VILLAGE OF OMEN BROWN		SECTION/AF	REA: I: 3 AREA	A:	PARCEL: PARCEL A-6
AT REFERENCE: 6513	ZONE:	TAX MAP: 42	GRID: ∃	ELECTION DISTRICT:	CENSUS TRACT: 6067.01
ATER & SEWER WATERSHE	D:				

Chief, Development Engineering Division

Chief, Division of Land Development

APPROVED: HOWARD COUNTY HEALTH DEPARTMENT

APPROVED

PLANNING BOARD OF HOWARD COUNTY

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

County Health Officer

3909 NATIONAL DRIVE | SUITE 250 | BURTONSVILLE, MD 20866 | GLWPA.COM PHONE: 301-421-4024 | BALT: 410-880-1820 | DC&VA: 301-989-2524 | FAX: 301-421-4186

DRAWN BY **EWM DDS** DATE REVISION

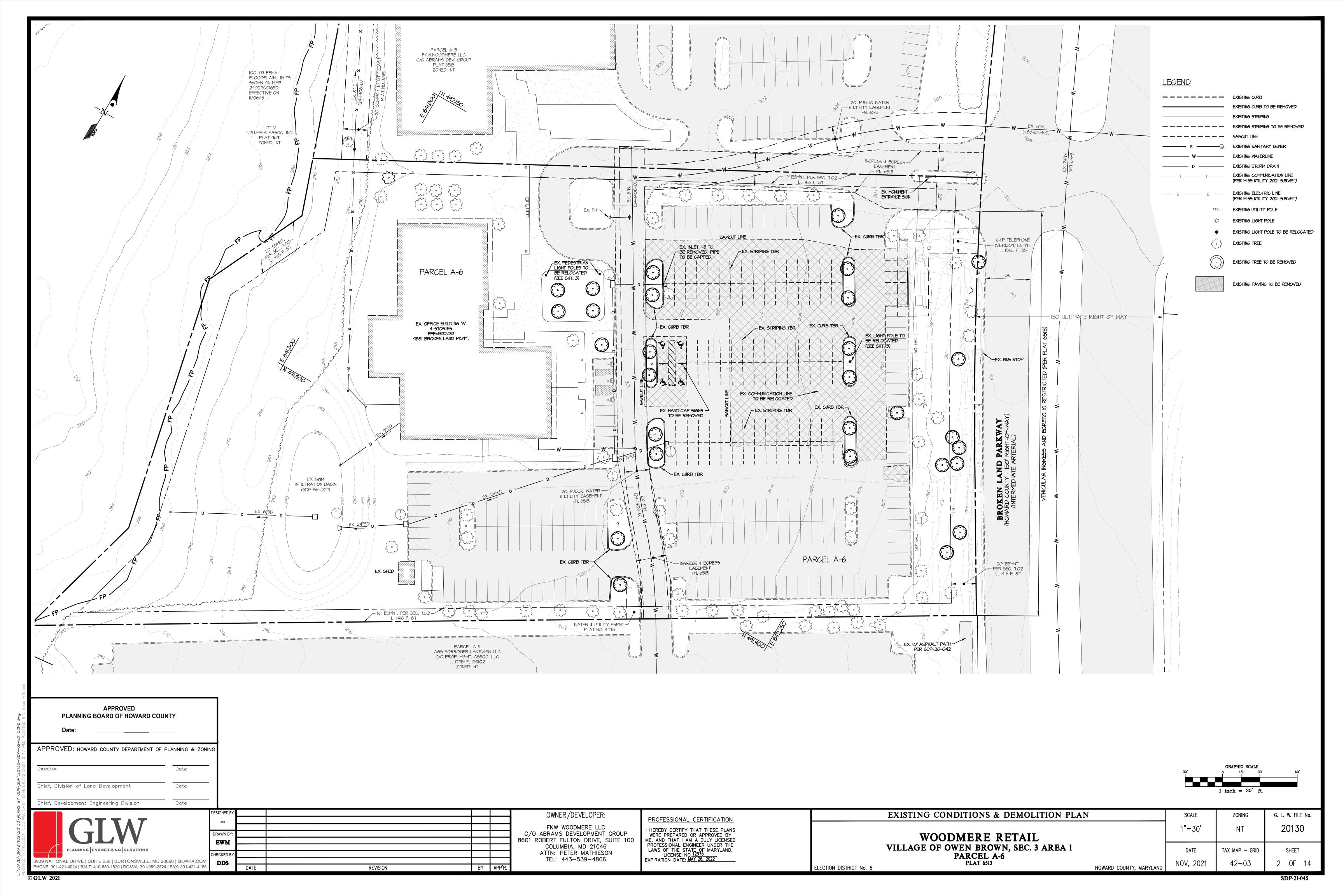
OWNER/DEVELOPER: FKW WOODMERE LLC C/O ABRAMS DEVELOPMENT GROUP 8601 ROBERT FULTON DRIVE, SUITE 100 COLUMBIA, MD 21046 ATTN: PETER MATHIESON TEL: 443-539-4806

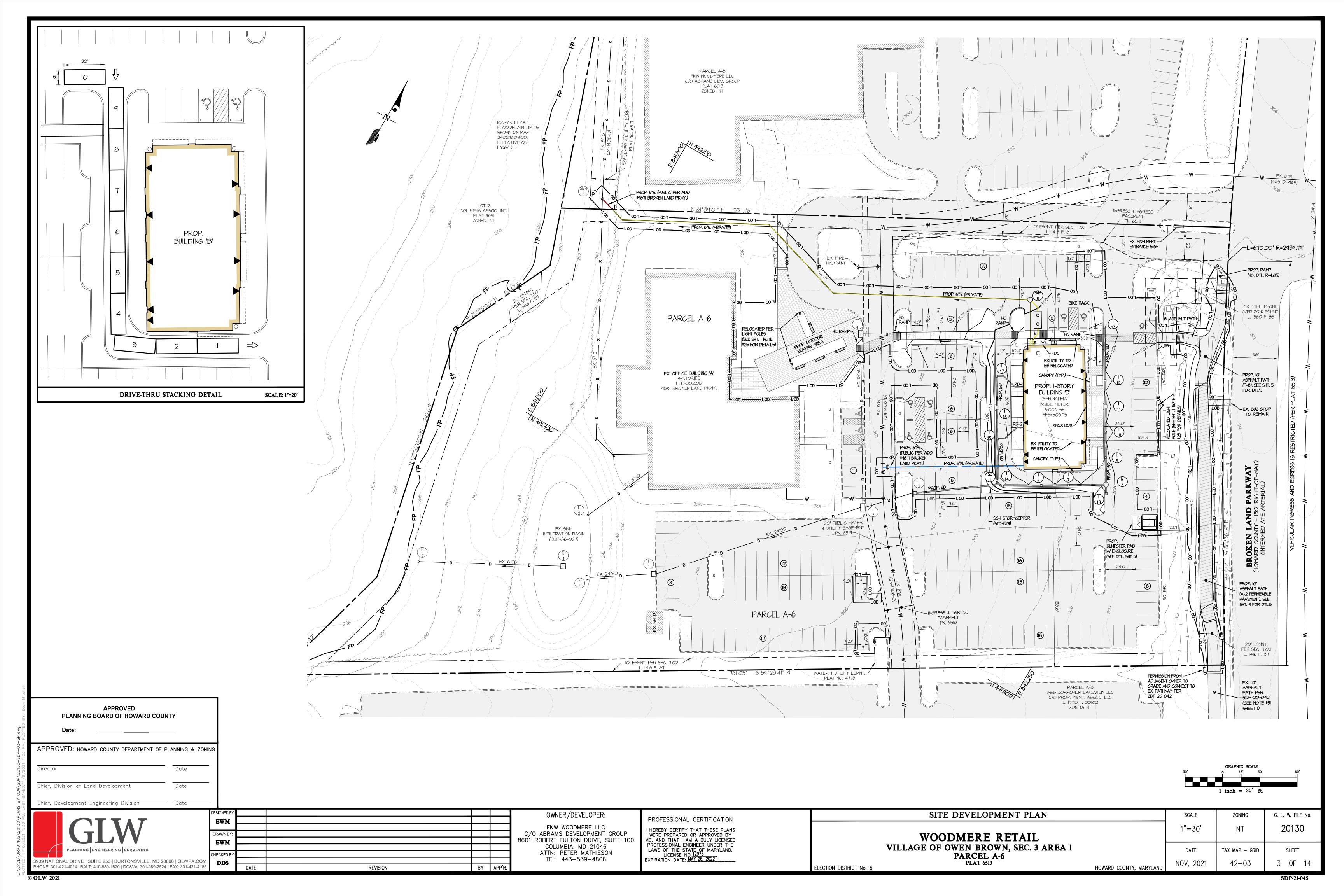
PROFESSIONAL CERTIFICATION I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975 EXPIRATION DATE: MAY 26, 2022

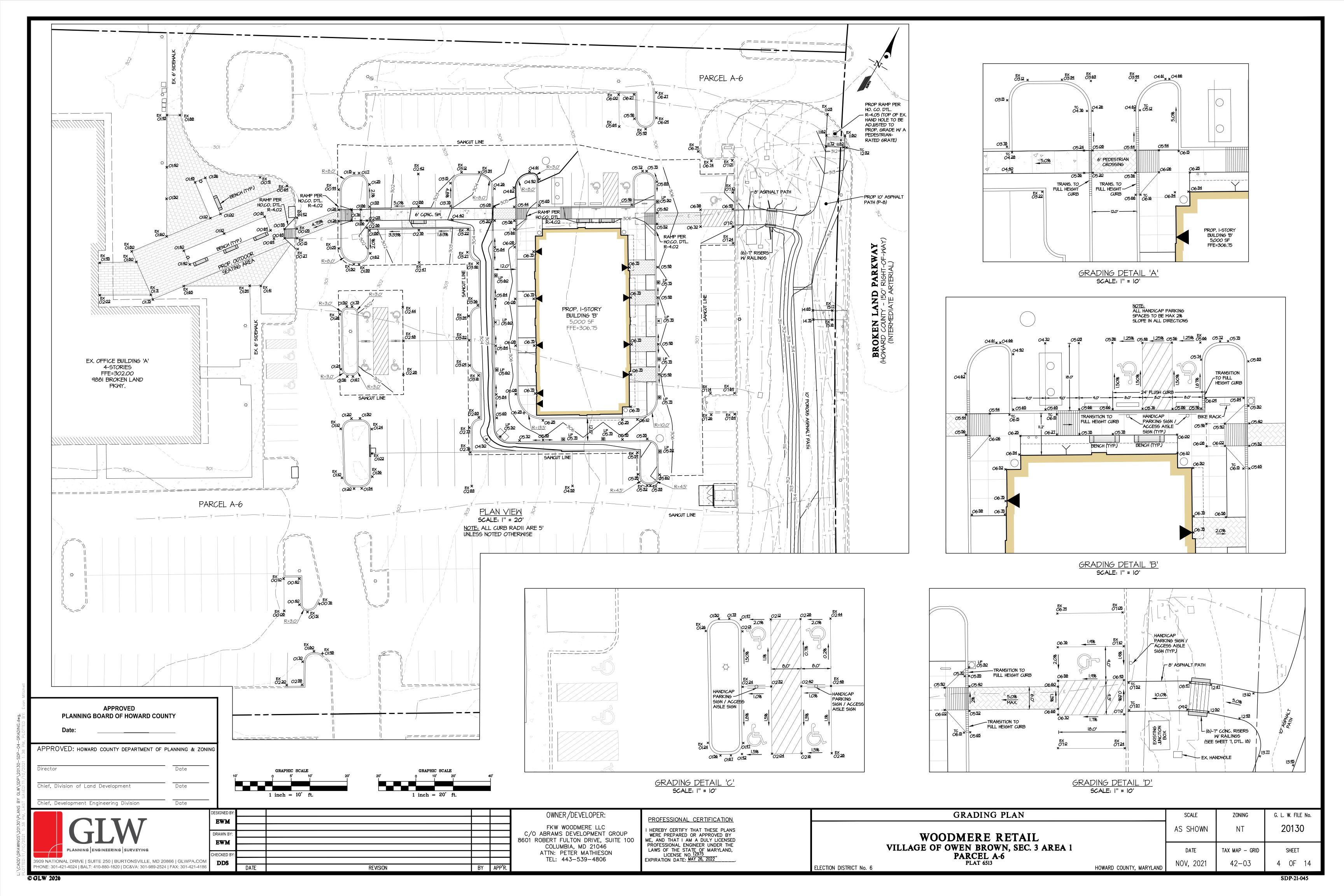
WOODMERE RETAIL VILLAGE OF OWEN BROWN, SEC. 3 AREA 1 PARCEL A-6 PLAT 6513

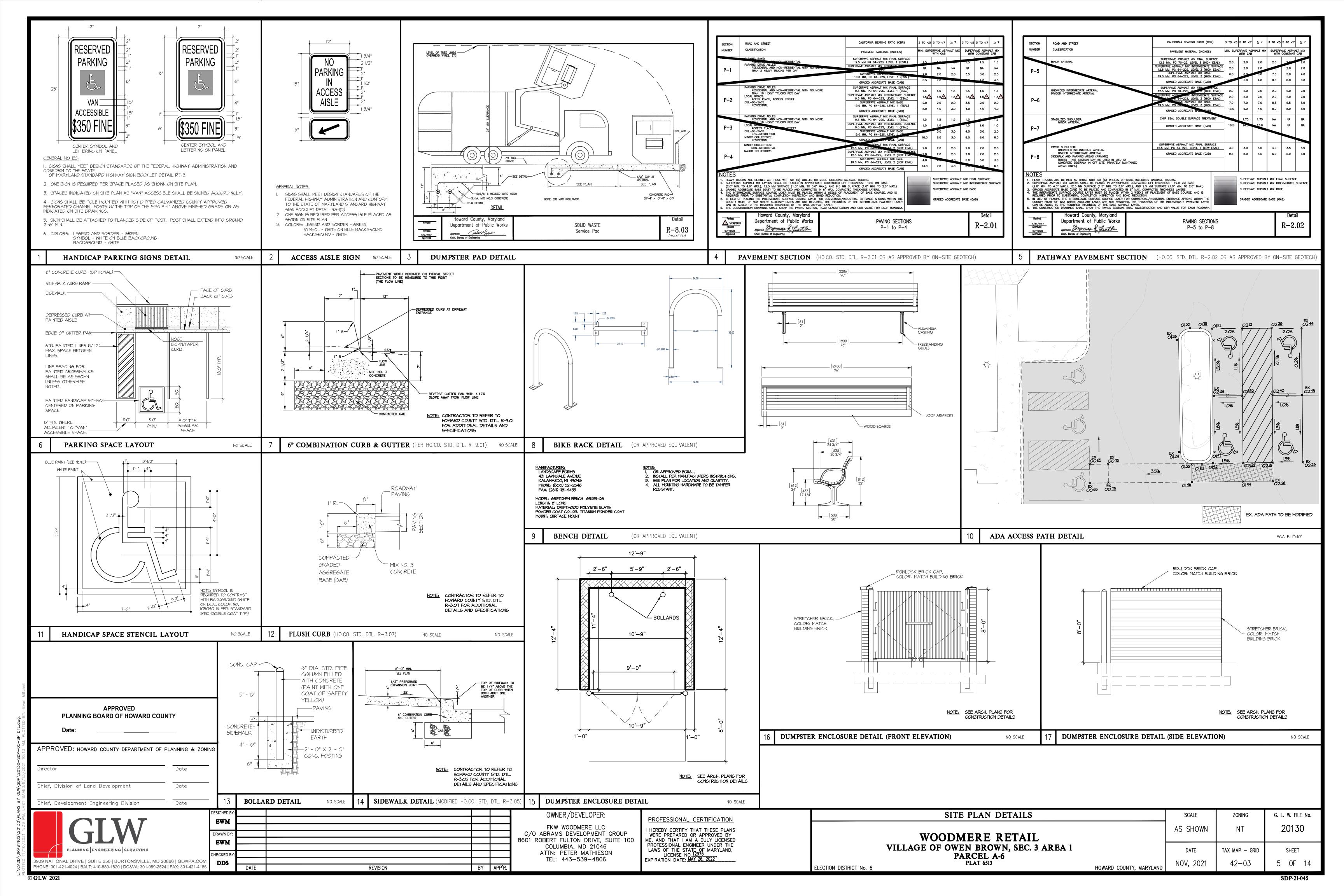
COVER SHEET

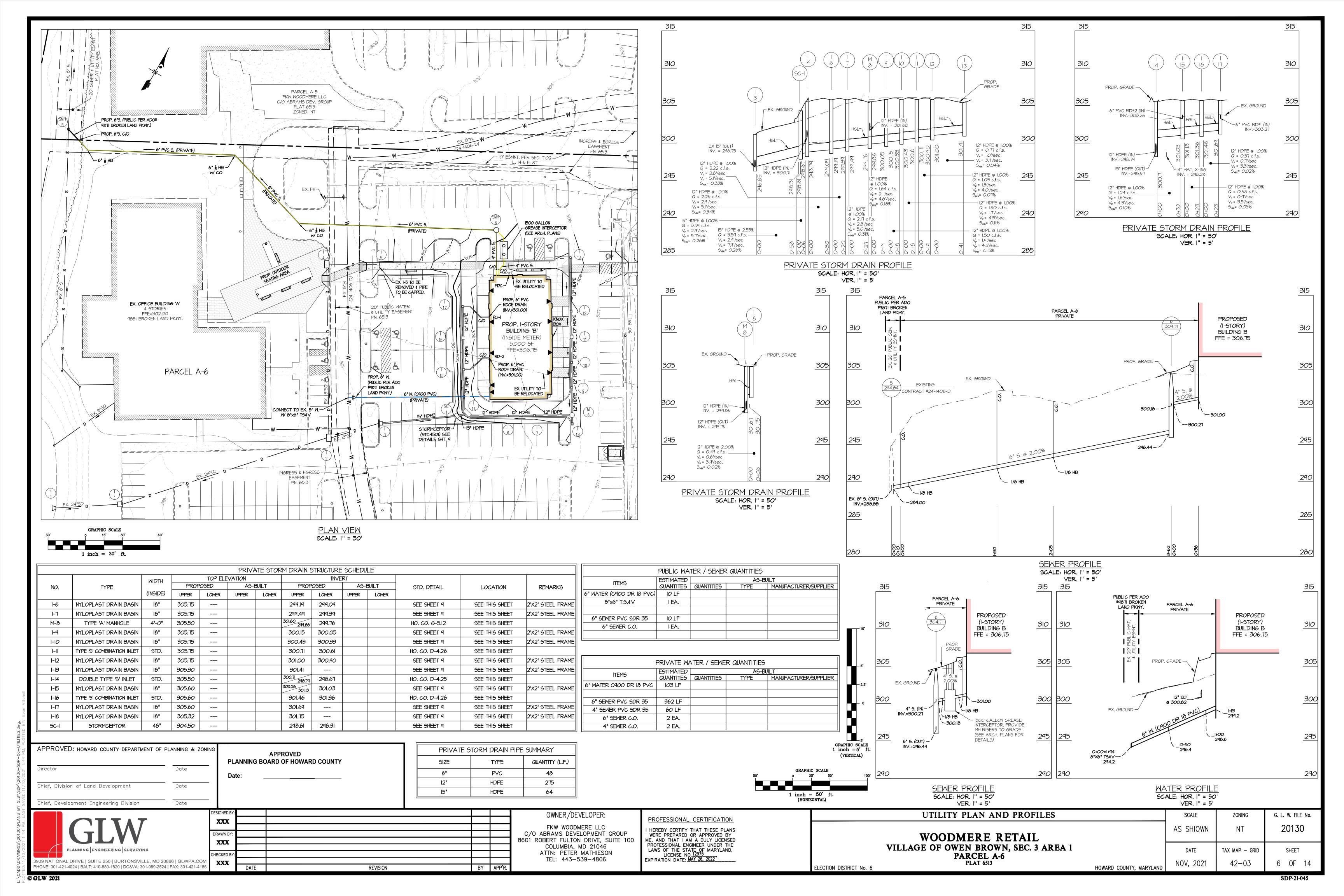
G. L. W. FILE No. AS SHOWN TAX MAP - GRID SHEET MARCH, 2022 OF 14 HOWARD COUNTY, MARYLAND

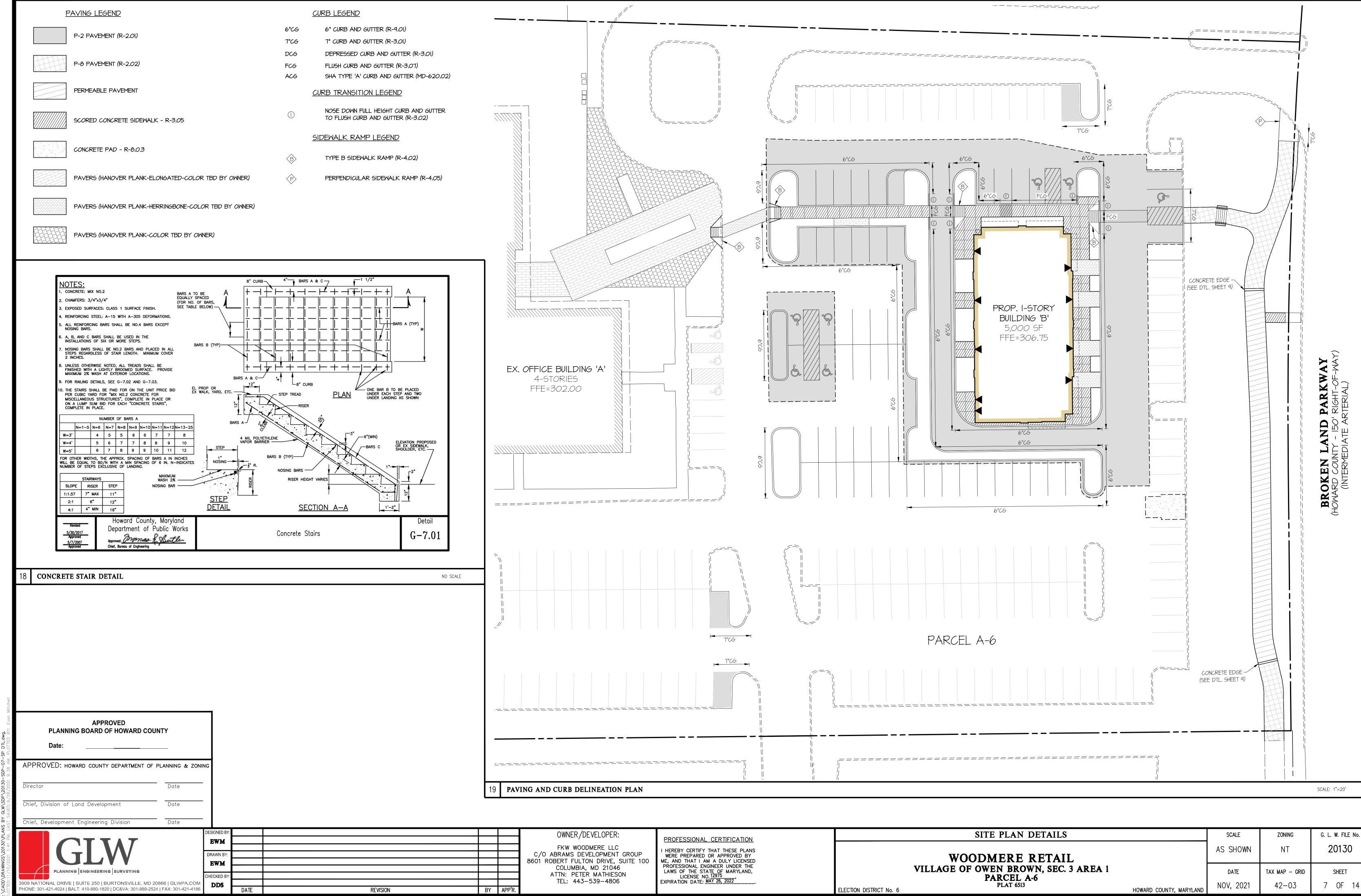




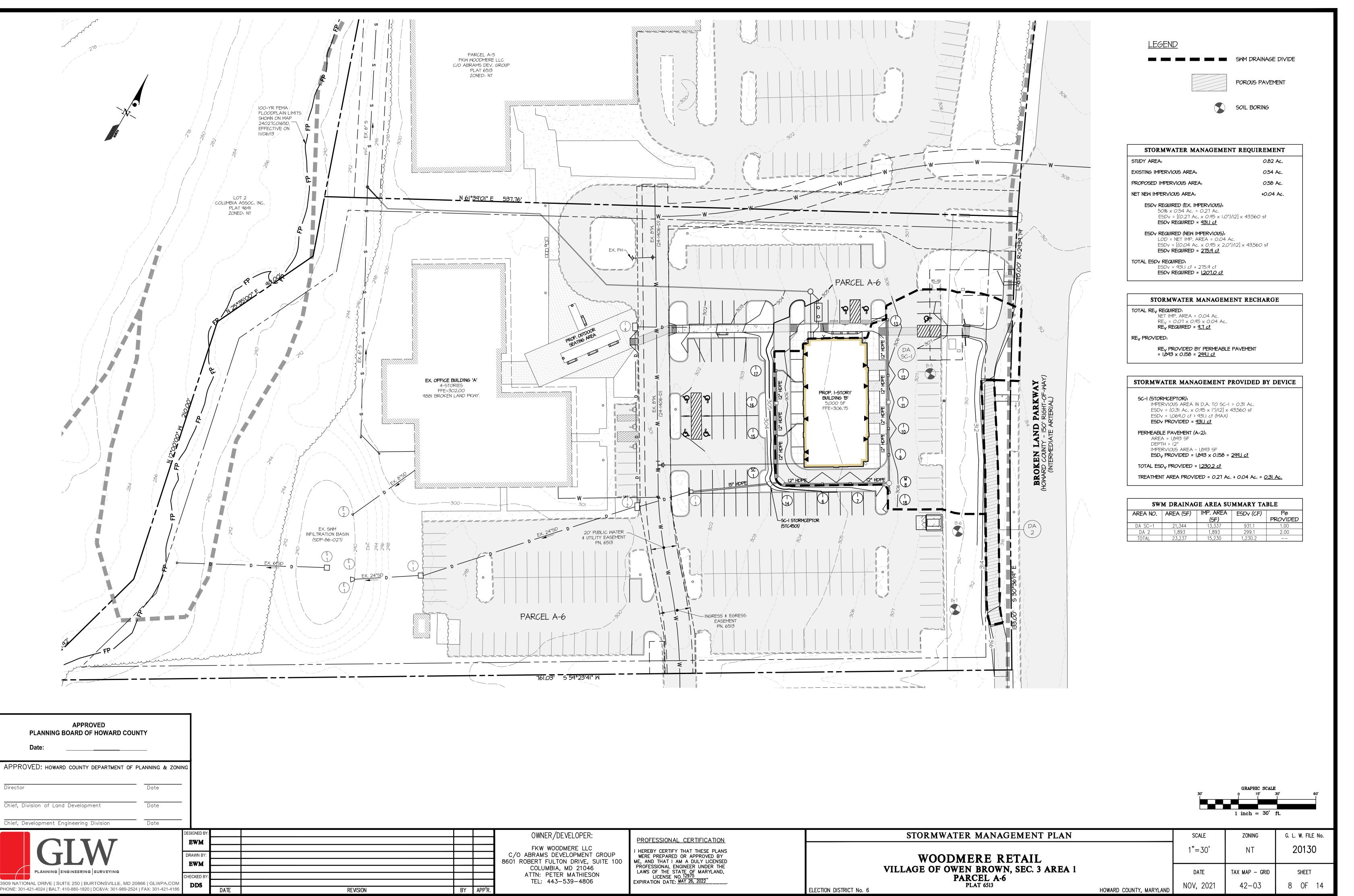


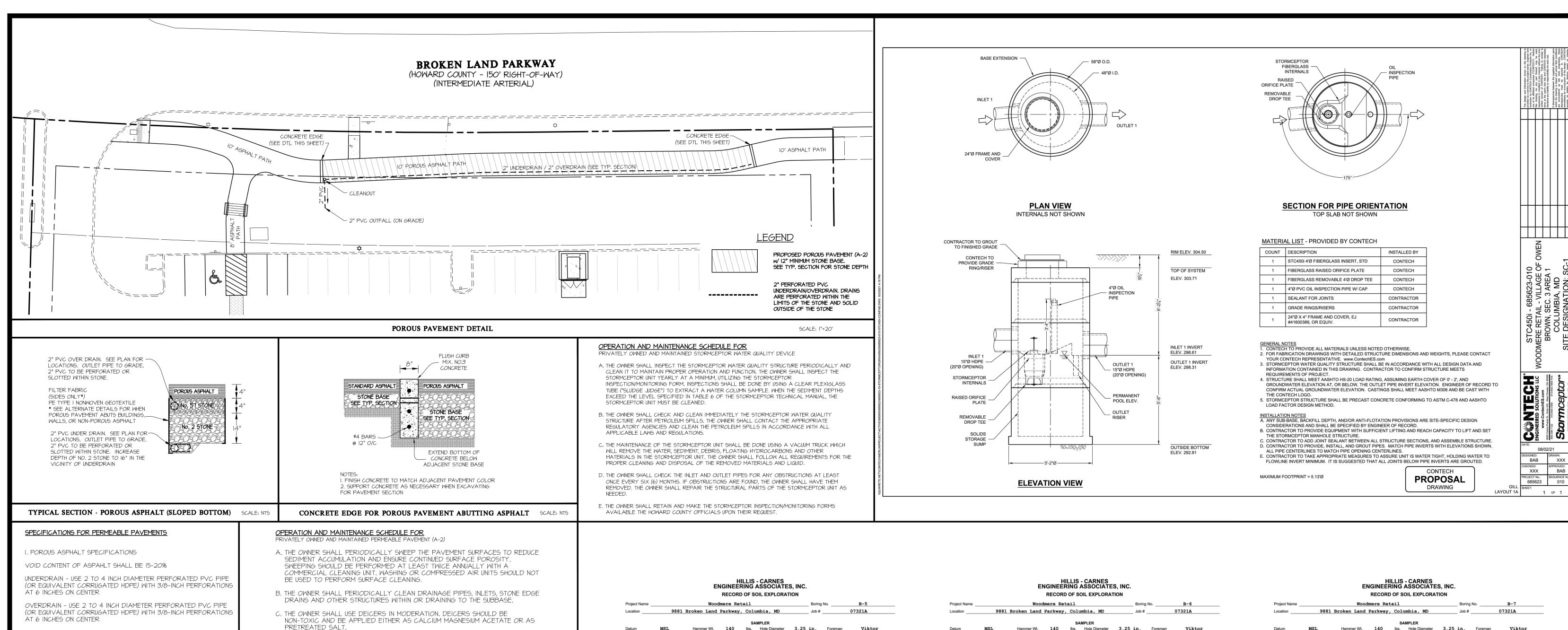






SDP-21-045





INSTALLATION - CONSTRUCTION SHALL ONLY BEGIN AFTER THE ENTIRE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED. THE SYSTEM SHALL NOT BE INSTALLED IN RAIN OR SNOW. WHERE POSSIBLE, EXCAVATORS OR BACKHOES SHOULD WORK FROM THE SIDES TO EXCAVATE THE RESERVOIR LAYER. EXCAVATING EQUIPMENT SHOULD HAVE ARMS WITH ADEQUATE EXTENSION SO THEY DO NOT HAVE TO WORK INSIDE THE FOOTPRINT OF THE PERMEABLE PAVEMENT AREA. EXCAVATED MATERIAL SHOULD BE PLACED AWAY FROM THE OPEN EXCAVATION SO AS TO NOT JEOPARDIZE THE STABILITY OF THE SIDE WALLS. THE NATIVE SOILS ALONG THE BOTTOM OF THE PERMEABLE PAVEMENT SYSTEM SHALL BE SCARIFIED OR TILLED TO A DEPTH OF 3 TO 4 INCHES PRIOR TO THE PLACEMENT OF THE FILTER LAYER. FILTER FABRIC SHALL BE INSTALLED ON THE SIDES OF THE RESERVOIR LAYER.

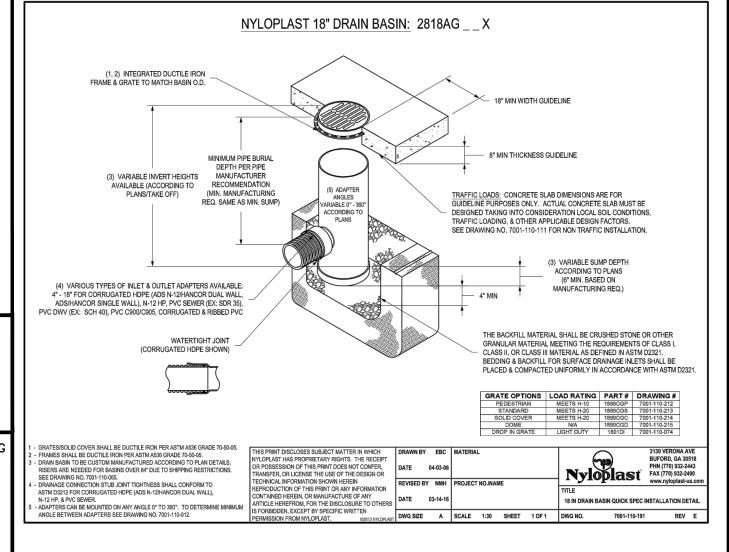
SEDIMENT CONTROL - ALL PERMEABLE PAVEMENT AREAS SHALL BE FULLY PROTECTED FROM SEDIMENT INTRUSION BY SILT FENCE OR CONSTRUCTION FENCING. PERMEABLE PAVEMENT AREAS SHALL REMAIN OUTSIDE THE LIMIT OF DISTURBANCE DURING CONSTRUCTION TO PREVENT SOIL COMPACTION BY HEAVY EQUIPMENT. TO PREVENT SOIL COMPACTION, HEAVY VEHICULAR AND FOOT TRAFFIC SHALL BE KEPT OUT OF PERMEABLE PAVEMENT AREAS DURING AND IMMEDIATELY AFTER CONSTRUCTION. DURING CONSTRUCTION, CARE SHALL BE TAKEN TO AVOID TRACKING SEDIMENT ONTO ANY PERMEABLE PAVEMENT SURFACE TO AVOID CLOGGING.

APPROVED PLANNING BOARD OF HOWARD COUNTY

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

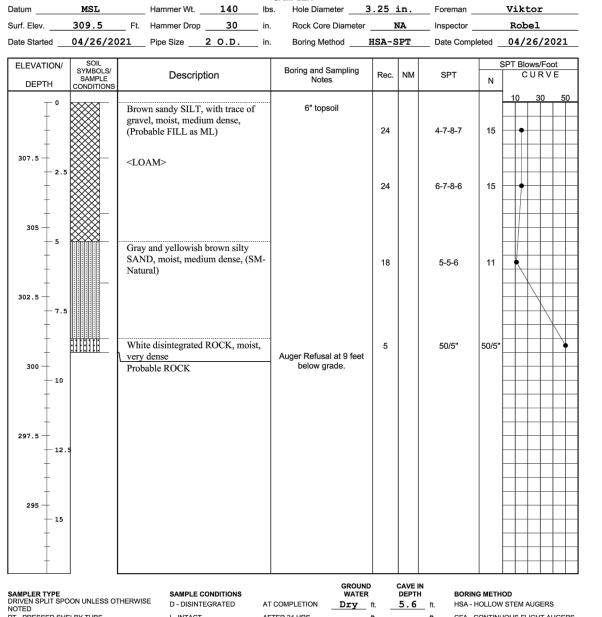
Director	Date
Chief, Division of Land Development	Date
Chief, Development Engineering Division	

D. THE OWNER SHALL ENSURE SNOW PLOWING IS PERFORMED CAREFULLY WITH BLADES SET ONE INCH ABOVE THE SURFACE. PLOWED SNOW PILES AND SNOWMELT SHOULD NOT BE DIRECTED TO PERMEABLE PAVEMENT.



rf. Elev.	307.5	_ Ft. H	ammer Drop _	30	_ in.	Rock Core Diameter	1	IA.	Inspector _		Robe.	<u>L</u>
ate Started	te Started04/26/2021 Pipe Size2 O.D		_ in.	Boring Method	HSA-S	PT	_ Date Comp	leted _	d <u>04/26/2021</u>			
ELEVATION/ DEPTH	SOIL SYMBOLS/ SAMPLE CONDITIONS		Descripti	on		Boring and Sampling Notes	Rec.	NM	SPT	N	SPT Blows	s/Foot RVE
307.5 — 0	****	5.5" As 4" Agg Gray, li disinteg dense, (<loan gray,="" li<="" td=""><td>phalt Concret regate Base ght brown and grated ROCK, Natural) MY SAND></td><td>d brown moist, very</td><td>, , , , , , , , , , , , , , , , , , ,</td><td></td><td>18</td><td></td><td>13-24-36 26-46-42 15-10-16</td><td>60 88</td><td>10</td><td>30 50 </td></loan>	phalt Concret regate Base ght brown and grated ROCK, Natural) MY SAND>	d brown moist, very	, , , , , , , , , , , , , , , , , , ,		18		13-24-36 26-46-42 15-10-16	60 88	10	30 50
297.5 — 10	5	very de	lisintegrated F nse le ROCK	ROCK, moi		Auger Refusal at 9 feet below grade.	2		50/2"	50/2"		

STANDARD PENETRATION TEST-DRIVING 2" O.D. SAMPLER 1' WITH 140# HAMMER FALLING 30"; COUNT MADE AT 6" INTERVALS.



AFTER 24 HRS.

STANDARD PENETRATION TEST-DRIVING 2" O.D. SAMPLER 1' WITH 140# HAMMER FALLING 30": COUNT MADE AT 6" INTERVALS.

PT - PRESSED SHELBY TUBE

RC - ROCK CORE

CA - CONTINUOUS FLIGHT AUGER

I - INTACT

L - LOST

Project Name _			Wood	dmere Ret	ail			Boring No. B-7						
					ay, Columbia, MD									
						NAMBI ED								
Datum	MSL		Hammer Wt.	140		SAMPLER Hole Diameter3	.25	in.	Foreman		Vil	ktor	c	
	MSL Hammer Wt. 140 lbs d. 310 Ft. Hammer Drop 30 in.							Robel						
Date Started														
ELEVATION/	SOIL SYMBOLS/		Descrip	tion		Boring and Sampling	Rec.	NM	SPT			Blows/		
DEPTH	SAMPLE CONDITIONS		20001.			Notes				N				
310 — 0			very light bro			6" topsoil					10	3	0	50
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+	alal kialal kia	dense				Auger Refusal at 9.5 feet						+	\vdash	+
300 — 10		Proba	ible ROCK			below grade.						\top	П	\top
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DRIVEN SPLIT SPO NOTED		HERWISE	D - DISINTI	EGRATED		COMPLETION <u>Dry</u>		6.1	-	HOLLOW				
PT - PRESSED SH	ELBY TUBE		I - INTACT		AFT	ER 24 HRS	ft		ft. CFA -	CONTINU	JOUS	FLIGH	T AU	3ERS

STANDARD PENETRATION TEST-DRIVING 2" O.D. SAMPLER 1' WITH 140# HAMMER FALLING 30": COUNT MADE AT 6" INTERVALS.

HOWARD COUNTY,

PLANNING ENGINEERING SURVEYING

DESIGNED BY:					
EWM					
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EWM					3
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CHECKED BY:	:				1
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	DATE	REVISION	BY	APP'R.	
	DRAWN BY:	DRAWN BY: EWM CHECKED BY: DDS	DRAWN BY: BWM CHECKED BY: DDS	DRAWN BY: BWM CHECKED BY: DDS	### DRAWN BY: ####################################

SCALE: NTS

NYLOPLAST DRAIN BASIN (TYPICAL DETAIL)

OWNER/DEVELOPER:

L - LOST

CA - CONTINUOUS FLIGHT AUGER

RC - ROCK CORE

FKW WOODMERE LLC C/O ABRAMS DEVELOPMENT GROUP 8601 ROBERT FULTON DRIVE, SUITE 100 COLUMBIA, MD 21046 ATTN: PETER MATHIESON TEL: 443-539-4806

HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND,
LICENSE NO. 12975
EXPIRATION DATE: MAY 26, 2022

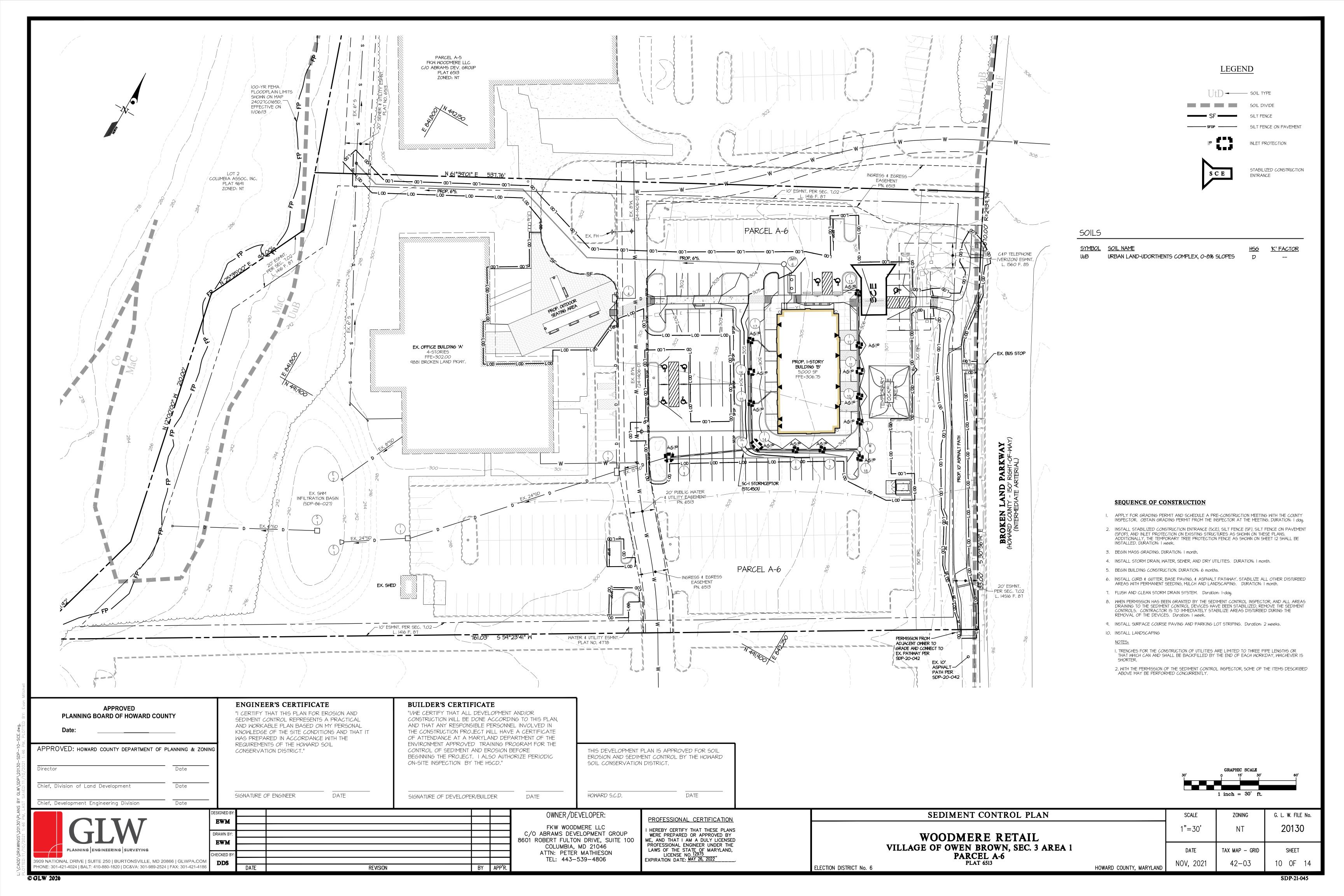
PROFESSIONAL CERTIFICATION

STORMWATER MANAGEMENT DETAILS

WOODMERE RETAIL VILLAGE OF OWEN BROWN, SEC. 3 AREA 1 PARCEL A-6 PLAT 6513 ELECTION DISTRICT No. 6

_____ ft. _____ ft. CFA - CONTINUOUS FLIGHT AUGERS

	SCALE	ZONING	G. L. W. FILE N
	AS SHOWN	NT	20130
	DATE	TAX MAP - GRID	SHEET
MARYLAND	NOV, 2021	42-03	9 OF 1



THE PROCESS OF PREPARING THE SOILS TO SUSTAIN ADEQUATE VEGETATIVE STABILIZATION.

WHERE VEGETATIVE STABILIZATION IS TO BE ESTABLISHED.

TO PROVIDE A SUITABLE SOIL MEDIUM FOR VEGETATIVE GROWTH. CONDITIONS WHERE PRACTICE APPLIES

A. SOIL PREPARATION

I. TEMPORARY STABILIZATION

- 1. SEEDBED PREPARATION CONSISTS OF LOOSENING SOIL TO A DEPTH OF 3 TO 5 INCHES BY MEANS OF SUITABLE AGRICULTURAL OR CONSTRUCTION EQUIPMENT. SUCH AS DISC HARROWS OR CHISEL PLOWS OR RIPPERS MOUNTED ON CONSTRUCTION EQUIPMENT. AFTER THE SOIL IS LOOSENED, IT MUST NOT BE ROLLED OR DRAGGED SMOOTH BUT LEFT IN THE ROUGHENED CONDITION. SLOPES 3:1 OR FLATTER ARE TO BE TRACKED WITH RIDGES RUNNING PARALLEL
- APPLY FERTILIZER AND LIME AS PRESCRIBED ON THE PLANS. INCORPORATE LIME AND FERTILIZER INTO THE TOP 3 TO 5 INCHES OF SOIL BY DISKING OR OTHER SUITABLE MEANS.
- 2. PERMANENT STABILIZATION
- a. A SOIL TEST IS REQUIRED FOR ANY EARTH DISTURBANCE OF 5 ACRES OR MORE. THE MINIMUM SOIL CONDITIONS REQUIRED FOR PERMANENT VEGETATIVE ESTABLISHMENT ARE: I. SOIL PH BETWEEN 6.0 AND 7.0.
- II. SOLUBLE SALTS LESS THAN 500 PARTS PER MILLION (PPM).
- III. SOIL CONTAINS LESS THAN 40 PERCENT CLAY BUT ENOUGH FINE GRAINED MATERIAL (GREATER THAN 30 PERCENT SILT PLUS CLAY) TO PROVIDE THE CAPACITY TO HOLD A MODERATE AMOUNT OF MOISTURE. AN EXCEPTION: IF LOVEGRASS WILL BE PLANTED, THEN A SANDY SOIL (LESS THAN 30 PERCENT SILT PLUS CLAY) WOULD BE ACCEPTABLE.
- IV. SOIL CONTAINS 1.5 PERCENT MINIMUM ORGANIC MATTER BY WEIGHT.
- V. SOIL CONTAINS SUFFICIENT PORE SPACE TO PERMIT ADEQUATE ROOT PENETRATION. b. APPLICATION OF AMENDMENTS OR TOPSOIL IS REQUIRED IF ON-SITE SOILS DO NOT MEET THE
- . GRADED AREAS MUST BE MAINTAINED IN A TRUE AND EVEN GRADE AS SPECIFIED ON THE APPROVED PLAN, THEN SCARIFIED OR OTHERWISE LOOSENED TO A DEPTH OF 3 TO 5 INCHES.
- d. APPLY SOIL AMENDMENTS AS SPECIFIED ON THE APPROVED PLAN OR AS INDICATED BY THE
- e. MIX SOIL AMENDMENTS INTO THE TOP 3 TO 5 INCHES OF SOIL BY DISKING OR OTHER Æ STONES AND BRANCHES, AND READY THE AREA FOR SEED APPLICATION. LOOSEN URFACE SOIL BY DRAGGING WITH A HEAVY CHAIN OR OTHER EQUIPMENT TO ROUGHEN THE SURFACE WHERE SITE CONDITIONS WILL NOT PERMIT NORMAL SEEDBED PREPARATION. TRACK SLOPES 3:1 OR FLATTER WITH TRACKED EQUIPMENT LEAVING THE SOIL IN AN IRREGULAR CONDITION WITH RIDGES RUNNING PARALLEL TO THE CONTOUR OF THE SLOPE. LEAVE THE TOP 1 TO 3 INCHES OF SOIL LOOSE AND FRIABLE. SEEDBED LOOSENING MAY BE UNNECESSARY ON NEWLY DISTURBED AREAS.

. TOPSOILING

- TOPSOIL IS PLACED OVER PREPARED SUBSOIL PRIOR TO ESTABLISHMENT OF PERMANENT VEGETATION. THE PURPOSE IS TO PROVIDE A SUITABLE SOIL MEDIUM FOR VEGETATIVE GROWTH. SOILS OF CONCERN HAVE LOW MOISTURE CONTENT, LOW NUTRIENT LEVELS, LOW PH, MATERIALS TOXIC TO PLANTS, AND/OR UNACCEPTABLE SOIL GRADATION.
- TOPSOIL SALVAGED FROM AN EXISTING SITE MAY BE USED PROVIDED IT MEETS THE STANDARDS AS SET FORTH IN THESE SPECIFICATIONS. TYPICALLY, THE DEPTH OF TOPSOIL TO BE SALVAGED FOR A GIVEN SOIL TYPE CAN BE FOUND IN THE REPRESENTATIVE SOIL PROFILE
- TOPSOILING IS LIMITED TO AREAS HAVING 2:1 OR FLATTER SLOPES WHERE:
- . THE TEXTURE OF THE EXPOSED SUBSOIL/PARENT MATERIAL IS NOT ADEQUATE TO PRODUC b THE SOIL MATERIAL IS SO SHALLOW THAT THE ROOTING ZONE IS NOT DEEP ENOUGH TO
- SUPPORT PLANTS OR FURNISH CONTINUING SUPPLIES OF MOISTURE AND PLANT NUTRIENTS THE ORIGINAL SOIL TO BE VEGETATED CONTAINS MATERIAL TOXIC TO PLANT GROWTH. THE SOIL IS SO ACIDIC THAT TREATMENT WITH LIMESTONE IS NOT FEASIBLE.
- AREAS HAVING SLOPES STEEPER THAN 2:1 REQUIRE SPECIAL CONSIDERATION AND DESIGN. TOPSOIL SPECIFICATIONS: SOIL TO BE USED AS TOPSOIL MUST MEET THE FOLLOWING
- a. TOPSOIL MUST BE A LOAM, SANDY LOAM, CLAY LOAM, SILT LOAM, SANDY CLAY LOAM. OR LOAMY SAND. OTHER SOILS MAY BE USED IF RECOMMENDED BY AN AGRONOMIST OR SOIL SCIENTIST AND APPROVED BY THE APPROPRIATE APPROVAL AUTHORITY, TOPSOIL MUST NO BE A MIXTURE OF CONTRASTING TEXTURED SUBSOILS AND MUST CONTAIN LESS THAN 5 PERCENT BY VOLUME OF CINDERS, STONES, SLAG, COARSE FRAGMENTS, GRAVEL, STICKS, ROOTS, TRASH, OR OTHER MATERIALS LARGER THAN 1.5 INCHES IN DIAMETER.
- b. TOPSOIL MUST BE FREE OF NOXIOUS PLANTS OR PLANT PARTS SUCH AS BERMUDA GRASS, QUACK GRASS, JOHNSON GRASS, NUT SEDGE, POISON IVY, THISTLE, OR OTHERS AS
- c. TOPSOIL SUBSTITUTES OR AMENDMENTS, AS RECOMMENDED BY A QUALIFIED AGRONOMIST OR SOIL SCIENTIST AND APPROVED BY THE APPROPRIATE APPROVAL AUTHORITY, MAY BE USED IN LIEU OF NATURAL TOPSOIL.
- TOPSOIL APPLICATION . EROSION AND SEDIMENT CONTROL PRACTICES MUST BE MAINTAINED WHEN APPLYING TOPSOIL.
- UNIFORMLY DISTRIBUTE TOPSOIL IN A 5 TO 8 INCH LAYER AND LIGHTLY COMPACT TO A HAT SODDING OR SEEDING CAN PROCEED WITH A MINIMUM OF ADDITIONAL SOIL PREPARATION AND TILLAGE. ANY IRREGULARITIES IN THE SURFACE RESULTING FROM TOPSOILING OR OTHER OPERATIONS MUST BE CORRECTED IN ORDER TO PREVENT THE FORMATION OF DEPRESSIONS OR WATER POCKETS TOPSOIL MUST NOT BE PLACED IF THE TOPSOIL OR SUBSOIL IS IN A FROZEN OR MUDDY
- CONDITION. WHEN THE SUBSOIL IS EXCESSIVELY WET OR IN A CONDITION THAT MAY OTHERWISÉ BE DETRIMENTAL TO PROPER GRADING AND SEEDBED PREPARATION.

SOIL AMENDMENTS (FERTILIZER AND LIME SPECIFICATIONS)

- SOIL TESTS MUST BE PERFORMED TO DETERMINE THE EXACT RATIOS AND APPLICATION RATES FOR BOTH LIME AND FERTILIZER ON SITES HAVING DISTURBED AREAS OF 5 ACRES OR MORE. SOIL ANALYSIS MAY BE PERFORMED BY A RECOGNIZED PRIVATE OR COMMERCIAL LABORATORY. SOIL SAMPLES TAKEN FOR ENGINEERING PURPOSES MAY ALSO BE USED FOR
- CHEMICAL ANALYSES FERTILIZERS MUST BE UNIFORM IN COMPOSITION, FREE FLOWING AND SUITABLE FOR ACCURATE APPLICATION BY APPROPRIATE EQUIPMENT. MANURE MAY BE SUBSTITUTED FOR FERTILIZER WITH PRIOR APPROVAL FROM THE APPROPRIATE APPROVAL AUTHORITY. ERTILIZERS MUST ALL BE DELIVERED TO THE SITE FULLY LABELED ACCORDING TO THE APPLICABLE LAWS AND MUST BEAR THE NAME, TRADE NAME OR TRADEMARK AND WARRANTY
- LIME MATERIALS MUST BE GROUND LIMESTONE (HYDRATED OR BURNT LIME MAY BE SUBSTITUTED EXCEPT WHEN HYDROSEFDING) WHICH CONTAINS AT LEAST 50 PERCENT TOTAL OXIDES (CALCIUM OXIDE PLUS MAGNESIUM OXIDE). LIMESTONE MUST BE GROUND TO SUCH FINENESS THAT AT LEAST 50 PERCENT WILL PASS THROUGH A #100 MESH SIEVE AND 98 TO
- 100 PERCENT WILL PASS THROUGH A #20 MESH SIEVE. LIME AND FERTILIZER ARE TO BE EVENLY DISTRIBUTED AND INCORPORATED INTO THE TOP 3 5 INCHES OF SOIL BY DISKING OR OTHER SUITABLE MEANS. WHERE THE SUBSOIL IS EITHER HIGHLY ACIDIC OR COMPOSED OF HEAVY CLAYS, SPREAD GROUND LIMESTONE AT THE AT THE RATE OF 4 TO 8 TONS/ACRE (200-400 POUNDS PER 1,000 SQUARE FEET) PRIOR

APPROVED PLANNING BOARD OF HOWARD COUNTY

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director	Date
Chief, Division of Land Development	Date

Date

EWM

DRAWN B

EWM

CHECKED

DDS

DATE

DESIGN CERTIFICATION " I HEREBY CERTIFY THAT THIS PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH CURRENT MARYLAND EROSION AND SEDIMENT CONTROL LAWS, REGULATIONS, AND STANDARDS, THAT IT REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE, AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL

B-4-3 STANDARDS AND SPECIFICATIONS FOR SEEDING and

MULCHING

<u>DEFINITION</u>

THE APPLICATION OF SEED AND MULCH TO ESTABLISH VEGETATIVE COVER.

TO PROTECT DISTURBED SOILS FROM EROSION DURING AND AT THE END OF

CONDITIONS WHERE PRACTICE APPLIES

TO THE SURFACE OF ALL PERIMETER CONTROLS, SLOPES, AND ANY DISTURBED AREA

NOT UNDER ACTIVE GRADING.

a. ALL SEED MUST MEET THE REQUIREMENTS OF THE MARYLAND STATE SEED LAW

PRECEDING THE DATE OF SOWING SUCH MATERIAL ON ANY PROJECT. REFER T

b. MULCH ALONE MAY BE APPLIED BETWEEN THE FALL AND SPRING SEEDING DATE

FOR THE SPECIES. INOCULANTS MUST NOT BE USED LATER THAN THE DATE

INDICATED ON THE CONTAINER, ADD FRESH INOCULANTS AS DIRECTED ON THE

TABLE B.4 REGARDING THE QUALITY OF SEED. SEED TAGS MUST BE AVAILABLE UPON REQUEST TO THE INSPECTOR TO VERIFY TYPE OF SEED AND SEEDING RATI

ONLY IF THE GROUND IS FROZEN. THE APPROPRIATE SEEDING MIXTURE MUST BE

INOCULANTS: THE INOCULANT FOR TREATING LEGUME SEED IN THE SEED MIXTURES

MUST BE A PURE CULTURE OF NITROGEN FIXING BACTERIA PREPARED SPECIFICALLY

PACKAGE, USE FOUR TIMES THE RECOMMENDED RATE WHEN HYDROSEFDING, NOTE

IT IS VERY IMPORTANT TO KEEP INOCULANT AS COOL AS POSSIBLE UNTIL USED.

TEMPERATURES ABOVE 75 TO 80 DEGREES FAHRENHEIT CAN WEAKEN BACTERIA

d. SOD OR SEED MUST NOT BE PLACED ON SOIL WHICH HAS BEEN TREATED WITH SOIL

ELAPSED (14 DAYS MIN.) TO PERMIT DISSIPATION OF PHYTO-TOXIC MATERIALS.

INCORPORATE SEED INTO THE SUBSOIL AT THE RATES PRESCRIBED ON

TEMPORARY SEEDING TABLE B.1, PERMANENT SEEDING TABLE B.3, OR

ii. APPLY SEED IN TWO DIRECTIONS, PERPENDICULAR TO EACH OTHER. APPLY

DRILL OR CULTIPACKER SEEDING: MECHANIZED SEEDERS THAT APPLY AND COVER

CULTIPACKING SEEDERS ARE REQUIRED TO BURY THE SEED IN SUCH A

FASHION AS TO PROVIDE AT LEAST 1/4 INCH OF SOIL COVERING. SEEDBED

IF FERTILIZER IS BEING APPLIED AT THE TIME OF SEEDING, THE APPLICATION

RATES SHOULD NOT EXCEED THE FOLLOWING: NITROGEN, 100 POUNDS PER ACRE

TOTAL OF SOLUBLE NITROGEN; P205 (PHOSPHOROUS), 200 POUNDS PER ACRE;

ii. LIME: USE ONLY GROUND AGRICULTURAL LIMESTONE (UP TO 3 TONS PER ACRE

APPLIED BY HYDROSEEDING AT ANY ONE TIME. DO NOT USE BURNT OR HYDRATED

MAY BE APPLIED BY HYDROSEEDING). NORMALLY, NOT MORE THAN 2 TONS ARE

ii. MIX SEED AND FERTILIZER ON SITE AND SEED IMMEDIATELY AND WITHOUT

a. STRAW CONSISTING OF THOROUGHLY THRESHED WHEAT, RYE, OAT, OR BARLEY AND

REASONABLY BRIGHT IN COLOR, STRAW IS TO BE FREE OF NOXIOUS WEED SEEDS

AS SPECIFIED IN THE MARYLAND SEED LAW AND NOT MUSTY, MOLDY, CAKED,

DECAYED, OR EXCESSIVELY DUSTY. NOTE: USE ONLY STERILE STRAW MULCH IN

WOOD CELLULOSE FIBER MULCH (WCFM) CONSISTING OF SPECIALLY PREPARED WOOD CELLULOSE PROCESSED INTO A UNIFORM FIBROUS PHYSICAL STATE.

WCFM IS TO BE DYED GREEN OR CONTAIN A GREEN DYE IN THE PACKAGE

ii. WCFM, INCLUDING DYE, MUST CONTAIN NO GERMINATION OR GROWTH INHIBITING

MANNER THAT THE WOOD CELLULOSE FIBER MULCH WILL REMAIN IN UNIFORM SUSPENSION IN WATER UNDER AGITATION AND WILL BLEND WITH SEED.

FERTILIZER AND OTHER ADDITIVES TO FORM A HOMOGENEOUS SLURRY. THE

APPLICATION, HAVING MOISTURE ABSORPTION AND PERCOLATION PROPERTIES

APPROXIMATELY 10 MILLIMETERS, DIAMETER APPROXIMATELY 1 MILLIMETER, PH

RANGE OF 4.0 TO 8.5, ASH CONTENT OF 1.6 PERCENT MAXIMUM AND WATER

AND MUST COVER AND HOLD GRASS SEED IN CONTACT WITH THE SOIL

iii. WCFM MATERIALS ARE TO BE MANUFACTURED AND PROCESSED IN SUCH A

MULCH MATERIAL MUST FORM A BLOTTER-LIKE GROUND COVER, ON

WCFM MATERIAL MUST NOT CONTAIN ELEMENTS OR COMPOUNDS AT

b. WHEN STRAW MULCH IS USED, SPREAD IT OVER ALL SEEDED AREAS AT THE RATE OF 2 TONS PER ACRE TO A UNIFORM LOOSE DEPTH OF 1 TO 2 INCHES. APPLY

MULCH TO ACHIEVE A UNIFORM DISTRIBUTION AND DEPTH SO THAT THE SOIL

URFACE IS NOT EXPOSED. WHEN USING A MULCH ANCHORING TOOL, INCREASE THE

WOOD CELLULOSE FIBER USED AS MULCH MUST BE APPLIED AT A NET DRY WEIGHT

OF 1500 POUNDS PER ACRE. MIX THE WOOD CELLULOSE FIBER WITH WATER TO

a. PERFORM MULCH ANCHORING IMMEDIATELY FOLLOWING APPLICATION OF MULCH TO

MINIMIZE LOSS BY WIND OR WATER. THIS MAY BE DONE BY ONE OF THE FOLLOWING

METHODS (LISTED BY PREFERENCE), DEPENDING UPON THE SIZE OF THE AREA AND

PUNCH AND ANCHOR MULCH INTO THE SOIL SURFACE A MINIMUM OF 2 INCHES.

SLOPES WHERE EQUIPMENT CAN OPERATE SAFELY. IF USED ON SLOPING LAND,

THIS PRACTICE IS MOST EFFECTIVE ON LARGE AREAS. BUT IS LIMITED TO FLATTER

WOOD CELLULOSE FIBER MAY BE USED FOR ANCHORING STRAW. APPLY THE

FIBER BINDER AT A NET DRY WEIGHT OF 750 POUNDS PER ACRE. MIX THE WOOD

PETROSET, TERRA TAX II, TERRA MANUFACTURER.`APPLICATION´OF LIQUIÓ BINDERS

CATCHES MULCH, SUCH AS IN VALLEYS AND ON CRESTS OF BANKS. USE OF

ELLULOSE FIBER WITH WATER AT A MAXIMUM OF 50 POUNDS OF WOOD

SYNTHETIC BINDERS SUCH AS ACRYLIC DLR (AGRO-TACK), DCA-7

LIGHTWEIGHT PLASTIC NETTING MAY BE STAPLED OVER THE MULCH

ACCORDING TO MANUFACTURER RECOMMENDATIONS. NETTING IS USUALLY

AVAILABLE IN ROLLS 4 TO 15 FEET WIDE AND 300 TO 3,000 FEET LONG

A MULCH ANCHORING TOOL IS A TRACTOR DRAWN IMPLEMENT DESIGNED TO

ATTAIN A MIXTURE WITH A MAXIMUM OF 50 POUNDS OF WOOD CELLULOSE FIBER

v. WCFM MUST CONFORM TO THE FOLLOWING PHYSICAL REQUIREMENTS: FIBER

WITHOUT INHIBITING THE GROWTH OF THE GRASS SEEDLINGS

CONCENTRATION LEVELS THAT WILL BE PHYTO-TOXIC.

I. APPLY MULCH TO ALL SEEDED AREAS IMMEDIATELY AFTER SEEDING

HOLDING CAPACITY OF 90 PERCENT MINIMUM.

APPLICATION RATE TO 2.5 TONS PER ACRE.

THIS PRACTICE SHOULD FOLLOW THE CONTOUR.

CELLULOSE FIBER PER 100 GALLONS OF WATER.

NEEDS TO BE HEAVIER AT THE EDGES WHERE WIND

ASPHALT BINDERS IS STRICTLY PROHIBITED

CONSERVATION DISTRICT.

PER 100 GALLONS OF WATER.

APPROPRIATE COLOR TO FACILITATE VISUAL

iv. WHEN HYDROSEEDING DO NOT INCORPORATE SEED INTO THE SOIL.

APPLY SEED IN TWO DIRECTIONS, PERPENDICULAR TO EACH OTHER. APPLY

. HYDROSEEDING: APPLY SEED UNIFORMLY WITH HYDROSEEDER (SLURRY INCLUDES

WEIGHTED ROLLER TO PROVIDE GOOD SEED TO SOIL CONTACT.

MUST BE FIRM AFTER PLANTING.

K20 (POTASSIUM) 200 POUNDS PER ACRE

SEED AND FERTILIZER).

LIME WHEN HYDROSFEDING

. MULCH MATERIALS (IN ORDER OF PREFERENCE)

AREAS WHERE ONE SPECIES OF GRASS IS DESIRED

INSPECTION OF THE UNIFORMLY SPREAD SLURRY

HALF THE SEEDING RATE IN EACH DIRECTION.

HALF THE SEEDING RATE IN EACH DIRECTION. ROLL THE SEEDED AREA WITH A

 $\ensuremath{\text{a.}}$ DRY SEEDING: THIS INCLUDES USE OF CONVENTIONAL DROP OR BROADCAST

STERILANTS OR CHEMICALS USED FOR WEED CONTROL UNTIL SUFFICIENT TIME HAS

ALL SEED MUST BE SUBJECT TO RE-TESTING BY A RECOGNIZED SEED LABORATORY

SEED USED MUST HAVE BEEN TESTED WITHIN THE 6 MONTHS IMMEDIATELY

N. SEEDING

CONSTRUCTION.

DESIGNER'S SIGNATURE	DATE
CARL GUTSCHICK PRINTED NAME	12975 (P.E.) MD REGISTRATION N

HOWARD S.C.D. DATE

"I/WE HEREBY CERTIFY THAT ANY CLEARING, GRADING, CONSTRUCTION, OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS APPROVED EROSION AND SEDIMENT CONTROL PLAN, INCLUDING INSPECTING AND MAINTAINING CONTROLS AND THAT THE RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF TRAINING AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT (MDE) APPROVED TRAINING PROGRAM FOR THE CONTROL ON EROSION AND SEDIMENT PRIOR TO BEGINNING THE PROJECT I CERTIFY RIGHT-OF-ENTRY FOR PERIODIC ON-SITE EVALUATION BY HOWARD COUNTY, THE HOWARD SOIL CONSERVATION DISTRICT AND/OR MDE."

BY APP'R.

OWNER'S / DEVELOPER'S SIGNATURE		
	OWNER'S / DEVELOPER'S SIGNA	ATURE

PRINTED NAME & TITLE

REVISION

HOWARD SOIL CONSERVATION DISTRICT (HSCD) STANDARD SEDIMENT CONTROL NOTES

- A PRE-CONSTRUCTION MEETING MUST OCCUR WITH THE HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS, CONSTRUCTION INSPECTION DIVISION (CID), 410-313-1855 AFTER THE 48 HOUR NOTICE TO CID MUST BE GIVEN AT THE FOLLOWING STAGES:
- FUTURE LOD AND PROTECTED AREAS ARE MARKED CLEARLY'ÍN THE FIELD. A MINIMUM OF A. PRIOR TO THE START OF EARTH DISTURBANCE. B. UPON COMPLETION OF THE INSTALLATION OF PERIMETER EROSION AND SEDIMENT
- CONTROLS, BUT BEFORE PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR C. PRIOR TO THE START OF ANOTHER PHASE OF CONSTRUCTION OR OPENING OF ANOTHER GRADING UNIT.
- D. PRIOR TO THE REMOVAL OR MODIFICATION OF SEDIMENT CONTROL PRACTICES.
- THORIZED UNTIL THIS INITIAL APPROVAL BY THE INSPECTION AGAENCY IS LATED STATE AND FEDERAL PERMITS SHALL BE REFERENCED. TO ENSURE ORDINATION AND TO AVOID CONFLICTS WITH THIS PLAN. ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE

OTHER BUILDING OR GRADING INSPECTION APPROVALS MAY NOT BE

- PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE "2011 MARYLAND" STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL" AND
- FOLLOWING INITIAL SOIL DISTURBANCE OR RE-DISTURBANCE, PERMANENT OR TEMPORAR STABILIZATION IS REQUIRED WITHIN THREE (3) CALENDAR DAYS AS TO THE SURFACE OF ALL PERIMETER CONTROLS, DIKES, SWALES, DITCHES, PERIMETER SLOPES, AND ALL SLOPES STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL (3:1); AND SEVEN (7) CALENDAR DAYS AS TO ALL OTHER DISTURBED AREAS ON THE PROJECT SITE EXCEPT FOR THOSE AREAS UNDER ACTIVE GRADING.
- ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE "2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL" FOR TOPSOIL (SEC. B-4-2), PERMANENT SEEDING SEC. B-4-5). TEMPORARY SEEDING (SEC. B-4-4) AND MUI CHING (SEC. B-4-TEMPORARY STABILIZATION WITH MULCH ALONE CAN ONLY BE APPLIED BETWEEN THE FALL AND SPRING SEEDING DATES IF THE GROUND IS FROZEN. INCREMENTAL STABILIZATION (SEC. B-4-1) SPECIFICATIONS SHALL BE ENFORCED IN AREAS WITH >15' OF CUT AND/OR FILL. STOCKPILES (SEC. B-4-8) IN EXCESS OF 20 FT. MUST BE BENCHED WITH STABLE OUTLET. ALL CONCENTRATED FLOW, STEEP SLOPE, AND HIGHLY ERODIBLE AREAS SHALL RECEIVE SOIL STABILIZATION MATTING (SEC. B-4-6).
- ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE, AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMISSION FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE CID.
- TOTAL AREA OF SITE 5.5± Acres AREA DISTURBED 1.28± Acres AREA TO BE ROOFED OR PAVED 1.05± Acres AREA TO BE VEGETATIVELY STABILIZED : 0.23± Acres TOTAL CUT 74 Cu. Yds. 1,528 Cu. Yds. OFF-SITE WASTE/BORROW AREA LOCATION : TO BE DETERMINED
- ANY SEDIMENT CONTROL PRACTICE WHICH IS DISTURBED BY GRADING ACTIVITY FOR PLACEMENT OF UTILITIES MUST BE REPAIRED ON THE SAME DAY OF DISTURBANCE ADDITIONAL SEDIMENT CONTROL MUST BE PROVIDED, IF DEEMED NECESSARY BY THE CID. HE SITE AND ALL CONTROLS SHALL BE INSPECTED BY THE CONTRACTOR WEEKLY; AND THE NEXT DAY AFTER EACH RAIN EVENT. A WRITTEN REPORT BY THE CONTRACTOR, MADE AVAILABLE UPON REQUEST, IS PART OF EVERY INSPECTION AND SHOULD INCLUDE:
- INSPECTION TYPE (ROUTINE, PRE-STORM EVENT, DURING RAIN EVENT) NAME AND TITLE OF INSPECTOR
- WEATHER INFORMATION (CURRENT CONDITIONS AS WELL AS TIME AND AMOUNT OF LAST RECORDED PRECIPITATION) BRIEF DESCRIPTION OF PROJECT'S STATUS (E.G., PERCENT COMPLETE) AND /OR CURRENT
- EVIDENCE OF SEDIMENT DISCHARGES IDENTIFICATION OF PLAN DEFICIENCIE IDENTIFICATION OF SEDIMENT CONTROLS THAT REQUIRE MAINTENANCE IDENTIFICATION OF MISSING OR IMPROPERLY INSTALLED SEDIMENT CONTROLS COMPLIANCE STATUS REGARDING THE SEQUENCE OF CONSTRUCTION AND STABILIZATION
- REQUIREMENTS PHOTOGRAPHS MONITORING/SAMPLING MAINTENANCE AND/OR CORRECTIVE ACTION PERFORMED
- OTHER INSPECTION ITEMS AS REQUIRED BY THE "GENERAL PERMIT FOR STORMWATER ASSOCIATED WITH CONSTRUCTION ACTIVITIES" (NPDES, MDE). TRENCHES FOR THE CONSTRUCTION OF UTILITIES IS LIMITED TO THREE PIPE LENGTHS OR
- THAT WHICH CAN AND SHALL BE BACK-FILLED AND STABILIZED BY THE END OF EACH WORKDAY, WHICHEVER IS SHORTER. ANY MAJOR CHANGES OR REVISIONS TO THE PLAN OR SEQUENCE OF CONSTRUCTION MUST BE REVIEWED AND APPROVED BY THE HSCD PRIOR TO PROCEEDING WITH CONSTRUCTION. MINOR REVISIONS MAY BE ALLOWED BY THE CID PER THE LIST OF
- HSCD—APPROVED FIELD CHANGES. DISTURBANCE SHALL NOT OCCUR OUTSIDE THE LOD. A PROJECT IS TO BE SEQUENCED SO THAT GRADING ACTIVITIES BEGIN ON ONE GRADING UNIT (MAXIMUM ACREAGE OF 20 AC. PER GRADING UNIT) AT A TIME. WORK MAY PROCEED TO A SUBSEQUENT GRADING UNIT WHEN AT LEAST 50 PERCENT OF THE DISTURBED AREA IN THE PRECEDING GRADING UNIT HAS BEEN STABILIZED AND APPROVED BY THE CID. UNLESS OTHERWISE SPECIFIED AND APPROVED BY THE HSCD, NO MORE THAN 30 ACRES CUMULATIVELY MAY BE DISTURBED
- WASH WATER FROM ANY EQUIPMENT, VEHICLES, WHEELS PAVEMENT, AND OTHER SOURCES MUST BE TREATED IN A SEDIMENT BASIN OR OTHER APPROVED WASHOUT STRUCTURE. TOPSOIL SHALL BE STOCKPILED AND PRESERVED ON-SITE FOR REDISTRIBUTION ONTO
- ALL SILT FENCE AND SUPER SILT FENCE SHALL BE PLACED ON-THE-CONTOUR, AND BE IMBRICATED AT 25' MINIMUM INTERVALS, WITH LOWER ENDS CURLED UPHILL BY 2' IN
- STREAM CHANNELS MUST NOT BE DISTURBED DURING THE FOLLOWING RESTRICTED TIME PERIODS (INCLUSIVE): USE I AND IP MARCH 1 - JUNE 15
- USE III AND IIIP OCTOBER 1 APRIL 30 USE IV MARCH 1 - MAY 31 A COPY OF THIS PLAN. THE "2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL
- EROSION AND SEDIMENT CONTROL," AND ASSOCIATED PERMITS SHALL BE ON-SITE AND AVAILABLE WHEN THE SITE IS ACTIVE

THIS PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

OWNERS/DEVELOPERS CERTIFICATION

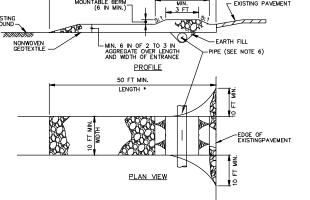
OWNER / DEVELOPER: FKW WOODMERE LLC C/O ABRAMS DEVELOPMENT GROUP 8601 ROBERT FULTON DRIVE, SUITE 100

HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975 EXPIRATION DATE: MAY 26, 2022

MOUNTABLE BERM (6 IN MIN.) - EXISTING PAVEMENT NONWOVEN GEOTEXTILE - MIN. 6 IN OF 2 TO 3 IN AGGREGATE OVER LENGTH AND WIDTH OF ENTRANCE -PIPE (SEE NOTE 6) <u>PROFILE</u>

DETAIL B-1 STABILIZED CONSTRUCTION

ENTRANCE



SCE

AGIP

MAXIMUM DRAINAGE AREA = 1 ACRI

—¾ to 1½ in stone

_ % TO 1½ IN STONE

CONSTRUCTION SPECIFICATIONS PLACE STABILIZED CONSTRUCTION ENTRANCE IN ACCORDANCE WITH THE APPROVED PLAN. VEHICLES MUST TRAVEL OVER THE ENTIRE LENGTH OF THE SCE. USE MINIMUM LENGTH OF 50 FEET (*30 FEET FOR SINGLE RESIDENCE LOT). USE MINIMUM WIDTH OF 10 FEET. FLARE SCE 10 FEET MINIMUM AT THE EXISTING ROAD TO PROVIDE A TURNING RADIUS. PIPE ALL SURFACE WATER FLOWING TO OR DIVERTED TOWARD THE SCE UNDER THE ET MAINTAINING POSITIVE DRAINAGE. PROTECT PIPE INSTALLED THROUGH THE SCE WITH A ERM WITH 5:1 SLOPES AND A MINIMUM OF 12 INCHES OF STONE OVER THE FIRE PROVIDE I FECHED ON APPROVED PLAN. WHEN THE SCE IS LOCATED AT A HIGH SPOT AND HAS NO D CONVEY, A PIPE IS NOT NECESSARY. A MOUNTABLE BERM IS REQUIRED WHEN SCE IS NOT CATED AT A HIGH SPOT.

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL

PLAN / CUT AWAY VIEW

LIFT GRATE AND WRAP WITH NONWOYEN GEOTEXTILE TO COMPLETELY COVER ALL OPENINGS. SECURE WITH WIRE TIES AND SET GRATE BACK IN PLACE.

3. PLACE CLEAN 3/4, TO 1/2 INCH STONE OR EQUIVALENT RECYCLED CONCRETE 6 INCHES THICK ON THE

CONSTRUCTION SPECIFICATION

UNTIL THE NEXT SEEDING SEASON.

. Use nonwoven geotextile as specified in section H=1 materials

DETAIL E-9-2 AT-GRADE INLET PROTECTION

STREAM BANKS, OR DUNES OR FOR SPECIAL PURPOSES SUCH AS WILDLIFE OR AESTHETIC TREATMENT MAY BE FOUND IN USDA-NRCS TECHNICAL FIELD OFFICE GUIDE, SECTION 342 CRITICAL AREA PLANTING FOR SITES HAVING DISTURBED AREA OVER 5 ACRES, USE AND SHOW THE RATES . PREPARE SUBGRADE AND PLACE NONWOVEN GEOTEXTILE, AS SPECIFIED IN SECTION H-1 MATERIALS RECOMMENDED BY THE SOIL TESTING AGENCY. . PLACE CRUSHED AGGREGATE (2 TO 3 INCHES IN SIZE) OR EQUIVALENT RECYCLED CONCRETE (WITHOUT REBAR) AT LEAST 6 INCHES DEEP OVER THE LENGTH AND WIDTH OF THE SCE. . FOR AREAS RECEIVING LOW MAINTENANCE, APPLY UREA FORM FERTILIZER (46-0-0) AT 3 5. MAINTAIN ENTRANCE IN A CONDITION THAT MINIMIZES TRACKING OF SEDIMENT. ADD STONE OR MAKE OTHER REPAIRS AS CONDITIONS DEMAND TO MAINTAIN CLEAN SURFACE, MOUNTABLE BERM, AND SPECIFIED DIMENSIONS. IMMEDIATELY REMOVE STONE AND/OR SEDIMENT SPILLED, DROPPED, OR TRACKED ONTO ADJACENT ROADWAY BY VACUUMING, SCRAPING, AND/OR SWEEPING. WASHING ROADWAY TO REMOVE MUD TRACKED ONTO AVEMENT IS NOT ACCEPTABLE UNLESS WASH WATER IS DIRECTED TO AN APPROVED SEDIMENT CONTROL PRACTICE. 1/2 POUNDS PER 1000 SQUARE FEET (150 POUNDS PER ACRE) AT THE TIME OF SEEDING IN ADDITION TO THE SOIL AMENDMENTS SHOWN IN THE PERMANENT SEEDING SUMMARY.

a. AREAS WHERE TURFGRASS MAY BE DESIRED INCLUDE LAWNS, PARKS, PLAYGROUNDS, AND COMMERCIAL SITES WHICH WILL RECEIVE A MEDIUM TO HIGH LEVEL OF MAINTENANCE. b. SELECT ONE OR MORE OF THE SPECIES OR MIXTURES LISTED BELOW BASED ON THE SITE CONDITIONS OR PURPOSE. ENTER SELECTED MIXTURE(S), APPLICATION RATES, AND SEEDING DATES IN THE PERMANENT SEEDING SUMMARY. THE SUMMARY IS TO BE PLACED ON THE

<u>DEFINITION</u>

TO STABILIZE DISTURBED SOILS WITH PERMANENT VEGETATION.

TO USE LONG-LIVED PERENNIAL GRASSES AND LEGUMES TO ESTABLISH PERMANENT GROUND COVER

ON DISTURBED SOILS.

CONDITIONS WHERE PRACTICE APPLIES

EXPOSED SOILS WHERE GROUND COVER IS NEEDED FOR 6 MONTHS OR MORE.

a. SELECT ONE OR MORE OF THE SPECIES OR MIXTURES LISTED IN TABLE B.3 FOR THE

APPROPRIATE PLANT HARDINESS ZONE (FROM FIGURE B.3) AND BASED ON THE SITE

ADDITIONAL PLANTING SPECIFICATIONS FOR EXCEPTIONAL SITES SUCH AS SHORELINES.

CONDITION OR PURPOSE FOUND ON TABLE B.2. ENTER SELECTED MIXTURE(S). APPLICATION

ATES, AND SEEDING DATES IN THE PERMANENT SEEDING SUMMARY. THE SÚMMARY IS TO

SEED MIXTURES

KENTUCKY BLUEGRASS: FULL SUN MIXTURE: FOR USE IN AREAS THAT RECEIVE INTENSIVE MANAGEMENT IRRIGATION REQUIRED IN THE AREAS OF CENTRAL MARYLAND AND EASTERN SHORE. RECOMMENDED CERTIFIED KENTUCKY BLUEGRASS CULTIVARS SEEDING RATE: 1.5 TO 2.0 POUNDS PER 1000 SQUARE FEET. CHOOSE A MINIMUM OF HREE KENTUCKY BLUEGRASS CULTIVARS WITH EACH RANGING FROM 10 TO 35

AREAS WHERE RAPID ÉSTABLISHMENT IS NECESSARY AND WHEN TURF WILL RECEIVE MEDIUM TO INTENSIVE MANAGEMENT. CERTIFIED PERENNIAL RYEGRASS CULTIVARS/CERTIFIED KENTUCKY BLUEGRASS SEEDING RATE: 2 POUNDS MIXTURE PER 00 SQUÁRE FEET. CHOOSE A MINIMUM OF THREE KENTUCKY BLUEGRASS CULTIVAR: WITH EACH RANGING FROM 10 TO 35 PERCENT OF THE TOTAL MIXTURE BY WEIGHT.

iii. TALL FESCUE/KENTUCKY BLUEGRASS: FULL SUN MIXTURE: FOR USE IN DROUGHT PRONE AREAS AND/OR FOR AREAS RECEIVING LOW TO MEDIUM MANAGEMENT IN FULL RECOMMENDED MIXTURE INCLUDES; CERTIFIED TALL FESCUE CULTIVARS 95 TO 100 PERCENT, CERTIFIED KENTUCKY BLUEGRASS CULTIVARS 0 TO 5 PERCENT. SEEDING RATE: 5 TO 8 POUNDS PER 1000 SQUARE FEET. ONE OR MORE CULTIVARS MAY BE

iv. KENTUCKY BLUEGRASS/FINE FESCUE: SHADE MIXTURE: FOR USE IN AREAS WITH SHADE IN BLUEGRASS LAWNS. FOR ESTABLISHMENT IN HIGH QUALITY, INTENSIVELY MANAGED TURF AREA. MIXTURE INCLUDES: CERTIFIED KENTUCKY BLUEGRASS CULTIVARS 30 TO 40 PERCENT AND CERTIFIED FINE FESCUE AND 60 TO 70 PERCENT SEEDING RATE: 1 1/2 TO 3 POUNDS PER 1000 SQUARE FEET.

SELECT TURFGRASS VARIETIES FROM THOSE LISTED IN THE MOST CURRENT UNIVERSITY OF MARYLAND PUBLICATION, AGRONOMY MEMO #77, "TURFGRASS CULTIVAR RECOMMENDATIONS FOR MARYLAND"

CHOOSE CERTIFIED MATERIAL. CERTIFIED MATERIAL IS THE BEST GUARANTEE OF CULTIVAR PURITY. THE CERTIFICATION PROGRAM OF THE MARYLAND DEPARTMENT OF AGRICULTURE, TURF AND SEED SECTION, PROVIDES A RELIABLE MEANS OF CONSUMER PROTECTION AND ASSURES A PURE GENETIC LINE

IDEAL TIMES OF SEEDING FOR TURF GRASS MIXTURES WESTERN MD: MARCH 15 TO JUNE 1, AUGUST 1 TO OCTOBER 1 (HARDINESS ZONES: 5B, CENTRAL MD: MARCH 1 TO MAY 15, AUGUST 15 TO OCTOBER 15 (HARDINESS ZONE: SOUTHERN MD, EASTERN SHORE: MARCH 1 TO MAY 15, AUGUST 15 TO OCTOBER 15

(HARDINESS ZONES: 7A, 7B) TILL AREAS TO RECEIVE SEED BY DISKING OR OTHER APPROVED METHODS TO A DEPTH O 2 TO 4 INCHES, LEVEL AND RAKE THE AREAS TO PREPARE A PROPER SEEDBED. REMOVE STONES AND DEBRIS OVER 1 1/2 INCHES IN DIAMETER. THE RESULTING SEEDBED MUST BE

IN SUCH CONDITION THAT FUTURE MOWING OF GRASSES WILL POSE NO DIFFICULTY k. IF SOIL MOISTURE IS DEFICIENT, SUPPLY NEW SEEDINGS WITH ADEQUATE WATER FOR PLANT GROWTH (1/2 TO 1 INCH EVERY 3 TO 4 DAYS DEPENDING ON SOIL TEXTURE) UNTIL THEY ARE FIRMLY ESTABLISHED. THIS IS ESPECIALLY TRUE WHEN SEEDINGS ARE MADE LATE IN THE PLANTING SEASON, IN ABNORMALLY DRY OR HOT SEASONS, OR ON ADVERSE SITES.

PERMANENT SEEDING SUMMARY

	ARDINESS ZONE: 6b EED MIXTURE: #9 (Tall Fescue/	FERTILIZER					
٧o.	SPECIES	APPLICATION RATE	SEEDING DATES	SEEDING DEPTHS	RATE (10-20-20)	LIME RATE	2.
9	*Certified Tall Fescue blend (95% by weight): Falcon IV, Penn 1901 & Rebel Exeda and Certified Kentucky Bluegrass blend (5% by weight): Courtyard, Raven & Yankee	6-8 lb/ 1000 s.f.	Mar. 1 to May 15, Aug. 15 to Oct. 15	1/4 – 1/2 IN.	1.0 lb/ 1000 s.f. (45 lb/acre)	90 lb/ 1000 s.f.	3.

* Other cultivars listed as "proven" in the most current UMD TT-77 may also be used B. SOD: TO PROVIDE QUICK COVER ON DISTURBED AREAS (2:1 GRADE OR FLATTER).

- a. CLASS OF TURFGRASS SOD MUST BE MARYLAND STATE CERTIFIED. SOD LABELS MUST BE MADE AVAILABLE TO THE JOB FOREMAN AND INSPECTOR. b. SOD MUST BE MACHINE CUT AT A UNIFORM SOIL THICKNESS OF 3/4 INCH, PLUS OR MINUS 1/4 INCH. AT THE TIME OF CUTTING. MEASUREMENT FOR THICKNESS MUST EXCLUDE TOP GROWTH AND THATCH. BROKEN PADS AND TORN OR UNEVEN ENDS WILL NOT BE
- STANDARD SIZE SECTIONS OF SOD MUST BE STRONG ENOUGH TO SUPPORT THEIR OWN WEIGHT AND RETAIN THEIR SIZE AND SHAPE WHEN SUSPENDED VERTICALLY WITH A FIRM GRASP ON THE UPPER 10 PERCENT OF THE SECTION. SOD MUST NOT BE HARVESTED OR TRANSPLANTED WHEN MOISTURE CONTENT (EXCESSIVELY
- DRY OR WET) MAY ADVERSELY AFFECT ITS SURVIVAL e. SOD MUST BÉ HARVESTED, DELIVERED, AND INSTALLED WITHIN A PERIOD OF 36 HOURS. OD NOT TRANSPLANTED WITHIN THIS PERIOD MUST BE APPROVED BY AN AGRONOMIST OR SOIL SCIENTIST PRIOR TO ITS INSTALLATION.

SOD INSTALLATION

- a. DURING PERIODS OF EXCESSIVELY HIGH TEMPERATURE OR IN AREAS HAVING DRY SUBSOIL, LIGHTLY IRRIGATE THE SUBSOIL IMMEDIATELY PRIOR TO LAYING THE SOD. LAY THE FIRST ROW OF SOD IN A STRAIGHT LINE WITH SUBSEQUENT ROWS PLACED PARALLEL TO IT AND TIGHTLY WEDGED AGAINST EACH OTHER. STAGGER LATERAL JOINTS TO PROMOTE MORE UNIFORM GROWTH AND STRENGTH. ENSURE THAT SOD IS NOT STRETCHED OR OVERLAPPED AND THAT ALL JOINTS ARE BUTTED TIGHT IN ORDER TO PREVENT VOIDS WHICH WOULD CAUSE AIR DRYING OF THE ROOTS
- WHEREVER POSSIBLE, LAY SOD WITH THE LONG EDGES PARALLEL TO THE CONTOUR AND WITH STAGGERING JOINTS. ROLL AND TAMP, PEG OR OTHERWISE SECURE THE SOD TO PREVENT SLIPPAGE ON SLOPES. ENSURE SÓLID CONTACT EXISTS BETWEEN SOD ROOTS AND WATER THE SOD IMMEDIATELY FOLLOWING ROLLING AND TAMPING UNTIL THE UNDERSIDE OF THE NEW SOD PAD AND SOIL SURFACE BELOW THE SOD ARE THOROUGHLY WET. COMPLETE THE OPERATIONS OF LAYING, TAMPING AND IRRIGATING FOR ANY PIECE OF SOD WITHIN

SOD MAINTENANCE

EIGHT HOURS.

- a. IN THE ABSENCE OF ADEQUATE RAINFALL, WATER DAILY DURING THE FIRST WEEK OR AS OFTEN AND SUFFICIENTLY AS NECESSARY TO MAINTAIN MOIST SOIL TO A DEPTH OF 4 INCHES. WATER SOD DURING THE HEAT OF THE DAY TO PREVENT WILTING.
- AFTER THE FIRST WEEK, SOD WATERING IS REQUIRED AS NECESSARY TO MAINTAIN ADEQUATE MOISTURE CONTENT. DO NOT MOW UNTIL THE SOD IS FIRMLY ROOTED. NO MORE THAN 1/3 OF THE GRASS LEAF MUST BE REMOVED BY THE INITIAL CUTTING OR SUBSEQUENT CUTTINGS. MAINTAIN A GRASS

HEIGHT OF AT LEAST 3 INCHES UNLESS OTHERWISE SPECIFIED.

PROFESSIONAL CERTIFICATION

CONSTRUCTION SPECIFICATIONS SECTION A-A . USE NOMINAL 2 INCH X 4 INCH LUMBER. . Use woven slit film geotextile, as specified in section H-1 materials. . PROVIDE MANUFACTURER CERTIFICATION TO THE AUTHORIZED REPRESENTATIVE OF THE INSPECTION/ENFORCEMENT AUTHORITY SHOWING THAT THE GEOTEXTILE USED MEETS THE REQUIREMENTS IN SECTION H-1 MATERIALS. PROVIDE A TWO FOOT OPENING BETWEEN EVERY SET OF SUPPORTS AND PLACE STONE IN THE OPENING OVER GEOTEXTILE. KEEP SILT FENCE TAUT AND SECURELY STAPLE TO THE UPSLOPE SIDE OF UPRIGHT SUPPORTS. EXTEND GEOTEXTILE UNDER 2x4. . WHERE TWO SECTIONS OF GEOTEXTILE ADJOIN: OVERLAP, FOLD, AND STAPLE TO POST IN ACCORDANCE WITH THIS DETAIL. ATTACH LATHE. PROVIDE A MASTIC SEAL BETWEEN PAVEMENT, GEOTEXTILE, AND 2x4 TO PREVENT SEDIMENT-LADEN WATER FROM ESCAPING BENEATH SILT FENCE INSTALLATION.

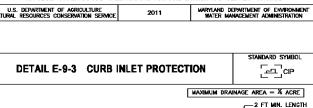
DETAIL E-2 SILT FENCE ON PAVEMENT

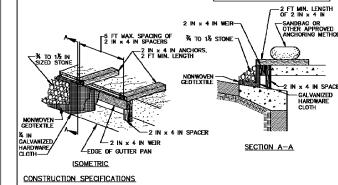
2 IN x 4 IN ACROSS— TOP OF STONE

SECURE BOARDS TO PAVEMENT WITH 400 5 INCH MINIMUM LENGTH NAILS REMOVE ACCUMULATED SEDIMENT AND DEBRIS WHEN BULGES DEVELOP IN SILT FENCE OR WHEN SEDIMENT REACHES 25% OF FENCE HEIGHT, REPLACE GEOTEXTILE IF TORN. MAINTAIN WATER TIGHT SCAL ALONG BOTTOM. REPLACE STONE IF DISPLACED. MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL U.S. DEPARTMENT OF AGRICULTURE
NATURAL RESOURCES CONSERVATION SERVICE

2011

MARYLAND DEPARTMENT OF ENVIRONMENT
WATER MANAGEMENT ADMINISTRATION J.S. DEPARTMENT OF AGRICULTURE
AL RESOURCES CONSERVATION SERVICE 2011 WATER MANAGEMENT ADMINISTRATION





- USE NOMINAL 2 INCH x 4 INCH LUMBER 2. USE NONWOVEN GEOTEXTILE AS SPECIFIED IN SECTION H-1 MATERIALS. . NAIL THE 2x4 WEIR TO 9 INCH LONG VERTICAL SPACERS (MAXIMUM 6 FEET APART).
- ATTACH A CONTINUOUS PIECE OF 3 INCH CALYANZED HARDWARE CLOTH, WITH A MINIMUM WIDTH OF SOER, CINCHES AND A MINIMUM LENGTH OF 4 PEET LONGER THAN THE THROAT OPENING, TO THE 244 WIR. EXTENDING IT 2 FEET BEYOND THROAT ON EACH SIDE. . Place a continuous piece of nonwoven geotextile of the same dimensions as the hardware cloth over the hardware cloth and securely attach to the 2x4 weir. PLACE THE ASSEMBLY AGAINST THE INLET THROAT AND NAIL TO 2x4 ANCHORS (MINIMUM 2 FEET LENGTH). EXTEND THE ANCHORS ACROSS THE INLET TOP AND HOLD IN PLACE BY SANDBAGS OR OTHER APPROVED ANCHORING METHOD.
- INSTALL END SPACERS A MINIMUM OF 1 FOOT BEYOND THE EMDS OF THE THROAT OPENING. FORM THE HARDWARE CLOTH AND THE GEOTEXTILE TO THE CONCRETE GUTTER AND FACE OF CURB TO SPAN THE INLET OPENING. COVER THE HARDWARE CLOTH AND GEOTEXTILE WITH CLEAN % TO 1½ INCH STONE OR EQUIVALENT RECYCLED CONCRETE. AT NON-SUMP LOCATIONS, INSTALL A TEMPORARY SANDBAG OR ASPHALT BERM TO PREVENT INLET RYPASS

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL U.S. DEPARTMENT OF AGRICULTURE
NATURAL RESOURCES CONSERVATION SERVICE
2011
WARYLAND DEPARTMENT OF ENVIRONMENT
WATER MANAGEMENT ADMINISTRATION U.S. DEPARTMENT OF AGRICULTURE
NATURAL RESOURCES CONSERVATION SERVICE

2011

MARYLAND DEPARTMENT OF ENVIRONMENT
WATER MANAGEMENT ADMINISTRATION

B-4-4 STANDARDS AND SPECIFICATIONS FOR TEMPORARY STABILIZATION

TO STABILIZE DISTURBED SOILS WITH VEGETATION FOR UP TO 6 MONTHS.

TO USE FAST GROWING VEGETATION THAT PROVIDES COVER ON DISTURBED SOILS. CONDITIONS WHERE PRACTICE APPLIES EXPOSED SOILS WHERE GROUND COVER IS NEEDED FOR A PERIOD OF 6 MONTHS OR LESS. FOR LONGER DURATION OF TIME, PERMANENT STABILIZATION PRACTICES ARE REQUIRED.

SELECT ONE OR MORE OF THE SPECIES OR SEED MIXTURES LISTED IN TABLE B.1 FOR TH APPROPRIATE PLANT HARDINESS ZONE (FROM FIGURE B.3), AND ENTER THEM IN THE TEMPORARY SEEDING SUMMARY BELOW ALONG WITH APPLICATION RATES. SEEDING DATES AND SEEDING DEPTHS. IF THIS SUMMARY IS NOT PUT ON THE PLAN AND COMPLETED. THEN TARLE R.1 PLUS FERTILIZER AND LIME RATES MUST BE PUT ON THE PLAN FOR SITES HAVING SOIL TESTS PERFORMED, USE AND SHOW THE RECOMMENDED RATES BY THE TESTING AGENCY SOIL TESTS ARE NOT REQUIRED FOR TEMPORARY SEEDING. WHEN STABILIZATION IS REQUIRED OUTSIDE OF A SEEDING SEASON, APPLY SEED AND MULCH OR STRAW MULCH ALONE AS PRESCRIBED IN SECTION B-4-3.A.1.B AND MAINTAIN

TEMPORARY SEEDING SUMMARY

_						
	HARDINESS SEED MIXTU				FERTILIZER RATE	LIME RA
	SPECIES	APPLICATION RATE (lb/ac.)	SEEDING DATES	SEEDING DEPTHS	(10-10-10)	LINIL IVA
	ANNUAL RYEGRASS	40 lb/ac	Mar. 1 to May 15, Aug. 1 to Oct. 15	0.5 INCHES	436 lb./ac. (10 lb./	2 tons/c (90 lb./
	PEARL MILLET	20 lb/ac	May 16 to July 31	0.5 INCHES	1,000 sf)	1,000 sf
		0.7.4.4.0				

STANDARDS AND SPECIFICATIONS FOR DUST CONTROL

<u>DEFINITION</u>

CONTROLLING THE SUSPENSION OF DUST PARTICLES FROM CONSTRUCTION ACTIVITIES.

TO PREVENT BLOWING AND MOVEMENT OF DUST FROM EXPOSED SOIL SURFACES TO REDUCE ON AND OFF-SITE DAMAGE INCLUDING HEALTH AND TRAFFIC HAZARDS. CONDITIONS WHERE PRACTICE APPLIES

AREAS SUBJECT TO DUST BLOWING AND MOVEMENT WHERE ON AND OFF-SITE DAMAGE IS LIKELY WITHOUT TREATMENT. SPECIFICATIONS

- MULCHES: SEE SECTION B-4-2 SOIL PREPARATION, TOPSOILING, AND SOIL AMENDMENTS, SECTION
- B-4-3 SEEDING AND MULCHING, AND SECTION B-4-4 TEMPORARY STABILIZATION. MULCH MUST BE ANCHORED TO PREVENT BLOWING. VEGETATIVE COVER: SEE SECTION B-4-4 TEMPORARY STABILIZATION. TILLAGE: TILL TO ROUGHEN SURFACE AND BRING CLODS TO THE SURFACE, BEGIN PLOWING ON
- WINDWARD SIDE OF SITE, CHISEL-TYPE PLOWS SPACED ABOUT 12 INCHES APART, SPRING-TOOTHEI HARROWS, AND SIMILAR PLOWS ARE EXAMPLES OF EQUIPMENT THAT MAY PRODUCE THE DESIRED IRRIGATION: SPRINKLE SITE WITH WATER UNTIL THE SURFACE IS MOIST. REPEAT AS NEEDED. THE SI
- MUST NOT BE IRRIGATED TO THE POINT THAT RUNOFF OCCURS. BARRIERS: SOLID BOARD FENCES, SILT FENCES, SNOW FENCES, BURLAP FENCES, STRAW BALES, AN SIMILAR MATERIAL CAN BE USED TO CONTROL AIR CURRENTS AND SOIL BLOWING. CHEMICAL TREATMENT: USE OF CHEMICAL TREATMENT REQUIRES APPROVAL BY THE APPROPRIATE PLAN REVIEW AUTHORITY.

Any cut or fill slope greater than 15 feet in height. This practice also applies to stockpiles.

A. Incremental Stabilization - Cut Slopes 1. Excavate and stabilize cut slopes in increments not to exceed 15 feet in height. Prepare seedbed and

a. Construct and stabilize all temporary swales or dikes that will be used to convey runoff around b. Perform Phase 1 excavation, prepare seedbed, and stabiliz c. Perform Phase 2 excavation, prepare seedbed, and stabilize. Overseed Phase 1 areas as d. Perform final phase excavation, prepare seedbed, and stabilize. Overseed previously seede ote: Once excavation has begun the operation should be continuous from grubbing through supletion of grading and placement of topsoil (if required) and permanent seed and mulch. A terruptions in the operation or completing the operation out of the seeding season will necessit

-EXISTING GROUND --DIKE/SWALE PHASE 2 EXCAVATION -PHASE 3 EXCAVATION

B-4-8 STANDARDS AND SPECIFICATION

A mound or pile of soil protected by appropriately designed erosion and sediment control measurements

STOCKPILE AREA

a designated location for the temporary storage of soil that controls the potential for erosion,

Stockpile areas are utilized when it is necessary to salvage and store soil for later use. The stockpile location and all related sediment control practices must be clearly indicated on the erosion and sediment control plan.

The footprint of the stockpile must be sized to accommodate the anticipated volume of materia and based on a side slope ratio no steeper than 2:1. Benching must be provided in accordance with Section B-3 Land Gradding. 3. Runoff from the stockpile area must drain to a suitable sediment control practice. . Access the stockpile area from the upgrade side.

an earth dike, temporary swale or diversion fence. Provisions must be made for discharging Where runoff concentrates along the toe of the stockpile fill, an appropriate erosion/sediment control practice must be used to intercept the discharge. Stockpiles must be stabilized in accordance with the 3/7 day stabilization requirement as well as Standard B-4-1 Incremental Stabilization and Standard B-4-4 Temporary Stabilization. If the stockpile is located on an impervious surface, a liner should be provided below the stockpile to facilitate cleanup. Stockpiles containing contaminated material must be covered with impermeable shostion.

The stockpile area must continuously meet the requirements for Adequate Vegetative Establishment in cordance with Section B-4 Vegetative Stabilization. Side slopes must be maintained at no steeper than a 2:1 io. The stockpile area must be kept free of erosion. If the vertical height of a stockpile exceeds 20 feet for 2:1 es, 30 feet for 3:1 slopes, or 40 feet for 4:1 slopes, benching must be provided in accordance with Section

DETAIL E-1 SILT FENCE DETAIL E-1 SILT FENCE ⊢----SF-------| ⊢----SF------I 36 IN MIN. FENCE POST LENGTH DRIVEN MIN. 16 IN INTO GROUND Use wood posts 1% x 1% \pm % inch (minimum) square cut of sound quality hardwood. As an alternative to wooden post use standard "i" or "u" section steel posts weighing not leas that it points per linear foot. 16 in Min. Height of Woven sut film geotextile . USE 36 INCH MINIMUM POSTS DRIVEN 16 INCH MINIMUM INTO CROUND NO NORE THAN 6 FEET APART . Use woven slit film geotextile as specified in section H-1 materials and fasten geotextile securely to upslope side of fence posts with wire ties or staples at top and mid-specificn. Le in Min. Depth Into Ground PROVIDE MANUFACTURER CERTIFICATION TO THE AUTHORIZED REPRESENTATIVE OF THE INSPECTION/ENFORCEMENT AUTHORITY SHOWING THAT THE GEOTEXTILE USED MEETS THE REPUILIBRILITS IN SECTION H-1 MATERIALS. ELEVATION . Embed sectextile a minimum of 8 inches vertically into the ground, backfill and compact the soil on both sides of Fabric. WHERE TWO SECTIONS OF GEOTEXTILE ADJOIN: OVERLAP, TWIST, AND STAPLE TO POST IN ACCORDANCE WITH THIS DETAIL. FENCE POST 18 IN MIN.
-- ABOVE GROUND WOVEN SLIT FILM—— GEOTEXTILE EXTEND BOTH ENDS OF THE SILT FENCE A MINIMUM OF FIVE HORIZONTAL FEET UPSLOPE AT 45 DEGREES TO THE MAIN FENCE ALIGNMENT TO PREVENT RUNOFF FROM GOING AROUND THE ENDS OF THE SILT FENCE. . Remove accumulated seciment and debris when bulges develop in SLT fence or when seciment reaches 25% of Fence Height. Replace geotextile if torn. If undermining occurs, projectly enough. - Fence Post Driven A Nin. Of 16 in Into The Ground CROSS SECTION JOINING TWO ADJACENT SILT FENCE SECTIONS (TOP VIEW) MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL U.S. DEPARTMENT OF AGRICULTURE
NATURAL RESOURCES CONSERVATION SERVICE

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MARYLAND DEPARTMENT OF ENVIRONMENT
WATER MANAGEMENT ADMINISTRATION

Stabilize slopes immediately when the vertical height of a lift reaches 15 feet, or when the grading

At the end of each day, install temporary water conveyance practice(s), as necessary, t surface runoff and convey it down the slope in a non-crosive manner.

At the end of each day, install temporary water conveyance practice(s), as necessary, to intercept surface runoff and convey it down the slope in a non-crosive manner.

e. Place final phase fill, prepare seedbed, and stabilize. Overseed previously seeded areas as

impletion of grading and placement of topsdi (if required) and permanent seed and mulch. Any terruptions in the operation or completing the operation out of the seeding season will necessitate the plication of temporary stabilization.

TEMPORAY DIKE/SWALE TO BE PLACED AT THE END OF EACH WORK DAY TO BE USED UNTIL SLOPE IS COMPLETELY STABILIZED

Construction sequence example (Refer to Figure B.2):

c. Place Phase 1 fill, prepare seedbed, and stabilize

d. Place Phase 2 fill, prepare seedbed, and stabilize.

STANDARD SYMBOL

PLANNING ENGINEERING SURVEYING 3909 NATIONAL DRIVE | SUITE 250 | BURTONSVILLE, MD 20866 | GLWPA.COM

Chief, Development Engineering Division

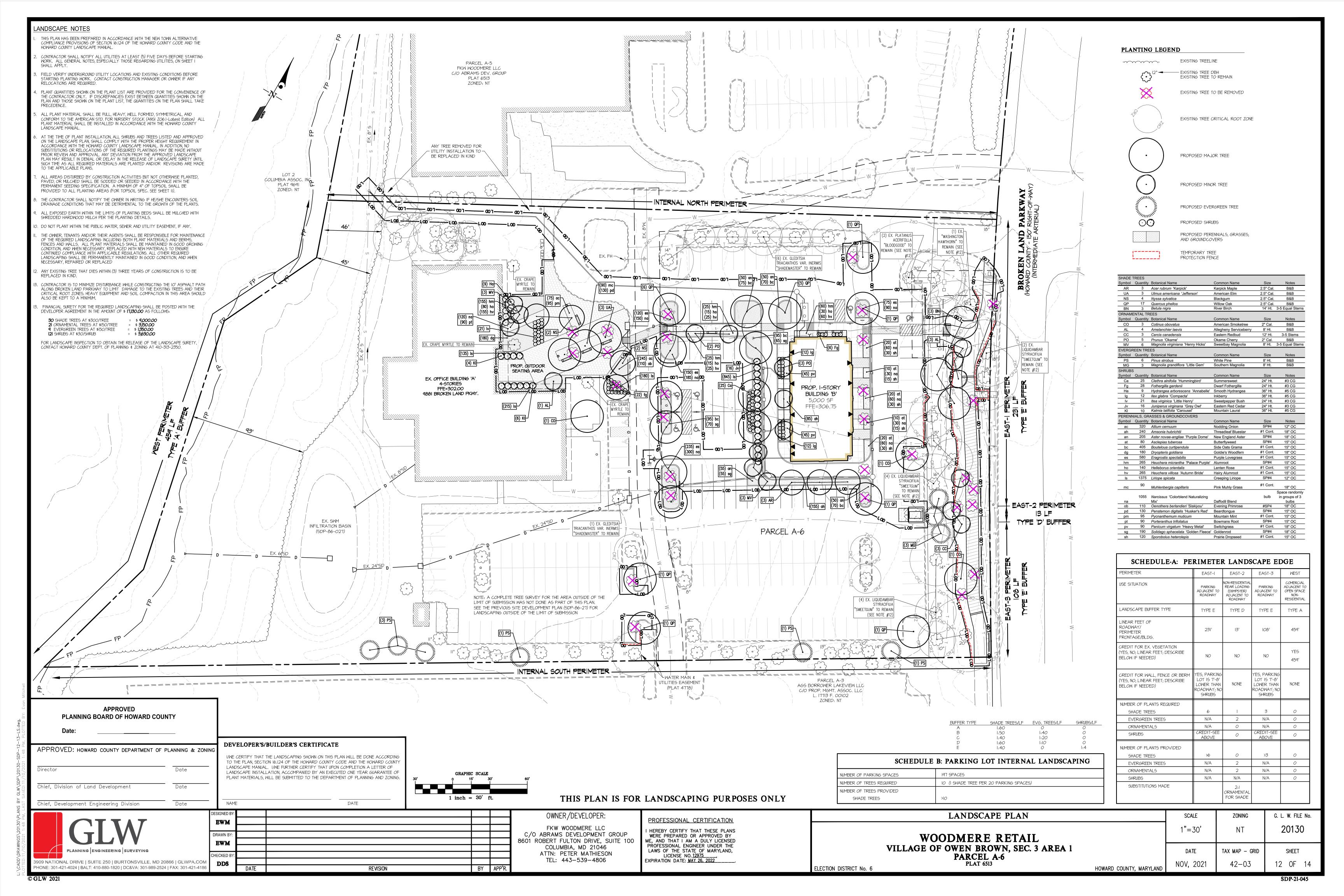
COLUMBIA, MD 21046 ATTN: PETER MATHIESON TEL: 443-539-4806

DATE

WOODMERE RETAIL VILLAGE OF OWEN BROWN, SEC. 3 AREA 1 PARCEL A-6 PLAT 6513 ELECTION DISTRICT No. 6

SEDIMENT CONTROL NOTES AND DETAILS G. L. W. FILE No. 20130 1"=30' SHEET TAX MAP - GRID 11 OF 14 HOWARD COUNTY, MARYLAND

HONE: 301-421-4024 | BALT: 410-880-1820 | DC&VA: 301-989-2524 | FAX: 301-421-4186



LANDSCAPE SPECIFICATIONS:

1.0 GENERAL CONDITIONS

I.I SCOPE OF WORK: A. THE LANDSCAPE CONTRACTOR SHALL PROVIDE ALL MATERIALS, LABOR AND EQUIPMENT TO COMPLETE ALL LANDSCAPE WORK AS SHOWN ON THE PLANS AND SPECIFICATIONS. B. TOTAL NUMBER OF PLANTS SHALL BE DRAWN ON THE LANDSCAPE PLAN. IF THERE IS A DISCREPANCY BETWEEN THE DRAWING AND THE LIST ON

THE PLANS, THE CONTRACTOR SHALL REQUEST CLARIFICATION FROM THE LANDSCAPE ARCHITECT. A. ALL PLANT MATERIAL SHALL CONFORM TO THE CURRENT ISSUE OF THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI 260.1). ALL TREES TO BRANCH SYMMETRICALLY AROUND CENTRAL LEADER. NO FORKED LEADER STOCK WILL BE ACCEPTED. PLANT MATERIAL MUST BE SELECTED FROM NURSERIES THAT HAVE BEEN INSPECTED AND CERTIFIED BY STATE PLANT INSPECTORS.

NOMENCLATURE WILL BE IN ACCORDANCE WITH HORTUS III BY L.H. BAILEY. WHEN REQUESTED BY THE OWNER OR OWNER'S REPRESENTATIVE, SAMPLES OF ALL MATERIAL OTHER THAN PLANTS SHALL BE SUBMITTED TO THE OWNER'S DESIGNATED REPRESENTATIVE FOR APPROVAL.

I.4 APPROVALS: ALL APPROVALS WILL BE IN WRITING.

IT IS THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY TO MAKE EVERY REASONABLE EFFORT TO FIND THE MATERIAL SPECIFIED BY THE LANDSCAPE ARCHITECT. THE LANDSCAPE CONTRACTOR MAY OFFER SUBSTITUTIONS TO THE LANDSCAPE ARCHITECT FOR HIS/HER CONSIDERATION. THE LANDSCAPE CONTRACTOR WILL NOTIFY THE LANDSCAPE ARCHITECT IF THERE ARE KNOWN DISEASE OR INSECT RESISTANT SPECIES THAT CAN BE SUBSTITUTED FOR A SELECTED PEST-PRONE PLANT. ALL SUBSTITUTIONS SHALL BE APPROVED BY HOWARD COUNTY DEPARTMENT OF PLANNING

I.6 UTILITIES AND UNDERGROUND FEATURES: THE LANDSCAPE CONTRACTOR SHALL NOTIFY UTILITY COMPANIES AND/OR THE GENERAL CONTRACTOR IN ADVANCE OF CONSTRUCTION TO LOCATE

DRAINAGE IF PLANTS ARE TO BE INSTALLED IN AREAS THAT SHOW OBVIOUS POOR DRAINAGE, AND THE PLANTS ARE INAPPROPRIATE FOR THAT CONDITION, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT AND OWNER. IF THEY DEEM NECESSARY, THE PLANTS SHALL BE RELOCATED, THE CONTRACT SHALL BE ADJUSTED TO ALLOW FOR DRAINAGE CORRECTION AT A NEGOTIATED COST, OR THE PLANT SELECTION MODIFIED BY THE LANDSCAPE ARCHITECT TO ACCOMMODATE THE POOR DRAINAGE SITUATION.

WORKMANSHIP. A. DURING DELIVERY AND INSTALLATION, THE LANDSCAPE CONTRACTOR SHALL PERFORM IN A WORKMANLIKE MANNER, COORDINATING HIS/HER ACTIVITIES SO AS NOT TO INTERFERE UNDULY WITH THE WORK OF OTHER TRADES AND LEAVING HIS/HER WORK AREA(S) CLEAN OF LETTER AND DEBRIS AT THE CLOSE OF EACH WORKDAY.

B. DURING PLANTING, ALL AREAS SHALL BE KEPT NEAT AND CLEAN; PRECAUTIONS SHALL BE TAKEN TO AVOID DAMAGE TO EXISTING PLANTS. LARGE TREES, TURF AND STRUCTURES. WHERE EXISTING TREES ARE TO BE PRESERVES, ADDITIONAL PRECAUTIONS SHOULD BE TAKEN TO AVOID UNNECESSARY ACCUMULATION OF EXCAVATED MATERIALS, SOIL COMPACTION OR ROOT DAMAGE. UPON COMPLETION, ALL DEBRIS AND WASTE MATERIAL RESULTING FROM PLANTING OPERATIONS SHALL BE REMOVED FROM THE PROJECT AND

D. ANY DAMAGE TO THE EXISTING UTILITIES, BUILDINGS, PAVING, CURB AND WALLS, AND VEGETATION (NOT SO DESIGNATED FOR REMOVAL ON THESE PLANS) SHALL BE REPAIRED TO PREVIOUS CONDITION OR REPLACED BY THE CONTRACTOR AT HIS EXPENSE.

A. THE OWNER SHALL SUPPLY WATER ON SITE AT NO COST. IF THE LANDSCAPE CONTRACTOR HAS TO SUPPLY WATER TO THE SITE, IT SHALL BE AT AN ADDITIONAL COST. I.IO PLANTING SEASONS

A. RED OAK, WHITE OAK, WILLOW OAK, SCARLET OAKS, DOGWOOD, SWEET GUM, CONIFERS, AND BROAD LEAF EVERGREENS WILL NOT BE PLANTED BETWEEN NOVEMBER 15 AND MARCH I, UNLESS THE LANDSCAPE CONTRACTOR STATES IN WRITING THAT HE/SHE WILL GUARANTEE PLANTS. LIL INSPECTIONS AND ACCEPTANCE: A. INITIAL INSPECTION: PRIOR TO PLANTING ALL PLANT LOCATIONS SHALL BE STAKED IN THE FIELD BY THE CONTRACTOR. THE LANDSCAPE ARCHITECT SHALL BE CONTACTED TO INSPECT AND APPROVE ALL PLANT LOCATIONS BEFORE PLANTING.

B. FINAL ACCEPTANCE INSPECTION: A VERIFICATION OF PERFORMANCE FOR WORK BY CONTRACT DOCUMENTS, TO BE CONDUCTED BY THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE ON-SITE AND IN THE PRESENCE OF THE LANDSCAPE CONTRACTOR FOR THE PURPOSE FINAL WARRANTY INSPECTION: THE LANDSCAPE CONTRACTOR SHALL CONDUCT A FINAL INSPECTION WITH THE OWNER OR OWNER'S

REPRESENTATIVE AT THE END OF THE ONE YEAR PERIOD. I.I2 WARRANTY: A. THE STANDARD WARRANTY IS FOR ONE (I) YEAR PERIOD, EXCLUDING BULBS AND ANNUALS, COMMENCING ON THE DATE OF INITIAL

ACCEPTANCE. ALL PLANTS SHALL BE ALIVE AND IN SATISFACTORY GROWTH AT THE END OF THE GUARANTEE PERIOD B. ANY MATERIAL THAT IS 25% DEAD OR MORE SHALL BE CONSIDERED DEAD AND MUST BE REPLACED AT NO CHARGE. A TREE SHALL BE

CONSIDERED DEAD WHEN THE MAIN LEADER HAS DIED BACK, OR 25% OF THE CROWN IS DEAD. PERENNIALS SHALL BE GUARANTEED FOR ONE YEAR AFTER INITIAL ACCEPTANCE.

2.0 PLANT MATERIALS

2.1 SCOPE OF WORK: THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING AND INSTALLING ALL PLANT MATERIAL SHOWN ON THE DRAWINGS AND

A. PLANTS SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE OWNER OR OWNER'S REPRESENTATIVE AT THE PLACE OF GROWTH (BEFORE DIGGING - TREES) OR HOLDING YARD (SHRUBS) FOR CONFORMITY TO SPECIFICATION REQUIREMENTS AS TO QUALITY, SIZE, AND

3.0 PRODUCTS

3.1 QUALITY ASSURANCE MANUFACTURER'S CERTIFIED ANALYSIS SHALL ACCOMPANY PACKAGED STANDARD PRODUCTS.

3.2 ORGANIC MATTER: PEAT MOSS - TYPE I SPHAGNUM PEAT MOSS; FINELY DIVIDED WITH A PH OF 3.1 TO 5.0.

SEDGE PEAT - DECOMPOSES PEAT CONTAINING NO IDENTIFIABLE FIBERS. LEAF COMPOST - THAT IS SCREENED AND FREE TO TRASH.

COMPOSTED SEWAGE SLUDGE - APPROVED, SCREENED, POLYMER-DEWATERED SEWAGE SLUDGE WITH A PH OF 9.2 - 7.2.6 MA

A. IT SHALL BE FREE OF STONES, LUMPS, PLANTS, ROOTS AND OTHER DEBRIS OVER 15". TOPSOIL MUST ALSO BE FREE OF PLANTS OR PLANT
PARTS OF BERMUDAGRASS, QUACKGRASS, JOHNSONGRASS, MUGWORT, NUTSEDGE, POISON IVY, CANADIAN THISTLE OR OTHERS AS SPECIFIED. IT SHALL NOT CONTAIN TOXIC SUBSTANCES HARMFUL TO PLANT GROWTH, I.E. PESTICIDE RESIDUÉS.

BACKFILL MIXTURE FOR TREES AND SHRUBS SHALL BE 3/4 EXISTING SOIL MIXED WITH I/4 ORGANIC MATERIAL, PLUS GRANULAR FERTILIZER. A. MATERIAL SHALL BE COMPOSTED, SHREDDED HARDWOOD BARK, WITH LESS THAN 10% SAPWOOD, DARK BROWN IN COLOR, OR APPROVED B. MATERIAL SHALL BE UNIFORM IN SIZE AND FREE OF FOREIGN MATTER.

4.0 PLANTING PROCEDURE FOR TREES

WALL OF TREE PIT SHALL BE DUG SO THAT THEY ARE VERTICAL OR SLOPING OUTWARD IN HEAVY SOILS, BE AND SCARIFIED.

THE TREE PIT MUST BE A MINIMUM OF 9" LARGER ON EVERY SIDE THAN THE BALL OF THE TREE. PLACE THE TREE IN THE PIT CARRYING THE BALL AND THEN LOWERING IT INTO THE PIT. NEVER LIFT THE TREE BY THE TRUNK OR BRANCHES. SET THE TREE STRAIGHT AND IN THE CENTER OF THE PIT WITH THE MOST DESIRABLE SIDE FACING TOWARD THE PROMINENT VIEW. BACKFILL TREE PIT WITH A SOIL MIXTURE STATED IN THE SPECIFICATIONS.

CUT AND REMOVE ROPE OR WIRE OFF THE TOP 50% OF ROOTBALL AND PULL BURLAP BACK TO THE EDGE OF THE BALL. REMOVE AS MUCH BURLAP, WOVEN PRODUCTS AND TWINE AS POSSIBLE. ALL PLASTIC OR SYNTHETIC FILM MUST BE REMOVED FROM THE ROOTBALL. CUT ALL FORM A SAUCER ABOVE EXISTING GRADE, AROUND THE OUTER RIM OF THE TREE PIT, ESPECIALLY ON SLOPES AND IN HEAVY SOILS.

MULCH TOP OF ROOT BALL AND SAUCER TO A MINIMUM DEPTH OF 2", NOT TO EXCEED 3". DO NOT PLACE MULCH AGAINST THE TRUNK WATER THOROUGHLY ON THE INTERIOR OF THE TREE SAUCER UNTIL IT IS FILLED, EVEN IF IT IS RAINING. A SECOND WATERING MAY BE NECESSARY TO INSURE SATURATION OF THE ROOT BALL AND ELIMINATION OF AIR POCKETS. PRUNING SHOULD BE RESTRICTED TO CORRECTIVE PRUNING TO IMPROVE FORM ONLY.

K. STAKE TREE PER PLANTING DETAIL 5.0 PLANTING PROCEDURES FOR SHRUBS

5.I PLANTING SHRUBS

A. FOR A SINGLE SHRUB, THE PIT SHALL BE DUG I' WIDER THAN THE ROOTBALL AND DEEP ENOUGH TO ALLOW I/8TH OF THE ROOTBALL TO SET ABOVE EXISTING GRADE. (SINGLE SHRUB PLANTINGS ONLY IF NOTED ON PLANS) FOR A SHRUB MASS PLANTING, THE ENTIRE BED AREA SHALL BE TILLED 4-6" DEEP. TILLING SHOULD ONLY BE DONE IN DRY SOIL TO AVOID COMPACTION. IF THE SOIL IS HEAVY IN CLAY AND SILT, ORGANIC MATERIAL SHOULD BE ADDED. EACH SHRUB PIT SHALL BE EXCAVATED

FOR THE PROPER SETTING OF THE ROOTBALL PLACE THE SHRUB IN THE PIT BY LIFTING AND CARRYING IT BY THE ROOTBALL. REMOVE CONTAINERS FROM ALL CONTAINER-GROWN SHRUBS; SLASH THE EDGES OF THE ROOTBALL FROM TOP TO BOTTOM, AT LEAST I" DEEP. SET THE SHRUB AND IN THE CENTER OF THE PIT WITH THE MOST DESIRABLE SIDE FACING TOWARD THE PROMINENT VIEW.

CUT AND REMOVE ROPE OR WIRE OFF THE TOP 50 % OF ROOTBALL AND PULL BURLAP BACK TO THE EDGE OF THE BALL. REMOVE AS MUCH BURLAP, WOVEN PRODUCTS AND TWINE AS POSSIBLE. ALL PLASTIC OR SYNTHETIC FILM MUST BE REMOVED FROM THE ROOTBALL. CUT ALL TWINE AWAY FROM TRUNK

FORM A SAUCER ABOVE THE EXISTING GRADE AND COMPLETELY AROUND THE PLANTING PIT.

MULCH TOP OF ROOTBALL AND SAUCER A MAXIMUM DEPTH OF 2". WATER SHRUB MASS THOROUGHLY EVEN IF IT IS RAINING. A SECOND WATERING MAY BE NECESSARY TO INSURE SATURATION OF THE ROOT BALL AND ELIMINATION OF AIR POCKETS.

6.0 PLANTING PROCEDURES FOR GROUND COVER, PERENNIALS AND ANNUALS

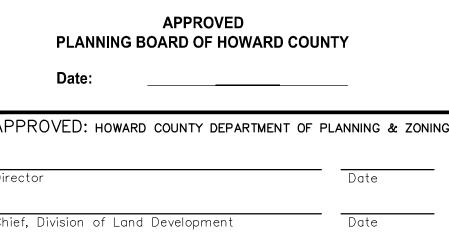
6.I PLANTING GROUND COVER, PERENNIAL AND ANNUAL BEDS

A. THE PLANTING BED SHALL BE LOOSENED WHEN THE SOIL IS DRY PRIOR TO PLANTING BY TILLING. SOIL SHALL BE LOOSENED TO A DEPTH OF 4 B. ORGANIC MATTER SHALL BE SPREAD OVER THE BED TO A DEPTH OF 2" FOR PEAT MOSS OF I" DEEP FOR COMPOST, I.E. NOT TO EXCEED 4 CUBIC YARDS OF COMPOST/1000 SQUARE FEET, AFTER THE SOIL HAS BEEN LOOSENED. THE ORGANIC MATTER SHALL BE WORKED INTO THE

FERTILIZER SHALL BE TOP-DRESSED OVER BED AREA.
THE PLANT, EITHER POTTED OR BARE ROOT, SHALL BE INSTALLED SO THAT THE ROOTS ARE SURROUNDED BY SOIL BELOW THE MULCH. POTTED PLANTS SHALL BE SET SO THAT THE TOP OF THE POT IS EVEN WITH THE EXISTING GRADE. THE ROOTS OF BARE ROOT PLANTS SHALL BE

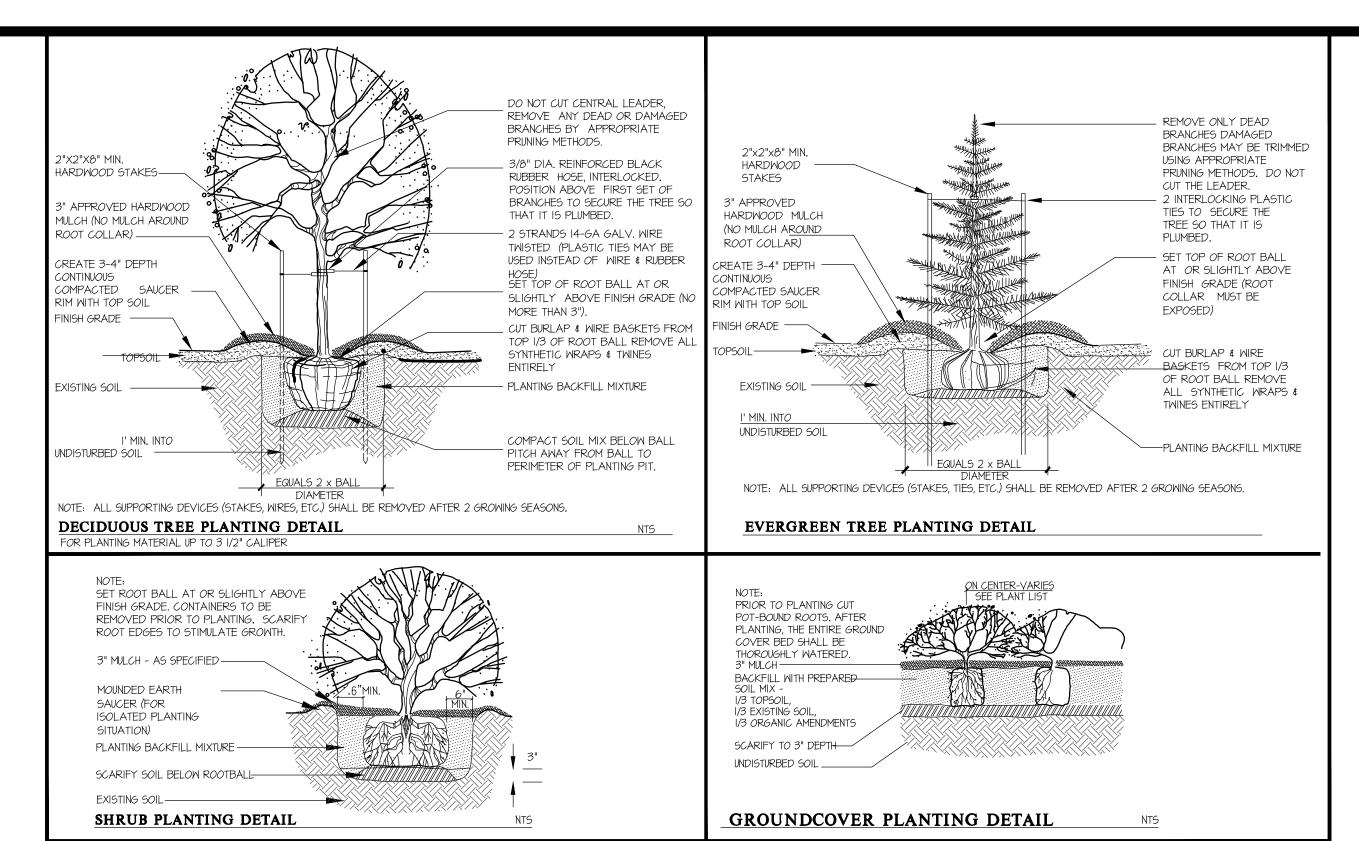
SPACING OF PLANTS SHALL BE INSTALLED AS NOTED ON THE LANDSCAPE PLAN.

THE ENTIRE BED SHALL BE MULCHED TO A MINIMUM DEPTH OF I", 2" MAXIMUM, WITH APPROVED MULCH. THE ENTIRE PLANTING BED SHALL BE THOROUGHLY WATERED.



PLANNING ENGINEERING SURVEYING

3909 NATIONAL DRIVE | SUITE 250 | BURTONSVILLE, MD 20866 | GLWPA.COM PHONE: 301-421-4024 | BALT: 410-880-1820 | DC&VA: 301-989-2524 | FAX: 301-421-4186



Proposed Redevelopment Area Analysis

DPZ File No. SDP-21-045 Project Name: Woodmere Retail square feet | Acres (if > 10) 1. Input Information 233,182 5.35 a. | Parcel A-6 area b. LOD of proposed redevelopment for SDP approval & Grading permit 55,212 application for construction (Project Area) 54,624 Portion of LOD on-site 1.25 588 less 0.1 Portion of LOD off-site (on the adjacent properties) e. Balance of existing Parcel (or Lot) outside the on-site LOD not changing use 178,558 4.10 (1a-1c). The Forest conservation obligation for this area is deferred to any future site changes requiring an SDP (or redline) for site work

2. Dec	ductions & Adjustments		
а.	Sec. 161202(b)(1)(viii) existing impervious area within the proposed LOD	38,953	0.89
	(Project Area)		
b.	Existing public utiltiy easement and rigth-of-way reservation within the	517	less 0.1
	above LOD that is not impervious.		
c.	Total adjustments (deductions) to the Project Area (2a + 2b)	39,470	0.91
d.	Adjusted Project Area (APA= 1b-2c) to use in calculating the Forest	15,742	0.36
	Conservation Obligation (FCO):		

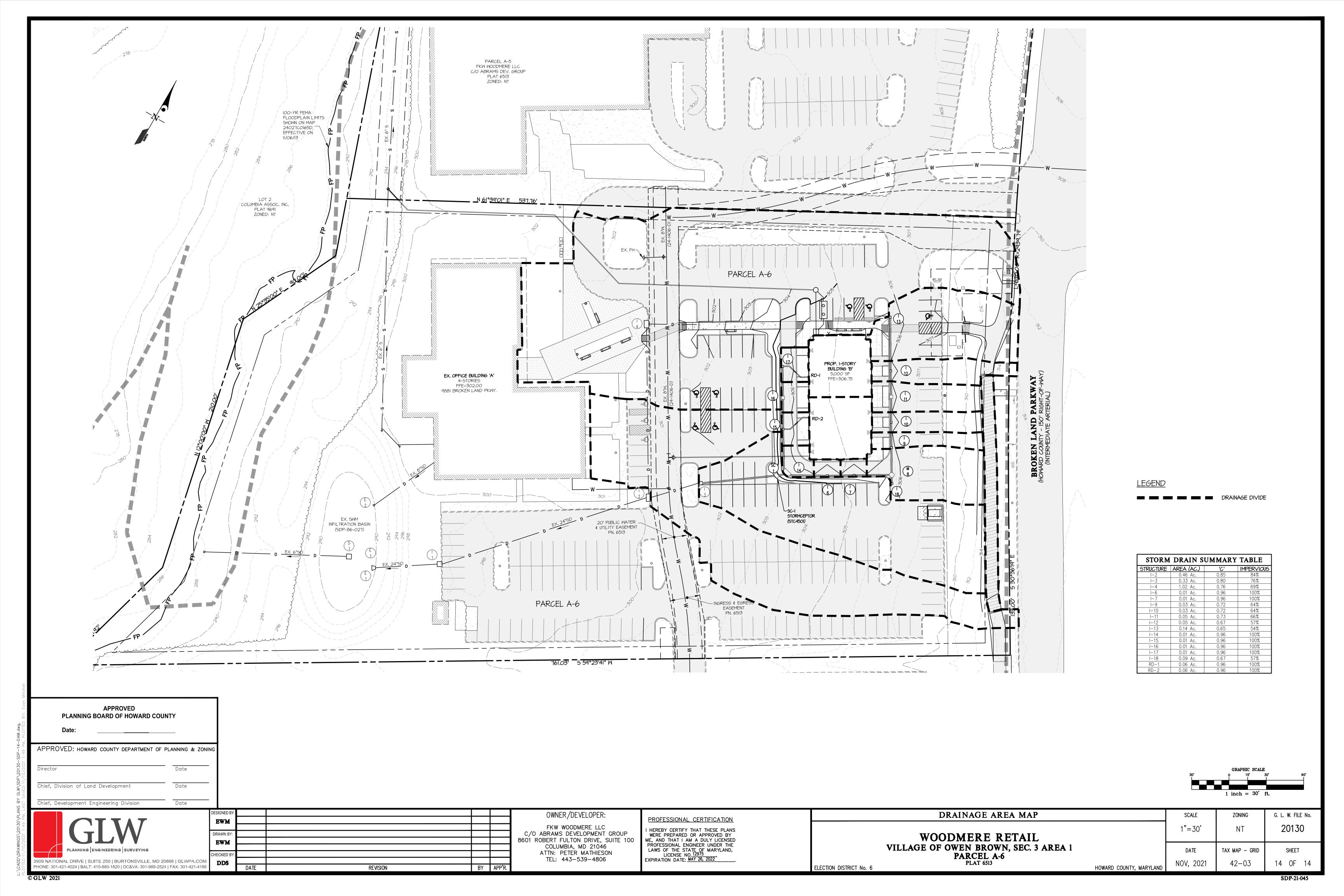
3. Fore	est Conservatin Obligation		I
a.	FCO = Afforestation obligation at 15% of the APA= 2d*0.15	2,361	less 0.
b.	Fee-in-lieu rate per CR-14-2019	\$ 1.25	
c.	Fee-in-lieu requested	\$ 2,951.63	

FOREST CONSERVATION FEE-IN-LIEU COMPUTATION

Date:	
PROVED: HOWARD COUNTY DEPARTMENT OF P	LANNING & ZONING
ector	Date
ief, Division of Land Development	Date
ief, Development Engineering Division	Date

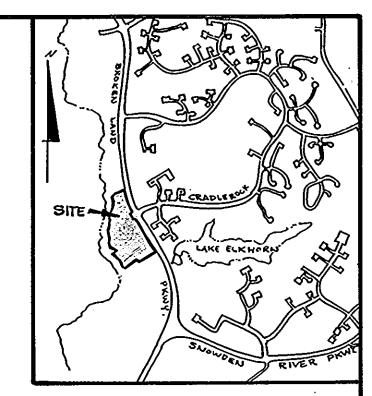
DESIGNED	BY:				OWNER/DEVELOPER:	LANDSC
EWM					OWNERY BE VELOTIER.	Entible
					FKW WOODMERE LLC	
DRAWN E	BY:				C/O ABRAMS DEVELOPMENT GROUP	Wo
EWM					8601 ROBERT FULTON DRIVE, SUITE 100	
					COLUMBIA, MD 21046	VILLAGE (
CHECKED	BY:				ATTN: PETER MATHIESON	
DDS					TEL: 443-539-4806	
220	DATE	REVISION	BY	APP'R.		ELECTION DISTRICT No. 6

LANDSCAPE PLAN - NOTES AND DETAILS		SCALE	ZONING	G. L. W. FILE No.
WOODMERE RETAIL		1"=30'	NT	20130
VILLAGE OF OWEN BROWN, SEC. 3 AREA 1 PARCEL A-6		DATE	TAX MAP - GRID	SHEET
PLAT 6513	HOWARD COUNTY, MARYLAND	MARCH, 2022	42-03	13 OF 14





ALLVIEW ESTATES: OWEN BROWN SHEET 3



VICINITY MAP SCALE: 1 2000

SUMMARY OF AMENDMENTS

PHASE 125-A - REVISES SHEETS 1,2 AND 3 - PURPOSE IS TO REVISE POINTS OF ACCESS ALONG BROKEN LAND PARKWAY

HECORDED_PLAT 3054A - 305 ON 11-24 1980 AMONG THE LAND RECORDS OF HOWARD COUNTY, MD.

VILLAGE OF OWEN BROWN

SECTION 3 AREA I

PETITIONER AND OWNER

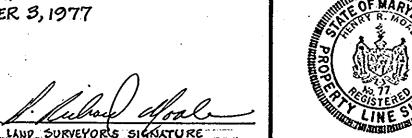
COLUMBIA INDUSTRIAL DEVELOPMENT CORPORATION COLUMBIA, MARYLAND 21045

COLUMBIA

FINAL DEVELOPMENT PLAN PHASE 125-A 6" ELECTION DISTRICT HOWARD COUNTY, MD. SCALE: 1"=400' JUNE 6, 1980 SHEET I OF 3

THIS AMENDED PLAT IS INTENDED TO SUPERSEDE SHEET I OF 3 FINAL DEVELOPMENT PLAN PHASE 125 RECORDED AMONG THE LAND RECORDS OF HOWARD COUNTY IN PLAT BOOK 20 FOLIO 90

PREPARED AS TO SHEET 1 TO 3 IN ACCORDANCE WITH THE ZONING REGULATIONS OF HOWARD COUNTY APOPTED OCTOBER 3, 1977





	RECORDATION			
PHASE	DATE	ATE PLAT BOOK FOLIO		
125	3-28-72	20	90 thru 92	
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The Area included within this Final Development Plan Phase is Applicable to Section 1, Area 3 of the Village of Owen Brown.

- 1. PUBLIC STREET AND ROADS Section 119-C-1-a(1):
 To be shown on subdivision plats, if required by the Howard County Office of Planning and Zoning.
- 2. PUBLIC RIGHTS-OF-WAY Section 119-C-1-a(2):
 - .2A. To be shown on subdivision plats, if required by the Howard County Office of Planning and Zoning.
 - 2B. Vehicular ingress and egress to Broken Land Parkway will be permitted only at points of access approved by the Howard County Office of Planning and Zoning.
- 3. MAJOR UTILITY RIGHTS-OF-WAY Section 119-C-1-a(3):
 To be shown on subdivision plats, if required by the Howard County Office of Planning and Zoning.
- 4. DRAINAGE FACILITIES Section 119-C-1-a(4):

 To be shown on subdivision plats, if required by the Howard County Office of Planning and Zoning.
- 5. RECREATIONAL, SCHOOL, PARK AND OTHER COMMUNITY USES Section 119-C-1-b:
 To be shown on the Final Development Plan, if required by the Howard County Planning Board.
- 6. PERMITTED GENERAL LOCATION OF BUILDINGS AND STRUCTURES Section 119-C-1-d:
 The term "structure", as used in this Final Development Plan phase, shall include but
 not be limited to:

cornices
eaves
roof or building overhangs
chimneys
trellises

bay windows
privacy walls or screens
all parts of any buildings

all parts of any buildings, dwelling, or accessory buildings

All setback areas shall be clear of any protrusions, extension, or construction of any type, and where any land use is adjacent to a freeway or primary road, no structure shall be located within 50' of the right-of-way line thereof; except, however, that structures may be constructed at any location within such setback areas if such construction is in accordance with a site development plan approved by the Howard County Planning Board.

The term "structure" does not include the following upon which no restriction as to location is imposed:

walks
shrubbery
trees
ornamental landscaping

excavations or fill fencing under 6' in height retaining walls under 3' in height similar minor structures

Determination of the specific character of "similar minor structures" and setbacks applicable thereto will be made by the Howard County Office of Planning and Zoning.

Fences or walls, if located within setback areas adjacent to a public street, road, or highway upon which construction of structures is prohibited, shall not exceed 3' in height if solid or closed nor 5' in height if open, except in accordance with a site development plan approved by the Howard County Planning Board.

6C-1 EMPLOYMENT CENTER LAND USE AREAS - COMMERCIAL

No structure shall be located within 30 feet of the right-of-way of any public street, road, or highway; except, however, that structures may be constructed at any location within such setback area if such construction is in accordance with a site development plan approved by the Howard County Planning Board.

Except as restricted by this Paragraph, 6C-1, buildings and other structures may be located at any location within commercial land use areas. All structures must be developed in accordance with a site development plan approved by the Howard County Planning Board.

Adequate planting and landscaping must be provided, as required by the Howard County Planning Board at the time a site development plan is submitted for approval, whenever employment center commercial areas are in proximity to residential land use area.

7. PERMITTED USES - Section 119-C-1-d:

-3 EMPLOYMENT CENTER LAND USE - COMMERCIAL
All uses permitted in commercial districts or commercial land use zones
are permitted including, but not limited to, all of the following:

- a. Uses permitted in B-1 districts.
- b. Uses permitted in B-2 districts.
- c. Uses permitted in S-C districts.

Division of Commercial Land Use Areas into individual lots to be owned, leased, mortgaged or otherwise conveyed individually, without immediate direct access to a public road is expressly permitted on condition that there shall be provided at all times one or more areas adjoining such lots, for use in common by the owners, lessees, mortgagees and others having an interest in such lots, which areas shall provide vehicular and pedestrian access to such lots across parking and other common space.

8. HEIGHT LIMITATIONS - Section 119-C-1-e:

8C-3 COMMERCIAL

No height limitation is imposed upon structures constructed within this Final Development Plan Phase provided improvements thereon are constructed in accordance with a site development plan approved by the Howard County Planning Board.

9. PARKING REQUIREMENTS - Section 119-C-1-e:

9C-2 COMMERCIAL LAND USE AREAS

- a. Five (5) parking spaces shall be provided for each 1,000 square feet of net leasable area devoted to commercial retail sales uses.
- b. Two (2) parking spaces shall be provided for each 1,000 square feet of net leasable area contained within any building or buildings constructed upon land encompassed by this Final Development Plan Phase which are devoted to office uses.
- c. No parking requirement is imposed upon any restaurant, coffee shop, or similar facility constructed within such buildings which primarily serves tenants and employees of such buildings.
- One (1) parking space shall be provided for each bedroom contained within any hotel, inn or similar facility constructed upon the land encompassed by this Final Development Plan Phase; one (1) parking space shall be provided for each five (5) employees of any such facility.
- e. One (1) parking space shall be provided for each three seats within any restaurant, coffee shop or similar facility constructed within a hotel, inn or similar facility; one (1) parking space shall be provided for each five employees of any such facility.
- f. Parking for all building lots subdivided under this Phase shall be provided within the boundaries of each Final Development Plan so as to comply with the terms of Section 7 above and the space indices set forth in this Section 9.
- Perpendicular parking bays may be established at or below, grade or in elevated levels or decks in ten (10) foot by sixty (60) foot clear span modules. In the event that angular parking shall be provided, the dimensions of the parking spaces and aisles shall be subject to further approval of the Howard County Planning Board. Both of the above concepts shall be constructed in accordance with a site development plan approved by the Howard County Planning Board.
- 10. SETBACK PROVISIONS Section 119-C-1-e:

10A GENERALLY:

- a. Setbacks shall conform to the requirements of Section 6 above.
- b. A 20' setback will be required by the flood plain line as established on the final subdivision plan.
- c. No other setback restrictions are imposed upon land within this Final Development Plan Phase.
- 11. MINIMUM LOT SIZES Section 119-C-1-e:
 As shown on subdivision plat in accordance with minimum lot sizes as may be required by the Howard County Planning Board.
- 12. COVERAGE REQUIREMENTS Section 119-C-1-e:
 - 2C COMMERCIAL LAND USE AREAS

No coverage requirement is imposed upon land within this Final Development Plan Phase devoted to Commercial Land Uses, except in accordance with a site development plan approved by the Howard County Planning Board.

Note: This amended plat is intended to supersede sheet 2 of 3 Final Development Plan Phase 125 recorded among the land records of Howard County in Plat Book 20, Folio 91.

The purpose of this amended plat is to change points of access along Broken Land Parkway.

TABULATION OF LAND USE

Land Use	Acres
Employment Center Commercial	24.37
	<u> </u>
Total	24.37

CHECORDED_PLAT 3054A-306
ON 1/-24 1980 AMONG THE LAND RECORDE OF
HOWARD COUNTY! MD

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VILLAGE OF OWEN BROWN

SECTION 3 AREA I

PETITIONER AND OWNER

COLUMBIA IN DUSTRIAL DEVELOPMENT CORPORATION

COLUMBIA, MARYLAND 21045

COLUMBIA

FINAL DEVELOPMENT PLAN PHASE 125-A

6TH ELECTION DISTRICT HOWARD COUNTY, MD.

SHEET 2 OF 3

