

FKW WOODMERE LLC  
C/O ABRAMS DEV. GROUP

PARCEL A-5

EX. OFFICE  
BUILDING 'A'  
4-STORIES  
9881 BROKEN  
LAND PKWY.  
FFE=302.00

PARCEL A-6

PROPOSED  
1-STORY  
BLDG. 'B'  
FFE=306.75

PARCEL A-3

AGS BORROWER  
LAKEVIEW LLC  
C/O PROP. MGMT.  
ASSOC. LLC

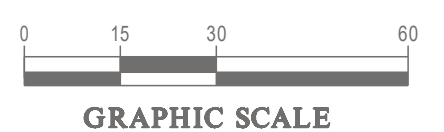
CRADLEROCK  
WAY

BROKEN LAND PARKWAY

# WOODMERE RETAIL

## VILLAGE OF OWEN BROWN - PARCEL A-6

SDP-21-045



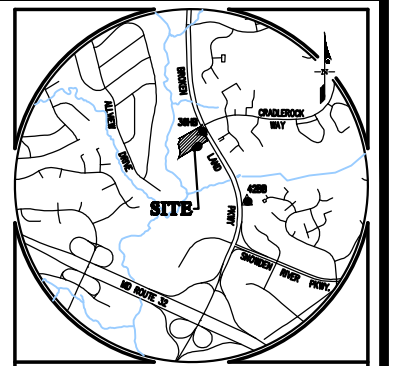


# SITE DEVELOPMENT PLAN

## WOODMERE RETAIL

### VILLAGE OF OWEN BROWN

#### PARCEL A-6



**VICINITY MAP**  
SCALE: 1" = 2,000'

**BENCHMARKS**

42BB	ELEV. 305.63	N = 98494.120	E = 158669.470
36HB	ELEV. = 305.484	N = 982478.205	E = 1584671.965

ADC MAP: 5053 GRID: D1

**LEGEND**

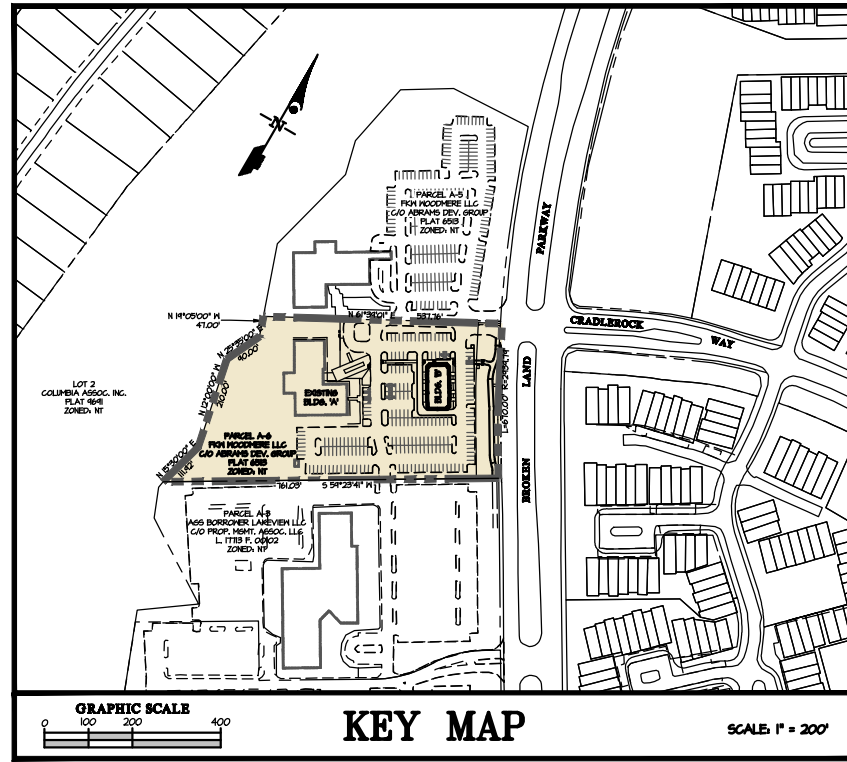
- LIMIT OF DISTURBANCE
- LIMIT OF SUBMISSION
- - - PROPOSED SANITARY LINE
- - - EXISTING CONTOUR
- - - 400' PROPOSED CONTOUR
- - - EXISTING TREE LINE
- EX. S/S S EXISTING SANITARY SEWER
- EX. S/S W EXISTING WATERLINE
- EX. S/D S EXISTING STORM DRAIN
- PROPOSED STORM DRAIN
- STRUCTURE NUMBER
- WATER LINE (PRIVATE)
- SEWER LINE (PUBLIC)
- SEWER LINE (PRIVATE)
- PROPOSED CURB AND GUTTER
- EXISTING CURB AND GUTTER
- EXISTING EDGE OF PAVEMENT
- EXISTING TREES
- PROPOSED BUILDING
- PROPOSED CONCRETE SIDEWALK
- SETBACK LINE
- EXISTING BUILDING
- T.B.R. TO BE REMOVED
- SOIL BOUNDARY
- SOIL TYPE
- EXISTING OVERHEAD WIRES
- EXISTING UTILITY POLES

**GENERAL NOTES**

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS NEHA STANDARDS AND SPECIFICATIONS IF APPLICABLE.
- THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS, BUREAU OF ENGINEERING, CONSTRUCTION INSPECTION DIVISION AT (410) 313-1800 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
- THE CONTRACTOR SHALL NOTIFY THE HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS, BUREAU OF UTILITIES AT (410) 313-4400 AT LEAST FIVE (5) DAYS PRIOR TO STARTING ANY EXCAVATION WORK.
- THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-251-TITTI AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
- PROJECT BACKGROUND:  
LOCATION: TAX MAP #42, GRID 3  
ZONING: NT  
ELECTION DISTRICT: 6TH  
PARCEL AREA: 5.35 AC.  
RECORDING REFERENCE: PLAT NO. 6513
- PROPOSED USE: RESTAURANT
- ALL PLAN DIMENSIONS ARE TO FACE OF BUILDING AND/OR FACE OF CURB UNLESS OTHERWISE NOTED. DIMENSIONS ARE MEASURED PERPENDICULAR OR RADIIALLY BETWEEN ITEMS UNLESS OTHERWISE NOTED.
- EXISTING TOPOGRAPHY IS SHOWN PER FIELD RUN SURVEY PERFORMED BY GUTSCHICK, LITTLE & WEBER, P.A. IN NOVEMBER 2022 WITHIN THE LIMIT OF SUBMISSION AS WELL AS GRADES TAKEN FROM DESIGN PLANS FOR CONSTRUCTION AND HOWARD COUNTY 615.
- COORDINATES AND BEARINGS ARE BASED UPON THE 21 MD STATE COORDINATE SYSTEM (NAD 21) AS PROJECTED BY HOWARD COUNTY GEODETIC CONTROL STATIONS NO. 364B AND 422B.
- PROPERTY IS ZONED NT PER THE 10/06/15 COMPREHENSIVE ZONING PLAN.
- PREVIOUS DEPARTMENT OF PLANNING & ZONING FILE NUMBERS:  
FDP-125-A, SDP-86-021, & ECP-21-028
- PROPOSED WATER AND SEWER EXTENSIONS ARE PUBLIC PER ADO #811 BROKEN LAND PARKWAY APPROVED ON SEPTEMBER 9, 2021.
- EXISTING WATER AND SEWER IS PER CONTRACT #24-1406-D.
- ALL EXISTING PRIVATE STORM DRAIN ON-SITE IS PER SDP-86-021.
- STORMWATER MANAGEMENT FOR QUALITY AND QUANTITY CONTROL IS BEING PROVIDED IN THE FOLLOWING MANNER:  
1. STORMWATER (PRIVATELY OWNED AND MAINTAINED)  
2. PERMEABLE PAVEMENT (PRIVATELY OWNED AND MAINTAINED)
- EXISTING UTILITIES ARE BASED ON APPROVED DESIGN PLANS FOR CONSTRUCTION AND FIELD LOCATION BY GUTSCHICK, LITTLE & WEBER, P.A.
- THERE ARE NO KNOWN CEMETERIES, GRAVE SITES OR HISTORIC STRUCTURES LOCATED ON THE SUBJECT PROPERTY.
- THERE ARE NO SCENIC ROADS WITHIN OR ADJACENT TO THE SUBJECT PROPERTY.
- THERE ARE NO FLOODPLAINS ON THIS SITE WITHIN THE LIMIT OF SUBMISSION.
- THERE ARE NO WETLANDS ON THE SITE.
- THIS PROPERTY IS WITHIN THE METROPOLITAN DISTRICT.
- BUILDING SETBACKS AND BUILDING RESTRICTIONS ARE PER F-125-A.
- BECAUSE THIS PLAN SUBMISSION IS NON-RESIDENTIAL, A NOISE STUDY IS NOT REQUIRED.
- THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE NEW TOWN ALTERNATIVE COMPLIANCE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. AN APPLICATION WAS SUBMITTED TO A.R.C. IN JUNE 2021 AND APPROVED ON SEPTEMBER 22, 2021. A LANDSCAPE SURETY IN THE AMOUNT OF \$173,500.00 WILL BE POSTED AS PART OF THE DEVELOPER AGREEMENT. SEE SHEET 12 FOR DETAILS.
- THERE ARE NO NEW SITE LIGHTS PROPOSED AT THIS TIME. EXISTING PARKING LOT LIGHTS ARE TO REMAIN OR ARE TO BE RELOCATED. ALL EXTERIOR LIGHT FIXTURES SHALL BE FULLY OR PARTIALLY SHIELDED TO DIRECT LIGHT INWARDS AND DOWNWARDS AWAY FROM ALL ADJOINING RESIDENTIAL USE AREAS AND PUBLIC ROADS IN ACCORDANCE WITH SECTION 134 OF THE HOWARD COUNTY ZONING REGULATIONS.
- THIS PLAN COMPLIED WITH THE REQUIREMENTS OF SECTION 16.1200 OF THE HOWARD COUNTY CODE FOR FOREST CONSERVATION BY THE PAYMENT OF A FEE-IN-LIEU OF FOREST CONSERVATION. THE FEE-IN-LIEU IS \$2,250.00. SEE SHEET 13 FOR FEE CONVEYANCE.
- A TRAFFIC STUDY WAS COMPLETED BY THE TRAFFIC GROUP ON FEBRUARY 22, 2021 AND APPROVED ON JULY 12, 2021. THE FOLLOWING IS THE SUMMARY OF FINDINGS. THIS STUDY SHOWS THAT TWO OF THE THREE INTERSECTIONS ARE PROJECTED TO MAINTAIN ACCEPTABLE LEVELS OF SERVICE DURING BOTH THE WEEKDAY MORNING AND EVENING PEAK HOURS. DURING THE WEEKDAY MORNING PEAK HOUR, ALL THREE STUDY INTERSECTIONS ARE PROJECTED TO OPERATE WITH ACCEPTABLE LEVEL OF SERVICE "B" OR BETTER CONDITIONS. DURING THE WEEKDAY EVENING PEAK HOUR, THE INTERSECTION OF BROKEN LAND PKY, WITH SNOWDEN RIVER PKY, IS PROJECTED TO OPERATE WITH LEVEL OF SERVICE "F" AND "F" CONDITIONS UNDER FUTURE BACKGROUND AND TOTAL TRAFFIC VOLUMES. HOWARD COUNTY HAS A CAPITAL PROJECT (L4671) TO PROVIDE INTERSECTION IMPROVEMENTS FOR THIS LOCATION WITH A CONTRIBUTION OF \$16,030.36 TO THE CAPITAL PROJECT. THE PROPOSED DEVELOPMENT SATISFIES HOWARD COUNTY ADEQUATE ROAD FACILITIES TEST EVALUATION REQUIREMENTS.
- A GEOTECHNICAL REPORT WAS COMPLETED BY HILLIS GARNES ENGINEERING ASSOCIATES ON MAY 10, 2021.
- A PRE-SUBMISSION COMMUNITY MEETING IS NOT REQUIRED FOR FLOOR EXPANSIONS OF LESS THAN 25% PER SECTION 156(a)(2)(b) OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS.
- A DESIGN MANUAL WAIVER FROM DESIGN MANUAL VOL. III, APPENDIX G, TO REDUCE THE MINIMUM WIDTH OF A ONE-WAY DRIVE LANE IN PARKING LOT FROM 16' TO 12' WAS APPROVED ON JUNE 15, 2021. THE APPROVAL IS SUBJECT TO PROVIDING THAT THE AREA, DUE TO THE LIMITED WIDTH, CANNOT BE USED FOR ANY OTHER PURPOSE INCLUDING LOADING REQUIREMENTS.
- AS OF SEPTEMBER 28, 2021, SDP-20-043 HAS NOT BEEN APPROVED YET. THEREFORE, THE ALIGNMENT OF THE ASPHALT PATH ALONG BROKEN LAND PARKWAY MAY NEED TO BE ADJUSTED WHERE IT MEETS PARCEL A-3 IF THE CURRENT PLAN CHANGES, THIS MAY REQUIRE A REDLINE REVISION.

**SITE ANALYSIS DATA**

- ZONING: NT-COMMERCIAL
- GROSS AREA OF PARCEL A-6 = 293,84 S.F. or 5.35 AC.
- PLAT 6513
- LIMIT OF DISTURBED AREA = 55,674 S.F. or 1.28 AC. (LIMIT OF PLAN SUBMISSION)
- PROPOSED USE: RESTAURANT BUILDING - 5,000 SF (1 STORY)
- BUILDING COVERAGE (% OF GROSS SITE AREA):  
EX. BUILDING 'A': 66,174 S.F. or 1.52 AC. (PER SDP-86-021)  
PROP. BUILDING 'B': 5,000 S.F. or 0.11 AC.  
TOTAL BUILDING COVERAGE = 152 AC. + 0.11 AC. = 1.63 AC.  
= 30.5% OF PARCEL A-6 (5.35 AC.)
- APPLICANT/OWNER:  
FKW WOODMERE C/O ABRAMS DEVELOPMENT GROUP  
8601 ROBERT FULTON DRIVE, SUITE 100  
COLUMBIA, MD 21046  
ATTN: PETER MATHIESON  
TEL: (443) 534-4806
- ZONING STANDARDS (PER FDP-125-A):  
1. MINIMUM STRUCTURE SETBACK FROM PUBLIC STREET R/W: ALLOWED 50 FT.
- PARKING ANALYSIS:  
REQUIRED PARKING - EX. OFFICE BLDG 'A':  
SEE SHARED USE PARKING AND TENANT SUMMARY TABLES (THIS SHEET)  
REQUIRED PARKING - PROP. BLDG. 'B':  
SEE SHARED USE PARKING AND TENANT SUMMARY TABLES (THIS SHEET)  
SITE TOTALS (PARCEL A-6):  
TOTAL REQUIRED PARKING = 181 SE (NON-SHARED)  
TOTAL REQUIRED PARKING = 182 SE (SEE SHARED USE TABLE)  
TOTAL PROVIDED PARKING = 181 SE  
TOTAL REQUIRED HC PARKING = 6 SP  
TOTAL PROVIDED HC PARKING = 10 SP



**SHEET INDEX**

SHEET TITLE	SHEET NO.
COVER SHEET	1
EXISTING CONDITIONS & DEMOLITION PLAN	2
SITE DEVELOPMENT PLAN	3
GRADING PLAN	4
SITE PLAN DETAILS	5
UTILITY PLAN AND PROFILES	6
SITE PLAN DETAILS	7
STORMWATER MANAGEMENT PLAN	8
STORMWATER MANAGEMENT DETAILS	9
SEDIMENT CONTROL PLAN	10
SEDIMENT CONTROL NOTES AND DETAILS	11
LANDSCAPE PLAN	12
LANDSCAPE DETAILS	13
DRAINAGE AREA MAP	14

**BUILDING ELEVATIONS**



**STORMWATER MANAGEMENT INFORMATION CHART**

LOT / PARCEL NO.	FACILITY NAME / NO.	PRACTICE TYPE (QUANTITY)	PUBLIC / PRIVATE	MISC.
PARCEL A-6	PERMEABLE PAVEMENT	A-2 (1)	PRIVATE	
	STORMWATER (SC-1)	SC (1)	PRIVATE	

**ADDRESS AND PERMIT INFORMATION CHART**

<b>BUILDING ADDRESS:</b> 9861 BROKEN LAND PARKWAY COLUMBIA, MD 21046 (BUILDING 'A') 9871 BROKEN LAND PARKWAY COLUMBIA, MD 21046 (BUILDING 'B')		
<b>SUBDIVISION NAME:</b> VILLAGE OF OWEN BROWN	<b>SECTION/AREA:</b> SECTION 3 AREA 1	<b>PARCEL:</b> PARCEL A-6
<b>PLAT REFERENCE:</b> 6513	<b>ZONE:</b> NT	<b>TAX MAP:</b> 42
<b>GRID:</b> 3	<b>ELECTION DISTRICT:</b> 6	<b>CENSUS TRACT:</b> 6061.01
<b>WATER &amp; SEWER WATERSHED:</b>		

**APPROVED: HOWARD COUNTY HEALTH DEPARTMENT**

County Health Officer \_\_\_\_\_ Date \_\_\_\_\_

**APPROVED PLANNING BOARD OF HOWARD COUNTY**

Date: \_\_\_\_\_

**APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING**

Director \_\_\_\_\_ Date \_\_\_\_\_

Chief, Division of Land Development \_\_\_\_\_ Date \_\_\_\_\_

Chief, Development Engineering Division \_\_\_\_\_ Date \_\_\_\_\_

**GLW**  
PLANNING | ENGINEERING | SURVEYING

3905 NATIONAL DRIVE | SUITE 250 | BURTONSVILLE, MD 20886 | GLWPA.COM  
PHONE: 301-421-4024 | FAX: 410-886-1820 | DCS&VA: 301-985-2524 | FAX: 301-421-4186

DESIGNED BY	DRAWN BY	CHECKED BY	DATE	REVISION	BY	APPR.

**OWNER/DEVELOPER:**  
FKW WOODMERE LLC  
C/O ABRAMS DEVELOPMENT GROUP  
8601 ROBERT FULTON DRIVE, SUITE 100  
COLUMBIA, MD 21046  
ATTN: PETER MATHIESON  
TEL: 443-539-4806

**PROFESSIONAL CERTIFICATION**  
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 19892.  
EXPIRATION DATE: MAY 28, 2022

**COVER SHEET**  
**WOODMERE RETAIL**  
**VILLAGE OF OWEN BROWN, SEC. 3 AREA 1**  
**PARCEL A-6**  
PLAT 6513  
ELECTION DISTRICT No. 6  
HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE NO.
AS SHOWN	NT	20130
DATE	TAX MAP - GRID	SHEET
MARCH, 2022	42-03	1 OF 14

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# SITE DEVELOPMENT PLAN

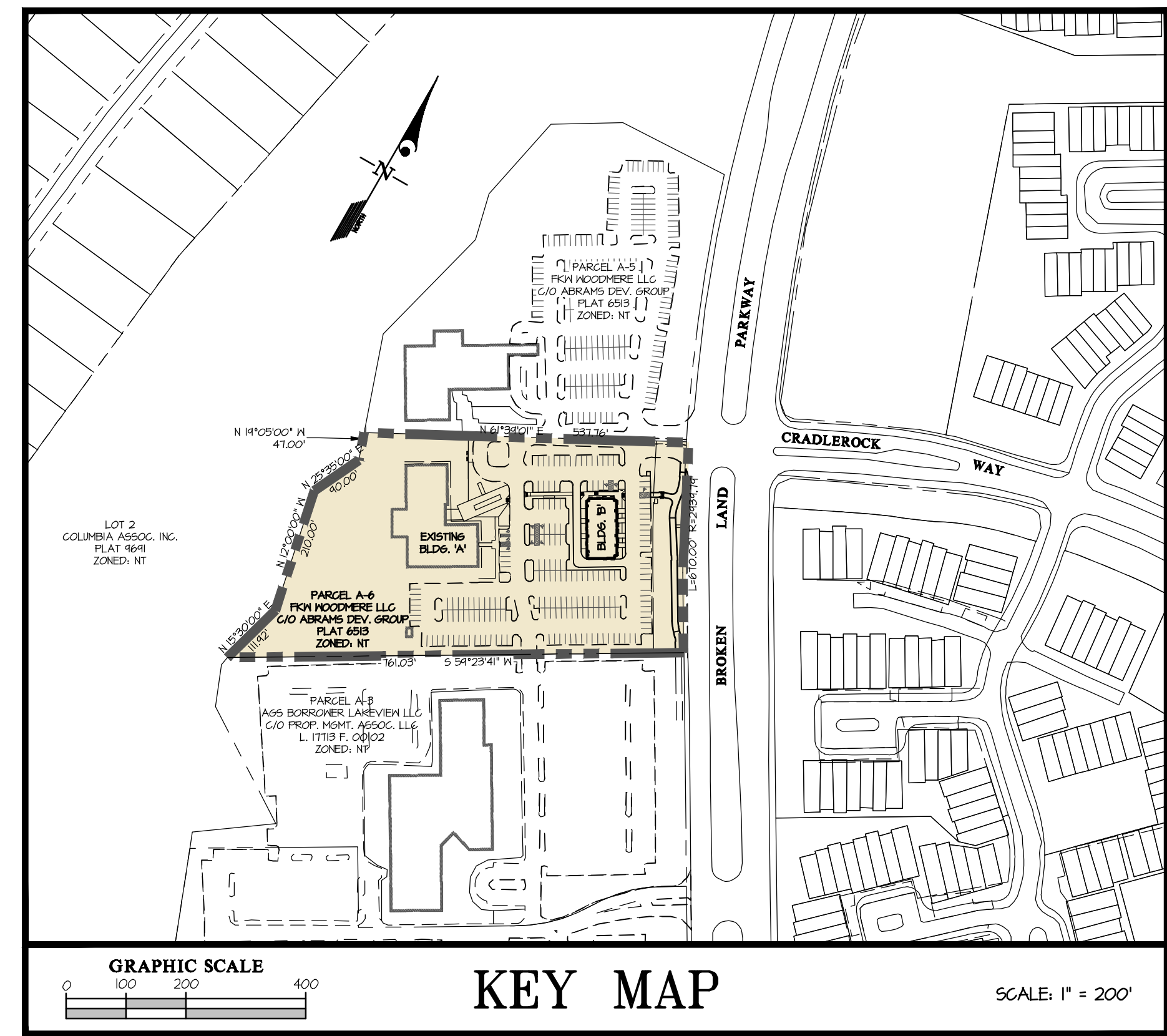
## WOODMERE RETAIL

### VILLAGE OF OWEN BROWN

#### PARCEL A-6

- GENERAL NOTES**
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS IF APPLICABLE.
  - THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS, BUREAU OF ENGINEERING, CONSTRUCTION INSPECTION DIVISION AT (410) 313-1800 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
  - THE CONTRACTOR SHALL NOTIFY THE HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS, BUREAU OF UTILITIES AT (410) 313-4900 AT LEAST FIVE (5) DAYS PRIOR TO STARTING ANY EXCAVATION WORK.
  - THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7111 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
  - PROJECT BACKGROUND:
    - LOCATION: TAX MAP #42, GRID 3
    - ZONING: NT
    - ELECTION DISTRICT: 6TH
    - PARCEL AREA: 5.35 AC.
    - RECORDING REFERENCE: PLAT NO. 6513
  - PROPOSED USE: RESTAURANT
  - ALL PLAN DIMENSIONS ARE TO FACE OF BUILDING AND/OR FACE OF CURB UNLESS OTHERWISE NOTED. DIMENSIONS ARE MEASURED PERPENDICULAR OR RADIIALLY BETWEEN ITEMS UNLESS OTHERWISE NOTED.
  - EXISTING TOPOGRAPHY IS SHOWN PER FIELD RUN SURVEY PERFORMED BY GUTSCHICK, LITTLE & WEBER, P.A. IN NOVEMBER 2020 WITHIN THE LIMIT OF SUBMISSION AS WELL AS GRADES TAKEN FROM DESIGN PLANS FOR CONSTRUCTION AND HOWARD COUNTY GIS.
  - COORDINATES AND BEARINGS ARE BASED UPON THE '21 MD STATE COORDINATE SYSTEM (NAD '21) AS PROJECTED BY HOWARD COUNTY GEODETIC CONTROL STATIONS NO. 36HB AND 42BB.
  - PROPERTY IS ZONED NT PER THE 10/06/03 COMPREHENSIVE ZONING PLAN.
  - PREVIOUS DEPARTMENT OF PLANNING & ZONING FILE NUMBERS:
    - FDP-125-A, SDP-86-027, & ECP-21-028
  - PROPOSED WATER AND SEWER EXTENSIONS ARE PUBLIC PER ADO #871 BROKEN LAND PARKWAY APPROVED ON SEPTEMBER 9, 2021.
  - EXISTING WATER AND SEWER IS PER CONTRACT #24-1406-D.
  - ALL EXISTING PRIVATE STORM DRAIN ON-SITE IS PER SDP-86-027.
  - STORMWATER MANAGEMENT FOR QUALITY AND QUANTITY CONTROL IS BEING PROVIDED IN THE FOLLOWING MANNER:
    - STORMWATER (PRIVATELY OWNED AND MAINTAINED)
    - PERMEABLE PAVEMENT (PRIVATELY OWNED AND MAINTAINED)
  - EXISTING UTILITIES ARE BASED ON APPROVED DESIGN PLANS FOR CONSTRUCTION AND FIELD LOCATION BY GUTSCHICK, LITTLE & WEBER, P.A.
  - THERE ARE NO KNOWN CEMETERIES, GRAVE SITES OR HISTORIC STRUCTURES LOCATED ON THE SUBJECT PROPERTY.
  - THERE ARE NO SCENIC ROADS WITHIN OR ADJACENT TO THE SUBJECT PROPERTY.
  - THERE ARE NO FLOODPLAINS ON THIS SITE WITHIN THE LIMIT OF SUBMISSION.
  - THERE ARE NO WETLANDS ON THE SITE.
  - THIS PROPERTY IS WITHIN THE METROPOLITAN DISTRICT.
  - BUILDING SETBACKS AND BUILDING RESTRICTIONS ARE PER F-125-A.
  - BECAUSE THIS PLAN SUBMISSION IS NON-RESIDENTIAL, A NOISE STUDY IS NOT REQUIRED.
  - THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE NEW TOWN ALTERNATIVE COMPLIANCE PROVISIONS OF SECTION 16124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. AN APPLICATION WAS SUBMITTED TO A.R.C. IN JUNE, 2021 AND APPROVED ON SEPTEMBER 22, 2021. A LANDSCAPE SURETY IN THE AMOUNT OF \$110,000 WILL BE POSTED AS PART OF THE DPW DEVELOPER AGREEMENT. SEE SHEET 10 FOR DETAILS.
  - THERE ARE NO NEW SITE LIGHTS PROPOSED AT THIS TIME. EXISTING PARKING LOT LIGHTS ARE TO REMAIN OR ARE TO BE RELOCATED. ALL EXTERIOR LIGHT FIXTURES SHALL BE FULLY OR PARTIALLY SHIELDED TO DIRECT LIGHT INWARDS AND DOWNWARDS AWAY FROM ALL ADJOINING RESIDENTIAL USE AREAS AND PUBLIC ROADS IN ACCORDANCE WITH SECTION 134 OF THE HOWARD COUNTY ZONING REGULATIONS.
  - THIS PLAN COMPLIED WITH THE REQUIREMENTS OF SECTION 161200 OF THE HOWARD COUNTY CODE FOR FOREST CONSERVATION BY THE PAYMENT OF A FEE-IN-LIEU OF FOREST CONSERVATION. THE FEE-IN-LIEU IS \$2,151.63. SEE SHEET 13 FOR FEE COMPUTATION.
  - A TRAFFIC STUDY WAS COMPLETED BY THE TRAFFIC GROUP ON FEBRUARY 22, 2021 AND APPROVED ON JULY 12, 2021. THE FOLLOWING IS THE SUMMARY OF FINDINGS: THIS STUDY SHOWS THAT TWO OF THE THREE INTERSECTIONS ARE PROJECTED TO MAINTAIN ACCEPTABLE LEVELS OF SERVICE DURING BOTH THE WEEKDAY MORNING AND EVENING PEAK HOURS. DURING THE WEEKDAY MORNING PEAK HOUR, ALL THREE STUDY INTERSECTIONS ARE PROJECTED TO OPERATE WITH ACCEPTABLE LEVEL OF SERVICE "B" OR BETTER CONDITIONS. DURING THE WEEKDAY EVENING PEAK HOUR, THE INTERSECTION OF BROKEN LAND PKWY. WITH SNOODEN RIVER PKWY. IS PROJECTED TO OPERATE WITH LEVEL OF SERVICE "E" AND "F" CONDITIONS UNDER FUTURE BACKGROUND, AND TOTAL TRAFFIC VOLUMES. HOWARD COUNTY HAS A CAPITAL PROJECT (H461) TO PROVIDE INTERSECTION IMPROVEMENTS FOR THIS LOCATION WITH A CONTRIBUTION OF \$46,250.39 TO THE CAPITAL PROJECT. THE PROPOSED DEVELOPMENT SATISFIES HOWARD COUNTY ADEQUATE ROAD FACILITIES TEST EVALUATION REQUIREMENTS.
  - A GEOTECHNICAL REPORT WAS COMPLETED BY HILLIS CARNES ENGINEERING ASSOCIATES ON MAY 10, 2021.
  - A PRE-SUBMISSION COMMUNITY MEETING IS NOT REQUIRED FOR FLOOR EXPANSIONS OF LESS THAN 25% PER SECTION 156 (a)(2)(b) OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS.
  - A DESIGN MANUAL WAIVER FROM DESIGN MANUAL VOL. III, APPENDIX G, TO REDUCE THE MINIMUM WIDTH OF A ONE-WAY DRIVE LANE IN PARKING LOT FROM 16' TO 12', WAS APPROVED ON JUNE 15, 2021. THE APPROVAL IS SUBJECT TO PROVIDING THAT THE AREA, DUE TO THE LIMITED WIDTH, CANNOT BE USED FOR ANY OTHER PURPOSE INCLUDING LOADING REQUIREMENTS.
  - AS OF SEPTEMBER 28, 2021, SDP-20-042 HAS NOT BEEN APPROVED YET. THEREFORE, THE ALIGNMENT OF THE ASPHALT PATH ALONG BROKEN LAND PARKWAY MAY NEED TO BE ADJUSTED WHERE IT MEETS PARCEL A-3 IF THE CURRENT PLAN CHANGES. THIS MAY REQUIRE A REDLINE REVISION.

- SITE ANALYSIS DATA**
- ZONING: NT-COMMERCIAL
  - GROSS AREA OF PARCEL A-6 = 233,04 SF, OR 5.35 AC.
  - PLAT 6513
  - LIMIT OF DISTURBED AREA = 556,14 SF, OR 1.28 AC. (LIMIT OF PLAN SUBMISSION)
  - PROPOSED USE: RESTAURANT BUILDING - 5,000 SF (1 STORY)
  - BUILDING COVERAGE (% OF GROSS SITE AREA):
    - EX. BUILDING 'A': 66,174 SF, 6.6A OR 1.52 AC. (PER SDP-86-027)
    - PROP. BUILDING 'B': 5,000 SF, OR 0.11 AC.
    - TOTAL BUILDING COVERAGE = 1.52 AC. + 0.11 AC. = 1.63 AC.
    - = 30.5% OF PARCEL A-6 (5.35 AC.)
  - APPLICANT/OWNER:
    - FKW WOODMERE C/O ABRAMS DEVELOPMENT GROUP
    - 8601 ROBERT FULTON DRIVE, SUITE 100
    - COLUMBIA, MD 21046
    - ATTN: PETER MATHIESON
    - TEL: (443) 534-4806
  - ZONING STANDARDS: (PER FDP-125-A)
    - 1. MINIMUM STRUCTURE SETBACK FROM PUBLIC STREET R/W: ALLOWED 50 FT.
  - PARKING ANALYSIS:
    - REQUIRED PARKING - EX. OFFICE BLDG 'A': SEE SHARED USE PARKING AND TENANT SUMMARY TABLES (THIS SHEET)
    - REQUIRED PARKING - PROP. BLDG 'B': SEE SHARED USE PARKING AND TENANT SUMMARY TABLES (THIS SHEET)
    - SITE TOTALS (PARCEL A-6):
      - TOTAL REQUIRED PARKING = 181 SP (NON-SHARED)
      - TOTAL REQUIRED PARKING = 182 SP (SEE SHARED USE TABLE)
      - TOTAL PROVIDED PARKING = 181 SP
      - TOTAL REQUIRED HC PARKING = 6 SP
      - TOTAL PROVIDED HC PARKING = 10 SP



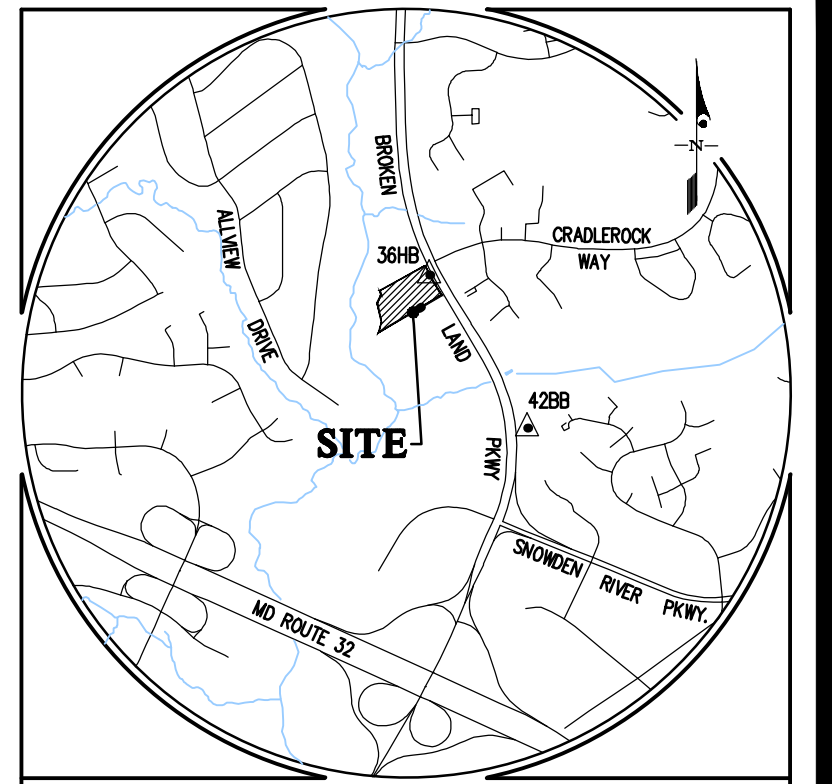
**SHARED USE PARKING TABLE**

	WEEKDAY				WEEKEND	
	MORNING 6am-9am	MID-DAY 9am-3pm	AFTERNOON 3pm-5pm	EVENING 5pm-mid	DAYTIME 6am-6pm	NIGHTTIME 6pm-mid
RESIDENTIAL	0.0 (0.0/0.0)	0.0 (0.0/0.0)	0.0 (0.0/0.0)	0.0 (0.0/0.0)	0.0 (0.0/0.0)	0.0 (0.0/0.0)
OFFICE / INDUSTRIAL	108.0 (1234/0.0)	120.0 (1234/0.0)	120.0 (1234/0.0)	5.0 (1234/0.0)	15.0 (1234/0.0)	1.0 (1234/0.0)
RETAIL	0.0 (0.0/0.0)	0.0 (0.0/0.0)	0.0 (0.0/0.0)	0.0 (0.0/0.0)	0.0 (0.0/0.0)	0.0 (0.0/0.0)
HOTEL / MOTEL	0.0 (0.0/0.0)	0.0 (0.0/0.0)	0.0 (0.0/0.0)	0.0 (0.0/0.0)	0.0 (0.0/0.0)	0.0 (0.0/0.0)
RESTAURANT	18.0 (354/0.0)	18.0 (354/0.0)	18.0 (354/0.0)	36.0 (354/0.0)	36.0 (354/0.0)	4.0 (354/0.0)
RESTAURANT (FAST FOOD)	36.0 (354/0.0)	36.0 (354/0.0)	36.0 (354/0.0)	36.0 (354/0.0)	36.0 (354/0.0)	36.0 (354/0.0)
THEATER, COMMERCIAL, REC., NIGHTCLUB, OR RESTAURANT W/ ENTERTAINMENT	0.0 (0.0/0.0)	0.0 (0.0/0.0)	0.0 (0.0/0.0)	0.0 (0.0/0.0)	0.0 (0.0/0.0)	0.0 (0.0/0.0)
TOTALS	157.0	182.0	182.0	84.0	84.0	41.0

**TENANT PARKING SUMMARY TABLE**

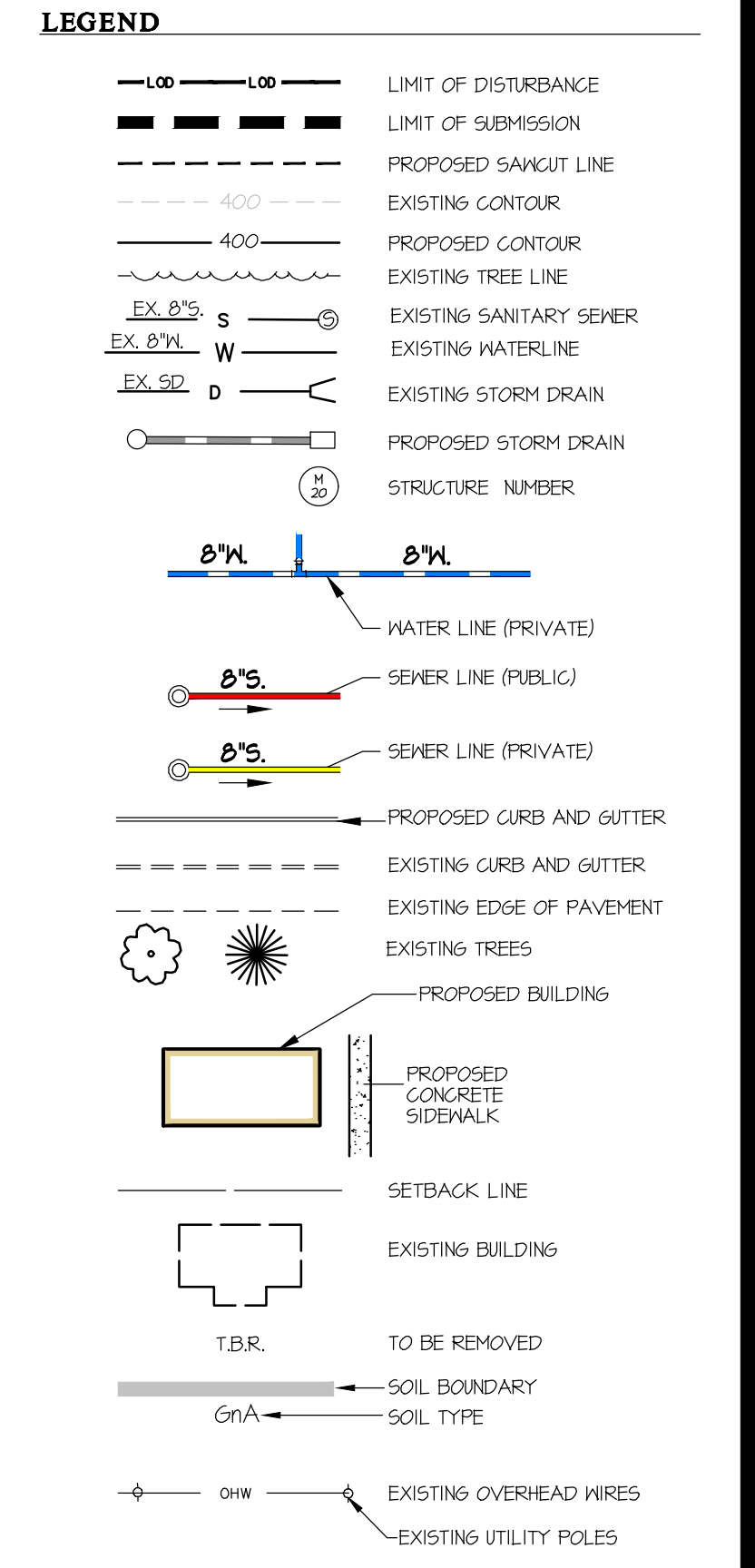
BUILDING ADDRESS	UNIT	OFFICE <sup>(1)</sup>	RESTAURANT <sup>(1)</sup>	RESTAURANT (FAST FOOD) <sup>(1)</sup>	RETAIL <sup>(1)</sup>	REQUIRED PARKING SPACES	REQUIRED PARKING SPACES (SHARED USE)
8881 BROKEN LAND PKWY (BLDG 'A')	1	0.0 SP (1000 SF)	0.0 SP (1000 SF)	0.0 SP (1000 SF)	0.0 SP (1000 SF)	128 SP	128 SP
8871 BROKEN LAND PKWY (BLDG 'B')	1		2,500 SF			35 SP	18 SP
	2			1,250 SF		18 SP	18 SP
	3			1,250 SF		18 SP	18 SP
TOTALS						191 SP	182 SP

(1) REQUIRED PARKING PER ZONING SEC. 133.0.D.4  
 (2) REQUIRED PARKING PER FDP-125-A  
 (3) BUILDING AREA PER SDP-86-027



**VICINITY MAP**  
 SCALE: 1" = 2,000'

**BENCHMARKS**  
 42BB ELEV. 305.615 N = 551,944,120 E = 1,955,639,470  
 361B ELEV. = 318.454 N = 552,470,355 E = 1,954,671,983  
 ADC MAP: 5053 GRID: D1



**SHEET INDEX**

SHEET TITLE	SHEET NO.
COVER SHEET	1
EXISTING CONDITIONS & DEMOLITION PLAN	2
SITE DEVELOPMENT PLAN	3
GRADING PLAN	4
SITE PLAN DETAILS	5
UTILITY PLAN AND PROFILES	6
SITE PLAN DETAILS	7
STORMWATER MANAGEMENT PLAN	8
STORMWATER MANAGEMENT DETAILS	9
SEDIMENT CONTROL PLAN	10
SEDIMENT CONTROL NOTES AND DETAILS	11
LANDSCAPE PLAN	12
LANDSCAPE DETAILS	13
DRAINAGE AREA MAP	14

**BUILDING ELEVATIONS**



**STORMWATER MANAGEMENT INFORMATION CHART**

LOT / PARCEL NO.	FACILITY NAME / NO.	PRACTICE TYPE (QUANTITY)	PUBLIC / PRIVATE	MISC.
PARCEL A-6	PERMEABLE PAVEMENT	A-2 (1)	PRIVATE	
	STORMWATER (SC-1)	SC (1)	PRIVATE	

**ADDRESS AND PERMIT INFORMATION CHART**

BUILDING ADDRESS: 8881 BROKEN LAND PARKWAY COLUMBIA, MD 21046 (BUILDING 'A')			
8871 BROKEN LAND PARKWAY COLUMBIA, MD 21046 (BUILDING 'B')			
SUBDIVISION NAME: VILLAGE OF OWEN BROWN	SECTION/AREA: SECTION 3 AREA 1	PARCEL: PARCEL A-6	
PLAT REFERENCE: 6513	ZONE: NT	TAX MAP: 42	GRID: 3
		ELECTION DISTRICT: 6	CENSUS TRACT: 6021.01
WATER & SEWER WATERSHED:			

APPROVED: HOWARD COUNTY HEALTH DEPARTMENT

County Health Officer \_\_\_\_\_ Date \_\_\_\_\_

APPROVED PLANNING BOARD OF HOWARD COUNTY

Date: \_\_\_\_\_

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director \_\_\_\_\_ Date \_\_\_\_\_

Chief, Division of Land Development \_\_\_\_\_ Date \_\_\_\_\_

Chief, Development Engineering Division \_\_\_\_\_ Date \_\_\_\_\_

**GLW**  
 PLANNING | ENGINEERING | SURVEYING

3808 NATIONAL DRIVE | SUITE 250 | BURTONTSVILLE, MD 20896 | GLWPA.COM  
 PHONE: 301-421-4024 | BALT. 410-880-1820 | DC&VA: 301-989-2524 | FAX: 301-421-4188

DESIGNED BY:	DRAWN BY:	CHECKED BY:	DATE	REVISION	BY	APPR.
BWM	BWM	DDS				

**OWNER/DEVELOPER:**  
 FKW WOODMERE LLC  
 C/O ABRAMS DEVELOPMENT GROUP  
 8601 ROBERT FULTON DRIVE, SUITE 100  
 COLUMBIA, MD 21046  
 ATTN: PETER MATHIESON  
 TEL: 443-539-4806

**PROFESSIONAL CERTIFICATION**  
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975, EXPIRATION DATE: MAY 26, 2022.

**COVER SHEET**

**WOODMERE RETAIL**  
**VILLAGE OF OWEN BROWN, SEC. 3 AREA 1**  
**PARCEL A-6**  
 PLAT 6513

ELECTION DISTRICT No. 6

SCALE: AS SHOWN  
 ZONING: NT  
 DATE: MARCH, 2022  
 TAX MAP - GRID: 42-03  
 SHEET: 1 OF 14

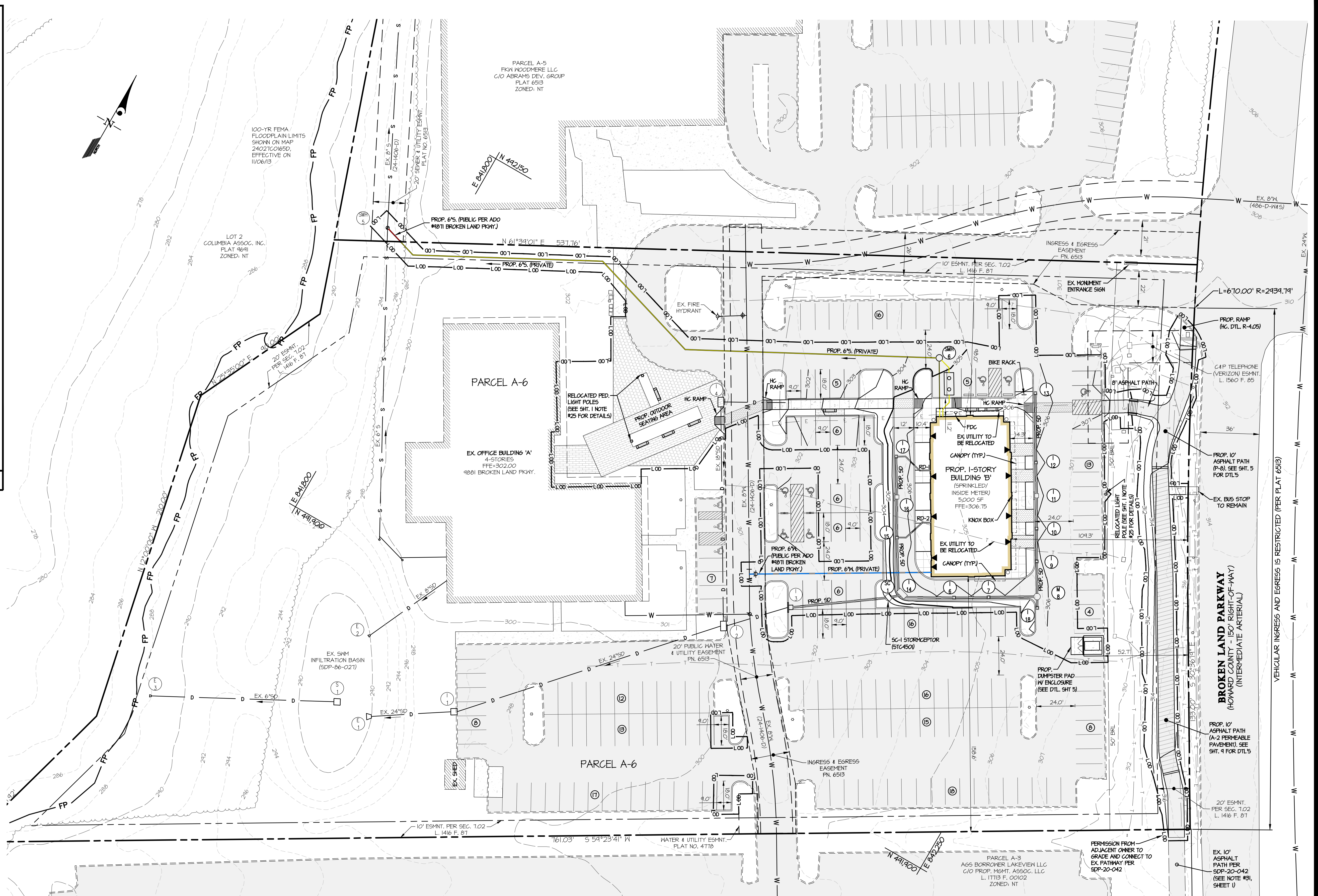
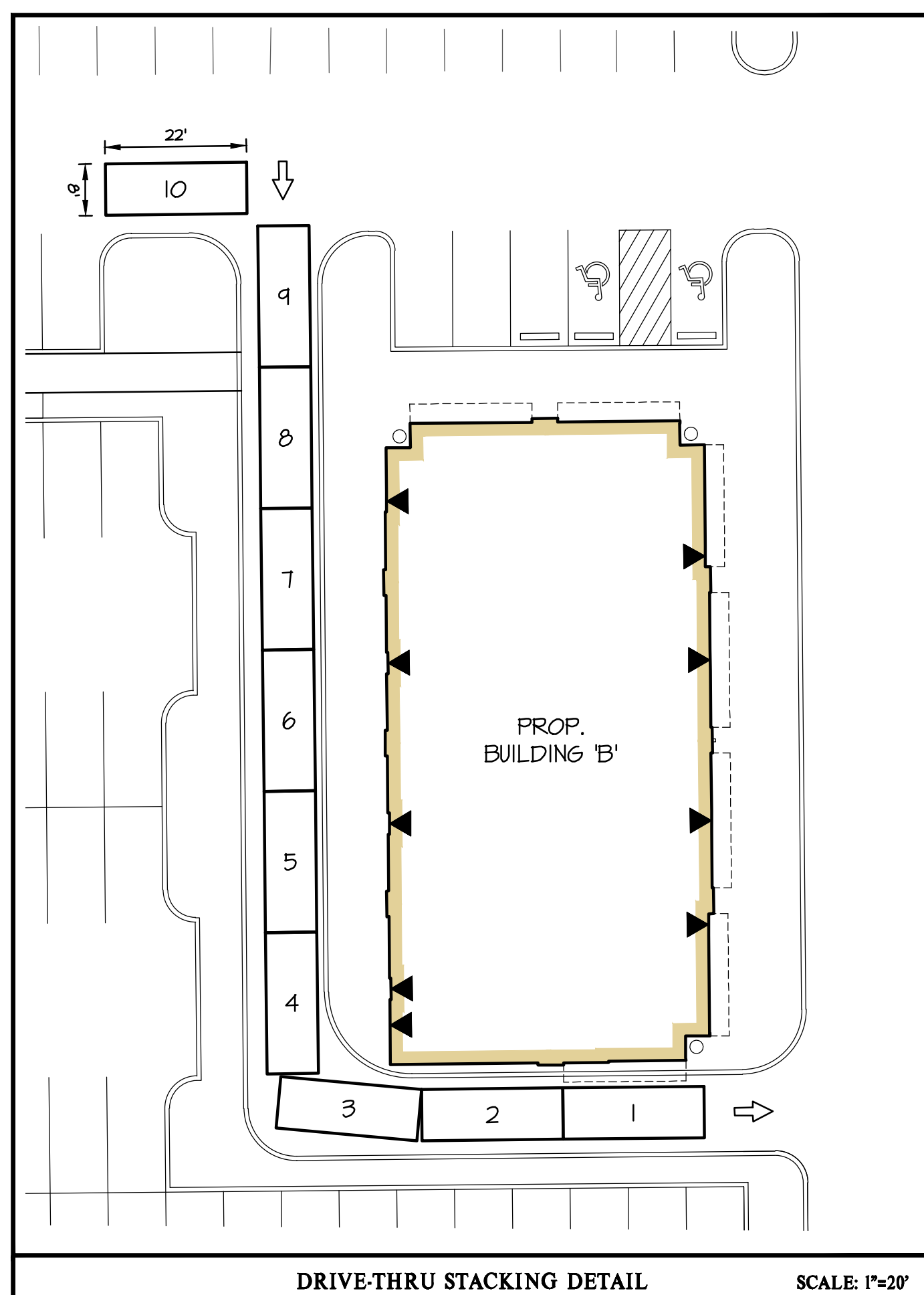
G. L. W. FILE NO. 20130  
 HOWARD COUNTY, MARYLAND

L1: CAD/DRAWINGS/20130 PLANS BY: G.L.W./SDP/20130-SDP-01-COVER.dwg, PLOTTED: 3/28/2022 10:18 AM, LAST SAVED: 3/28/2022 10:18 AM, PLOTTED BY: Don Swamy









**APPROVED**  
**PLANNING BOARD OF HOWARD COUNTY**

Date: \_\_\_\_\_

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director \_\_\_\_\_ Date \_\_\_\_\_

Chief, Division of Land Development \_\_\_\_\_ Date \_\_\_\_\_

Chief, Development Engineering Division \_\_\_\_\_ Date \_\_\_\_\_

**GLW**  
PLANNING | ENGINEERING | SURVEYING

3909 NATIONAL DRIVE | SUITE 250 | BURTONSVILLE, MD 20866 | GLWPA.COM  
PHONE: 301-421-4024 | BALT: 410-880-1820 | DC&VA: 301-989-2524 | FAX: 301-421-4186

DESIGNED BY:	DATE	REVISION	BY	APPR.
<b>EWM</b>				
<b>EWM</b>				
<b>DDS</b>				

**OWNER/DEVELOPER:**  
FKW WOODMERE LLC  
C/O ABRAMS DEVELOPMENT GROUP  
8601 ROBERT FULTON DRIVE, SUITE 100  
COLUMBIA, MD 21046  
ATTN: PETER MATHIESON  
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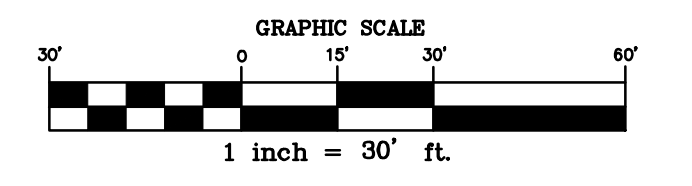
**SITE DEVELOPMENT PLAN**

**WOODMERE RETAIL**  
**VILLAGE OF OWEN BROWN, SEC. 3 AREA 1**  
**PARCEL A-6**  
PLAT 6513

ELECTION DISTRICT No. 6

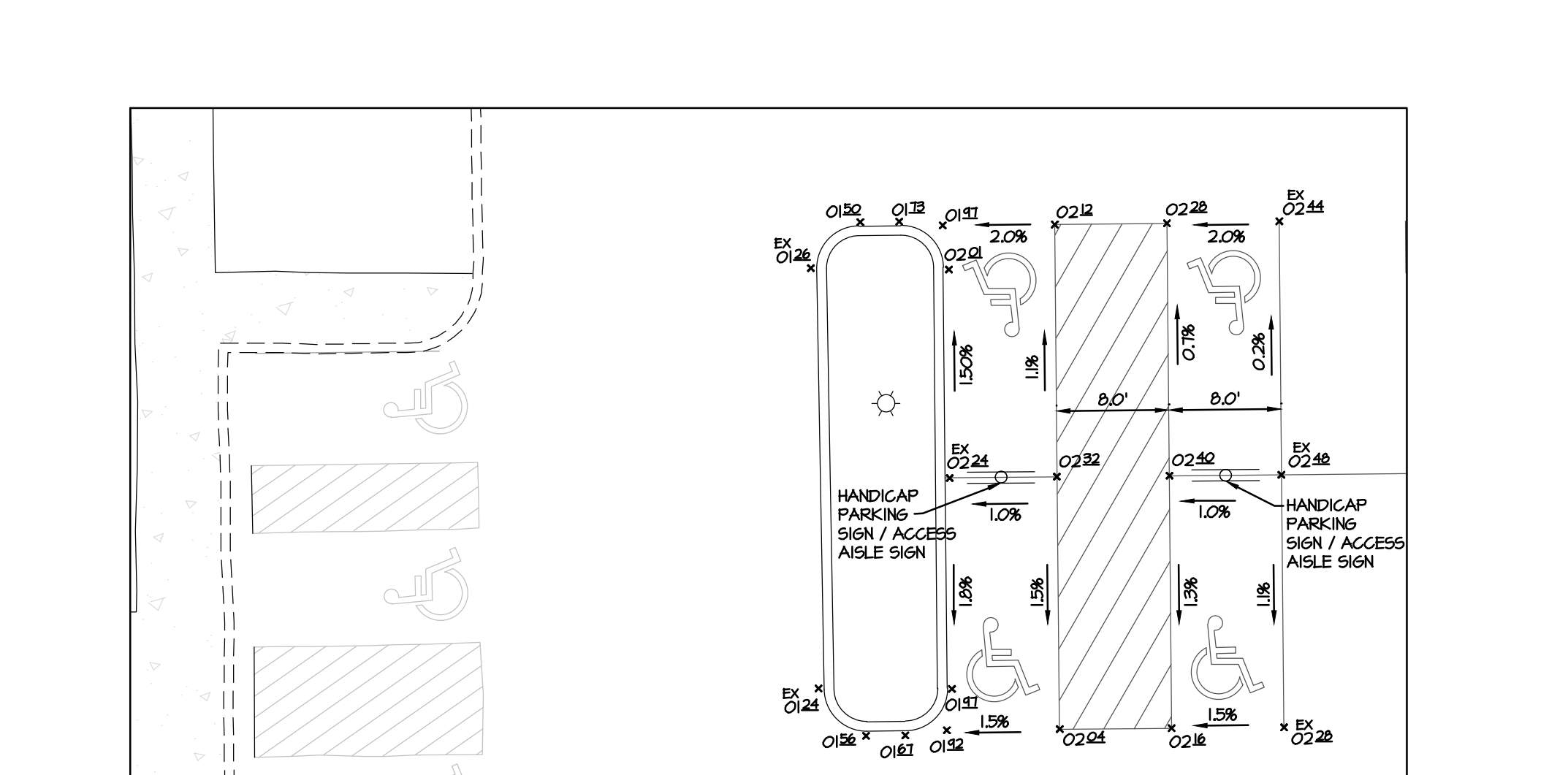
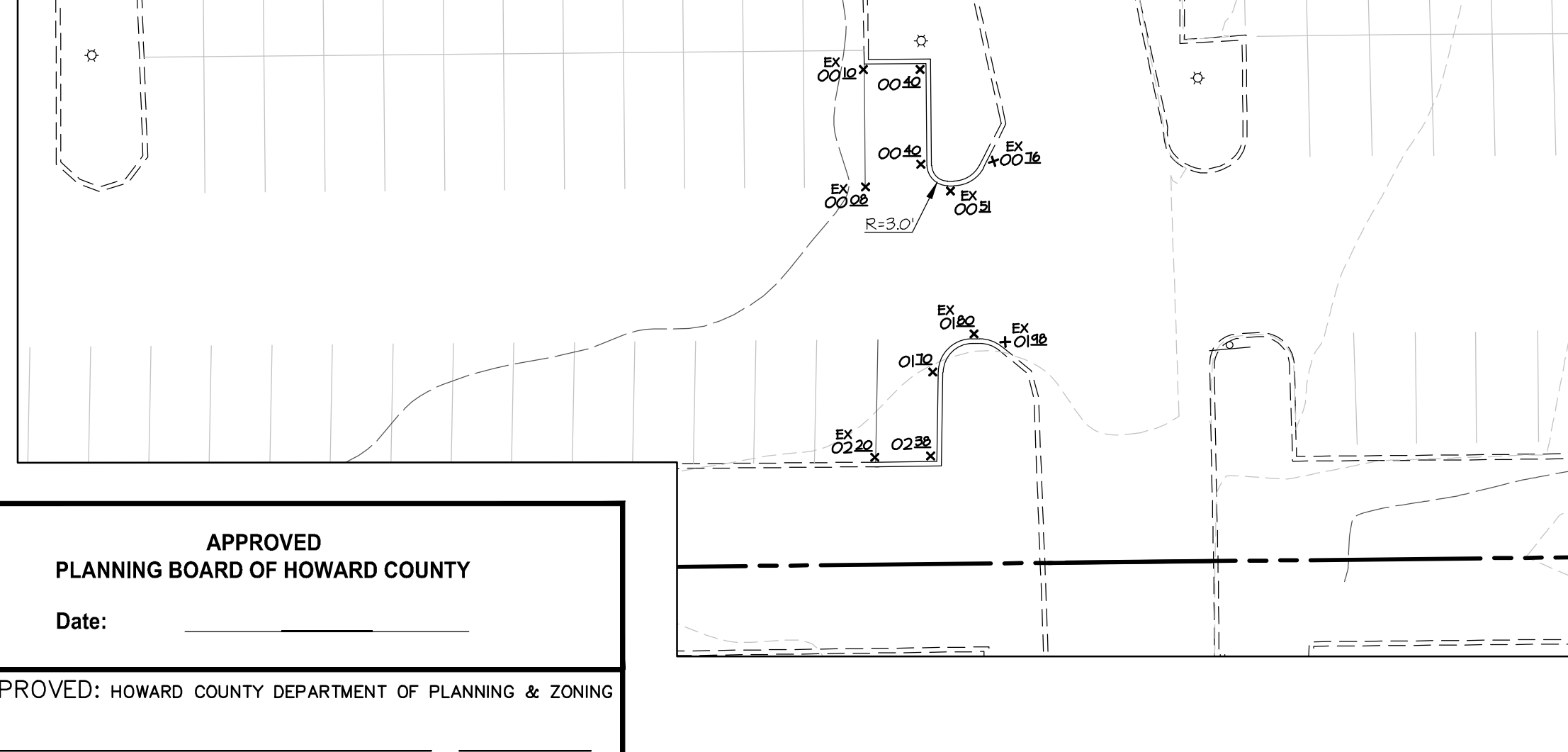
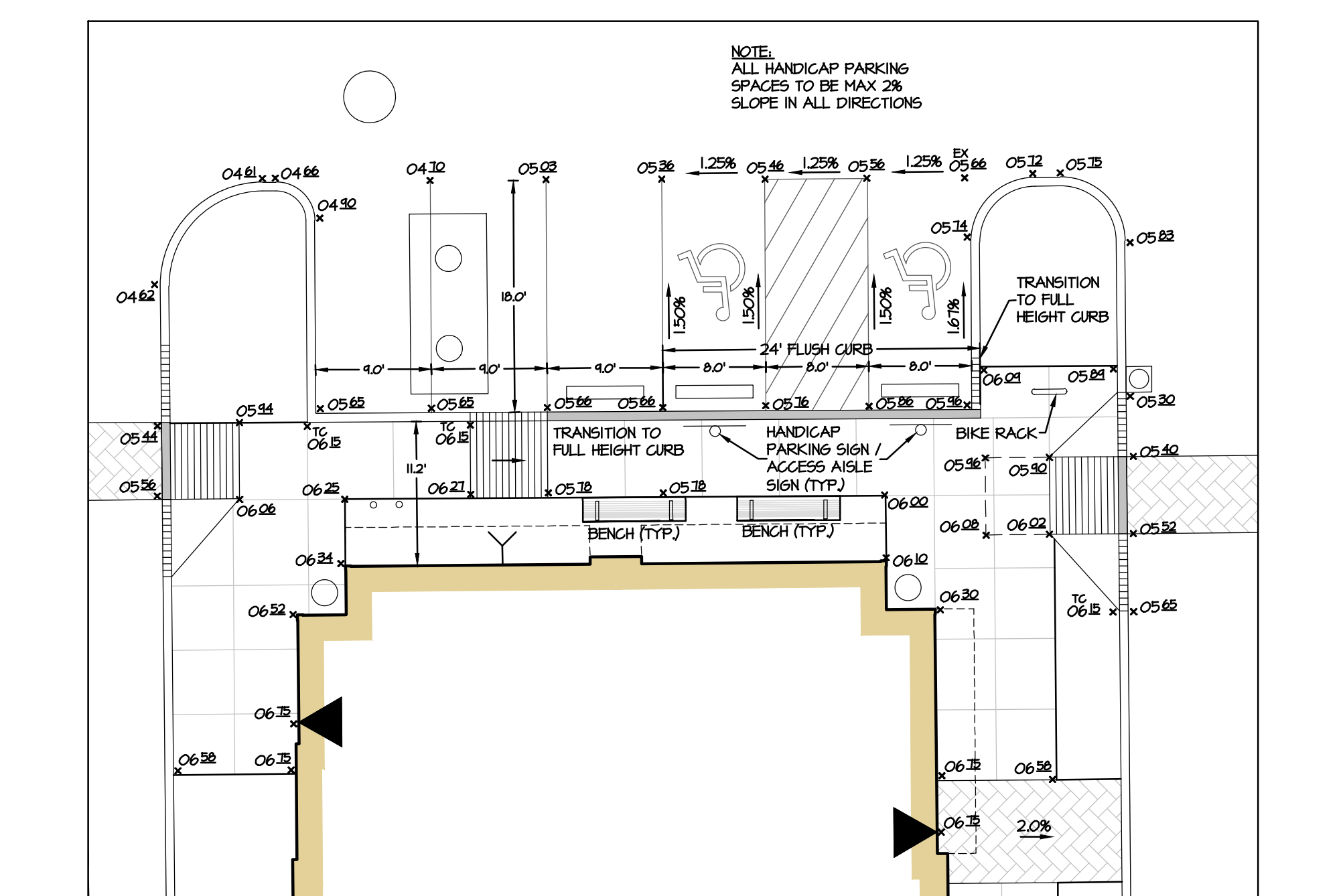
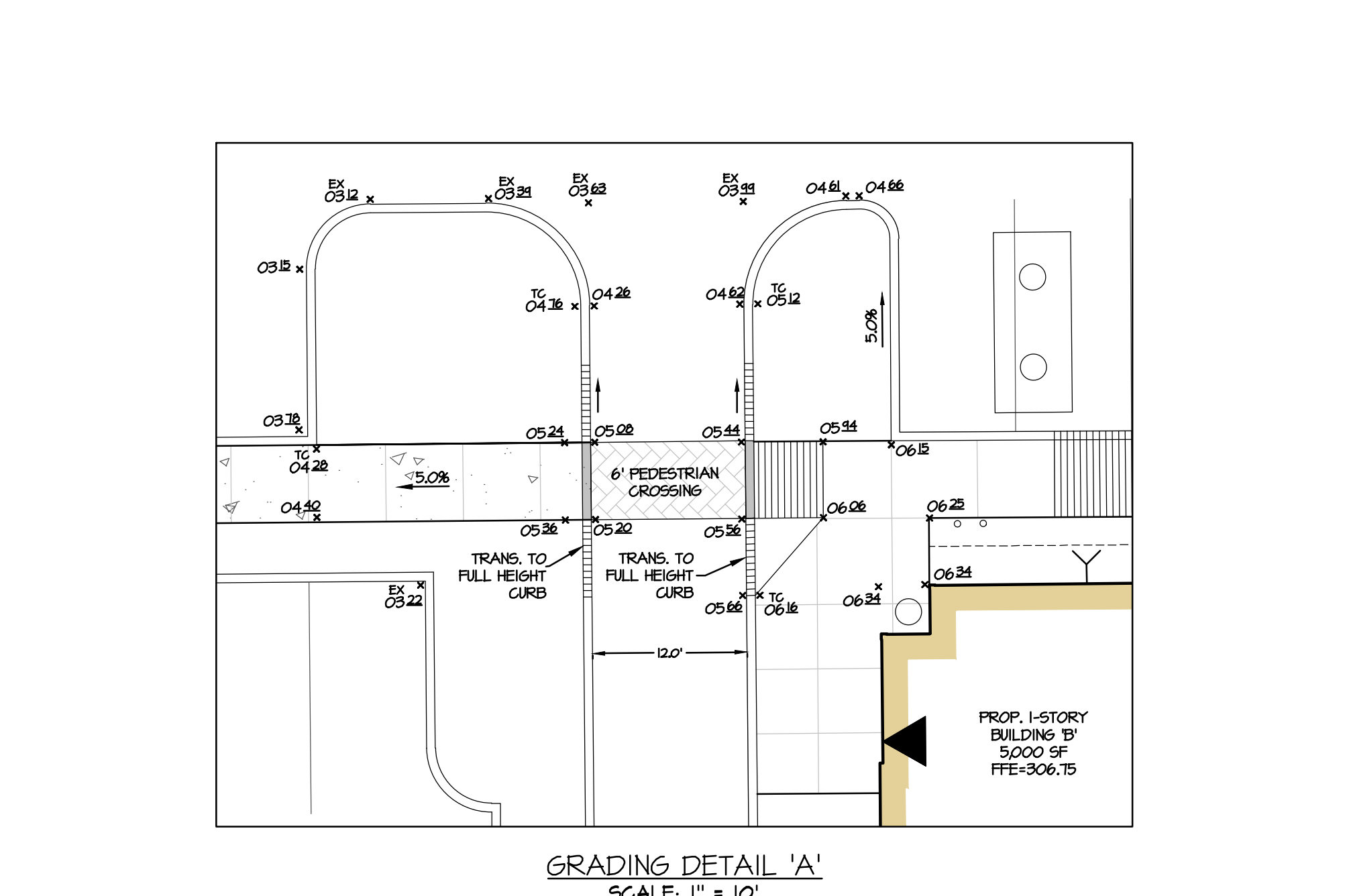
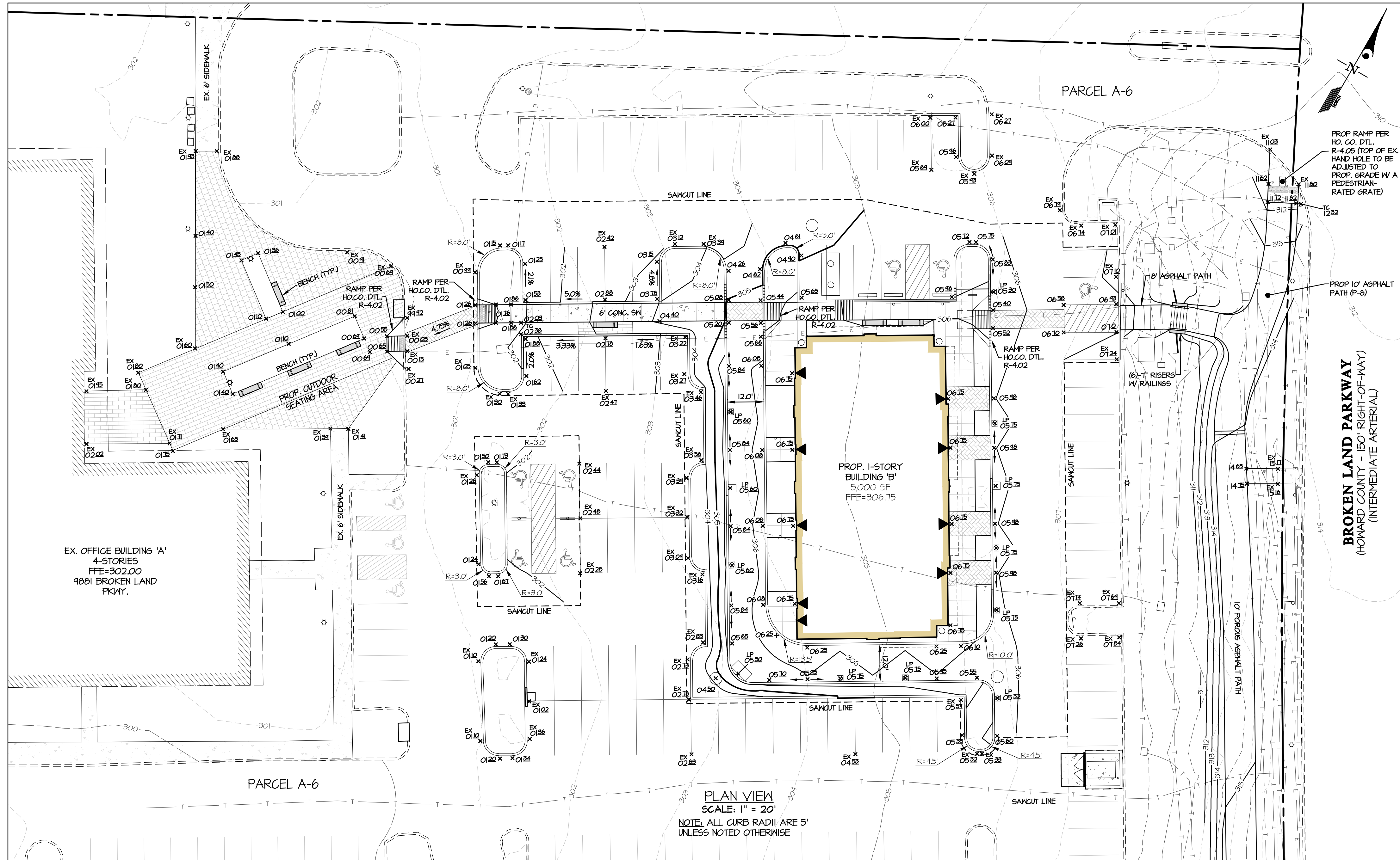
HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE NO.
1"=30'	NT	20130
DATE	TAX MAP - GRID	SHEET
NOV, 2021	42-03	3 OF 14

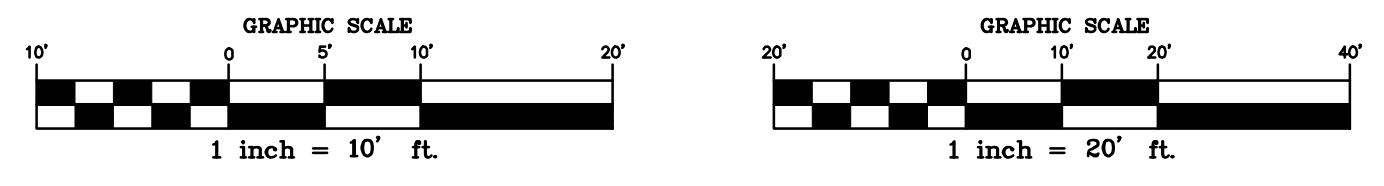


L: CAD/DRAWINGS/20130 PLANS BY: GLW/SDP/20130-SDP-03-SP.dwg, PLOTTED: 11/15/2021, 1:38 PM, LAST SAVED: 11/15/2021, 1:33 PM, PLOTTED BY: Ewan Mitchell





**APPROVED**  
**PLANNING BOARD OF HOWARD COUNTY**  
 Date: \_\_\_\_\_  
 APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
 Director: \_\_\_\_\_ Date: \_\_\_\_\_  
 Chief, Division of Land Development: \_\_\_\_\_ Date: \_\_\_\_\_  
 Chief, Development Engineering Division: \_\_\_\_\_ Date: \_\_\_\_\_



**GLW**  
 PLANNING | ENGINEERING | SURVEYING  
 3505 NATIONAL DRIVE | SUITE 2501 | BURTNSVILLE, MD 20866 | GLWPA.COM  
 PHONE: 301-421-4024 | BALT: 410-880-1820 | DC&VA: 301-989-2524 | FAX: 301-421-4166

DESIGNED BY:	DATE	REVISION	BY	APPR.
<b>EWM</b>				
<b>EWM</b>				
<b>DDS</b>				

**OWNER/DEVELOPER:**  
 FKW WOODMERE LLC  
 C/O ABRAMS DEVELOPMENT GROUP  
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 COLUMBIA, MD 21046  
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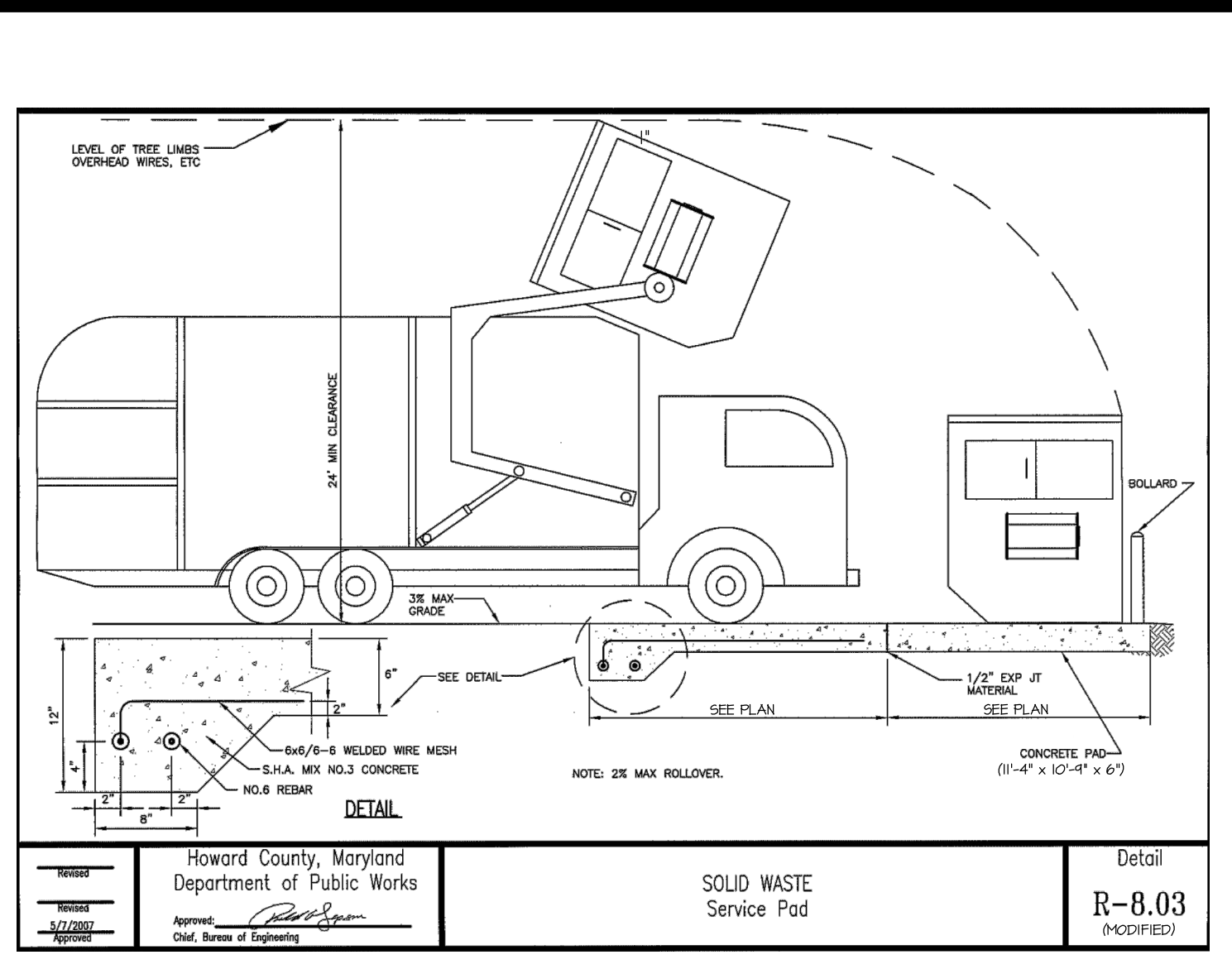
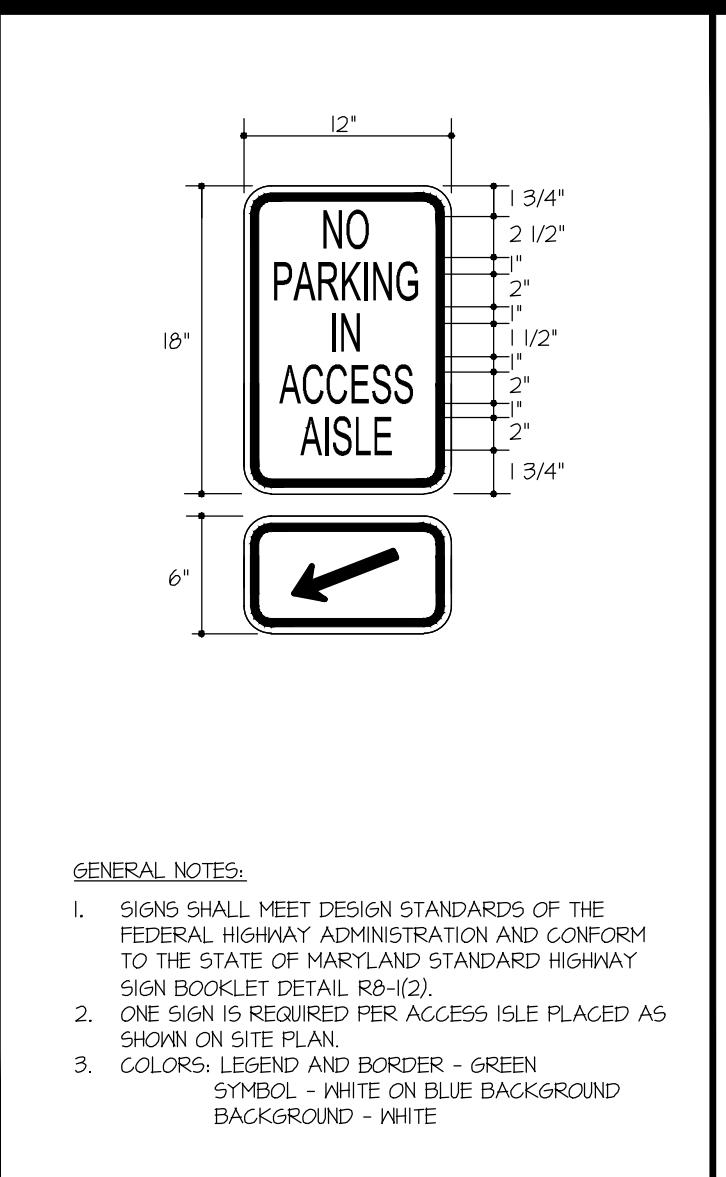
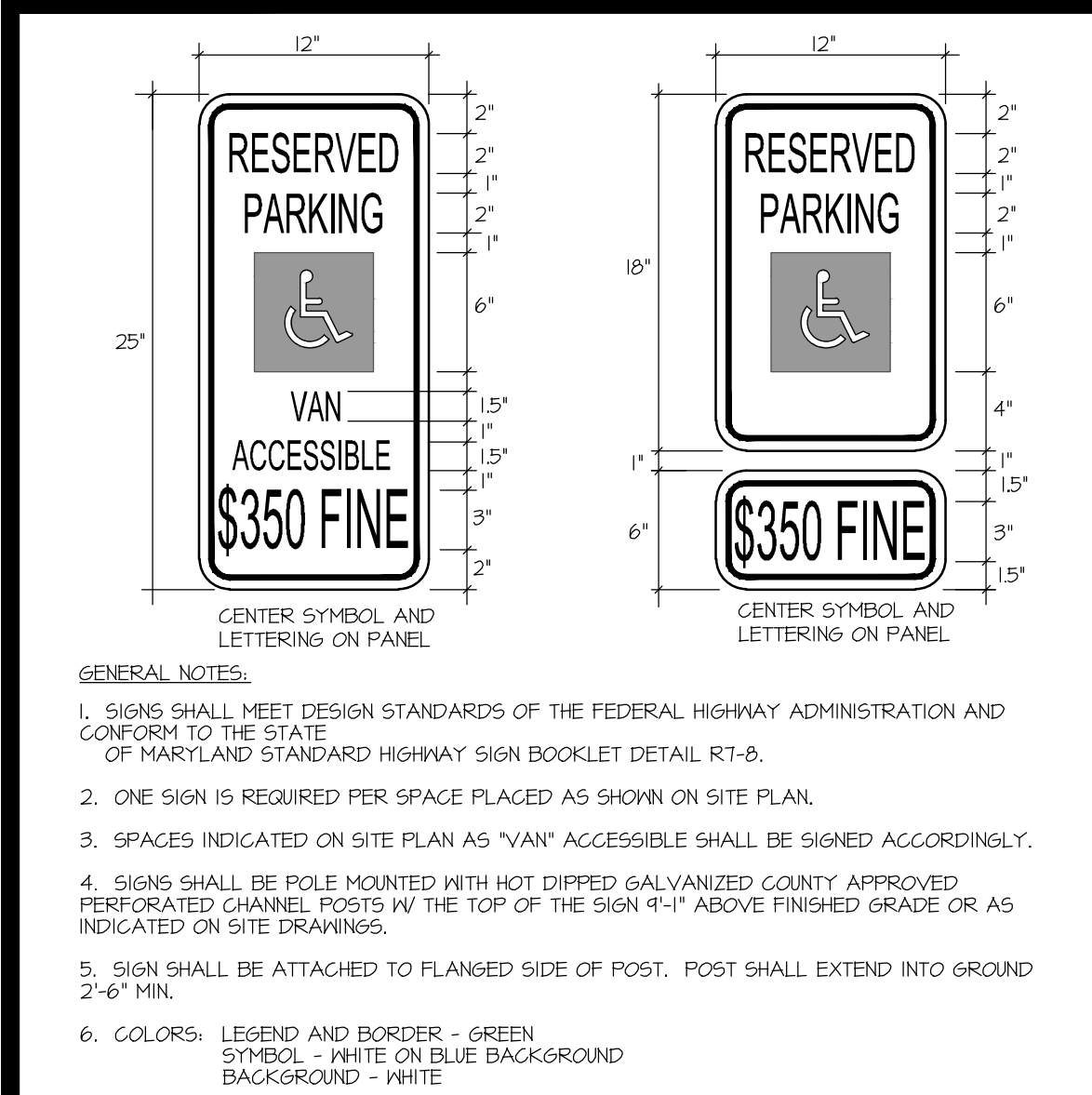
**PROFESSIONAL CERTIFICATION**  
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975, EXPIRATION DATE: MAY 26, 2022.

**GRADING PLAN**  
**WOODMERE RETAIL**  
**VILLAGE OF OWEN BROWN, SEC. 3 AREA 1**  
**PARCEL A-6**  
 PLAT 6513  
 ELECTION DISTRICT No. 6  
 HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE NO.
AS SHOWN	NT	20130
DATE	TAX MAP - GRID	SHEET
NOV, 2021	42-03	4 OF 14

L:\CADD\DRAWINGS\2021\PLANS BY GLW\SPR\20130-SEP-04-GRADING.dwg  
 PLOTTED: 11/10/2021 1:38 PM, LAST SAVED: 11/07/2021 1:38 PM, PLOTTED BY: Ewan Mitchell  
 © GLW 2021





SECTION NUMBER	ROAD AND STREET CLASSIFICATION	CALIFORNIA BEARING RATIO (CBR)	3 TO <5>			5 TO <7>		
			MIN. SUPERPAVE ASPHALT MIX WITH GAB	MIN. SUPERPAVE ASPHALT MIX WITH CONSTANT GAB	MIN. SUPERPAVE ASPHALT MIX WITH CONSTANT GAB	MIN. SUPERPAVE ASPHALT MIX WITH CONSTANT GAB	MIN. SUPERPAVE ASPHALT MIX WITH CONSTANT GAB	MIN. SUPERPAVE ASPHALT MIX WITH CONSTANT GAB
P-1	MINOR ARTERIAL	15.0 MM, PG. 64-225, LEVEL 1 (ESAL)	1.5	1.5	1.5	1.5	1.5	
P-2	UNDEVELOPED INTERMEDIATE ARTERIAL	15.0 MM, PG. 64-225, LEVEL 1 (ESAL)	1.5	1.5	1.5	1.5	1.5	
P-3	STABILIZED SHOULDER, MINOR ARTERIAL	15.0 MM, PG. 64-225, LEVEL 1 (ESAL)	1.5	1.5	1.5	1.5	1.5	
P-4	PAVED SHOULDER, UNDEVELOPED INTERMEDIATE ARTERIAL, SECONDARY AND PARKING AREAS (PRIVATE)	15.0 MM, PG. 64-225, LEVEL 1 (ESAL)	1.5	1.5	1.5	1.5	1.5	

**NOTES:**

- HEAVY TRUCKS ARE DEFINED AS THOSE WITH SIX (6) WHEELS OR MORE INCLUDING GARAGE TRUCKS.
- SUPERPAVE ASPHALT MIX LAYERS SHALL BE PLACED IN APPROPRIATE COMPACTED LIFT THICKNESS: 10.0 MM BASE (1.0" MIN. TO 4.0" MAX.), 12.5 MM SURFACE (1.0" MIN. TO 3.0" MAX.), AND 8.5 MM SURFACE (1.0" MIN. TO 2.0" MAX.).
- GRADED AGGREGATE BASE (GAB) TO BE PLACED AND COMPACTED IN 4" MAX. COMPACTED THICKNESS LAYERS.
- THE INTERMEDIATE SURFACE COURSE LAYER MUST BE PLACED WITHIN 3 WEEKS OF PLACEMENT OF BASE COURSE, AND IS REQUIRED PRIOR TO SUBMITTING COMPLETION INSPECTION AND ROAD REVISION.
- IN LIEU OF PLACING THE INTERMEDIATE SURFACE COURSE LAYER FOR COMMERCIAL/INDUSTRIAL ENTRANCES AROUND WITHIN THE COUNTY RIGHT-OF-WAY WHERE AVIATION LINES ARE NOT REQUIRED, THE THICKNESS OF THE INTERMEDIATE PAVEMENT LAYER CAN BE ADDED TO THE REQUIRED THICKNESS OF THE BASE ASPHALT LAYER.
- THE CONSTRUCTION DRAWINGS SHALL SHOW THE PAVING SECTION, ROAD CLASSIFICATION AND CBR VALUE FOR EACH ROADWAY.

Howard County, Maryland  
Department of Public Works  
PAVING SECTIONS P-1 to P-4  
Detail R-2.01

SECTION NUMBER	ROAD AND STREET CLASSIFICATION	CALIFORNIA BEARING RATIO (CBR)	3 TO <5>			5 TO <7>		
			MIN. SUPERPAVE ASPHALT MIX WITH GAB	MIN. SUPERPAVE ASPHALT MIX WITH CONSTANT GAB	MIN. SUPERPAVE ASPHALT MIX WITH CONSTANT GAB	MIN. SUPERPAVE ASPHALT MIX WITH CONSTANT GAB	MIN. SUPERPAVE ASPHALT MIX WITH CONSTANT GAB	MIN. SUPERPAVE ASPHALT MIX WITH CONSTANT GAB
P-5	MINOR ARTERIAL	15.0 MM, PG. 64-225, LEVEL 1 (ESAL)	2.0	2.0	2.0	2.0	2.0	
P-6	UNDEVELOPED INTERMEDIATE ARTERIAL	15.0 MM, PG. 64-225, LEVEL 1 (ESAL)	2.0	2.0	2.0	2.0	2.0	
P-7	STABILIZED SHOULDER, MINOR ARTERIAL	15.0 MM, PG. 64-225, LEVEL 1 (ESAL)	1.75	1.75	1.75	1.75	1.75	
P-8	PAVED SHOULDER, UNDEVELOPED INTERMEDIATE ARTERIAL, SECONDARY AND PARKING AREAS (PRIVATE)	15.0 MM, PG. 64-225, LEVEL 1 (ESAL)	3.0	3.0	3.0	3.0	3.0	

**NOTES:**

- HEAVY TRUCKS ARE DEFINED AS THOSE WITH SIX (6) WHEELS OR MORE INCLUDING GARAGE TRUCKS.
- SUPERPAVE ASPHALT MIX LAYERS SHALL BE PLACED IN APPROPRIATE COMPACTED LIFT THICKNESS: 10.0 MM BASE (1.0" MIN. TO 4.0" MAX.), 12.5 MM SURFACE (1.0" MIN. TO 3.0" MAX.), AND 8.5 MM SURFACE (1.0" MIN. TO 2.0" MAX.).
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- IN LIEU OF PLACING THE INTERMEDIATE SURFACE COURSE LAYER FOR COMMERCIAL/INDUSTRIAL ENTRANCES AROUND WITHIN THE COUNTY RIGHT-OF-WAY WHERE AVIATION LINES ARE NOT REQUIRED, THE THICKNESS OF THE INTERMEDIATE PAVEMENT LAYER CAN BE ADDED TO THE REQUIRED THICKNESS OF THE BASE ASPHALT LAYER.
- THE CONSTRUCTION DRAWINGS SHALL SHOW THE PAVING SECTION, ROAD CLASSIFICATION AND CBR VALUE FOR EACH ROADWAY.

Howard County, Maryland  
Department of Public Works  
PAVING SECTIONS P-5 to P-8  
Detail R-2.02

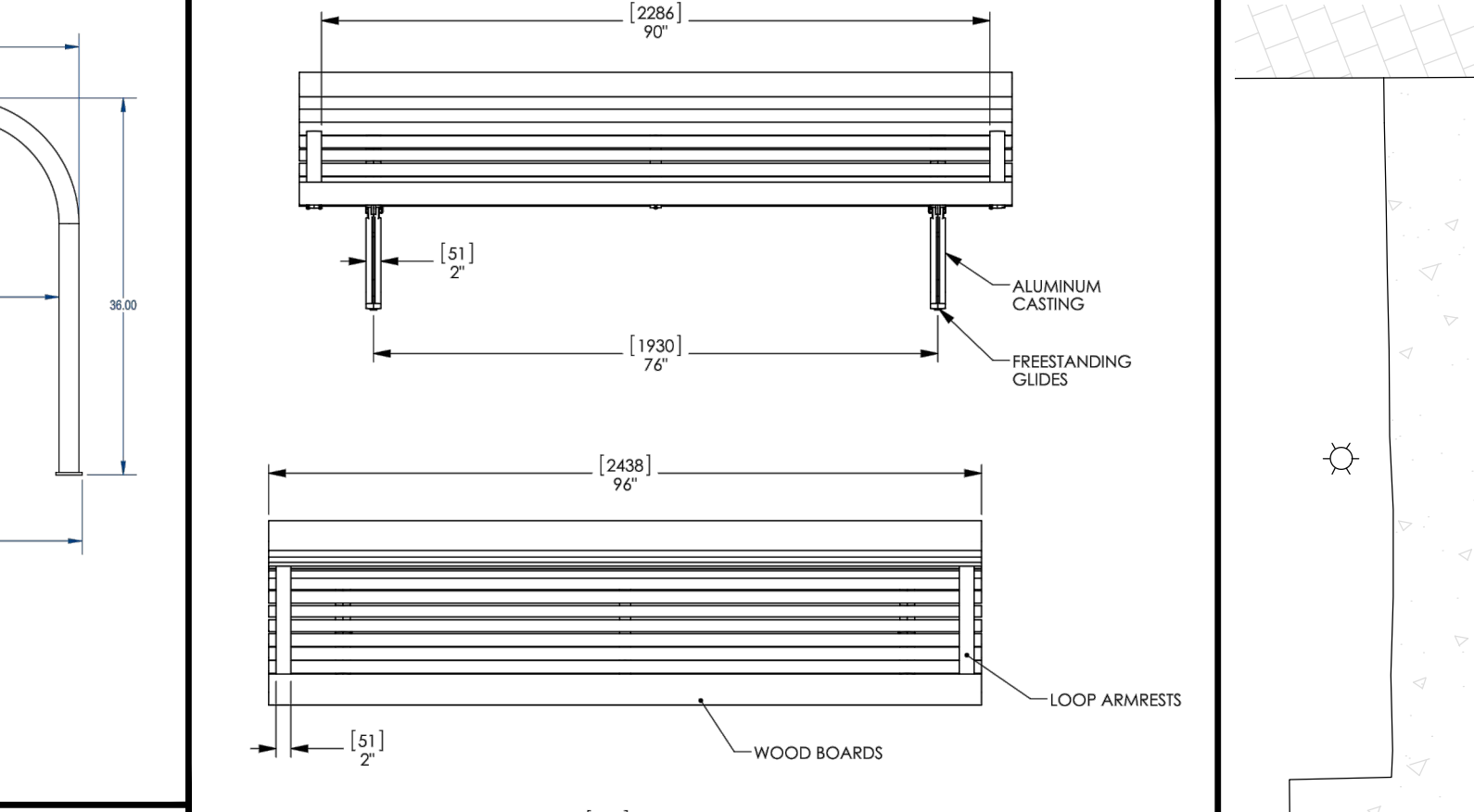
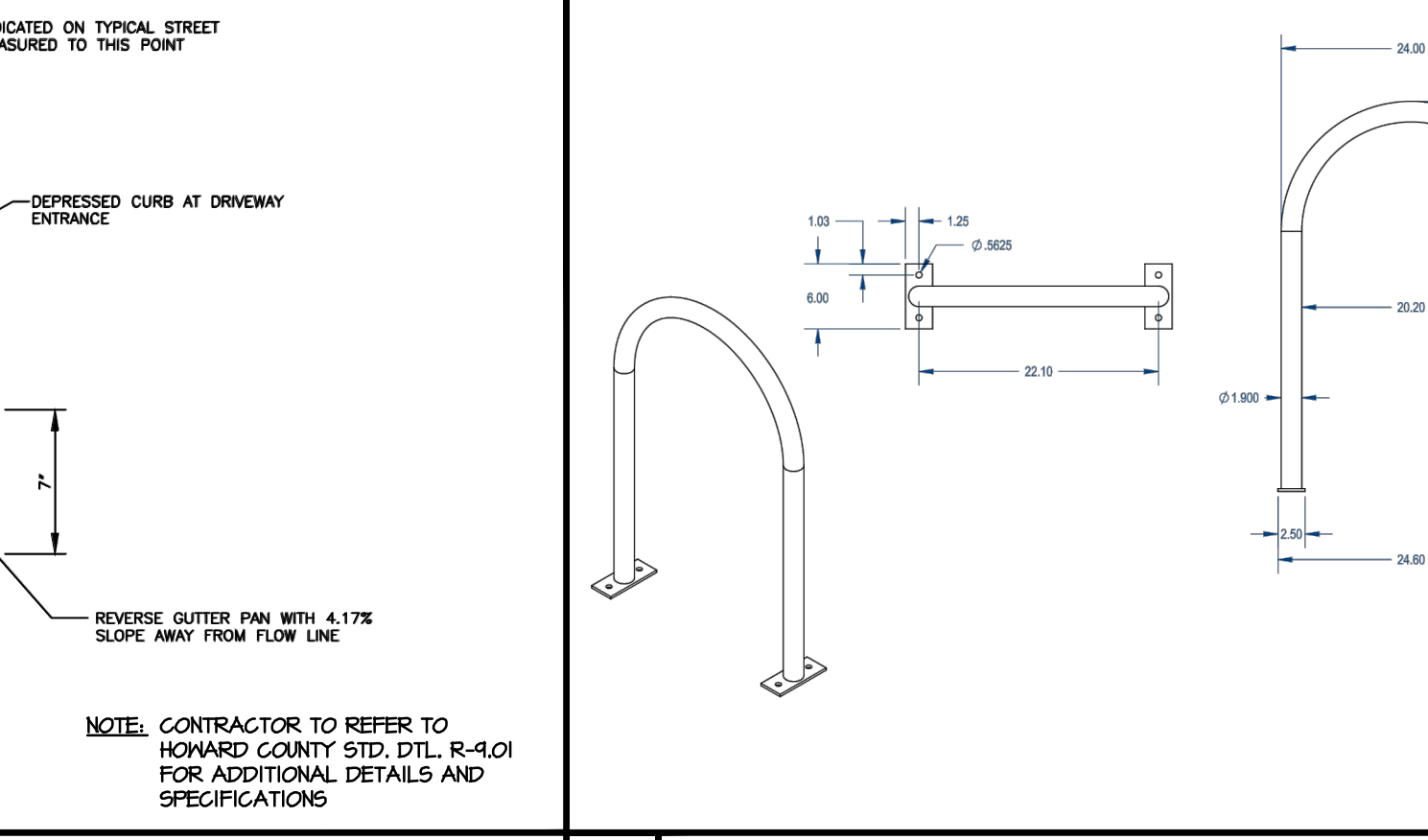
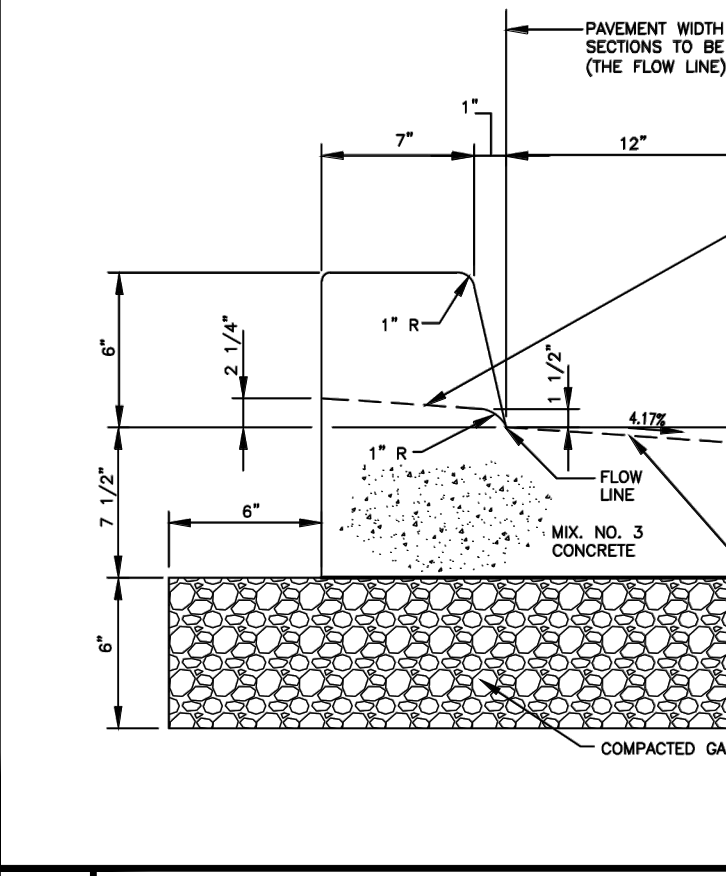
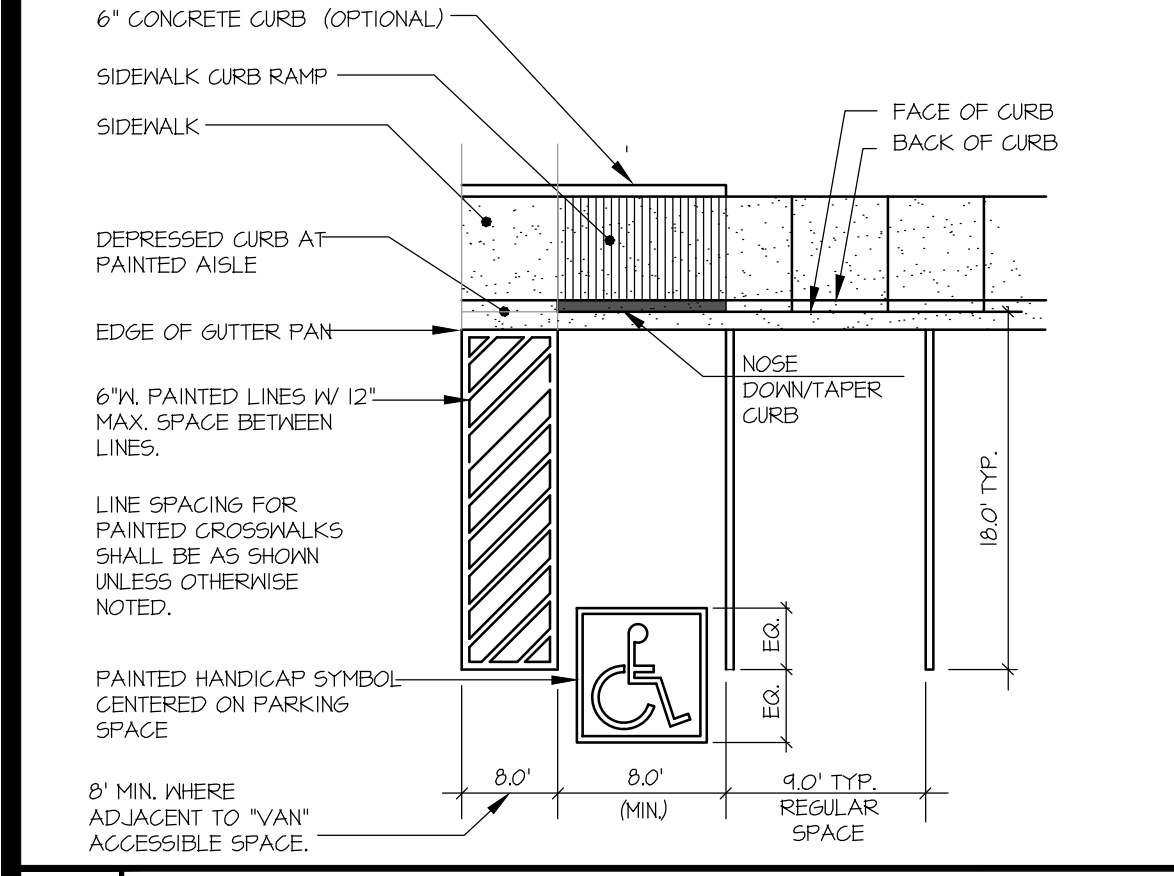
1 HANDICAP PARKING SIGNS DETAIL NO SCALE

2 ACCESS AISLE SIGN NO SCALE

3 DUMPSTER PAD DETAIL

4 PAVEMENT SECTION (HO.CO. STD. DTL. R-2.01 OR AS APPROVED BY ON-SITE GEOTECH)

5 PATHWAY PAVEMENT SECTION (HO.CO. STD. DTL. R-2.02 OR AS APPROVED BY ON-SITE GEOTECH)



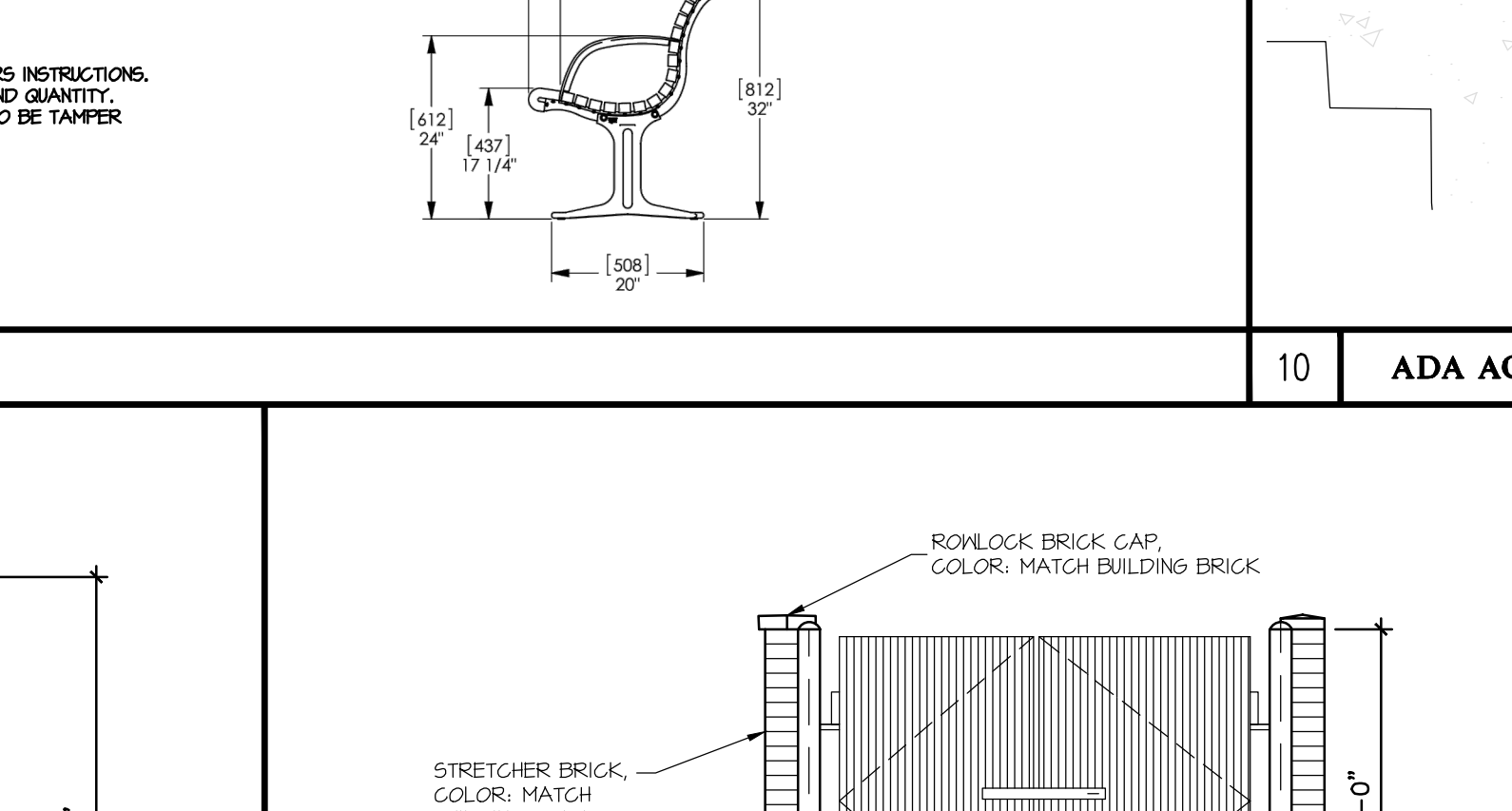
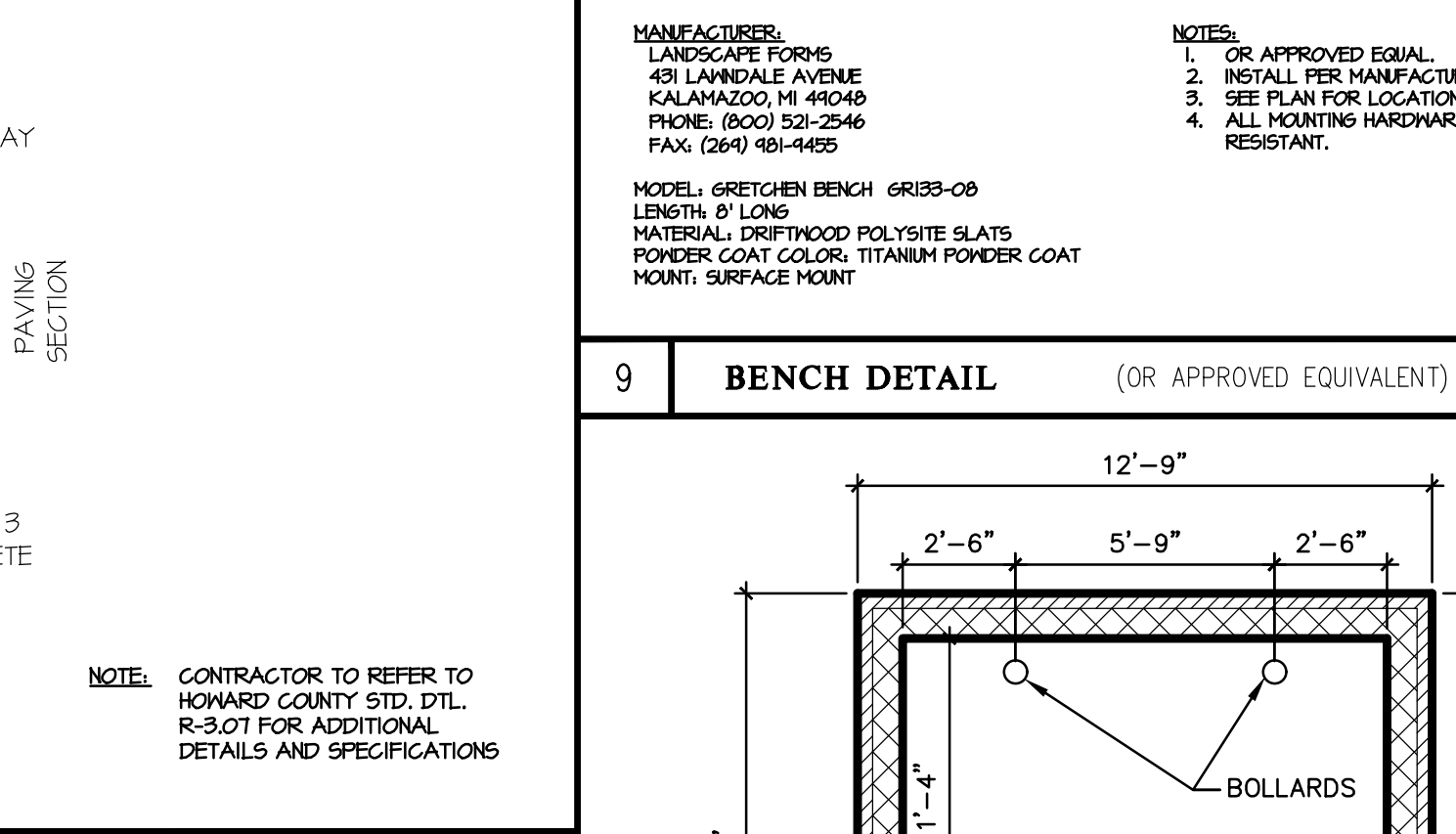
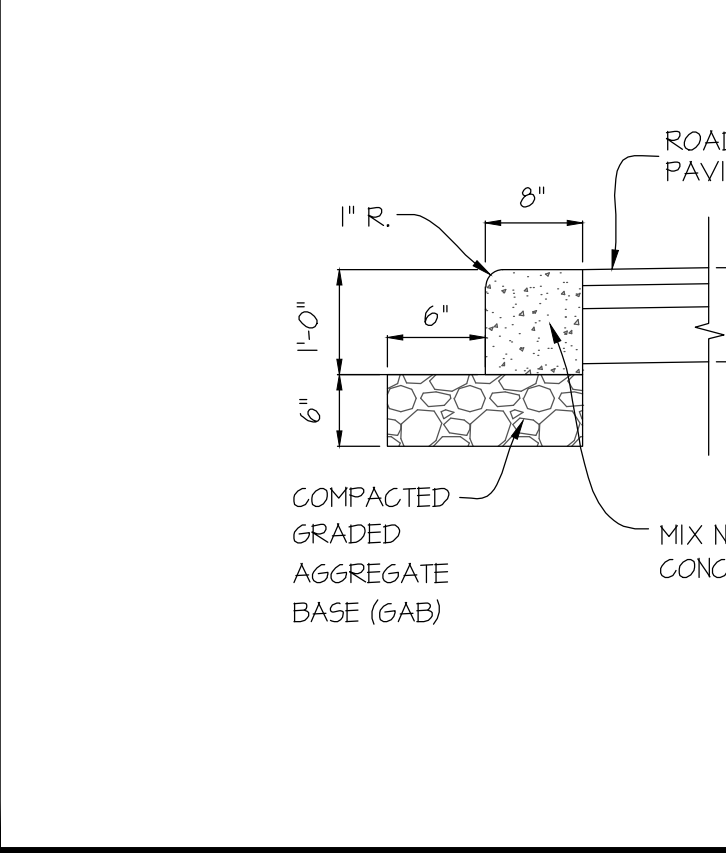
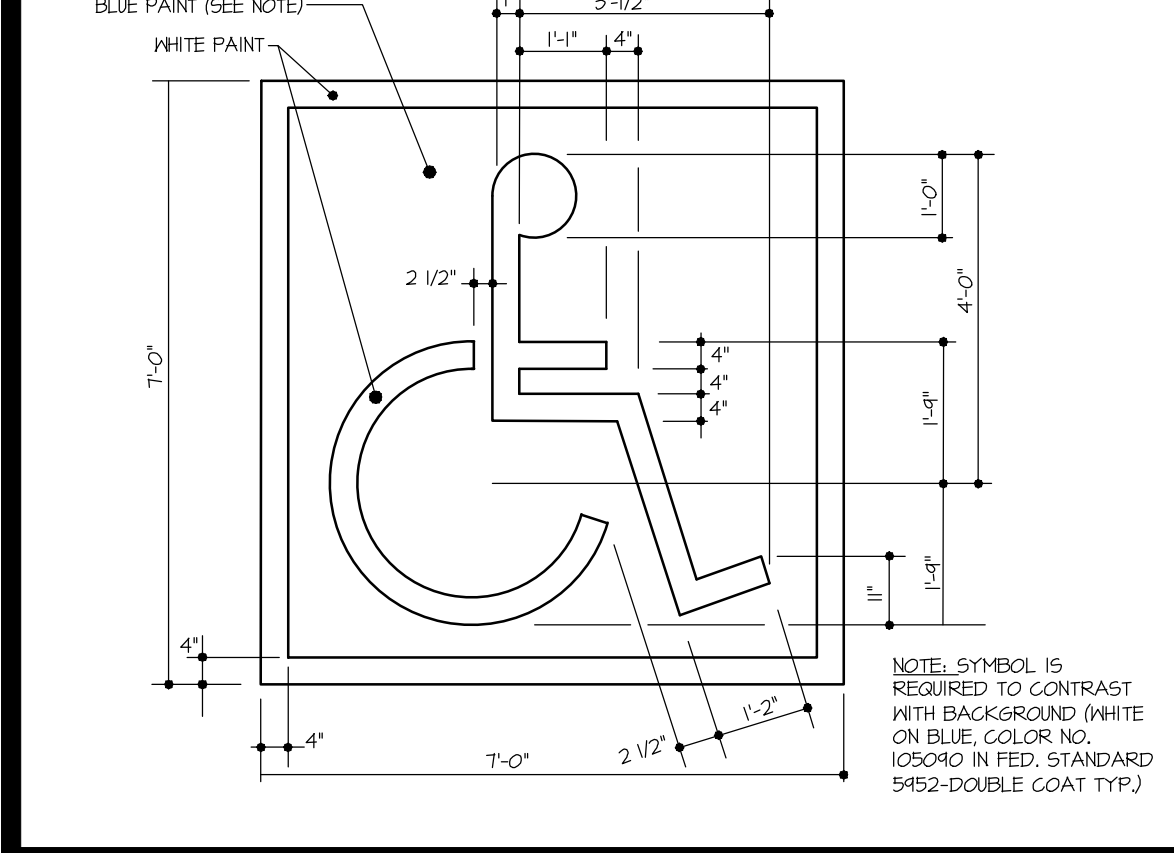
6 PARKING SPACE LAYOUT NO SCALE

7 6" COMBINATION CURB & GUTTER (PER HO.CO. STD. DTL. R-9.01) NO SCALE

8 BIKE RACK DETAIL (OR APPROVED EQUIVALENT)

9 BENCH DETAIL (OR APPROVED EQUIVALENT)

10 ADA ACCESS PATH DETAIL SCALE: 1"=10'



11 HANDICAP SPACE STENCIL LAYOUT NO SCALE

12 FLUSH CURB (HO.CO. STD. DTL. R-3.07) NO SCALE

13 BOLLARD DETAIL NO SCALE

14 SIDEWALK DETAIL (MODIFIED HO.CO. STD. DTL. R-3.05)

15 DUMPSTER ENCLOSURE DETAIL NO SCALE

**APPROVED PLANNING BOARD OF HOWARD COUNTY**

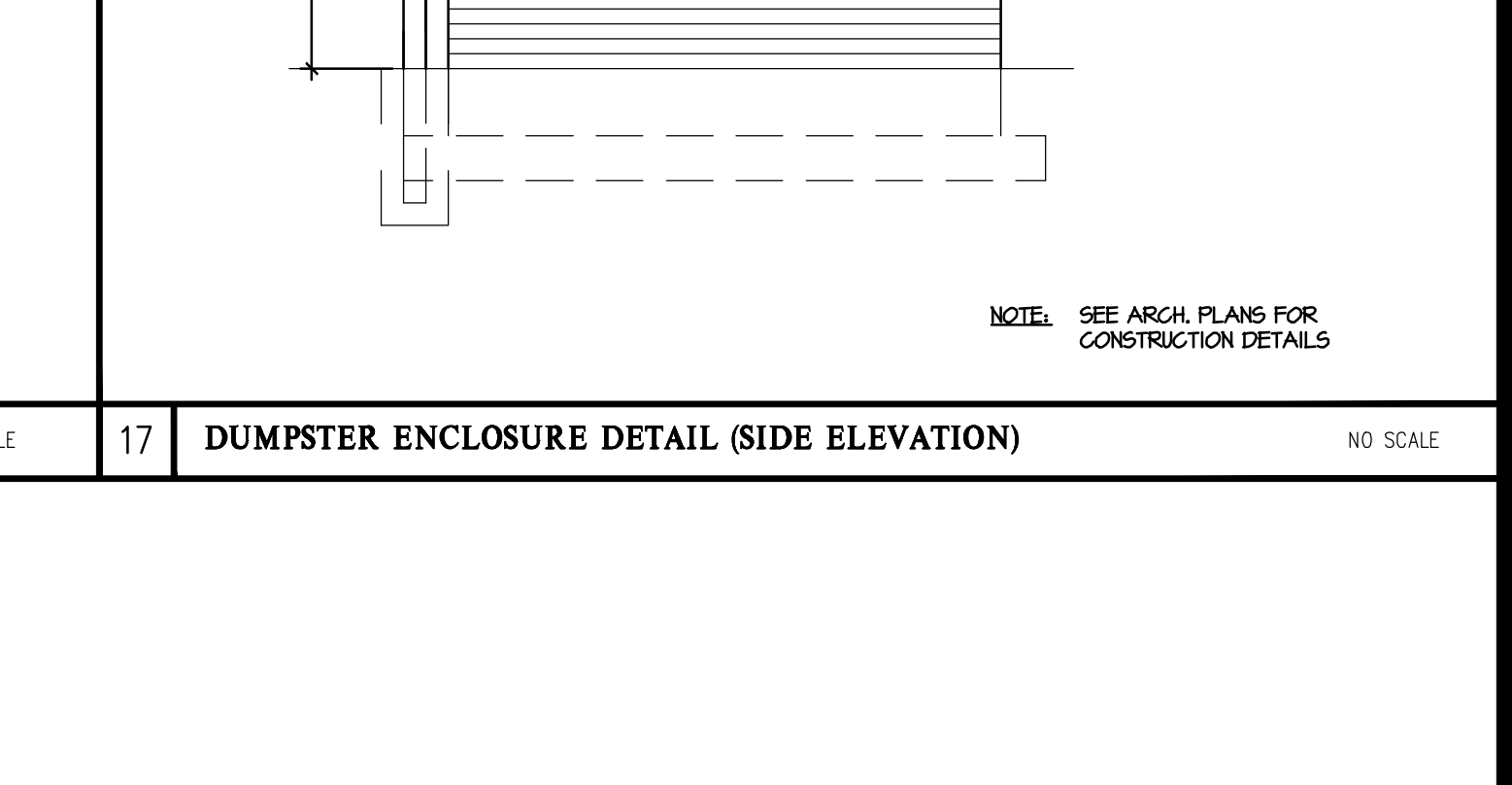
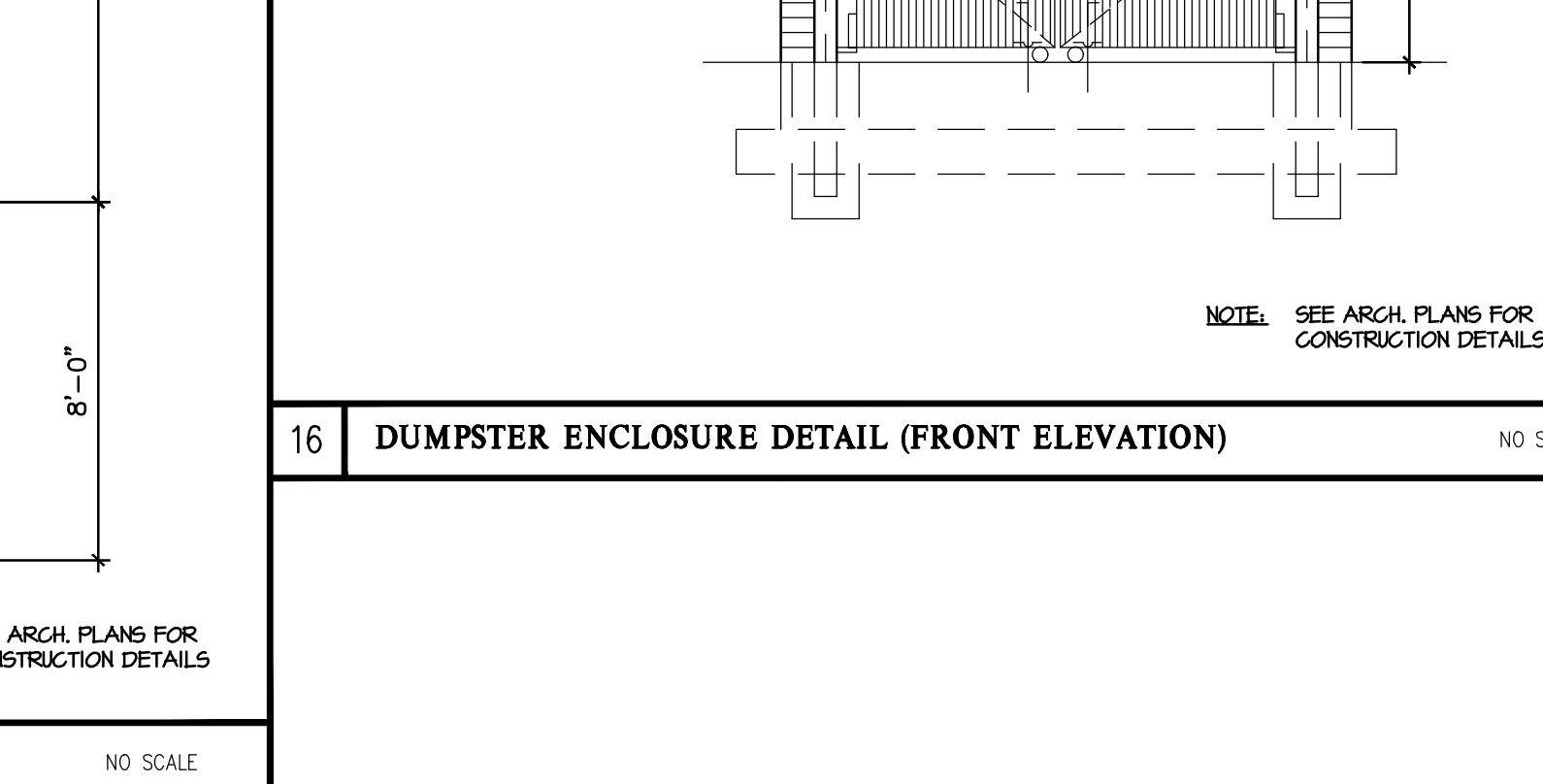
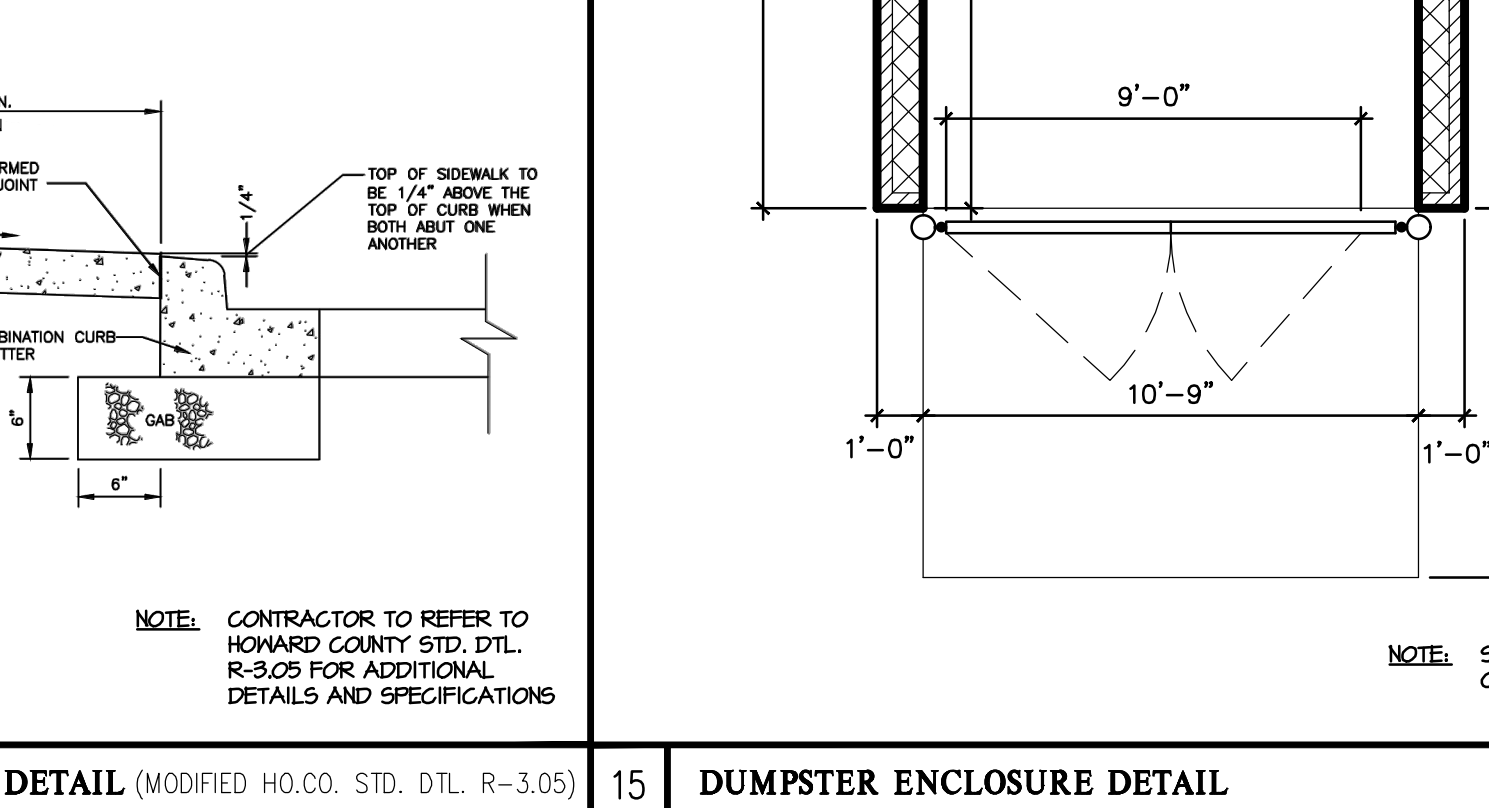
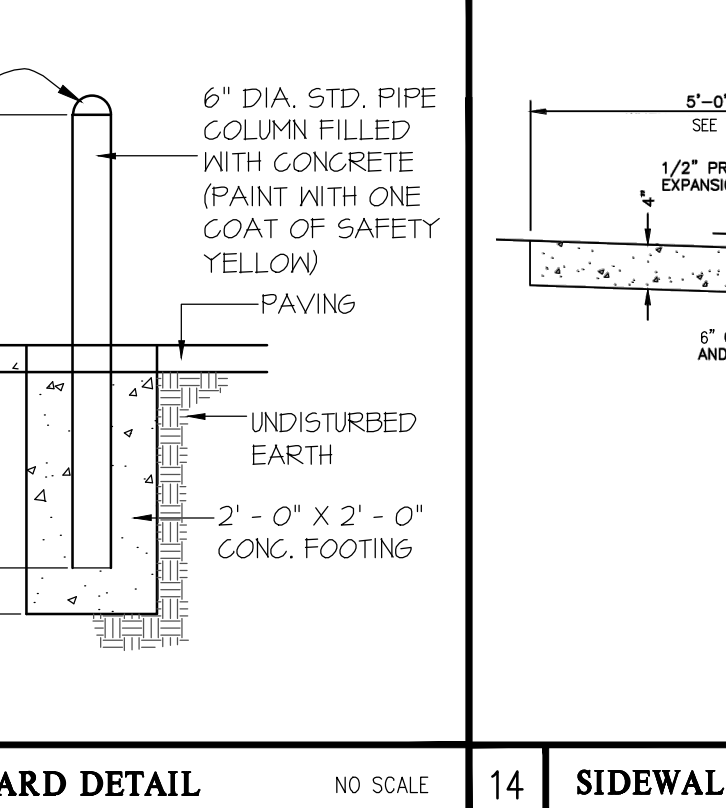
Date: \_\_\_\_\_

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director \_\_\_\_\_ Date \_\_\_\_\_

Chief, Division of Land Development \_\_\_\_\_ Date \_\_\_\_\_

Chief, Development Engineering Division \_\_\_\_\_ Date \_\_\_\_\_



16 DUMPSTER ENCLOSURE DETAIL (FRONT ELEVATION) NO SCALE

17 DUMPSTER ENCLOSURE DETAIL (SIDE ELEVATION) NO SCALE

DESIGNED BY	DRAWN BY	CHECKED BY
BWM	BWM	DDS
DATE	REVISION	BY APPR.

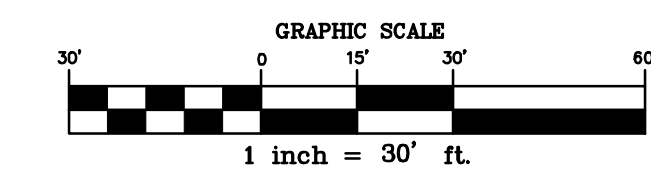
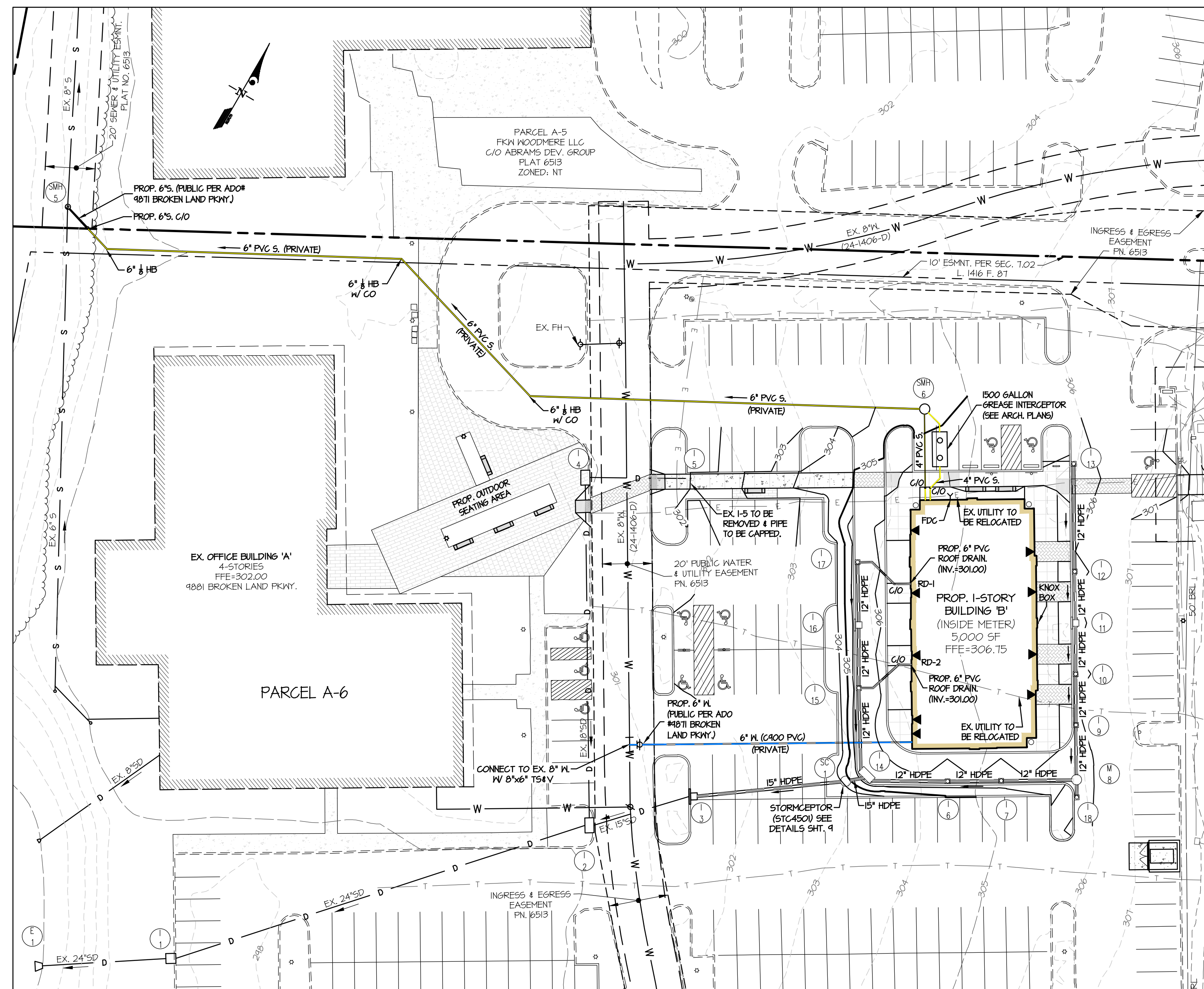
OWNER/DEVELOPER:	PROFESSIONAL CERTIFICATION:
FKW WOODMERE LLC C/O ABRAMS DEVELOPMENT GROUP 8601 ROBERT FULTON DRIVE, SUITE 100 COLUMBIA, MD 21046 ATTN: PETER MATHIESON TEL: 443-539-4806	I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12915 EXPIRATION DATE: MAY 26, 2022

SITE PLAN DETAILS		
SCALE	ZONING	G. L. W. FILE NO.
AS SHOWN	NT	20130
DATE	TAX MAP - GRID	SHEET
NOV, 2021	42-03	5 OF 14

WOODMERE RETAIL VILLAGE OF OWEN BROWN, SEC. 3 AREA 1 PARCEL A-6		
ELECTION DISTRICT No. 6	HOWARD COUNTY, MARYLAND	

WOODMERE RETAIL VILLAGE OF OWEN BROWN, SEC. 3 AREA 1 PARCEL A-6		
ELECTION DISTRICT No. 6	HOWARD COUNTY, MARYLAND	





PLAN VIEW  
SCALE: 1" = 30'

NO.	TYPE	WIDTH (INSIDE)	TOP ELEVATION				INVERT				STD. DETAIL	LOCATION	REMARKS
			PROPOSED		AS-BUILT		PROPOSED		AS-BUILT				
			UPPER	LOWER	UPPER	LOWER	UPPER	LOWER	UPPER	LOWER			
I-6	NYLOPLAST DRAIN BASIN	18"	305.75	---	---	---	249.14	249.09	---	---	SEE SHEET 4	SEE THIS SHEET	2'X2' STEEL FRAME
I-7	NYLOPLAST DRAIN BASIN	18"	305.75	---	---	---	249.44	249.34	---	---	SEE SHEET 4	SEE THIS SHEET	2'X2' STEEL FRAME
M-8	TYPE 'A' MANHOLE	4'-0"	305.50	---	---	---	301.60	299.86	249.76	---	HO. CO. G-512	SEE THIS SHEET	2'X2' STEEL FRAME
I-9	NYLOPLAST DRAIN BASIN	18"	305.75	---	---	---	300.15	300.05	---	---	SEE SHEET 4	SEE THIS SHEET	2'X2' STEEL FRAME
I-10	NYLOPLAST DRAIN BASIN	18"	305.75	---	---	---	300.43	300.33	---	---	SEE SHEET 4	SEE THIS SHEET	2'X2' STEEL FRAME
I-11	TYPE 'S' COMBINATION INLET	STD.	305.75	---	---	---	300.71	300.61	---	---	HO. CO. D-426	SEE THIS SHEET	2'X2' STEEL FRAME
I-12	NYLOPLAST DRAIN BASIN	18"	305.75	---	---	---	301.00	300.90	---	---	SEE SHEET 4	SEE THIS SHEET	2'X2' STEEL FRAME
I-13	NYLOPLAST DRAIN BASIN	18"	305.30	---	---	---	301.41	---	---	---	SEE SHEET 4	SEE THIS SHEET	2'X2' STEEL FRAME
I-14	DOUBLE TYPE 'S' INLET	STD.	305.50	---	---	---	300.71	298.74	248.67	---	HO. CO. D-425	SEE THIS SHEET	2'X2' STEEL FRAME
I-15	NYLOPLAST DRAIN BASIN	18"	305.60	---	---	---	303.26	301.5	301.03	---	SEE SHEET 4	SEE THIS SHEET	2'X2' STEEL FRAME
I-16	TYPE 'S' COMBINATION INLET	STD.	305.60	---	---	---	301.46	301.36	---	---	HO. CO. D-426	SEE THIS SHEET	2'X2' STEEL FRAME
I-17	NYLOPLAST DRAIN BASIN	18"	305.60	---	---	---	301.64	---	---	---	SEE SHEET 4	SEE THIS SHEET	2'X2' STEEL FRAME
I-18	NYLOPLAST DRAIN BASIN	18"	305.32	---	---	---	301.75	---	---	---	SEE SHEET 4	SEE THIS SHEET	2'X2' STEEL FRAME
SC-1	STORMCEPTOR	48"	304.50	---	---	---	248.61	248.31	---	---	SEE SHEET 4	SEE THIS SHEET	2'X2' STEEL FRAME

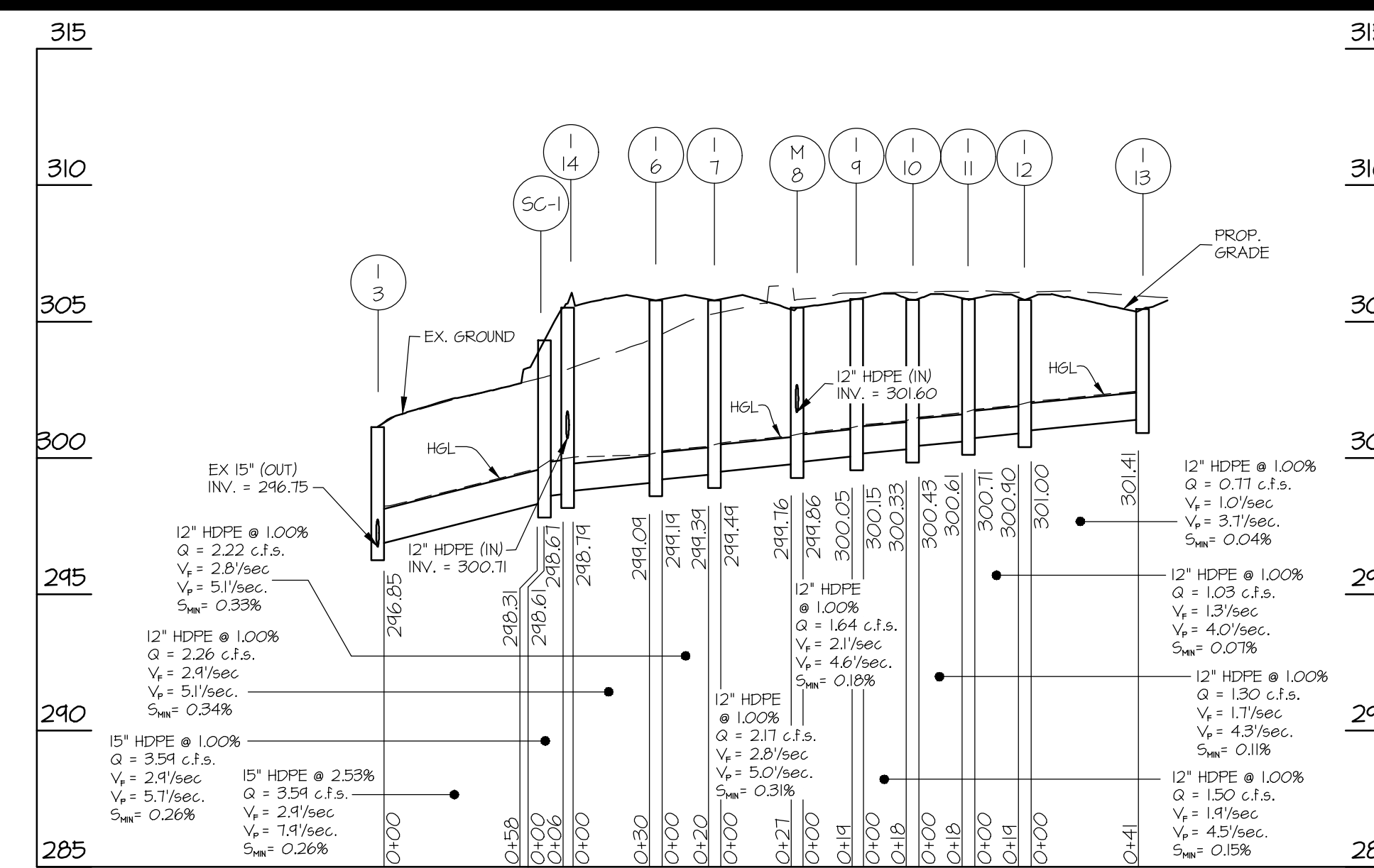
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
Director \_\_\_\_\_ Date \_\_\_\_\_  
Chief, Division of Land Development \_\_\_\_\_ Date \_\_\_\_\_  
Chief, Development Engineering Division \_\_\_\_\_ Date \_\_\_\_\_

APPROVED  
PLANNING BOARD OF HOWARD COUNTY  
Date: \_\_\_\_\_

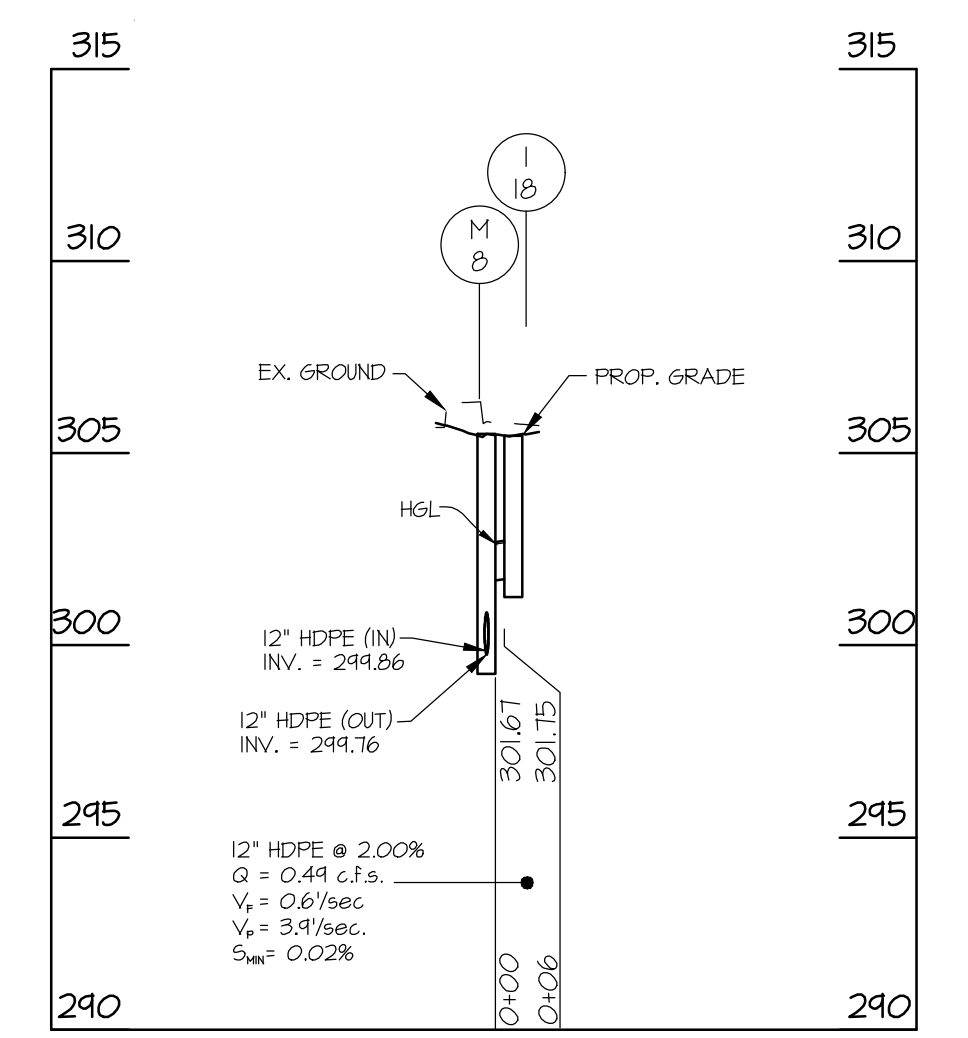
SIZE	TYPE	QUANTITY (L.F.)
6"	PVC	48
12"	HDPE	215
15"	HDPE	64

ITEMS	ESTIMATED QUANTITIES	AS-BUILT	
		QUANTITIES	MANUFACTURER/SUPPLIER
6" WATER (C400 DR 18 PVC)	10 LF		
8"x6" T.S.4V	1 EA.		
6" SEWER PVC SDR 35	10 LF		
6" SEWER C.O.	1 EA.		

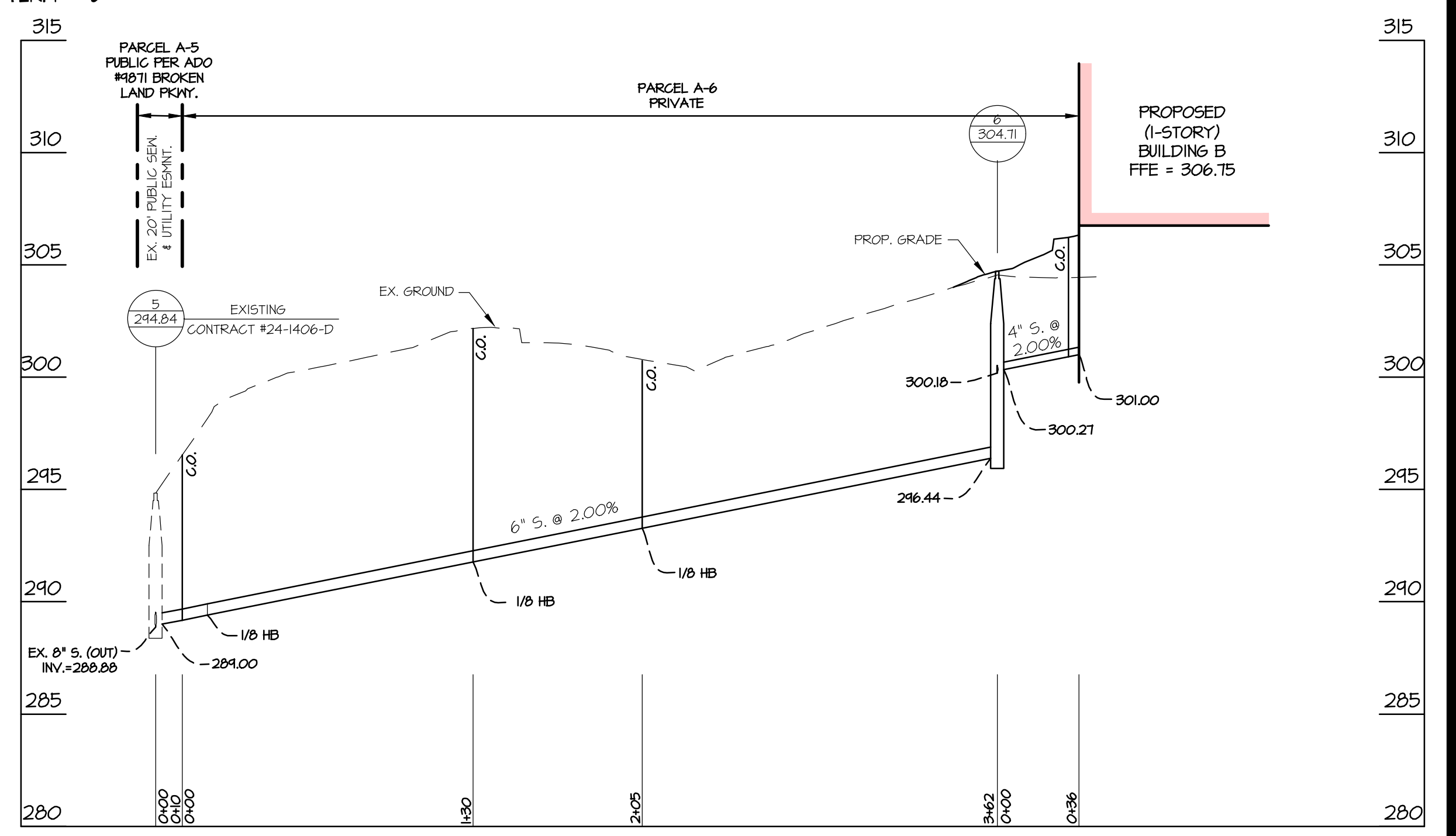
ITEMS	ESTIMATED QUANTITIES	AS-BUILT	
		QUANTITIES	MANUFACTURER/SUPPLIER
6" WATER C400 DR 18 PVC	103 LF		
6" SEWER PVC SDR 35	362 LF		
4" SEWER PVC SDR 35	60 LF		
6" SEWER C.O.	2 EA.		
4" SEWER C.O.	2 EA.		



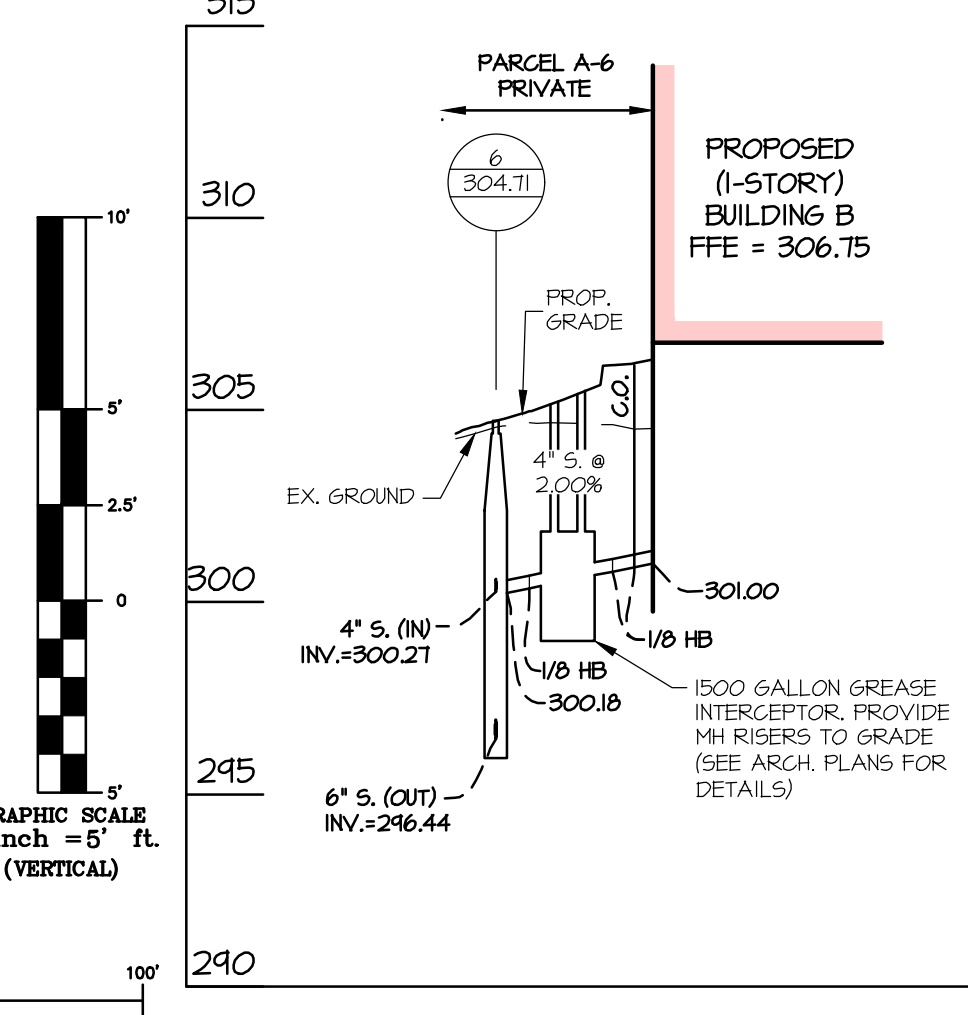
PRIVATE STORM DRAIN PROFILE  
SCALE: HOR. 1" = 50'  
VER. 1" = 5'



PRIVATE STORM DRAIN PROFILE  
SCALE: HOR. 1" = 50'  
VER. 1" = 5'



SEWER PROFILE  
SCALE: HOR. 1" = 50'  
VER. 1" = 5'



WATER PROFILE  
SCALE: HOR. 1" = 50'  
VER. 1" = 5'



UTILITY PLAN AND PROFILES  
**WOODMERE RETAIL VILLAGE OF OWEN BROWN, SEC. 3 AREA 1 PARCEL A-6**  
PLAT 6513

SCALE	ZONING	G. L. W. FILE NO.
AS SHOWN	NT	20130
DATE	TAX MAP - GRID	SHEET
NOV, 2021	42-03	6 OF 14

**GLW**  
PLANNING | ENGINEERING | SURVEYING  
3808 NATIONAL DRIVE | SUITE 250 | BURTONSVILLE, MD 20886 | GLWPA.COM  
PHONE: 301-421-4024 | BALT: 410-880-1820 | DC&VA: 301-988-2524 | FAX: 301-421-4188

DESIGNED BY	DRAWN BY	CHECKED BY	DATE	REVISION	BY	APPR.
XXX	XXX	XXX				

OWNER/DEVELOPER:  
FKW WOODMERE LLC  
C/O ABRAMS DEVELOPMENT GROUP  
8601 ROBERT FULTON DRIVE, SUITE 100  
COLUMBIA, MD 21046  
ATTN: PETER MATHIESON  
TEL: 443-539-4806

PROFESSIONAL CERTIFICATION  
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975, EXPIRATION DATE: MAY 26, 2022

ELECTION DISTRICT No. 6



**PAVING LEGEND**

- P-2 PAVEMENT (R-2.01)
- P-6 PAVEMENT (R-2.02)
- PERMEABLE PAVEMENT
- SCORED CONCRETE SIDEWALK - R-3.05
- CONCRETE PAD - R-6.03
- PAVERS (HANOVER PLANK-ELONGATED-COLOR TBD BY OWNER)
- PAVERS (HANOVER PLANK-HERRINGBONE-COLOR TBD BY OWNER)
- PAVERS (HANOVER PLANK-COLOR TBD BY OWNER)

**CURB LEGEND**

- 6"CG 6" CURB AND GUTTER (R-4.01)
- T"CG 7" CURB AND GUTTER (R-3.01)
- DCG DEPRESSED CURB AND GUTTER (R-3.01)
- FCG FLUSH CURB AND GUTTER (R-3.01)
- ACG SHA TYPE 'A' CURB AND GUTTER (MD-620.02)

**CURB TRANSITION LEGEND**

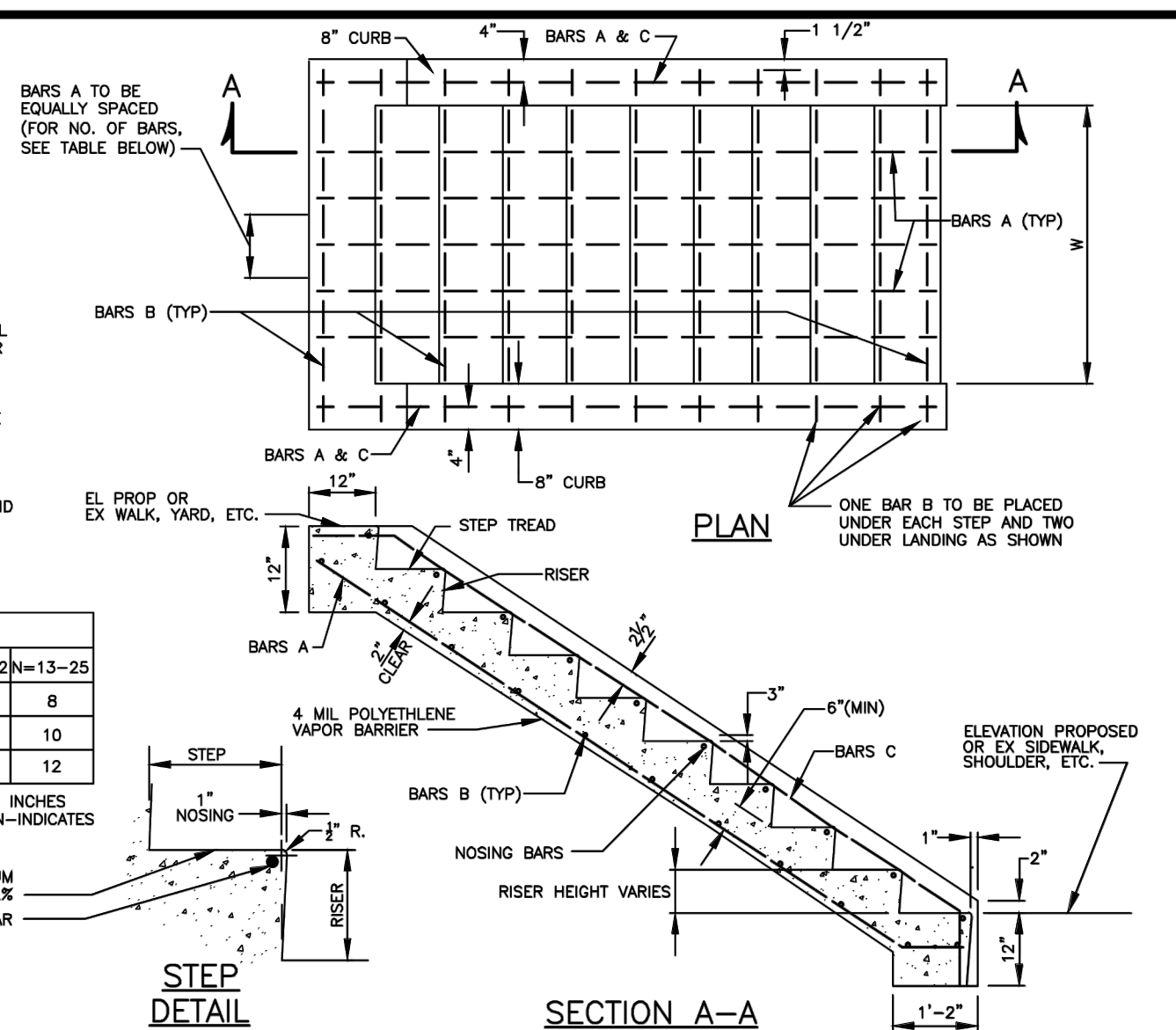
- ① NOSE DOWN FULL HEIGHT CURB AND GUTTER TO FLUSH CURB AND GUTTER (R-3.02)

**SIDEWALK RAMP LEGEND**

- ◇ TYPE B SIDEWALK RAMP (R-4.02)
- ◇ PERPENDICULAR SIDEWALK RAMP (R-4.05)

**NOTES:**

1. CONCRETE: MIX NO.2
2. CHAMFERS: 3/4"x3/4"
3. EXPOSED SURFACES: CLASS 1 SURFACE FINISH.
4. REINFORCING STEEL: A-15 WITH A-305 DEFORMATIONS.
5. ALL REINFORCING BARS SHALL BE NO.4 BARS EXCEPT NOSING BARS.
6. A, B, AND C BARS SHALL BE USED IN THE INSTALLATIONS OF SIX OR MORE STEPS.
7. NOSING BARS SHALL BE NO.2 BARS AND PLACED IN ALL STEPS REGARDLESS OF STAIR LENGTH. MINIMUM COVER 2 INCHES.
8. UNLESS OTHERWISE NOTED, ALL TREADS SHALL BE FINISHED WITH A LIGHTLY BROOMED SURFACE. PROVIDE MAXIMUM 2% WASH AT EXTERIOR LOCATIONS.
9. FOR RAILING DETAILS, SEE G-7.02 AND G-7.03.
10. THE STAIRS SHALL BE PAID FOR ON THE UNIT PRICE BID PER CUBIC YARD FOR "MIX NO.2 CONCRETE FOR MISCELLANEOUS STRUCTURES", COMPLETE IN PLACE OR ON A LUMP SUM BID FOR EACH "CONCRETE STAIRS", COMPLETE IN PLACE.



NUMBER OF BARS A												
N=1-5	N=6	N=7	N=8	N=9	N=10	N=11	N=12	N=13-25				
W=3"	4	5	5	6	6	7	7	8				
W=4"	5	6	7	7	8	8	9	10				
W=5"	6	7	8	9	9	10	11	12				

FOR OTHER WIDTHS, THE APPROX. SPACING OF BARS A IN INCHES WILL BE EQUAL TO 80/W WITH A MIN. SPACING OF 6 IN. N=INDICATES NUMBER OF STEPS EXCLUSIVE OF LANDING.

STAIRWAYS		
SLOPE	RISER	STEP
1:1.57	7" MAX	11"
2:1	6"	12"
4:1	4" MIN	16"

Howard County, Maryland  
Department of Public Works

Approved: *[Signature]*  
Chief, Bureau of Engineering

Concrete Stairs

Detail  
G-7.01

**18 CONCRETE STAIR DETAIL**

NO SCALE

**APPROVED  
PLANNING BOARD OF HOWARD COUNTY**

Date: \_\_\_\_\_

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director \_\_\_\_\_ Date \_\_\_\_\_  
 Chief, Division of Land Development \_\_\_\_\_ Date \_\_\_\_\_  
 Chief, Development Engineering Division \_\_\_\_\_ Date \_\_\_\_\_

3909 NATIONAL DRIVE | SUITE 250 | BURTONSVILLE, MD 20866 | GLWPA.COM  
 PHONE: 301-421-4024 | BALT: 410-880-1820 | DC&VA: 301-989-2524 | FAX: 301-421-4166

DESIGNED BY:	DRAWN BY:	CHECKED BY:	DATE	REVISION	BY	APPR.
EWM	EWM	DDS				

**OWNER/DEVELOPER:**  
 FKW WOODMERE LLC  
 C/O ABRAMS DEVELOPMENT GROUP  
 8601 ROBERT FULTON DRIVE, SUITE 100  
 COLUMBIA, MD 21046  
 ATTN: PETER MATHIESON  
 TEL: 443-539-4806

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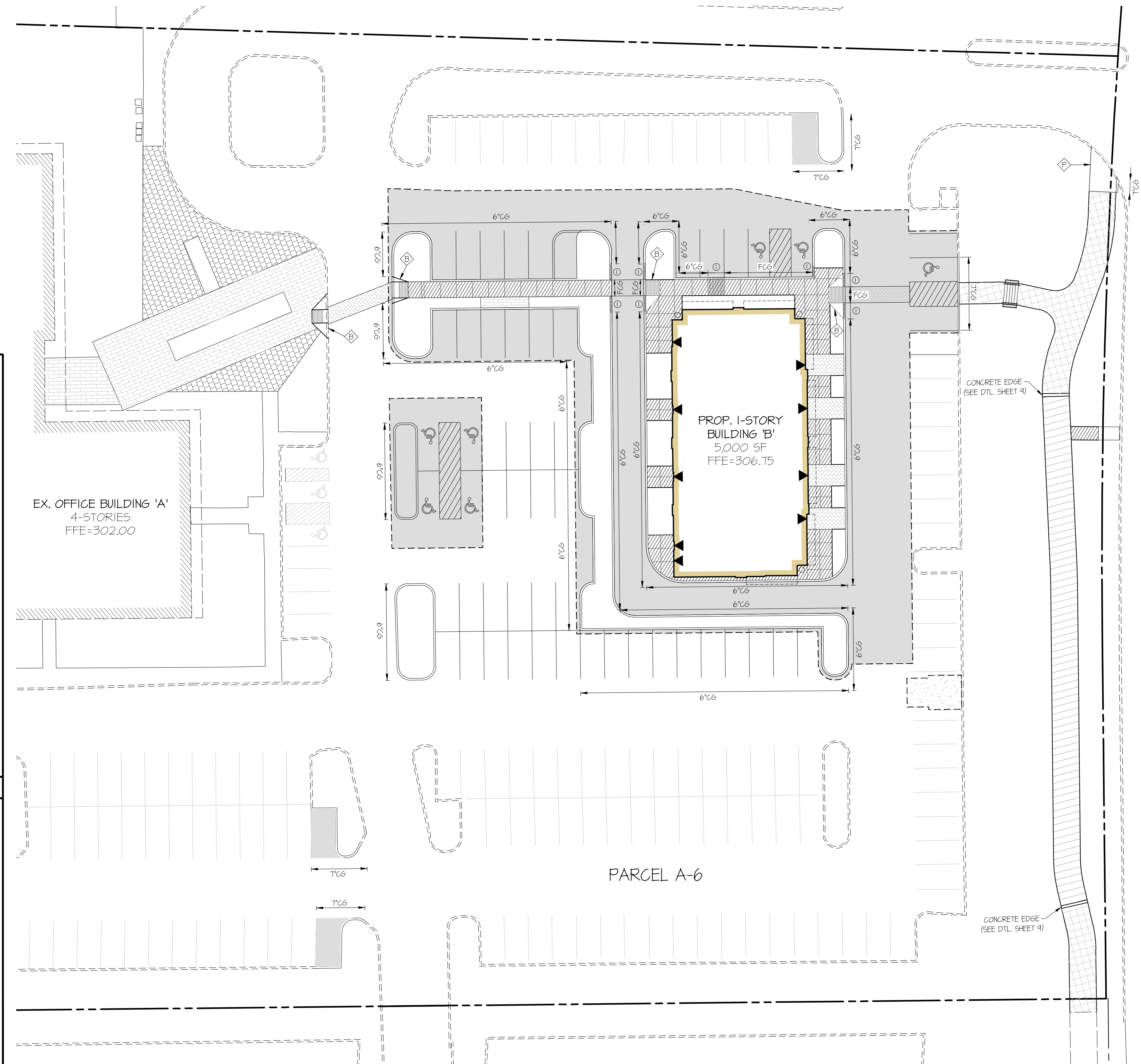
**SITE PLAN DETAILS**

**WOODMERE RETAIL  
 VILLAGE OF OWEN BROWN, SEC. 3 AREA 1  
 PARCEL A-6**  
 PLAT 6513

SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	NT	20130
DATE	TAX MAP - GRID	SHEET
NOV, 2021	42-03	7 OF 14

ELECTION DISTRICT No. 6

HOWARD COUNTY, MARYLAND



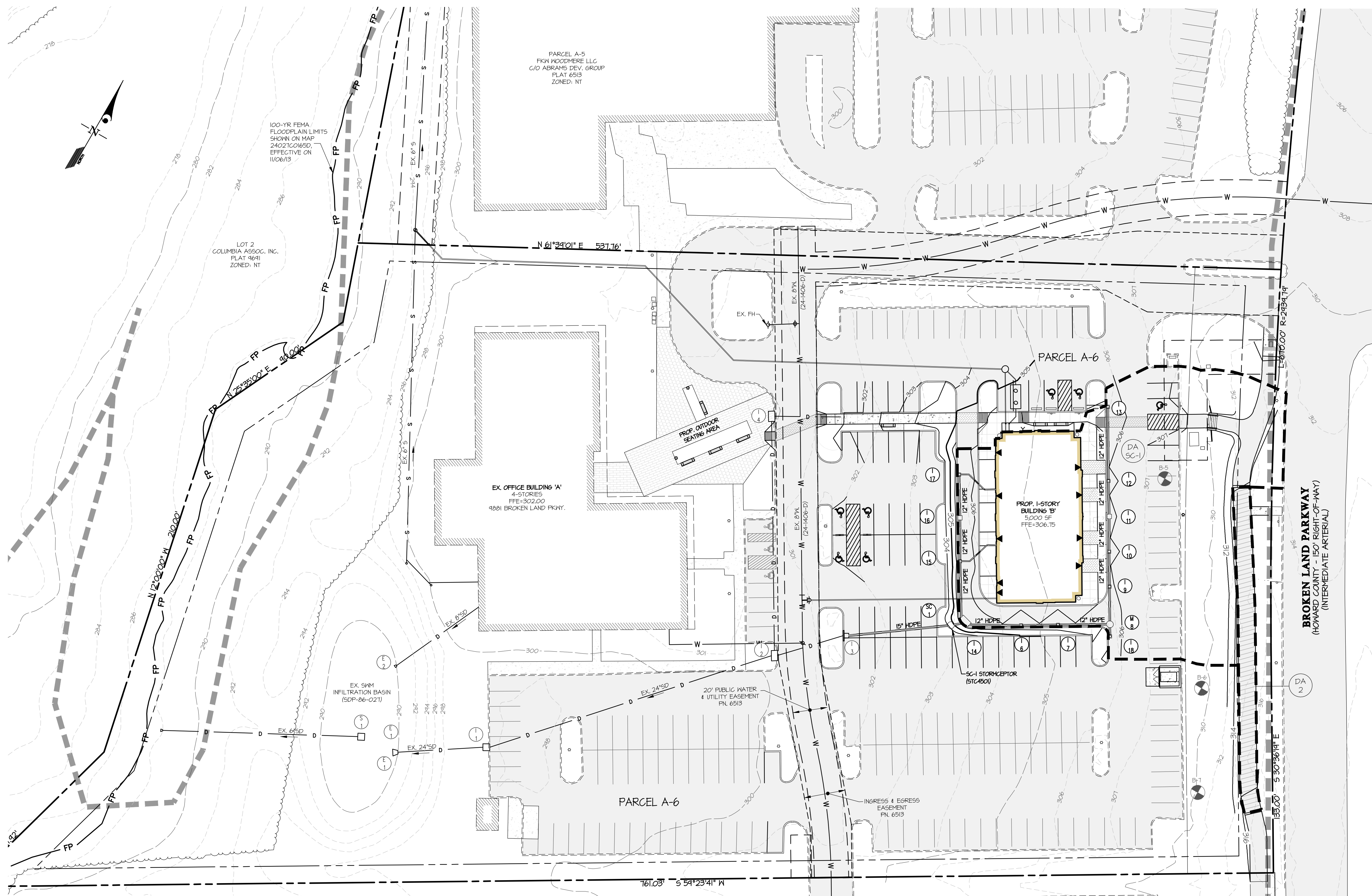
**19 PAVING AND CURB DELINEATION PLAN**

SCALE: 1"=20'

**BROKEN LAND PARKWAY**  
 (HOWARD COUNTY - 150' RIGHT-OF-WAY)  
 (INTERMEDIATE ARTERIAL)

L:\CADD\DRAWINGS\20130\PLANS BY GLW\SDP\20130-SDP-07-SP-DTL.dwg, PLOTTED: 11/10/2021 1:41 PM, LAST SAVED: 9/26/2021 9:38 AM, PLOTTED BY: Ecom, Michel





**LEGEND**

- SWM DRAINAGE DIVIDE
- ▨ POROUS PAVEMENT
- ⊙ SOIL BORING

**STORMWATER MANAGEMENT REQUIREMENT**

STUDY AREA:	0.82 Ac.
EXISTING IMPERVIOUS AREA:	0.54 Ac.
PROPOSED IMPERVIOUS AREA:	0.58 Ac.
NET NEW IMPERVIOUS AREA:	+0.04 Ac.
ESDV REQUIRED (EX. IMPERVIOUS):	
50% x 0.54 Ac. = 0.27 Ac.	
ESDV = $[(0.27 \text{ Ac.} \times 0.95 \times 1.0')/12] \times 43,560 \text{ sf}$	
ESDV REQUIRED = 931.1 cf	
ESDV REQUIRED (NEW IMPERVIOUS):	
LOD = NET IMP. AREA = 0.04 Ac.	
ESDV = $[0.04 \text{ Ac.} \times 0.95 \times 2.0'/12] \times 43,560 \text{ sf}$	
ESDV REQUIRED = 215.9 cf	
TOTAL ESDV REQUIRED:	
ESDV = 931.1 cf + 215.9 cf	
ESDV REQUIRED = 1,207.0 cf	

**STORMWATER MANAGEMENT RECHARGE**

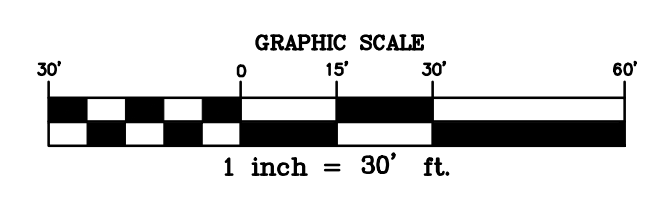
TOTAL RECHARGE REQUIRED:	0.04 Ac.
NET IMP. AREA = 0.04 Ac.	
RECHARGE = $0.07 \times 0.95 \times 0.04 \text{ Ac.}$	
RECHARGE REQUIRED = 3.1 cf	
RECHARGE PROVIDED:	
RECHARGE PROVIDED BY PERMEABLE PAVEMENT = $1,843 \times 0.158 = 293.1 \text{ cf}$	

**STORMWATER MANAGEMENT PROVIDED BY DEVICE**

<b>SC-1 (STORMCEPTOR):</b>	
IMPERVIOUS AREA IN D.A. TO SC-1 = 0.31 Ac.	
ESDV = $(0.31 \text{ Ac.} \times 0.95 \times 1')/12] \times 43,560 \text{ sf}$	
ESDV = 1,064.0 cf > 931.1 cf (MAX)	
ESDV PROVIDED = 931.1 cf	
<b>PERMEABLE PAVEMENT (A-2):</b>	
AREA = 1,843 SF	
DEPTH = 12"	
IMPERVIOUS AREA = 1,843 SF	
ESDV PROVIDED = $1,843 \times 0.158 = 293.1 \text{ cf}$	
TOTAL ESDV PROVIDED = 1,230.2 cf	
TREATMENT AREA PROVIDED = 0.21 Ac. + 0.04 Ac. = 0.25 Ac.	

**SWM DRAINAGE AREA SUMMARY TABLE**

AREA NO.	AREA (SF)	IMP. AREA (SF)	ESDV (CF)	Fe PROVIDED
DA SC-1	21,344	13,337	931.1	1.00
DA 2	1,893	1,893	299.1	2.00
TOTAL	23,237	15,230	1,230.2	--



**APPROVED**  
PLANNING BOARD OF HOWARD COUNTY

Date: \_\_\_\_\_

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director: \_\_\_\_\_ Date: \_\_\_\_\_

Chief, Division of Land Development: \_\_\_\_\_ Date: \_\_\_\_\_

Chief, Development Engineering Division: \_\_\_\_\_ Date: \_\_\_\_\_

**GLW**  
PLANNING | ENGINEERING | SURVEYING

3808 NATIONAL DRIVE | SUITE 250 | BURTONSVILLE, MD 20866 | GLWPA.COM  
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DESIGNED BY:	DATE	REVISION	BY	APPR.
EWM				
EWM				
DDS				

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C/O ABRAMS DEVELOPMENT GROUP  
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**STORMWATER MANAGEMENT PLAN**

**WOODMERE RETAIL VILLAGE OF OWEN BROWN, SEC. 3 AREA 1**  
**PARCEL A-6**  
PLAT 6513

ELECTION DISTRICT No. 6

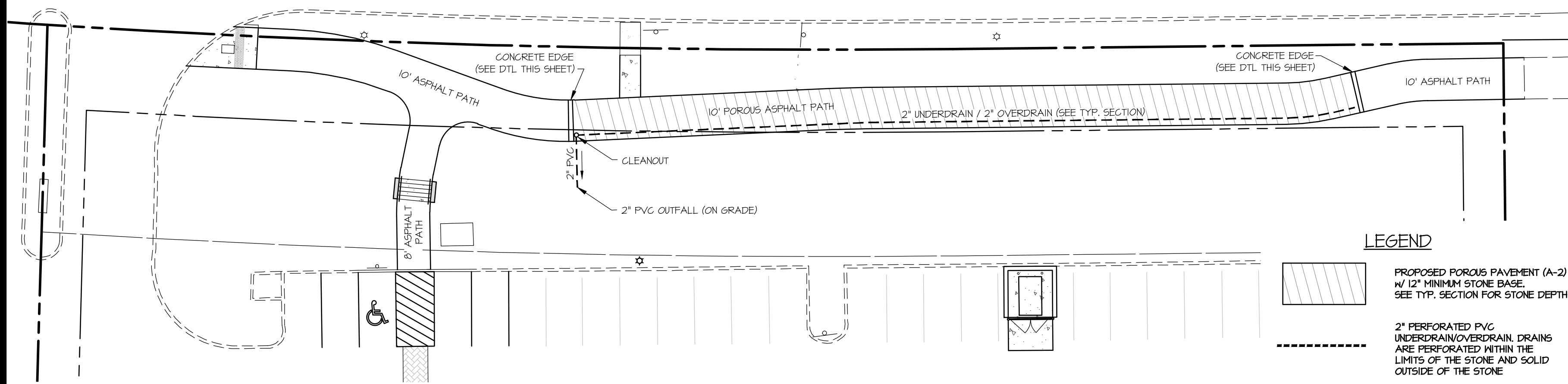
HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE NO.
1" = 30'	NT	20130
DATE	TAX MAP - GRID	SHEET
NOV, 2021	42-03	8 OF 14

L:\CADD\DRAWINGS\20130\PLANS BY GLW\SDP\20130-SDP-08-SWM.dwg, PLOTTED: 11/10/2021 1:43 PM, LAST SAVED: 11/07/2021 1:43 PM, PLOTTED BY: Ewan, Michael



**BROKEN LAND PARKWAY**  
(HOWARD COUNTY - 150' RIGHT-OF-WAY)  
(INTERMEDIATE ARTERIAL)



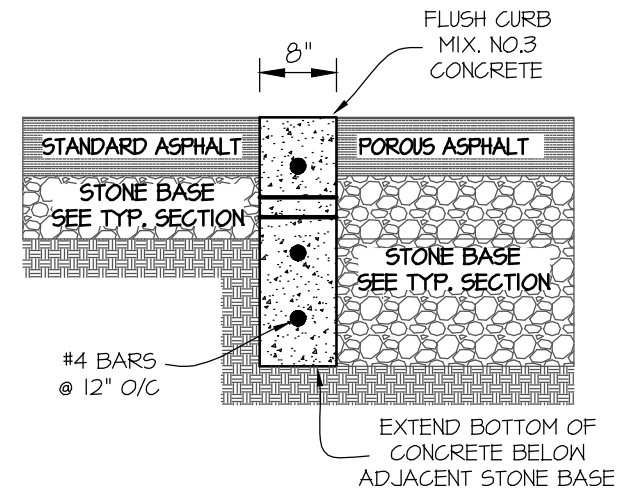
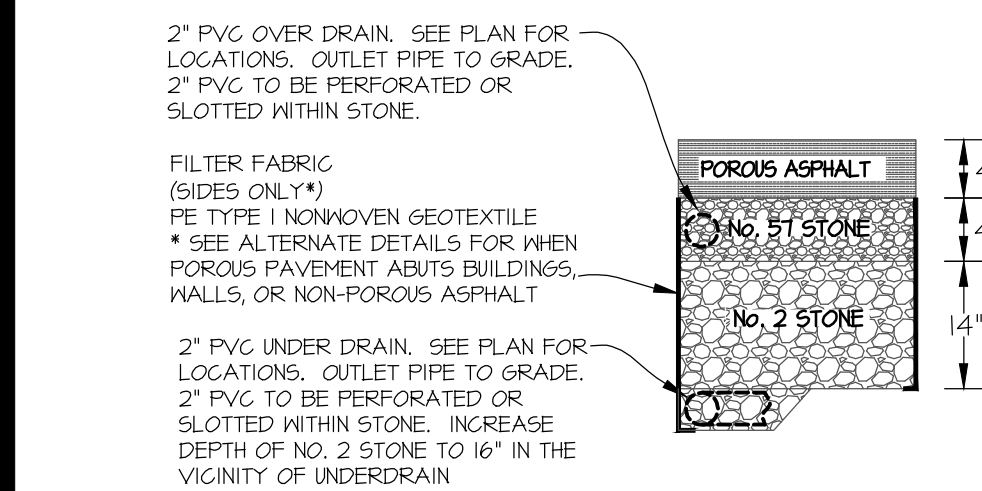
**LEGEND**

PROPOSED POROUS PAVEMENT (A-2)  
#12" MINIMUM STONE BASE  
SEE TYP. SECTION FOR STONE DEPTH

2" PERFORATED PVC UNDERDRAIN/OVERDRAIN DRAINS ARE PERFORMED WITHIN THE LIMITS OF THE STONE AND SOLID OUTSIDE OF THE STONE

**POROUS PAVEMENT DETAIL**

SCALE: 1"=20'



NOTES:  
1. FINISH CONCRETE TO MATCH ADJACENT PAVEMENT COLOR  
2. SUPPORT CONCRETE AS NECESSARY WHEN EXCAVATING FOR PAVEMENT SECTION

**OPERATION AND MAINTENANCE SCHEDULE FOR**  
PRIVATELY OWNED AND MAINTAINED STORMCEPTOR WATER QUALITY DEVICE

- A. THE OWNER SHALL INSPECT THE STORMCEPTOR WATER QUALITY STRUCTURE PERIODICALLY AND CLEAN IT TO MAINTAIN PROPER OPERATION AND FUNCTION. THE OWNER SHALL INSPECT THE STORMCEPTOR UNIT YEARLY AT A MINIMUM UTILIZING THE STORMCEPTOR INSPECTION/MONITORING FORM. INSPECTIONS SHALL BE DONE BY USING A CLEAR PLEXIGLASS TUBE ('SLUDGE JUDGE') TO EXTRACT A WATER COLUMN SAMPLE. WHEN THE SEDIMENT DEPTHS EXCEED THE LEVEL SPECIFIED IN TABLE 6 OF THE STORMCEPTOR TECHNICAL MANUAL, THE STORMCEPTOR UNIT MUST BE CLEANED.
- B. THE OWNER SHALL CHECK AND CLEAN IMMEDIATELY THE STORMCEPTOR WATER QUALITY STRUCTURE AFTER PETROLEUM SPILLS. THE OWNER SHALL CONTACT THE APPROPRIATE REGULATORY AGENCIES AND CLEAN THE STORMCEPTOR IN ACCORDANCE WITH ALL APPLICABLE LAWS AND REGULATIONS.
- C. THE MAINTENANCE OF THE STORMCEPTOR UNIT SHALL BE DONE USING A VACUUM TRUCK WHICH WILL REMOVE THE WATER, SEDIMENT, DEBRIS, FLOATING HYDROCARBONS AND OTHER MATERIALS IN THE STORMCEPTOR UNIT. THE OWNER SHALL FOLLOW ALL REQUIREMENTS FOR THE PROPER CLEANING AND DISPOSAL OF THE REMOVED MATERIALS AND LIQUID.
- D. THE OWNER SHALL CHECK THE INLET AND OUTLET PIPES FOR ANY OBSTRUCTIONS AT LEAST ONCE EVERY SIX (6) MONTHS. IF OBSTRUCTIONS ARE FOUND, THE OWNER SHALL HAVE THEM REMOVED. THE OWNER SHALL REPAIR THE STRUCTURAL PARTS OF THE STORMCEPTOR UNIT AS NEEDED.
- E. THE OWNER SHALL RETAIN AND MAKE THE STORMCEPTOR INSPECTION/MONITORING FORMS AVAILABLE THE HOWARD COUNTY OFFICIALS UPON THEIR REQUEST.

**TYPICAL SECTION - POROUS ASPHALT (SLOPED BOTTOM)**

SCALE: NTS

**CONCRETE EDGE FOR POROUS PAVEMENT ABUTTING ASPHALT**

SCALE: NTS

**SPECIFICATIONS FOR PERMEABLE PAVEMENTS**

**1. POROUS ASPHALT SPECIFICATIONS**

VOID CONTENT OF ASPHALT SHALL BE 15-20%

UNDERDRAIN - USE 2 TO 4 INCH DIAMETER PERFORATED PVC PIPE (OR EQUIVALENT CORRUGATED HDPE) WITH 3/8-INCH PERFORATIONS AT 6 INCHES ON CENTER

OVERDRAIN - USE 2 TO 4 INCH DIAMETER PERFORATED PVC PIPE (OR EQUIVALENT CORRUGATED HDPE) WITH 3/8-INCH PERFORATIONS AT 6 INCHES ON CENTER

INSTALLATION - CONSTRUCTION SHALL ONLY BEGIN AFTER THE ENTIRE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED. THE SYSTEM SHALL NOT BE INSTALLED IN RAIN OR SNOW. WHERE POSSIBLE, EXCAVATORS OR BACKHOES SHOULD WORK FROM THE SIDES TO EXCAVATE THE RESERVOIR LAYER. EXCAVATING EQUIPMENT SHOULD HAVE ARMS WITH ADEQUATE EXTENSION SO THEY DO NOT HAVE TO WORK INSIDE THE FOOTPRINT OF THE PERMEABLE PAVEMENT AREA. EXCAVATED MATERIAL SHOULD BE PLACED AWAY FROM THE OPEN EXCAVATION SO AS TO NOT JEOPARDIZE THE STABILITY OF THE SIDE WALLS. THE NATIVE SOILS ALONG THE BOTTOM OF THE PERMEABLE PAVEMENT SYSTEM SHALL BE SCARIFIED OR TILLED TO A DEPTH OF 3 TO 4 INCHES PRIOR TO THE PLACEMENT OF THE FILTER LAYER. FILTER FABRIC SHALL BE INSTALLED ON THE SIDES OF THE RESERVOIR LAYER.

SEDIMENT CONTROL - ALL PERMEABLE PAVEMENT AREAS SHALL BE FULLY PROTECTED FROM SEDIMENT INTRUSION BY SILT FENCE OR CONSTRUCTION FENCING. PERMEABLE PAVEMENT AREAS SHALL REMAIN OUTSIDE THE LIMIT OF DISTURBANCE DURING CONSTRUCTION TO PREVENT SOIL COMPACTION BY HEAVY EQUIPMENT. TO PREVENT SOIL COMPACTION, HEAVY VEHICULAR AND FOOT TRAFFIC SHALL BE KEPT OUT OF PERMEABLE PAVEMENT AREAS DURING AND IMMEDIATELY AFTER CONSTRUCTION. DURING CONSTRUCTION, CARE SHALL BE TAKEN TO AVOID TRACKING SEDIMENT ONTO ANY PERMEABLE PAVEMENT SURFACE TO AVOID CLOGGING.

**OPERATION AND MAINTENANCE SCHEDULE FOR**  
PRIVATELY OWNED AND MAINTAINED PERMEABLE PAVEMENT (A-2)

- A. THE OWNER SHALL PERIODICALLY SWEEP THE PAVEMENT SURFACES TO REDUCE SEDIMENT ACCUMULATION AND ENSURE CONTINUED SURFACE POROSITY. SWEEPING SHOULD BE PERFORMED AT LEAST TWICE ANNUALLY WITH A COMMERCIAL CLEANING UNIT, WASHING OR COMPRESSED AIR UNITS SHOULD NOT BE USED TO PERFORM SURFACE CLEANING.
- B. THE OWNER SHALL PERIODICALLY CLEAN DRAINAGE PIPES, INLETS, STONE EDGE DRAINS AND OTHER STRUCTURES WITHIN OR DRAINING TO THE SUBBASE.
- C. THE OWNER SHALL USE DEICERS IN MODERATION. DEICERS SHOULD BE NON-TOXIC AND BE APPLIED EITHER AS CALCIUM MAGNESIUM ACETATE OR AS PRETREATED SALT.
- D. THE OWNER SHALL ENSURE SNOW PLOWING IS PERFORMED CAREFULLY WITH BLADES SET ONE INCH ABOVE THE SURFACE. PLOWED SNOW PILES AND SNOWMELT SHOULD NOT BE DIRECTED TO PERMEABLE PAVEMENT.

APPROVED  
PLANNING BOARD OF HOWARD COUNTY

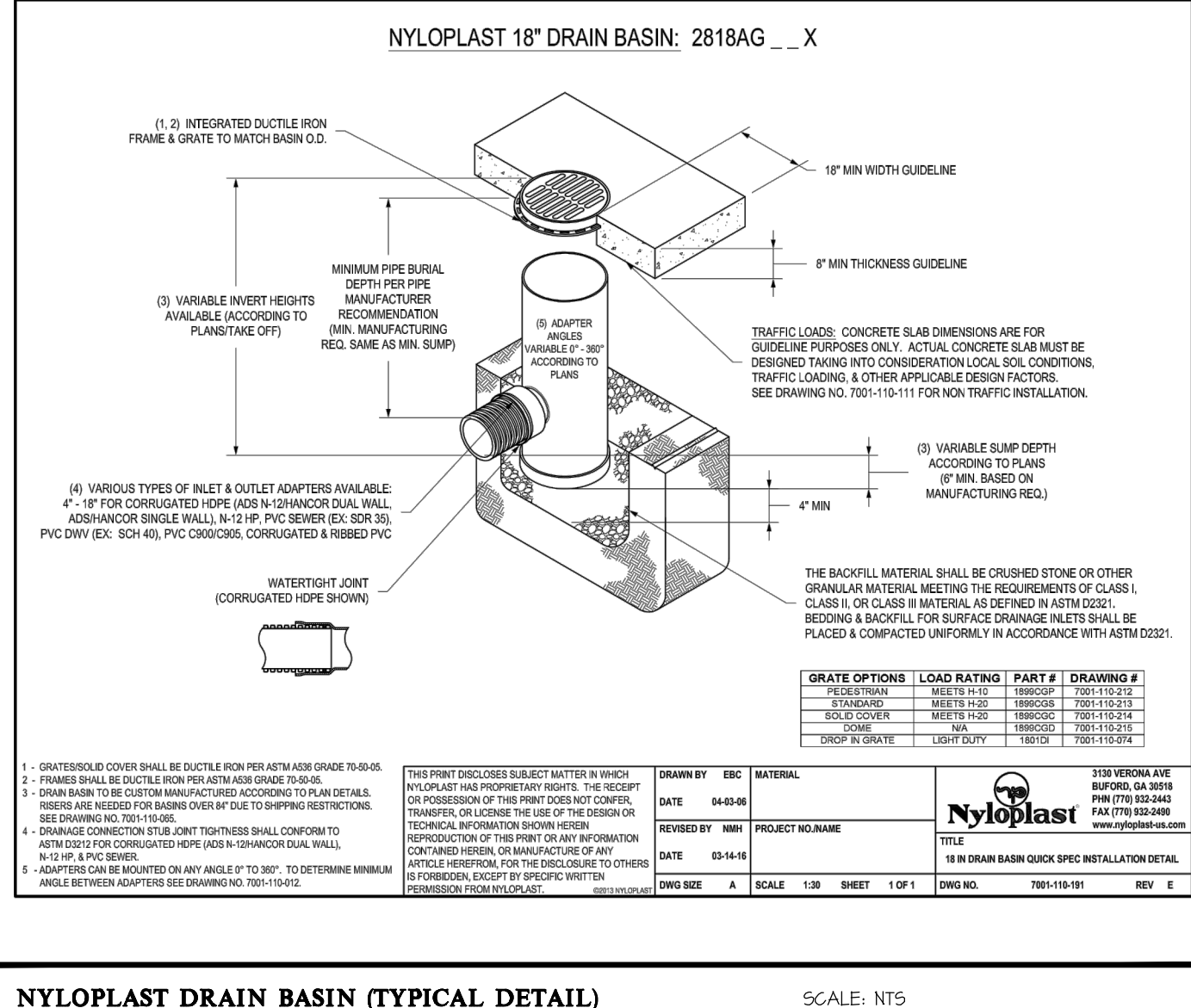
Date: \_\_\_\_\_

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director \_\_\_\_\_ Date \_\_\_\_\_

Chief, Division of Land Development \_\_\_\_\_ Date \_\_\_\_\_

Chief, Development Engineering Division \_\_\_\_\_ Date \_\_\_\_\_



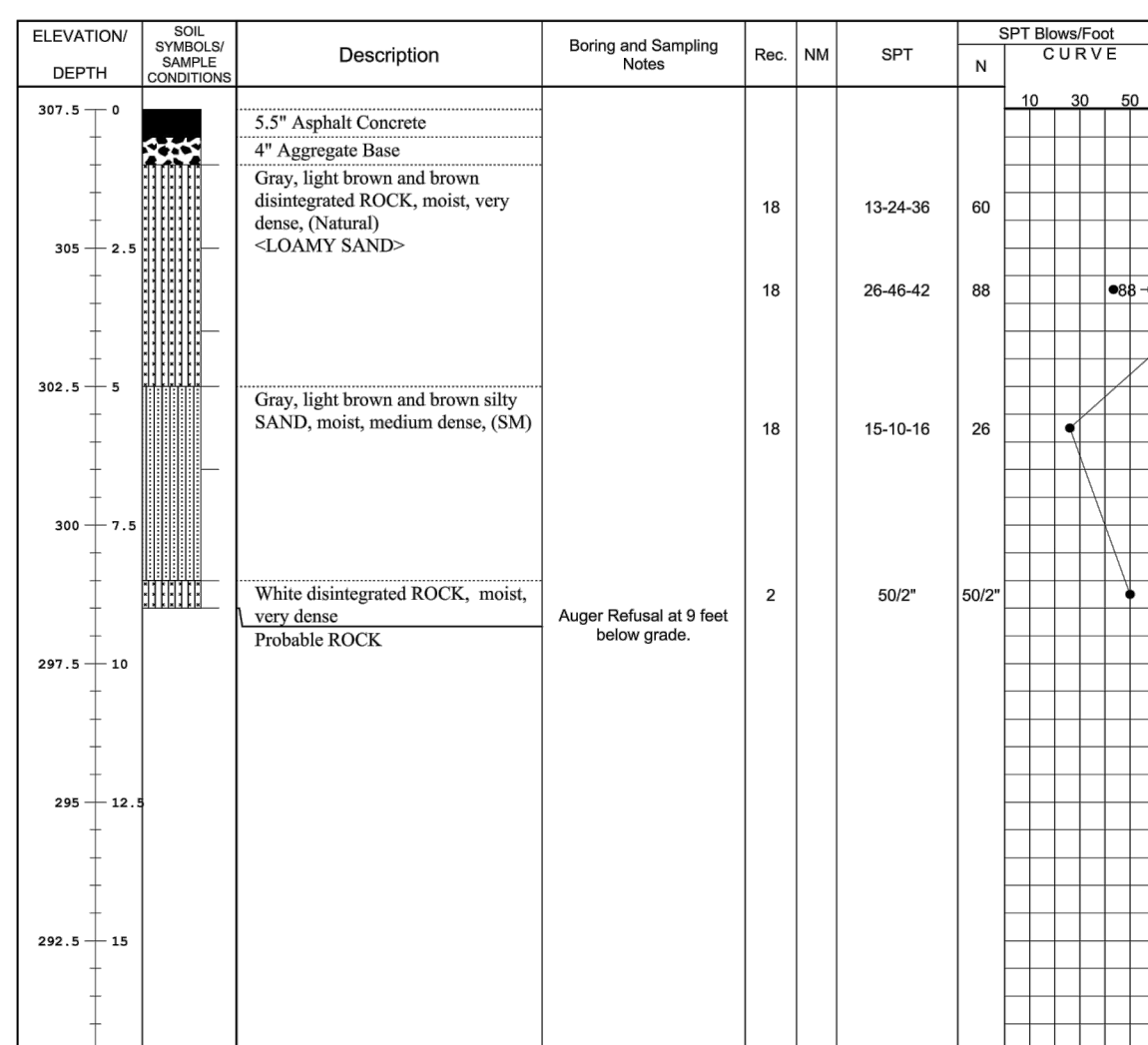
**NYloplast DRAIN BASIN (TYPICAL DETAIL)**

SCALE: NTS

**HILLIS - CARNES ENGINEERING ASSOCIATES, INC.**  
RECORD OF SOIL EXPLORATION

Project Name: Woodmere Retail Boring No: B-5  
Location: 9881 Broken Land Parkway, Columbia, MD Job #: 07321A

Date: MSL Hammer Wt. 140 lbs. Hole Diameter 3.25 in. Foreman Viktor  
Surf. Elev. 307.5 Ft. Hammer Drop 30 in. Rock Core Diameter NA Inspector Robel  
Date Started 04/26/2021 Pipe Size 2 O.D. in. Boring Method HSA-SPT Date Completed 04/26/2021



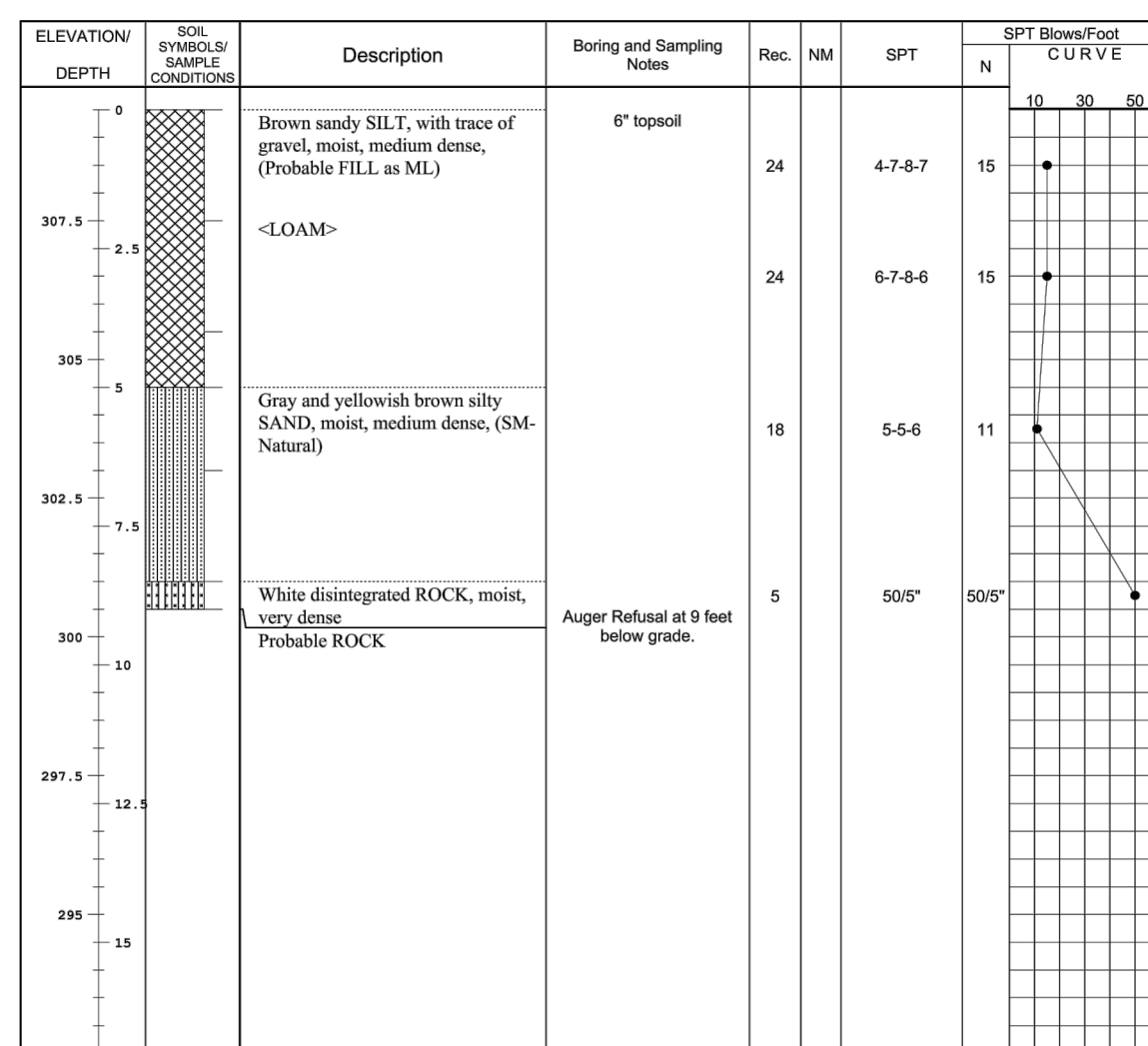
SAMPLER TYPE	GROUND WATER	CAVE IN DEPTH	BORING METHOD
DRIVEN SPLIT SPOON UNLESS OTHERWISE NOTED	D - DISTURBED	AT COMPLETION	6.3 ft. HSA - HOLLOW STEM AUGERS
PT - PREPRESSED SHELVY TUBE	I - INTACT	AFTER 24 HRS.	CF - CONTINUOUS FLIGHT AUGERS
CA - CONTINUOUS FLIGHT AUGER	U - UNDISTURBED	AFTER _____ HRS.	DC - DRIVING CASING
RC - ROCK CORE	L - LOST	AFTER _____ HRS.	MD - MID DRILLING

STANDARD PENETRATION TEST (SPT) CURVE: 2" O.D. SAMPLER WITH 140# HAMMER FALLING 30" COUNT MADE AT 2' INTERVALS.

**HILLIS - CARNES ENGINEERING ASSOCIATES, INC.**  
RECORD OF SOIL EXPLORATION

Project Name: Woodmere Retail Boring No: B-6  
Location: 9881 Broken Land Parkway, Columbia, MD Job #: 07321A

Date: MSL Hammer Wt. 140 lbs. Hole Diameter 3.25 in. Foreman Viktor  
Surf. Elev. 309.5 Ft. Hammer Drop 30 in. Rock Core Diameter NA Inspector Robel  
Date Started 04/26/2021 Pipe Size 2 O.D. in. Boring Method HSA-SPT Date Completed 04/26/2021



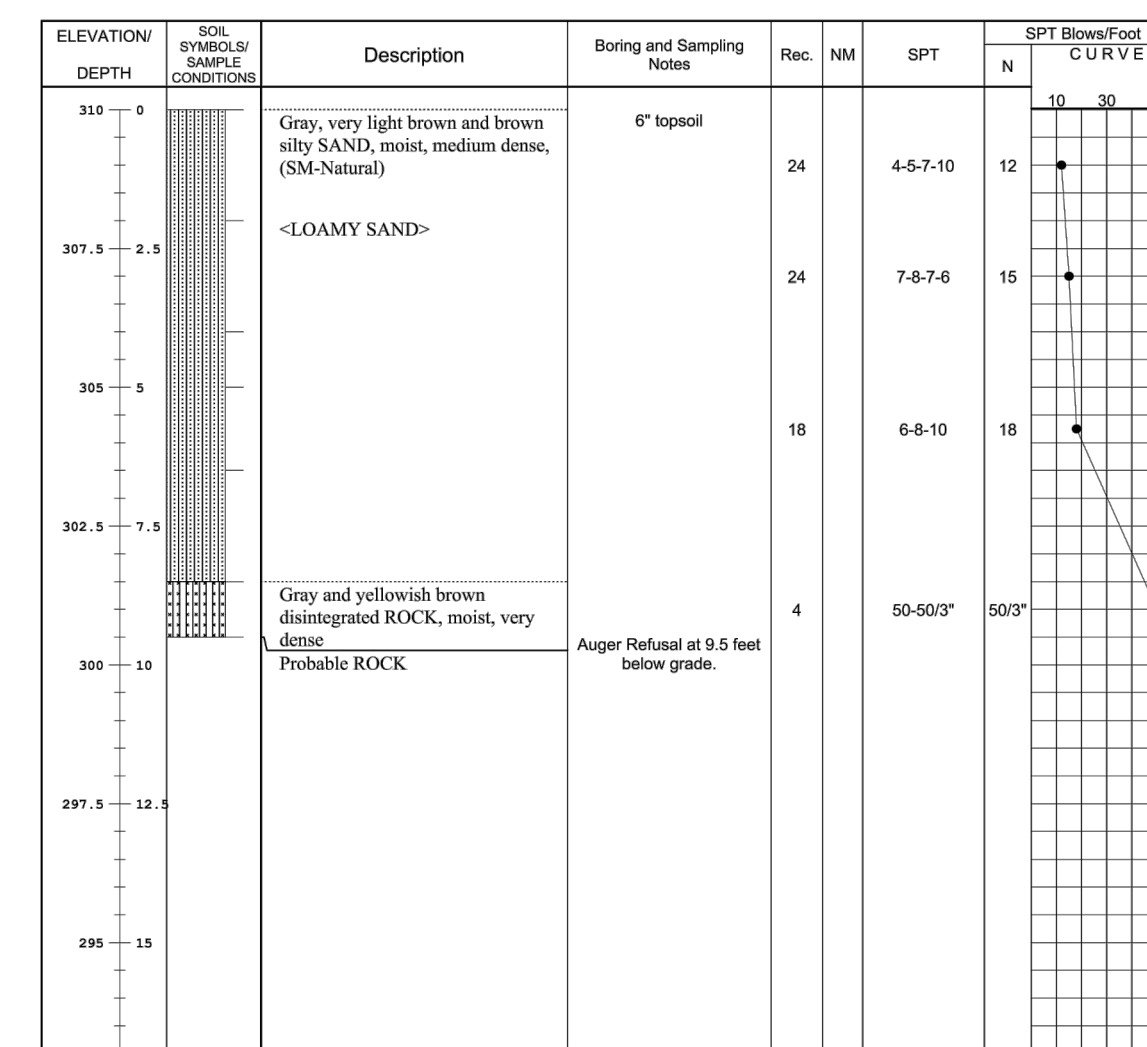
SAMPLER TYPE	GROUND WATER	CAVE IN DEPTH	BORING METHOD
DRIVEN SPLIT SPOON UNLESS OTHERWISE NOTED	D - DISTURBED	AT COMPLETION	5.6 ft. HSA - HOLLOW STEM AUGERS
PT - PREPRESSED SHELVY TUBE	I - INTACT	AFTER 24 HRS.	CF - CONTINUOUS FLIGHT AUGERS
CA - CONTINUOUS FLIGHT AUGER	U - UNDISTURBED	AFTER _____ HRS.	DC - DRIVING CASING
RC - ROCK CORE	L - LOST	AFTER _____ HRS.	MD - MID DRILLING

STANDARD PENETRATION TEST (SPT) CURVE: 2" O.D. SAMPLER WITH 140# HAMMER FALLING 30" COUNT MADE AT 2' INTERVALS.

**HILLIS - CARNES ENGINEERING ASSOCIATES, INC.**  
RECORD OF SOIL EXPLORATION

Project Name: Woodmere Retail Boring No: B-7  
Location: 9881 Broken Land Parkway, Columbia, MD Job #: 07321A

Date: MSL Hammer Wt. 140 lbs. Hole Diameter 3.25 in. Foreman Viktor  
Surf. Elev. 310 Ft. Hammer Drop 30 in. Rock Core Diameter NA Inspector Robel  
Date Started 04/26/2021 Pipe Size 2 O.D. in. Boring Method HSA-SPT Date Completed 04/26/2021



SAMPLER TYPE	GROUND WATER	CAVE IN DEPTH	BORING METHOD
DRIVEN SPLIT SPOON UNLESS OTHERWISE NOTED	D - DISTURBED	AT COMPLETION	6.1 ft. HSA - HOLLOW STEM AUGERS
PT - PREPRESSED SHELVY TUBE	I - INTACT	AFTER 24 HRS.	CF - CONTINUOUS FLIGHT AUGERS
CA - CONTINUOUS FLIGHT AUGER	U - UNDISTURBED	AFTER _____ HRS.	DC - DRIVING CASING
RC - ROCK CORE	L - LOST	AFTER _____ HRS.	MD - MID DRILLING

STANDARD PENETRATION TEST (SPT) CURVE: 2" O.D. SAMPLER WITH 140# HAMMER FALLING 30" COUNT MADE AT 2' INTERVALS.

**STORMWATER MANAGEMENT DETAILS**

**WOODMERE RETAIL**  
VILLAGE OF OWEN BROWN, SEC. 3 AREA 1  
PARCEL A-6  
PLAT 6513

SCALE	ZONING	G. L. W. FILE NO.
AS SHOWN	NT	20130
DATE	TAX MAP - GRID	SHEET
NOV, 2021	42-03	9 OF 14

**GLW**  
PLANNING | ENGINEERING | SURVEYING  
3808 NATIONAL DRIVE | SUITE 250 | BURTONSVILLE, MD 20866 | GLWPA.COM  
PHONE: 301-421-4024 | BALT. 410-880-1820 | DC/VA: 301-989-2524 | FAX: 301-421-4168

DESIGNED BY	DRAWN BY	CHECKED BY	DATE	REVISION	BY	APPR.
BWM	BWM	DDS				

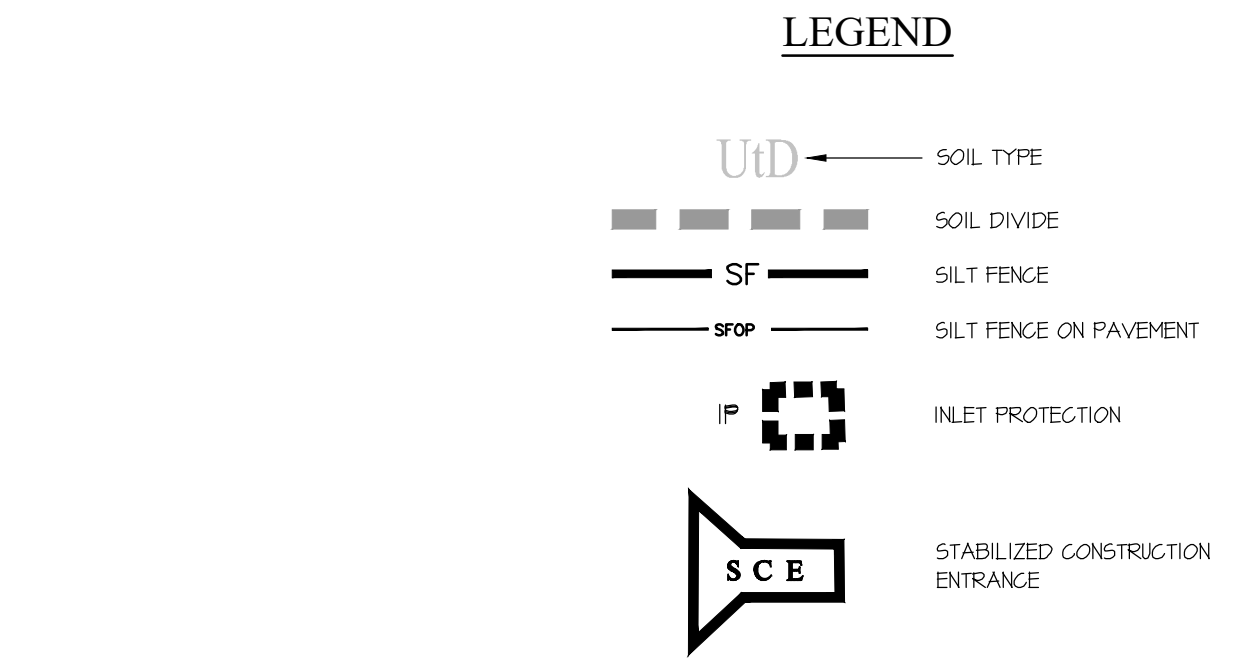
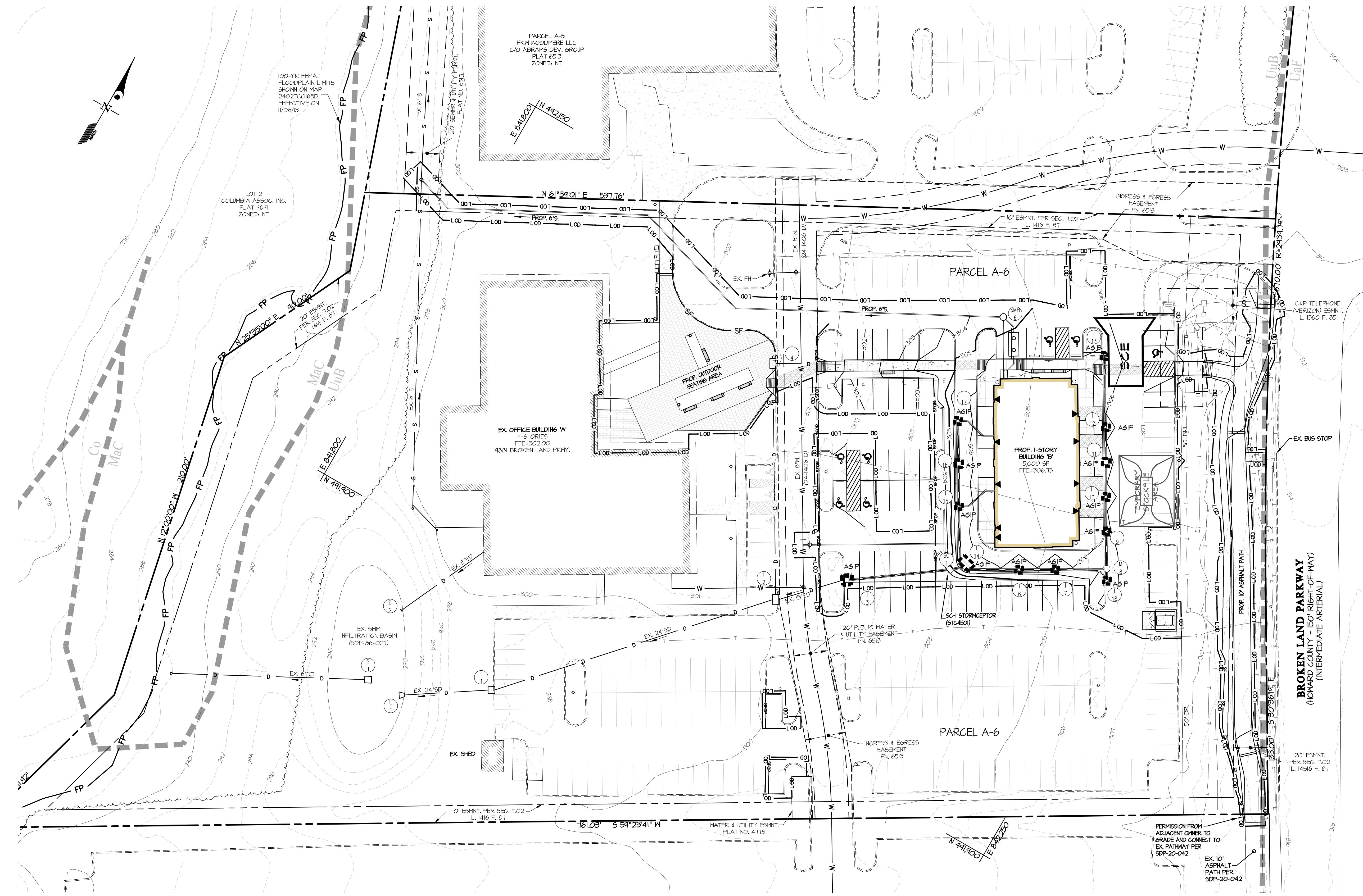
**OWNER/DEVELOPER:**  
FKW WOODMERE LLC  
C/O ABRAMS DEVELOPMENT GROUP  
8601 ROBERT FULTON DRIVE, SUITE 100  
COLUMBIA, MD 21046  
ATTN: PETER MATHIESON  
TEL: 443-539-4806

**PROFESSIONAL CERTIFICATION**  
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975, EXPIRATION DATE: MAY 26, 2022

ELECTION DISTRICT No. 6

HOWARD COUNTY, MARYLAND

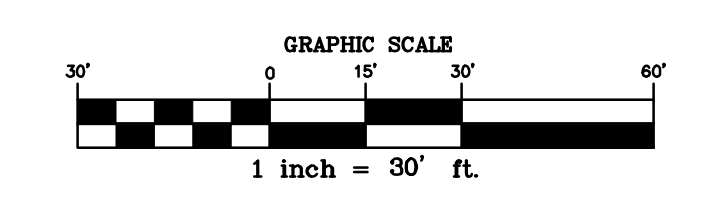




**SOILS**

SYMBOL	SOIL NAME	H <sub>50</sub>	K <sub>f</sub> FACTOR
UWB	URBAN LAND-UDORTHERTS COMPLEX, 0-8% SLOPES	D	-

- SEQUENCE OF CONSTRUCTION**
1. APPLY FOR GRADING PERMIT AND SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE COUNTY INSPECTOR. OBTAIN GRADING PERMIT FROM THE INSPECTOR AT THE MEETING. DURATION: 1 day.
  2. INSTALL STABILIZED CONSTRUCTION ENTRANCE (SCE), SILT FENCE (SF), SILT FENCE ON PAVEMENT (SFOP), AND INLET PROTECTION ON EXISTING STRUCTURES AS SHOWN ON THESE PLANS. ADDITIONALLY, THE TEMPORARY TREE PROTECTION FENCE AS SHOWN ON SHEET 12 SHALL BE INSTALLED. DURATION: 1 week.
  3. BEGIN MASS GRADING. DURATION: 1 month.
  4. INSTALL STORM DRAIN, WATER, SEWER, AND DRY UTILITIES. DURATION: 1 month.
  5. BEGIN BUILDING CONSTRUCTION. DURATION: 6 months.
  6. INSTALL CURB & GUTTER, BASE PAVING, & ASPHALT PATHWAY. STABILIZE ALL OTHER DISTURBED AREAS WITH PERMANENT SEEDINGS, MULCH AND LANDSCAPING. DURATION: 1 month.
  7. FLUSH AND CLEAN STORM DRAIN SYSTEM. DURATION: 1 day.
  8. WHEN PERMISSION HAS BEEN GRANTED BY THE SEDIMENT CONTROL INSPECTOR, AND ALL AREAS DRAINING TO THE SEDIMENT CONTROL DEVICES HAVE BEEN STABILIZED, REMOVE THE SEDIMENT CONTROLS. CONTRACTOR IS TO IMMEDIATELY STABILIZE AREAS DISTURBED DURING THE REMOVAL OF THE DEVICES. DURATION: 1 week.
  9. INSTALL SURFACE COURSE PAVING AND PARKING LOT STRIPING. DURATION: 2 weeks.
  10. INSTALL LANDSCAPING.
- NOTES:**
1. TRENCHES FOR THE CONSTRUCTION OF UTILITIES ARE LIMITED TO THREE PIPE LENGTHS OR THAT WHICH CAN AND SHALL BE BACKFILLED BY THE END OF EACH WORKDAY, WHICHEVER IS SHORTER.
  2. WITH THE PERMISSION OF THE SEDIMENT CONTROL INSPECTOR, SOME OF THE ITEMS DESCRIBED ABOVE MAY BE PERFORMED CONCURRENTLY.



**APPROVED**  
PLANNING BOARD OF HOWARD COUNTY

Date: \_\_\_\_\_

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director: \_\_\_\_\_ Date: \_\_\_\_\_

Chief, Division of Land Development: \_\_\_\_\_ Date: \_\_\_\_\_

Chief, Development Engineering Division: \_\_\_\_\_ Date: \_\_\_\_\_

**ENGINEER'S CERTIFICATE**

"I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."

SIGNATURE OF ENGINEER: \_\_\_\_\_ DATE: \_\_\_\_\_

**BUILDER'S CERTIFICATE**

"I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HSCD."

SIGNATURE OF DEVELOPER/BUILDER: \_\_\_\_\_ DATE: \_\_\_\_\_

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

HOWARD S.C.D. \_\_\_\_\_ DATE: \_\_\_\_\_

**GLW**  
PLANNING | ENGINEERING | SURVEYING

3808 NATIONAL DRIVE | SUITE 250 | BURTONSVILLE, MD 20866 | GLWPA.COM  
PHONE: 301-421-4024 | BALT: 410-880-1120 | DC&VA: 301-988-2524 | FAX: 301-421-4186

DESIGNED BY	DRAWN BY	CHECKED BY	DATE	REVISION	BY	APPR.
BWM	BWM	DDS				

**OWNER/DEVELOPER:**  
FKW WOODMERE LLC  
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ATTN: PETER MATHIESON  
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**PROFESSIONAL CERTIFICATION**

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975  
EXPIRATION DATE: MAY 26, 2022

**SEDIMENT CONTROL PLAN**

**WOODMERE RETAIL VILLAGE OF OWEN BROWN, SEC. 3 AREA 1 PARCEL A-6**  
PLAT 6513

ELECTION DISTRICT No. 6

HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE NO.
1"=30'	NT	20130
DATE	TAX MAP - GRID	SHEET
NOV, 2021	42-03	10 OF 14

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 PLOTTED: 11/10/2021 1:46 PM, LAST SAVED: 11/07/2021 1:46 PM, PLOTTED BY: Ewan Mitchell  
 C:\GLW 2020



B-4-2 STANDARD AND SPECIFICATIONS FOR SOIL PREPARATION, TOPSOILING, AND SOIL AMENDMENTS

DEFINITION
THE PROCESS OF PREPARING THE SOILS TO SUSTAIN ADEQUATE VEGETATIVE STABILIZATION.
PURPOSE
TO PROVIDE A SUITABLE SOIL MEDIUM FOR VEGETATIVE GROWTH.
CONDITIONS WHERE PRACTICE APPLIES
WHERE VEGETATIVE STABILIZATION IS TO BE ESTABLISHED.

A. SOIL PREPARATION

1. TEMPORARY STABILIZATION

- a. SEEDBED PREPARATION CONSISTS OF LOOSENING SOIL TO A DEPTH OF 3 TO 5 INCHES BY MEANS OF SUITABLE AGRICULTURAL OR CONSTRUCTION EQUIPMENT...
b. APPLY FERTILIZER AND LIME AS PRESCRIBED ON THE PLANS.
c. INCORPORATE LIME AND FERTILIZER INTO THE TOP 3 TO 5 INCHES OF SOIL BY DISKING OR OTHER SUITABLE MEANS.

2. PERMANENT STABILIZATION

- a. A SOIL TEST IS REQUIRED FOR ANY EARTH DISTURBANCE OF 5 ACRES OR MORE...
b. SOIL TESTS LESS THAN 500 PARTS PER MILLION (PPM).
c. SOIL CONTAINS LESS THAN 40 PERCENT PLANT BUT ENOUGH FINE GRAINED MATERIAL...
d. SOIL CONTAINS SUFFICIENT PORE SPACE TO PERMIT ADEQUATE ROOT PENETRATION.

B. TOPSOILING

- 1. TOPSOIL IS PLACED OVER PREPARED SUBSOIL PRIOR TO ESTABLISHMENT OF PERMANENT VEGETATION...
2. TOPSOIL SALVAGED FROM AN EXISTING SITE MAY BE USED PROVIDED IT MEETS THE STANDARDS AS SET FORTH IN THESE SPECIFICATIONS...

C. MULCHING

1. MULCH APPLICATION (IN ORDER OF PREFERENCE)

- a. STRAW CONSISTING OF THOROUGHLY THRESHED WHEAT, RYE, OAT, OR BARLEY...
b. WOOD CELLULOSE FIBER MULCH (WCFM) CONSISTING OF SPECIALLY PREPARED WOOD CELLULOSE PROCESSED INTO A UNIFORM FIBROUS PHYSICAL STATE...
c. WCFM MATERIALS ARE TO BE MANUFACTURED AND PROCESSED IN SUCH A MANNER THAT THE WOOD CELLULOSE FIBER MULCH WILL REMAIN IN UNIFORM SUSPENSION IN WATER UNDER APPLICATION AND WILL BLEND WITH SEED...

2. APPLICATION

- a. APPLY MULCH TO ALL SEEDBED AREAS IMMEDIATELY AFTER SEEDING...
b. WHEN STRAW MULCH IS USED, SPREAD IT OVER ALL SEEDBED AREAS AT THE RATE OF 2 TONS PER ACRE TO A UNIFORM LOOSE DEPTH OF 1 TO 2 INCHES...
c. TOPSOIL SHALL BE STOCKPILED AND PRESERVED ON-SITE FOR REDISTRIBUTION UNTIL FINAL GRADE.

3. ANCHORING

- a. PERFORM MULCH ANCHORING IMMEDIATELY FOLLOWING APPLICATION OF MULCH TO MINIMIZE LOSS BY WIND OR WATER...
b. A MULCH ANCHORING TOOL IS A TRACTOR DRAWN IMPLEMENT DESIGNED TO PUNCH AND ANCHOR MULCH INTO THE SOIL SURFACE...
c. WOOD CELLULOSE FIBER MULCH IS TO BE APPLIED AT A NET DRY WEIGHT OF APPROXIMATELY 100 GALLONS OF WATER.

DESIGN CERTIFICATION

"I HEREBY CERTIFY THAT THIS PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH CURRENT MARYLAND EROSION AND SEDIMENT CONTROL LAWS, REGULATIONS, AND STANDARDS...

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Table with 2 columns: Position (Director, Chief, etc.) and Date.

B-4-3 STANDARDS AND SPECIFICATIONS FOR SEEDING AND MULCHING

DEFINITION
THE APPLICATION OF SEED AND MULCH TO ESTABLISH VEGETATIVE COVER.
PURPOSE
TO PROTECT DISTURBED SOILS FROM EROSION DURING AND AT THE END OF CONSTRUCTION.
CONDITIONS WHERE PRACTICE APPLIES
TO THE SURFACE OF ALL PERIMETER CONTROLS, SLOPES, AND ANY DISTURBED AREA NOT UNDER ACTIVE GRADING.

A. SEEDING

1. SPECIFICATIONS

- a. ALL SEED MUST MEET THE REQUIREMENTS OF THE MARYLAND STATE SEED LAW...
b. ALL SEED MUST BE SUBJECT TO RE-TESTING BY A RECOGNIZED SEED LABORATORY...
c. INCULCANTS: THE INCULCANT FOR TREATING LEGUME SEED IN THE SEED MIXTURES MUST BE A PURE CULTURE OF NITROGEN FIXING BACTERIA...

2. APPLICATION

- a. DRY SEEDING: THIS INCLUDES USE OF CONVENTIONAL DROP OR BROADCAST SPREADERS...
b. DRILL OR CULTIPACKER SEEDING: MECHANIZED SEEDERS THAT APPLY AND COVER SEED WITH SOIL...
c. HYDROSEEDING: APPLY SEED UNIFORMLY WITH HYDROSEEDER (SLURRY INCLUDES SEED AND FERTILIZER)...

- 3. ADDITIONAL SEDIMENT CONTROL MUST BE PROVIDED, IF DEEMED NECESSARY BY THE CD...
4. INSPECTION DATE AND INSPECTION TYPE (ROUTINE, PRE-STORE EVENT, DURING RAIN EVENT)...

B. MULCHING

1. MULCH MATERIALS (IN ORDER OF PREFERENCE)

- a. STRAW CONSISTING OF THOROUGHLY THRESHED WHEAT, RYE, OAT, OR BARLEY...
b. WOOD CELLULOSE FIBER MULCH (WCFM) CONSISTING OF SPECIALLY PREPARED WOOD CELLULOSE PROCESSED INTO A UNIFORM FIBROUS PHYSICAL STATE...
c. WCFM MATERIALS ARE TO BE MANUFACTURED AND PROCESSED IN SUCH A MANNER THAT THE WOOD CELLULOSE FIBER MULCH WILL REMAIN IN UNIFORM SUSPENSION IN WATER UNDER APPLICATION...

2. APPLICATION

- a. APPLY MULCH TO ALL SEEDBED AREAS IMMEDIATELY AFTER SEEDING...
b. WHEN STRAW MULCH IS USED, SPREAD IT OVER ALL SEEDBED AREAS AT THE RATE OF 2 TONS PER ACRE TO A UNIFORM LOOSE DEPTH OF 1 TO 2 INCHES...
c. TOPSOIL SHALL BE STOCKPILED AND PRESERVED ON-SITE FOR REDISTRIBUTION UNTIL FINAL GRADE.

3. ANCHORING

- a. PERFORM MULCH ANCHORING IMMEDIATELY FOLLOWING APPLICATION OF MULCH TO MINIMIZE LOSS BY WIND OR WATER...
b. A MULCH ANCHORING TOOL IS A TRACTOR DRAWN IMPLEMENT DESIGNED TO PUNCH AND ANCHOR MULCH INTO THE SOIL SURFACE...
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DESIGN CERTIFICATION

"I HEREBY CERTIFY THAT THIS PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH CURRENT MARYLAND EROSION AND SEDIMENT CONTROL LAWS, REGULATIONS, AND STANDARDS...

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Table with 2 columns: Position (Director, Chief, etc.) and Date.

HOWARD SOIL CONSERVATION DISTRICT (HSCD) STANDARD SEDIMENT CONTROL NOTES

DEFINITION
TO STABILIZE DISTURBED SOILS WITH PERMANENT VEGETATION.
PURPOSE
TO USE LONG-LIVED PERENNIAL GRASSES AND LEGUMES TO ESTABLISH PERMANENT GROUND COVER ON DISTURBED SOILS.
CONDITIONS WHERE PRACTICE APPLIES
EXPOSED SOILS WHERE GROUND COVER IS NEEDED FOR 6 MONTHS OR MORE.

A. SEED MIXTURES

1. GENERAL USE

- a. SELECT ONE OR MORE OF THE SPECIES OR MIXTURES LISTED IN TABLE B.3 FOR THE APPROPRIATE PLANT HARDNESS ZONE...
b. ADDITIONAL PLANTING SPECIFICATIONS FOR EXCEPTIONAL SITES SUCH AS SHORELINES, STREAM BANKS, OR DUNES OR FOR SPECIAL PURPOSES SUCH AS WILDLIFE OR AESTHETIC TREATMENT...
c. FOR SITES HAVING DISTURBED AREAS OF 5 ACRES, USE AND SHOW THE RATES RECOMMENDED BY THE SOIL TESTING AGENCY...

2. TURFGRASS MIXTURES

- a. AREAS WHERE TURFGRASS MAY BE DESIRED INCLUDE LAWNS, PARKS, PLAYGROUNDS, AND COMMERCIAL SITES WHICH WILL RECEIVE A MEDIUM TO HIGH LEVEL OF MAINTENANCE...
b. SELECT ONE OR MORE OF THE SPECIES OR MIXTURES LISTED BELOW BASED ON THE SITE CONDITIONS OR PURPOSE...
c. KENTUCKY BLUEGRASS: FULL SUN MIXTURE: FOR USE IN AREAS THAT RECEIVE INTENSIVE MAINTENANCE...

- 4. ADDITIONAL SEDIMENT CONTROL MUST BE PROVIDED, IF DEEMED NECESSARY BY THE CD...
5. ANY SEDIMENT CONTROL PRACTICE WHICH IS DISTURBED BY GRADING ACTIVITY FOR PLACEMENT OF UTILITIES MUST BE REPAIRED ON THE SAME DAY OF DISTURBANCE...

6. SITE ANALYSIS:

- TOTAL AREA OF SITE: 5.5± Acres
AREA TO BE REOCCUPIED OR PAVED: 1.28± Acres
AREA TO BE VEGETATIVELY STABILIZED: 0.23± Acres
TOTAL CUT: 74 Cu. Yds.
TOTAL FILL: 1,528 Cu. Yds.
OFF-SITE WASTE/BORROW AREA LOCATION: TO BE DETERMINED

PERMANENT SEEDING SUMMARY

Table with columns: SEED MIXTURE, SPECIES, APPLICATION RATE, SEEDING DATES, SEEDING DEPTHS, FERTILIZER RATE, LIME RATE.

TEMPORARY SEEDING SUMMARY

Table with columns: SEED MIXTURE, SPECIES, APPLICATION RATE, SEEDING DATES, SEEDING DEPTHS, FERTILIZER RATE, LIME RATE.

\* Other cultivars listed as "proven" in the most current UMI-T-77 may also be used
B. SOD: TO PROVIDE QUICK COVER ON DISTURBED AREAS (≥1 GRADE OR FLATTER).

1. GENERAL SPECIFICATIONS

- a. CLASS OF TURFGRASS SOD MUST BE MARYLAND STATE CERTIFIED...
b. SOD MUST BE MACHINE CUT TO A UNIFORM SOIL THICKNESS OF 3/4 INCH PLUS OR MINUS 1/4 INCH...
c. STANDARDS SIZE SECTIONS OF SOD MUST BE STRONG ENOUGH TO SUPPORT THEIR OWN WEIGHT AND RETAIN THEIR SIZE AND SHAPE WHEN SUSPENDED VERTICALLY WITH A FIRM GRASP ON THE UPPER 10 PERCENT OF THE SECTION...

2. SOD INSTALLATION

- a. DURING PERIODS OF EXCESSIVELY HIGH TEMPERATURE OR IN AREAS HAVING DRY SUBSOIL...
b. LAY THE FIRST ROW OF SOD IN A STRAIGHT LINE WITH THE SUBSEQUENT ROWS PLACED PARALLEL TO IT AND TIGHTLY WEDED AGAINST EACH OTHER...
c. WHEREVER POSSIBLE, LAY SOD WITH THE LONG EDGES PARALLEL TO THE CONTOUR AND WITH STAGGERING JOINTS ROLL AND TAMP PEG OR OTHERWISE SECURE THE SOD TO PREVENT SURFACE SOIL LOSS...

DEFINITION
TO STABILIZE DISTURBED SOILS WITH PERMANENT VEGETATION.

PURPOSE
TO USE LONG-LIVED PERENNIAL GRASSES AND LEGUMES TO ESTABLISH PERMANENT GROUND COVER ON DISTURBED SOILS.
CONDITIONS WHERE PRACTICE APPLIES
EXPOSED SOILS WHERE GROUND COVER IS NEEDED FOR 6 MONTHS OR MORE.

A. SEED MIXTURES

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TOTAL CUT: 74 Cu. Yds.
TOTAL FILL: 1,528 Cu. Yds.
OFF-SITE WASTE/BORROW AREA LOCATION: TO BE DETERMINED

PERMANENT SEEDING SUMMARY

Table with columns: SEED MIXTURE, SPECIES, APPLICATION RATE, SEEDING DATES, SEEDING DEPTHS, FERTILIZER RATE, LIME RATE.

TEMPORARY SEEDING SUMMARY

Table with columns: SEED MIXTURE, SPECIES, APPLICATION RATE, SEEDING DATES, SEEDING DEPTHS, FERTILIZER RATE, LIME RATE.

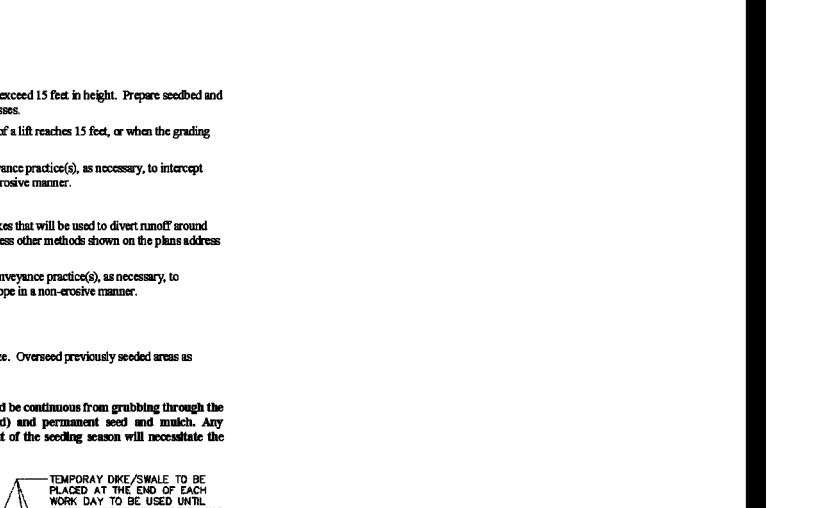
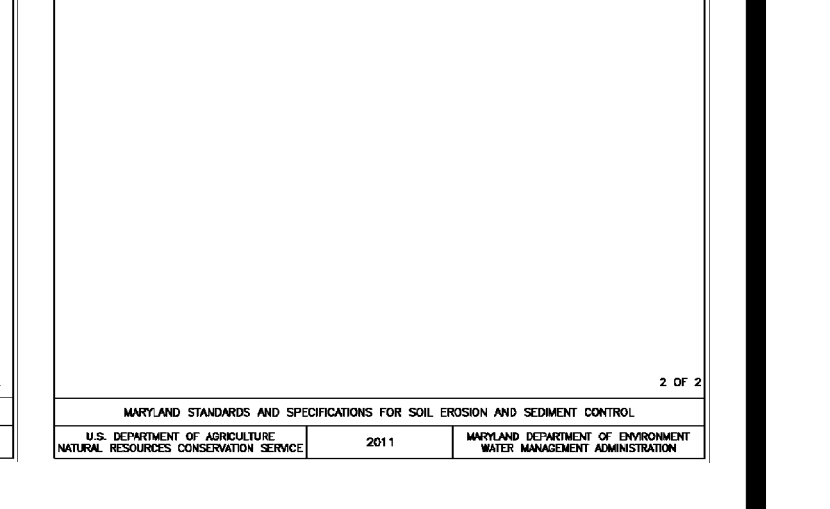
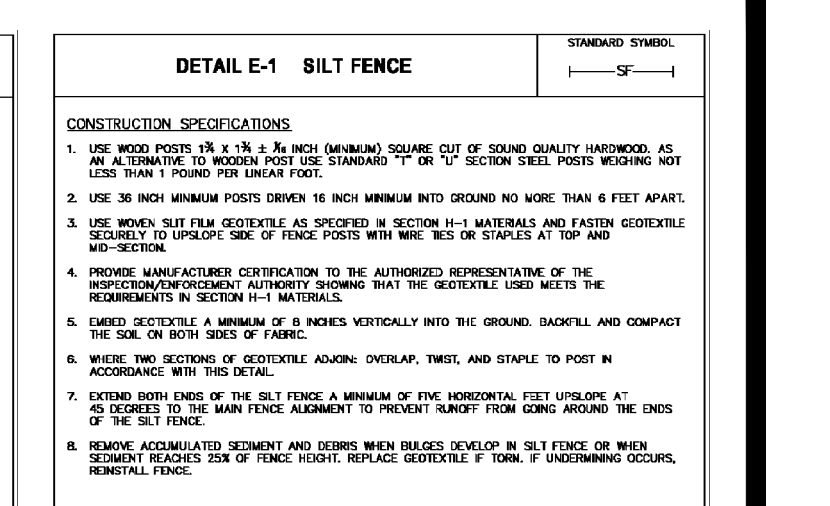
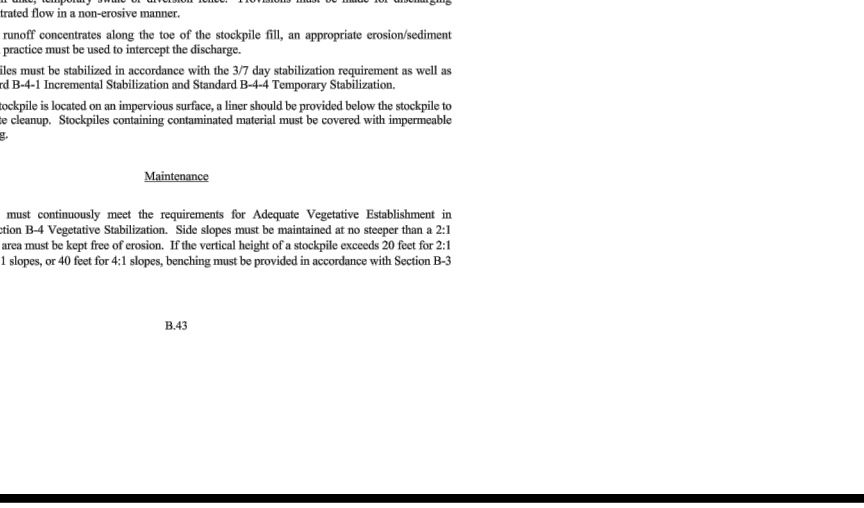
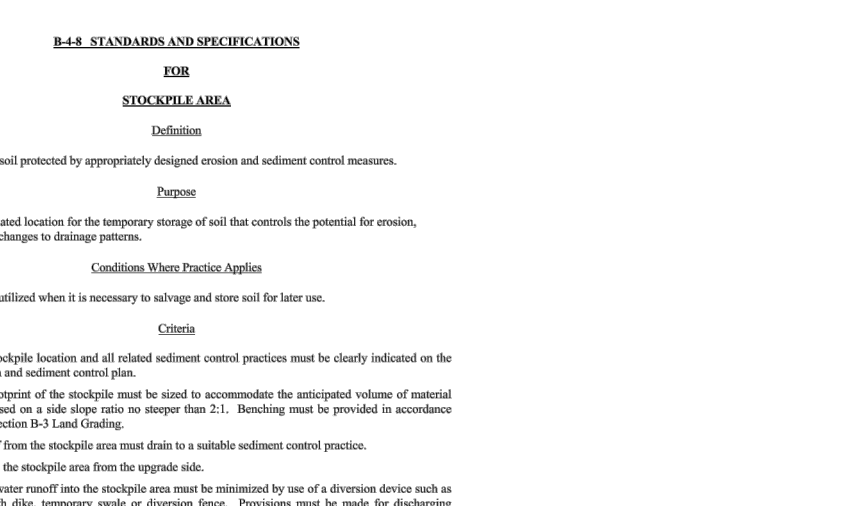
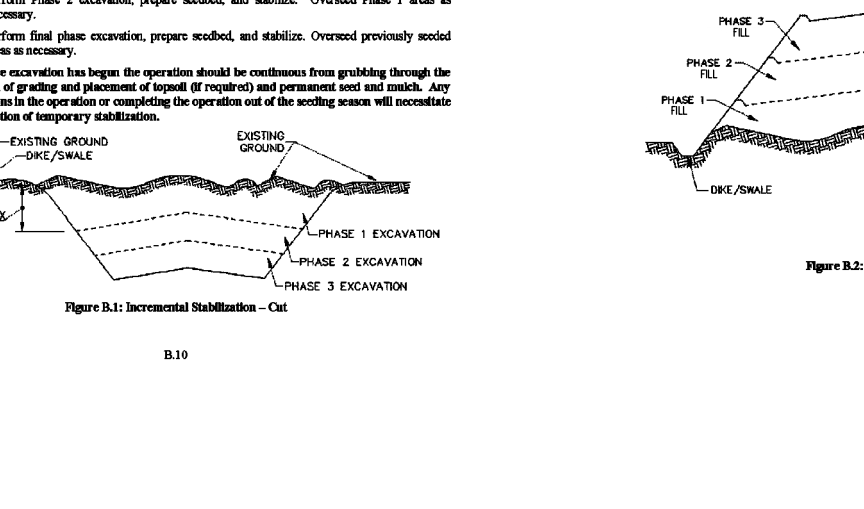
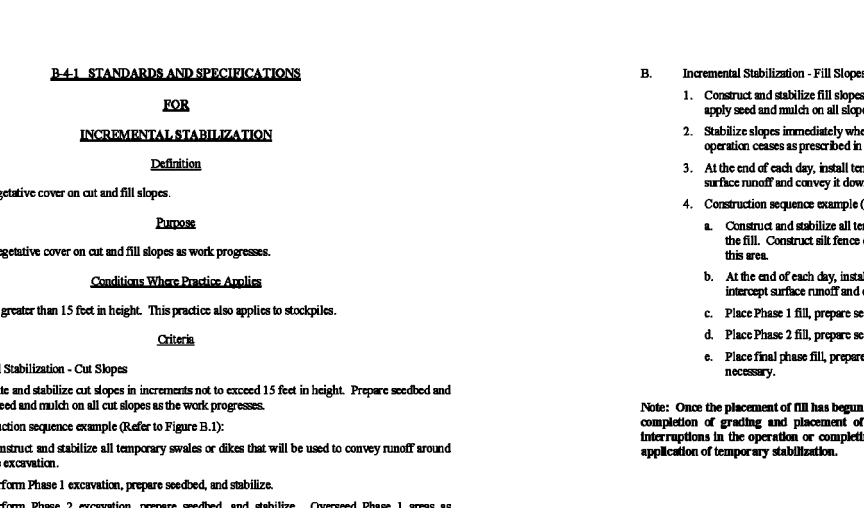
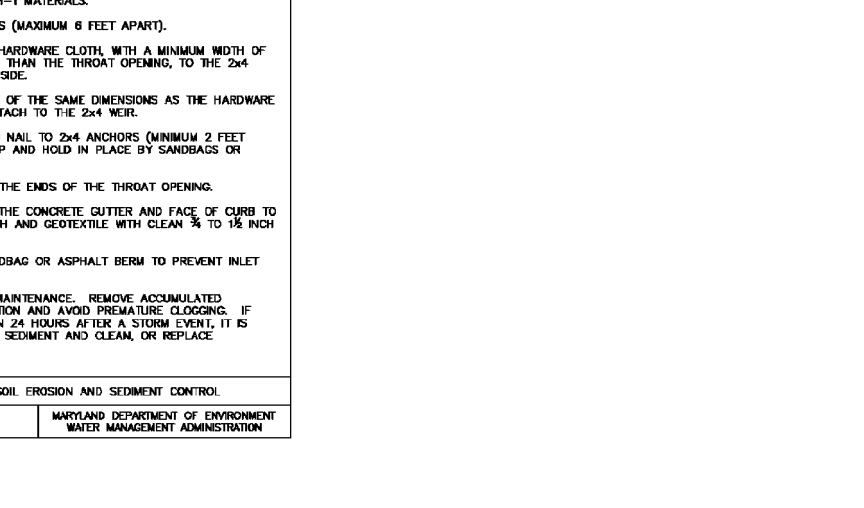
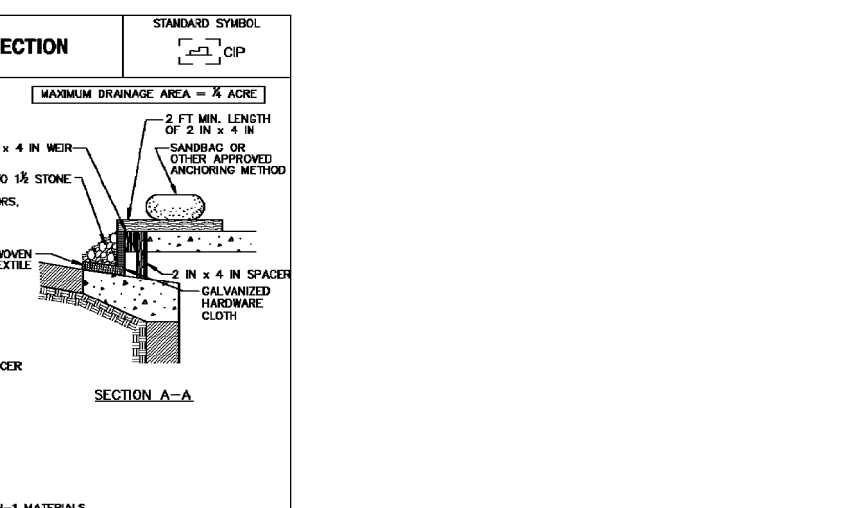
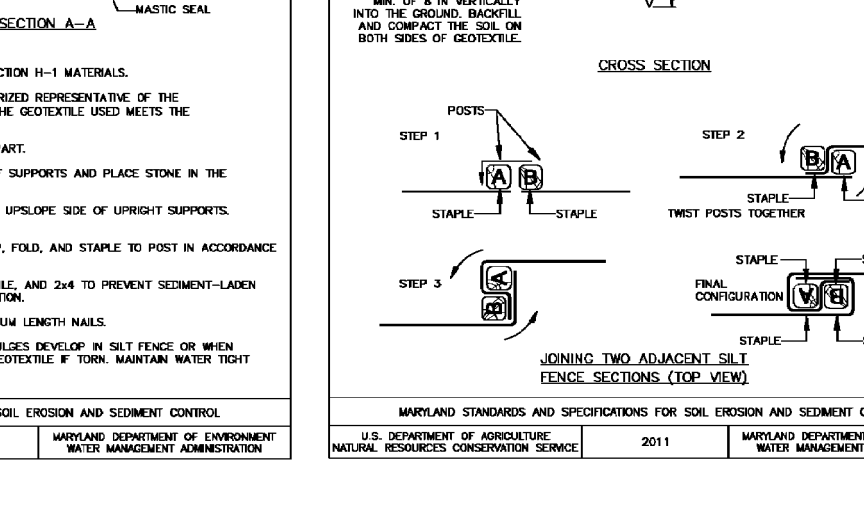
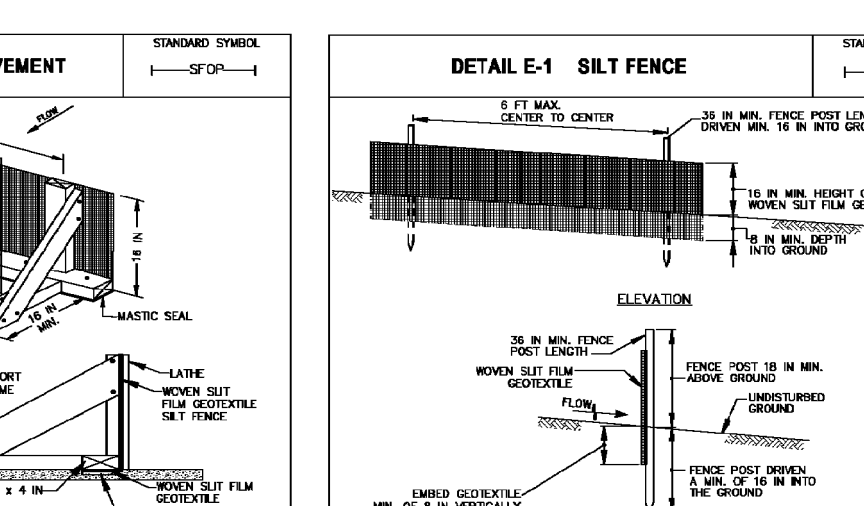
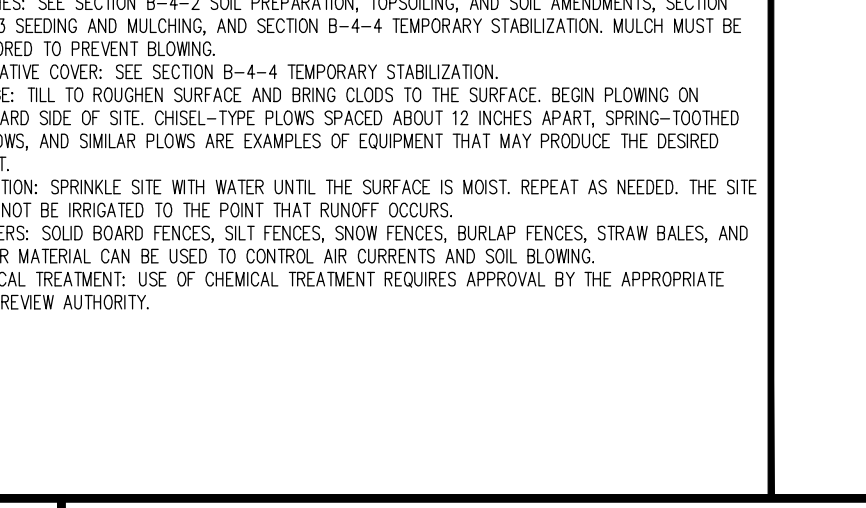
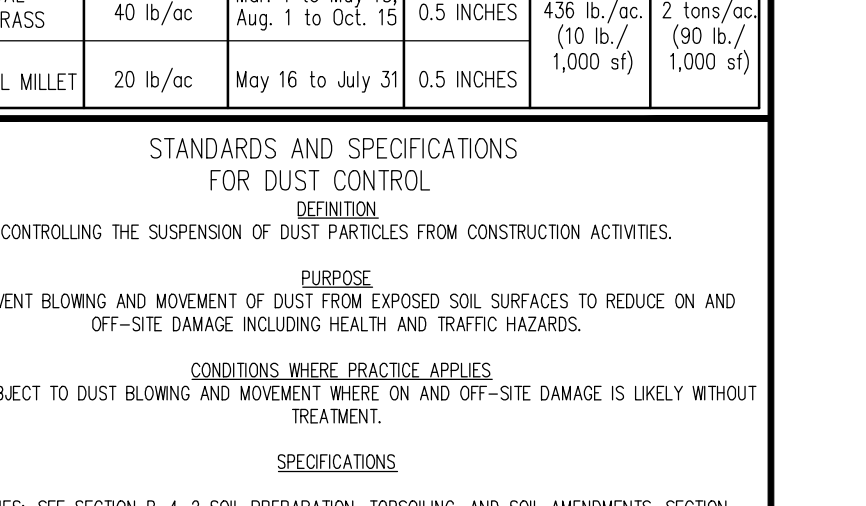
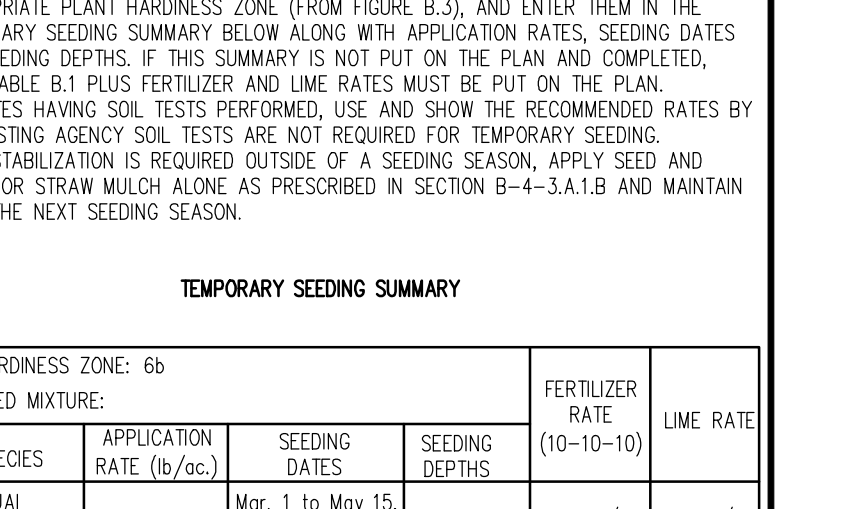
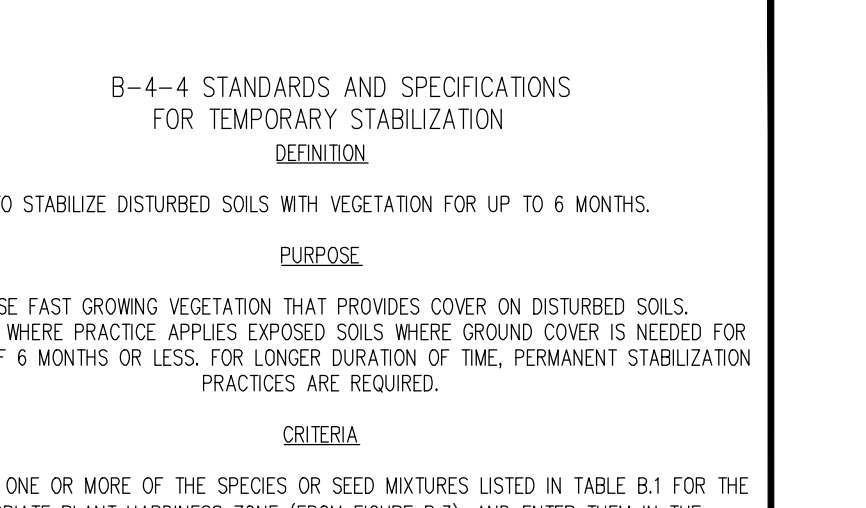
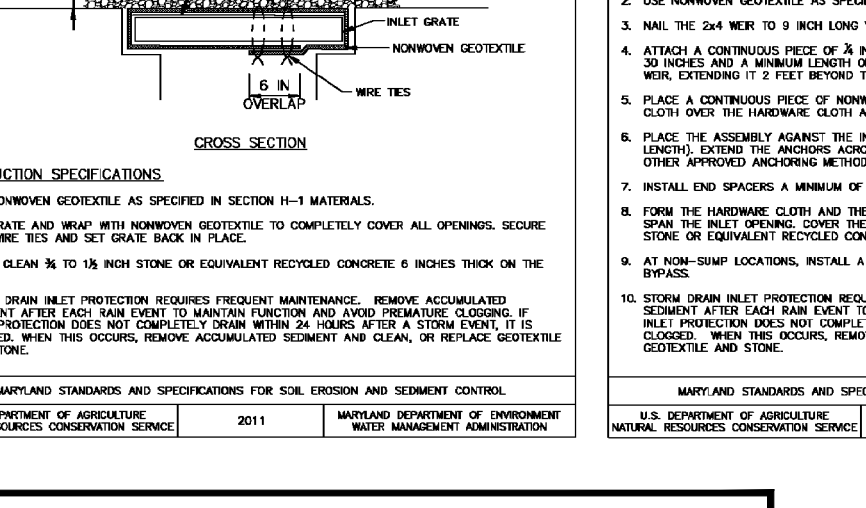
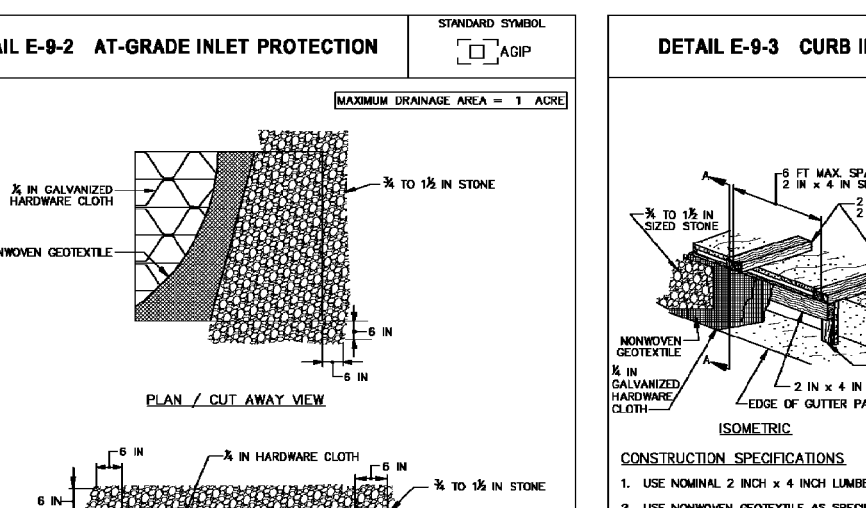
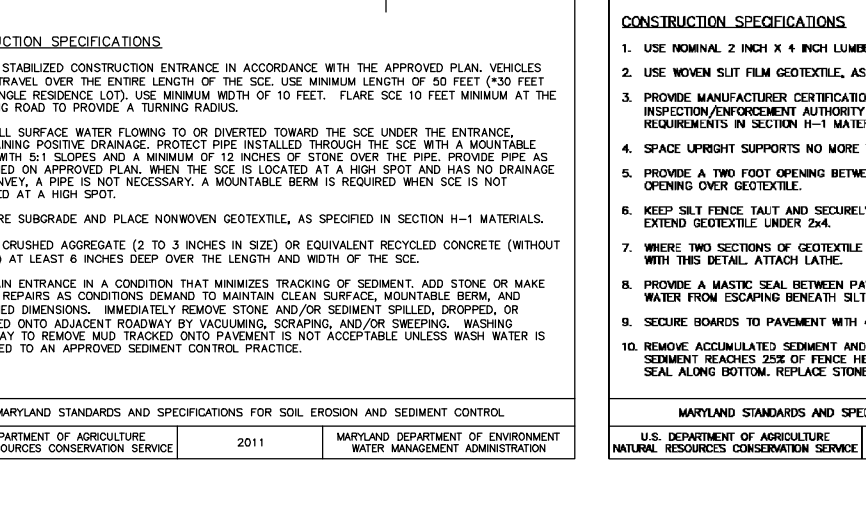
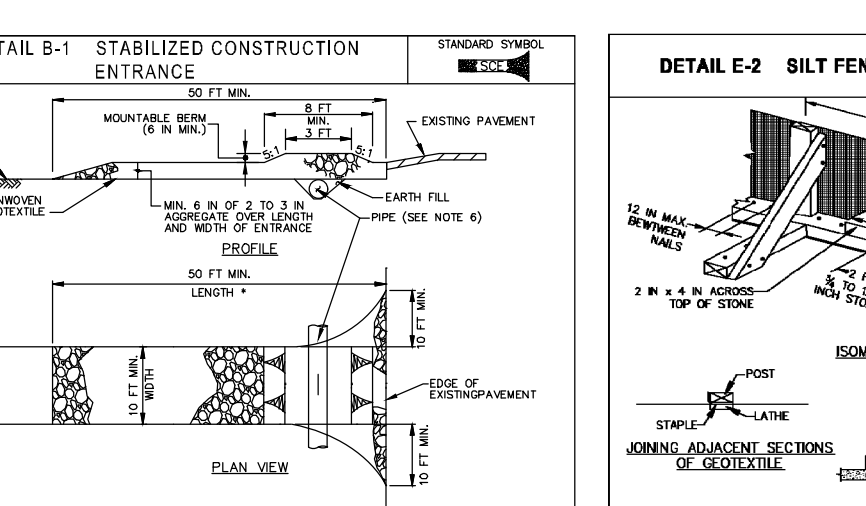
\* Other cultivars listed as "proven" in the most current UMI-T-77 may also be used
B. SOD: TO PROVIDE QUICK COVER ON DISTURBED AREAS (≥1 GRADE OR FLATTER).

1. GENERAL SPECIFICATIONS

- a. CLASS OF TURFGRASS SOD MUST BE MARYLAND STATE CERTIFIED...
b. SOD MUST BE MACHINE CUT TO A UNIFORM SOIL THICKNESS OF 3/4 INCH PLUS OR MINUS 1/4 INCH...
c. STANDARDS SIZE SECTIONS OF SOD MUST BE STRONG ENOUGH TO SUPPORT THEIR OWN WEIGHT AND RETAIN THEIR SIZE AND SHAPE WHEN SUSPENDED VERTICALLY WITH A FIRM GRASP ON THE UPPER 10 PERCENT OF THE SECTION...

2. SOD INSTALLATION

- a. DURING PERIODS OF EXCESSIVELY HIGH TEMPERATURE OR IN AREAS HAVING DRY SUBSOIL...
b. LAY THE FIRST ROW OF SOD IN A STRAIGHT LINE WITH THE SUBSEQUENT ROWS PLACED PARALLEL TO IT AND TIGHTLY WEDED AGAINST EACH OTHER...
c. WHEREVER POSSIBLE, LAY SOD WITH THE LONG EDGES PARALLEL TO THE CONTOUR AND WITH STAGGERING JOINTS ROLL AND TAMP PEG OR OTHERWISE SECURE THE SOD TO PREVENT SURFACE SOIL LOSS...



APPROVED PLANNING BOARD OF HOWARD COUNTY
Date:
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
Director Date
Chief, Division of Land Development Date
Chief, Development Engineering Division Date

DESIGNED BY: BMW
DRAWN BY: BMW
CHECKED BY: DDS
DATE: DATE
REVISION: REVISION
BY: BY
APPR: APPR

OWNER/DEVELOPER:
OWNER'S/ DEVELOPER'S SIGNATURE: DATE
PRINTED NAME: PRINTED NAME # TITLE

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975
EXPIRATION DATE: MAY 26, 2022

SEDIMENT CONTROL NOTES AND DETAILS
SCALE: 1"=30'
ZONING: NT
G. L. W. FILE NO.: 20130
DATE: NOV, 2021
TAX MAP - GRID: 42-03
SHEET: 11 OF 14

WOODMERE RETAIL
VILLAGE OF OWEN BROWN, SEC. 3 AREA 1
PARCEL A-6
PLAT 6513
ELECTION DISTRICT No. 6
HOWARD COUNTY, MARYLAND

SCALE: 1"=30'
ZONING: NT
G. L. W. FILE NO.: 20130
DATE: NOV, 2021
TAX MAP - GRID: 42-03
SHEET: 11 OF 14
SDP-21-045

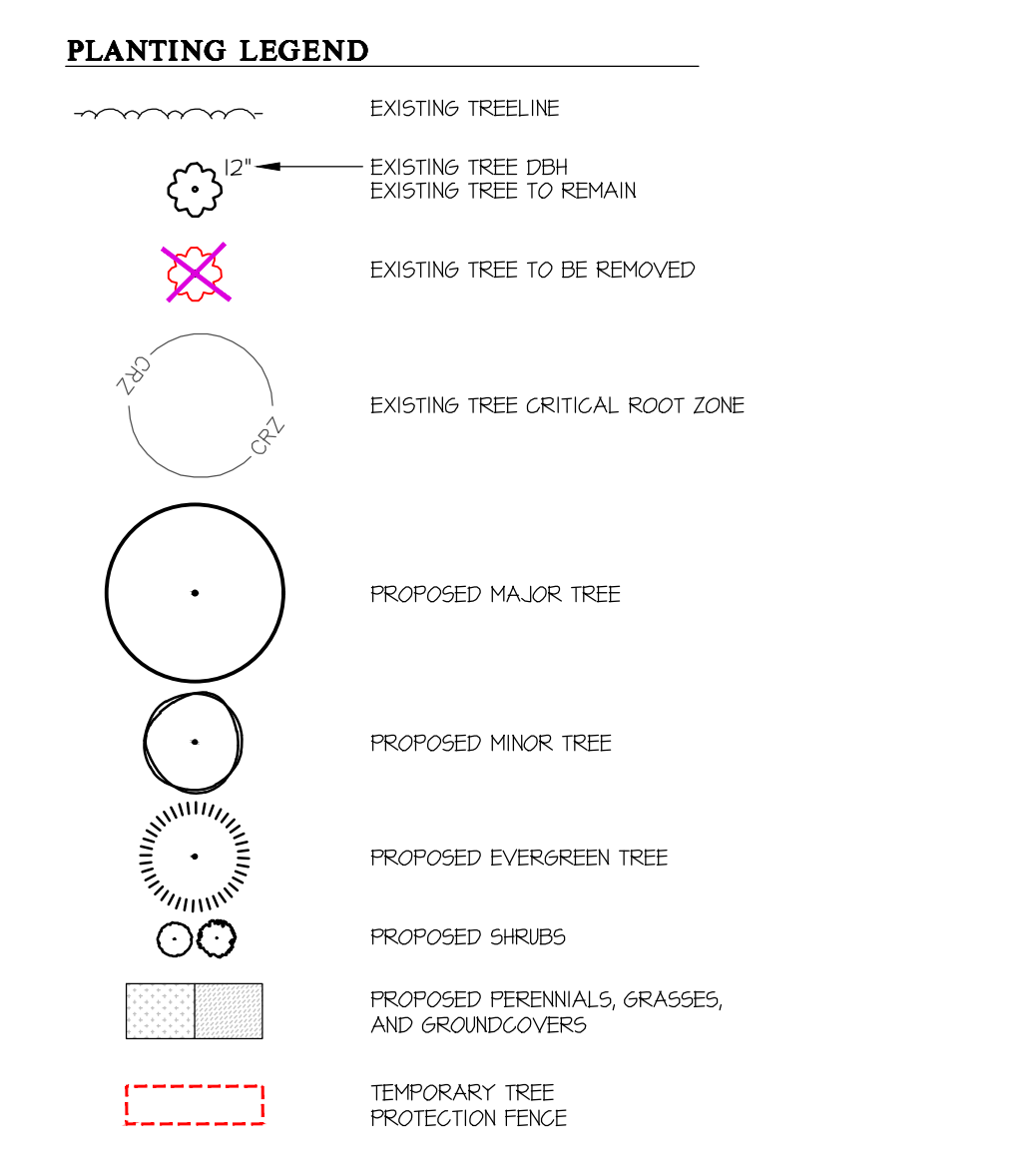
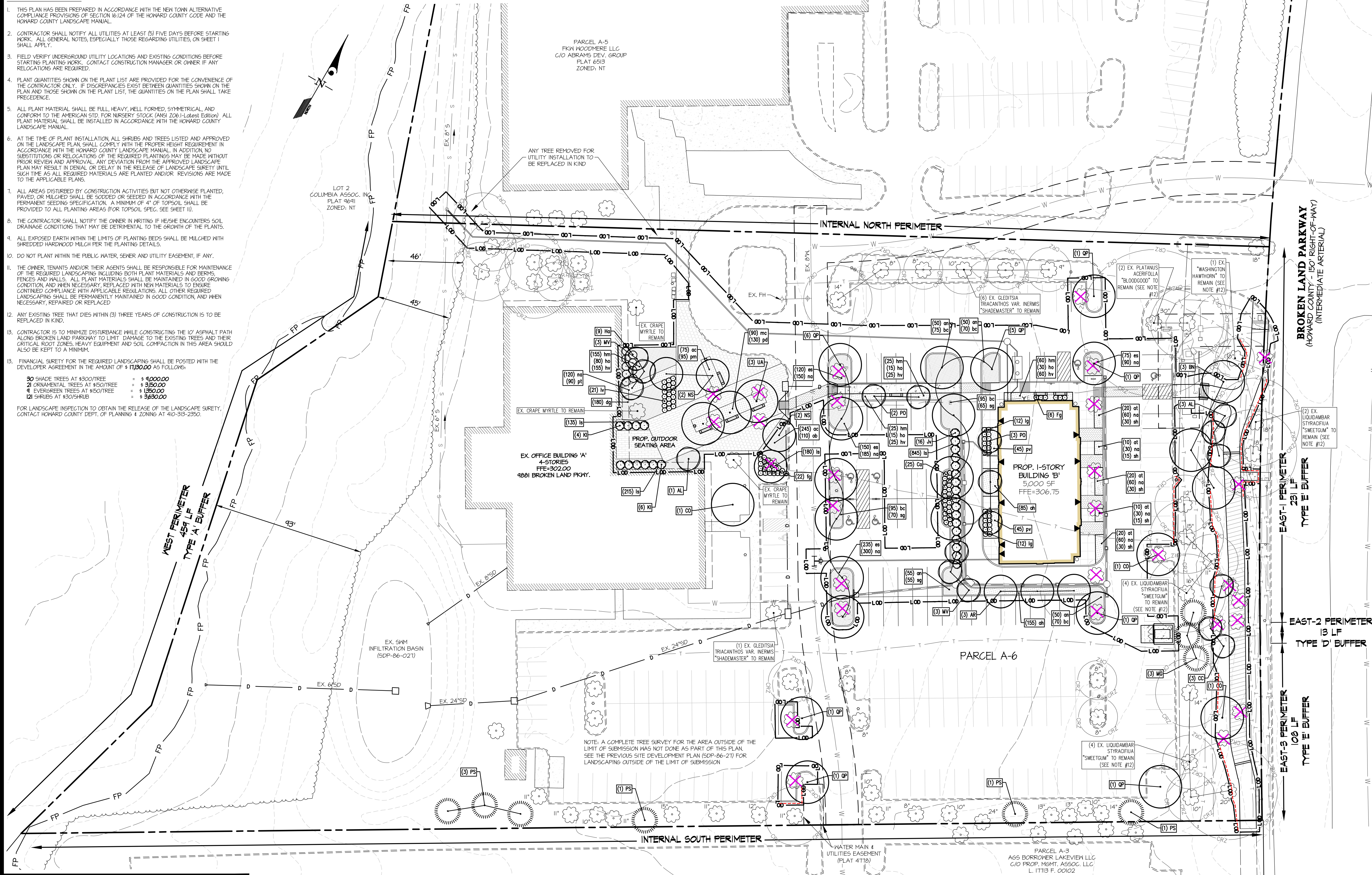


LANDSCAPE NOTES

- 1. THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE NEW TOWN ALTERNATIVE COMPLIANCE PROVISIONS OF SECTION 16124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL.
2. CONTRACTOR SHALL NOTIFY ALL UTILITIES AT LEAST (5) FIVE DAYS BEFORE STARTING WORK. ALL GENERAL NOTES, ESPECIALLY THOSE REGARDING UTILITIES, ON SHEET I SHALL APPLY.
3. FIELD VERIFY UNDERGROUND UTILITY LOCATIONS AND EXISTING CONDITIONS BEFORE STARTING PLANTING WORK. CONTACT CONSTRUCTION MANAGER OR OWNER IF ANY RELOCATIONS ARE REQUIRED.
4. PLANT QUANTITIES SHOWN ON THE PLANT LIST ARE PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR ONLY. IF DISCREPANCIES EXIST BETWEEN QUANTITIES SHOWN ON THE PLAN AND THOSE SHOWN ON THE PLANT LIST, THE QUANTITIES ON THE PLAN SHALL TAKE PRECEDENCE.
5. ALL PLANT MATERIAL SHALL BE FULL, HEAVY, WELL FORMED, SYMMETRICAL, AND CONFORM TO THE AMERICAN STD. FOR NURSERY STOCK (ANSI Z60.1-2018 Edition). ALL PLANT MATERIAL SHALL BE INSTALLED IN ACCORDANCE WITH THE HOWARD COUNTY LANDSCAPE MANUAL.
6. AT THE TIME OF PLANT INSTALLATION, ALL SHRUBS AND TREES LISTED AND APPROVED ON THE LANDSCAPE PLAN SHALL COMPLY WITH THE PROPER HEIGHT REQUIREMENT IN ACCORDANCE WITH THE HOWARD COUNTY LANDSCAPE MANUAL. IN ADDITION, NO SUBSTITUTIONS OR RELOCATIONS OF THE REQUIRED PLANTINGS MAY BE MADE WITHOUT PRIOR REVIEW AND APPROVAL. ANY DEVIATION FROM THE APPROVED LANDSCAPE PLAN MAY RESULT IN DENIAL OR DELAY IN THE RELEASE OF LANDSCAPE SURETY UNTIL SUCH TIME AS ALL REQUIRED MATERIALS ARE PLANTED AND/OR REVISIONS ARE MADE TO THE APPLICABLE PLANS.
7. ALL AREAS DISTURBED BY CONSTRUCTION ACTIVITIES BUT NOT OTHERWISE PLANTED, GRAVED OR MULCHED SHALL BE SOLOPED OR SEEDED IN ACCORDANCE WITH THE PERMANENT SEEDING SPECIFICATION. A MINIMUM OF 4" OF TOPSOIL SHALL BE PROVIDED TO ALL PLANTING AREAS (FOR TOPSOIL SPEC. SEE SHEET II).
8. THE CONTRACTOR SHALL NOTIFY THE OWNER IN WRITING IF HE/SHE ENCOUNTERS SOIL DRAINAGE CONDITIONS THAT MAY BE DETRIMENTAL TO THE GROWTH OF THE PLANTS.
9. ALL EXPOSED EARTH WITHIN THE LIMITS OF PLANTING BEDS SHALL BE MULCHED WITH SHREDDED HARDWOOD MULCH PER THE PLANTING DETAILS.
10. DO NOT PLANT WITHIN THE PUBLIC WATER, SEWER AND UTILITY EASEMENT, IF ANY.
11. THE OWNER, TENANTS AND/OR THEIR AGENTS SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE REQUIRED LANDSCAPING INCLUDING BOTH PLANT MATERIALS AND BERM, FENCES AND WALLS. ALL PLANT MATERIALS SHALL BE MAINTAINED IN GOOD GROWING CONDITION, AND WHEN NECESSARY, REPLACED WITH NEW MATERIALS TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE REGULATIONS. ALL OTHER REQUIRED LANDSCAPING SHALL BE PERMANENTLY MAINTAINED IN GOOD CONDITION, AND WHEN NECESSARY, REPAIRED OR REPLACED.
12. ANY EXISTING TREE THAT DIES WITHIN (3) THREE YEARS OF CONSTRUCTION IS TO BE REPLACED IN KIND.
13. CONTRACTOR IS TO MINIMIZE DISTURBANCE WHILE CONSTRUCTING THE 10' ASPHALT PATH ALONG BROKEN LAND PARKWAY TO LIMIT DAMAGE TO THE EXISTING TREES AND THEIR CRITICAL ROOT ZONES. HEAVY EQUIPMENT AND SOIL CONACTION IN THIS AREA SHOULD ALSO BE KEPT TO A MINIMUM.
13. FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING SHALL BE POSTED WITH THE DEVELOPER AGREEMENT IN THE AMOUNT OF \$110,000 AS FOLLOWS:

Table with 2 columns: Item description and Cost. Includes 30 Shade Trees at \$3000/tree, 2 Ornamental Trees at \$1500/tree, 4 Evergreen Trees at \$1500/tree, and 12 Shrubs at \$300/shrub.

FOR LANDSCAPE INSPECTION TO OBTAIN THE RELEASE OF THE LANDSCAPE SURETY, CONTACT HOWARD COUNTY DEPT. OF PLANNING & ZONING AT 410-313-2550.



Planting Legend Table: Lists botanical names, common names, sizes, and notes for various plant species including Shade Trees, Ornamental Trees, Evergreen Trees, Shrubs, and Perennials/Grasses & Groundcovers.

SCHEDULE-A: PERIMETER LANDSCAPE EDGE

Table with 5 columns: PERIMETER, EAST-1, EAST-2, EAST-3, WEST. Rows include Use Situation, Landscape Buffer Type, Linear Feet of Roadway/Perimeter Frontage/Bldg., Credit for Ex. Vegetation, and Credit for Wall/Fence/Berm.

SCHEDULE B: PARKING LOT INTERNAL LANDSCAPING

Table with 4 columns: BUFFER TYPE, SHADE TREES/LF, EVG. TREES/LF, SHRUBS/LF. Rows include A, B, C, D, E.

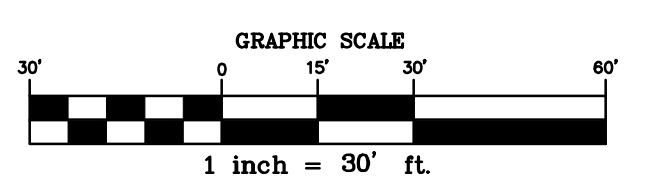
SCHEDULE B: PARKING LOT INTERNAL LANDSCAPING

Table with 2 columns: NUMBER OF PARKING SPACES, NUMBER OF TREES PROVIDED. Rows include 10 FT SPACES and 10 (1 SHADE TREE PER 20 PARKING SPACES).

APPROVED PLANNING BOARD OF HOWARD COUNTY
Date:

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
Director:
Chief, Division of Land Development:
Chief, Development Engineering Division:

DEVELOPER'S/BUILDER'S CERTIFICATE
I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION A LETTER OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.



THIS PLAN IS FOR LANDSCAPING PURPOSES ONLY

GLW logo and contact information: 3609 NATIONAL DRIVE | SUITE 250 | BURTONSVILLE, MD 20866 | GLWPA.COM

Table with columns: DESIGNED BY, DRAWN BY, CHECKED BY, DATE, REVISION, BY, APPR.

OWNER/DEVELOPER:
FKW WOODMERE LLC
C/O ABRAMS DEVELOPMENT GROUP
8601 ROBERT FULTON DRIVE, SUITE 100
COLUMBIA, MD 21046
ATTN: PETER MATHIESON
TEL: 443-539-4806

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12875.
EXPIRATION DATE: MAY 26, 2022

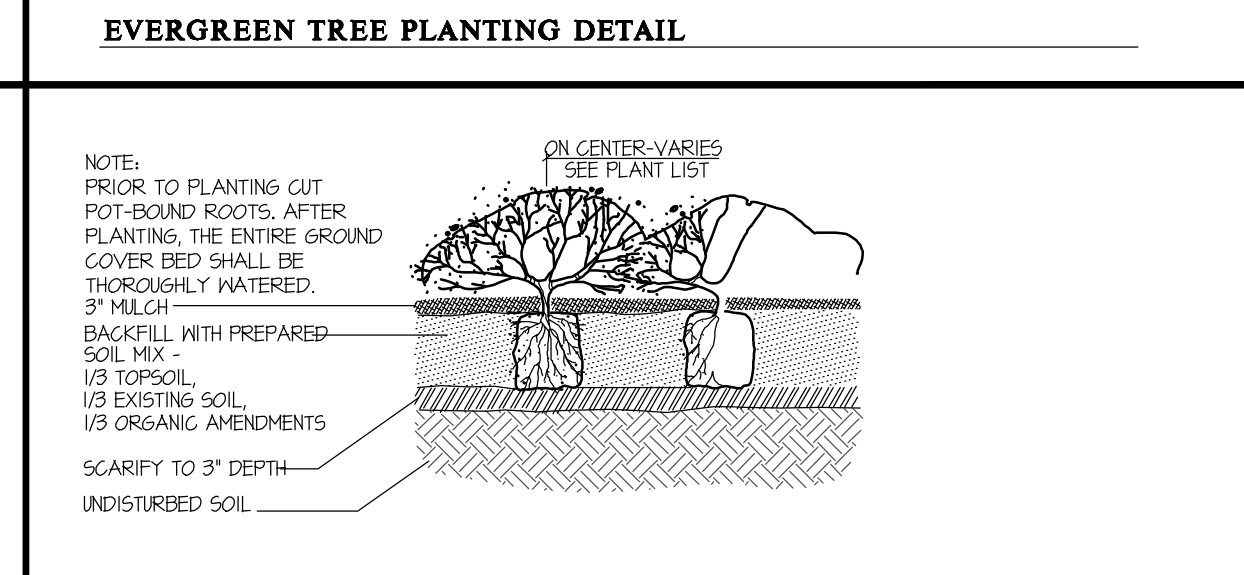
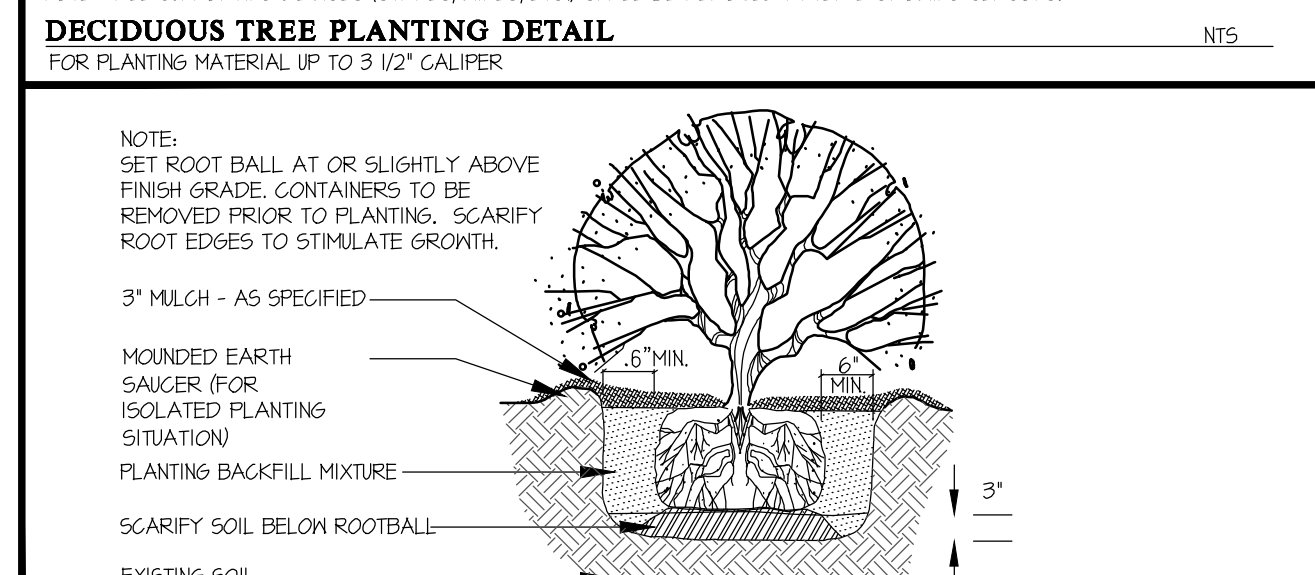
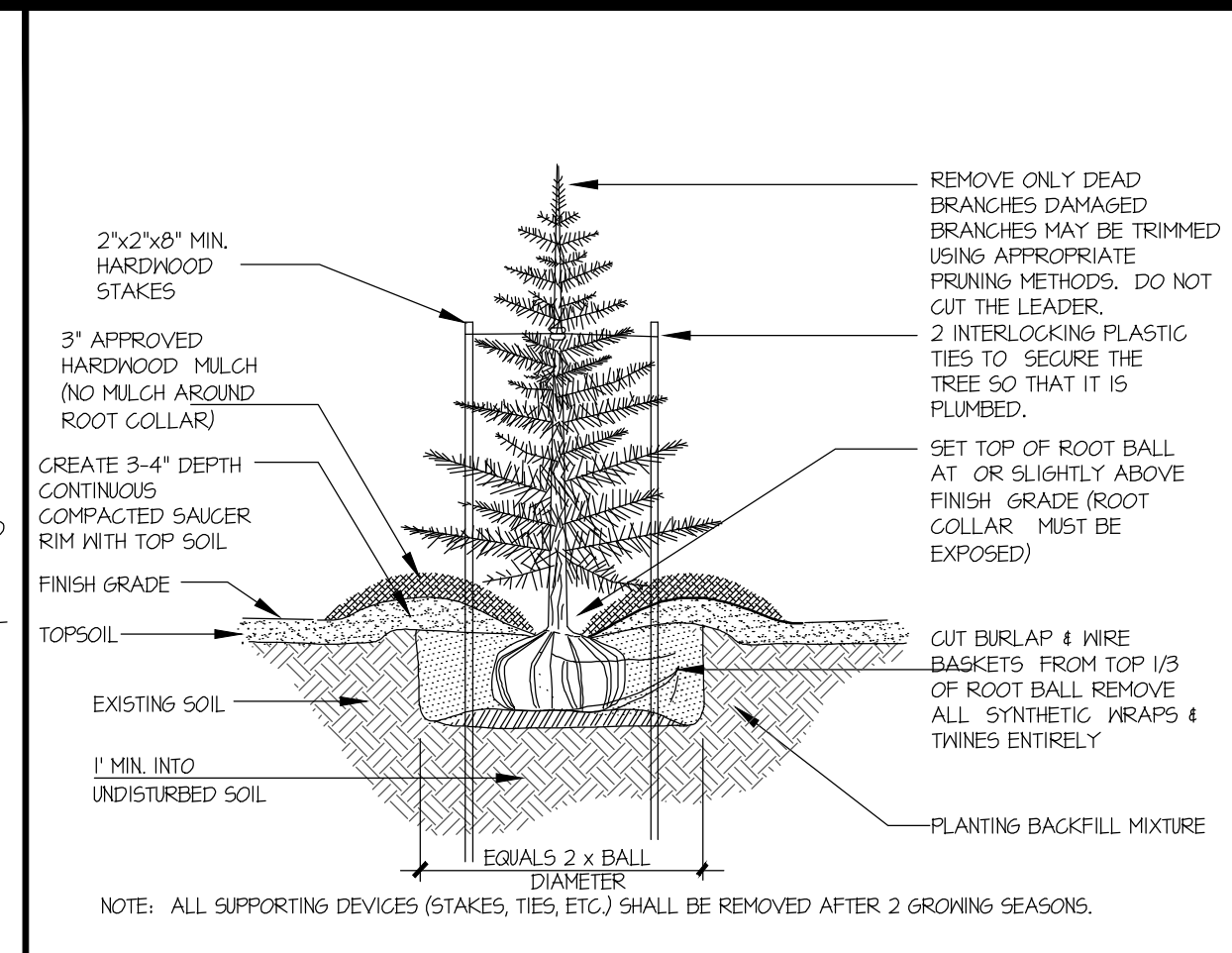
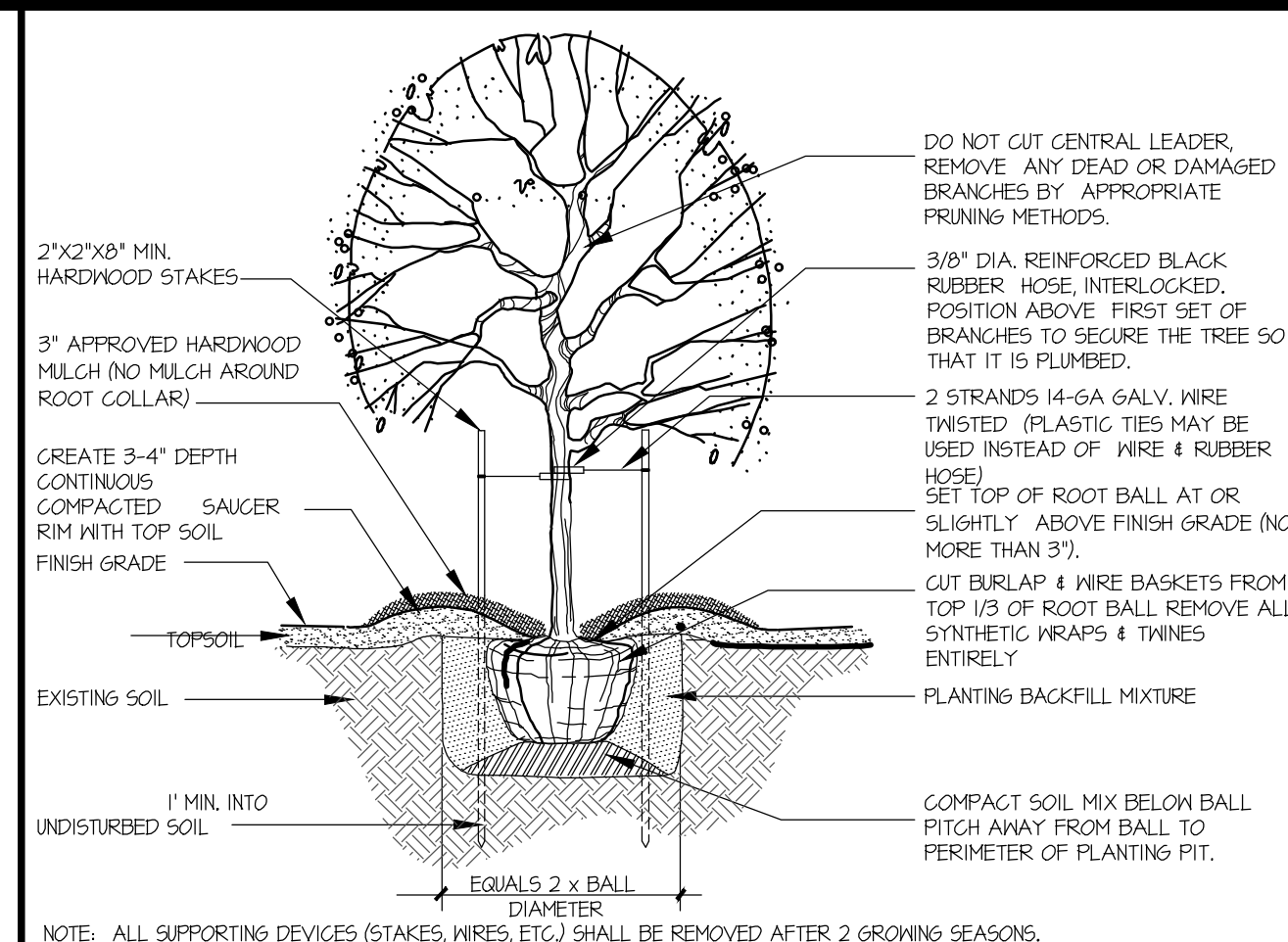
LANDSCAPE PLAN
WOODMERE RETAIL
VILLAGE OF OWEN BROWN, SEC. 3 AREA 1
PARCEL A-6
PLAT 6513

Table with columns: SCALE, ZONING, G. L. W. FILE NO., DATE, TAX MAP - GRID, SHEET. Values include 1"=30', NT, 20130, NOV, 2021, 42-03, 12 OF 14.



**LANDSCAPE SPECIFICATIONS:**

- 1.0 GENERAL CONDITIONS**
- 1.1 SCOPE OF WORK:**  
 A. THE LANDSCAPE CONTRACTOR SHALL PROVIDE ALL MATERIALS, LABOR AND EQUIPMENT TO COMPLETE ALL LANDSCAPE WORK AS SHOWN ON THE PLANS AND SPECIFICATIONS.  
 B. TOTAL NUMBER OF PLANTS SHALL BE DRAWN ON THE LANDSCAPE PLAN. IF THERE IS A DISCREPANCY BETWEEN THE DRAWING AND THE LIST ON THE PLANS, THE CONTRACTOR SHALL REQUEST CLARIFICATION FROM THE LANDSCAPE ARCHITECT.
- 1.2 STANDARDS:**  
 A. ALL PLANT MATERIAL SHALL CONFORM TO THE CURRENT ISSUE OF THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI 260.1). ALL TREES TO BE BRANCHED SYMMETRICALLY AROUND CENTRAL LEADER. NO FORKED LEADER STOCK WILL BE ACCEPTED.  
 B. PLANT MATERIAL MUST BE SELECTED FROM NURSERIES THAT HAVE BEEN INSPECTED AND CERTIFIED BY STATE PLANT INSPECTORS.  
 C. NOMENCLATURE WILL BE IN ACCORDANCE WITH HORTUS III BY L.H. BAILEY.
- 1.3 SUBMITTALS:**  
 WHEN REQUESTED BY THE OWNER OR OWNER'S REPRESENTATIVE, SAMPLES OF ALL MATERIAL OTHER THAN PLANTS SHALL BE SUBMITTED TO THE OWNER'S DESIGNATED REPRESENTATIVE FOR APPROVAL.
- 1.4 APPROVALS:**  
 ALL APPROVALS WILL BE IN WRITING.
- 1.5 SUBSTITUTIONS:**  
 IT IS THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY TO MAKE EVERY REASONABLE EFFORT TO FIND THE MATERIAL SPECIFIED BY THE LANDSCAPE ARCHITECT. THE LANDSCAPE CONTRACTOR MAY OFFER SUBSTITUTIONS TO THE LANDSCAPE ARCHITECT FOR HIS/HER CONSIDERATION. THE LANDSCAPE CONTRACTOR WILL NOTIFY THE LANDSCAPE ARCHITECT IF THERE ARE KNOWN DISEASE OR INSECT RESISTANT SPECIES THAT CAN BE SUBSTITUTED FOR A SELECTED PEST-FREE PLANT. ALL SUBSTITUTIONS SHALL BE APPROVED BY HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING.
- 1.6 UTILITIES AND UNDERGROUND FEATURES:**  
 THE LANDSCAPE CONTRACTOR SHALL NOTIFY UTILITY COMPANIES AND/OR THE GENERAL CONTRACTOR IN ADVANCE OF CONSTRUCTION TO LOCATE UTILITIES.
- 1.7 DRAINAGE:**  
 IF PLANTS ARE TO BE INSTALLED IN AREAS THAT SHOW OBVIOUS POOR DRAINAGE, AND THE PLANTS ARE INAPPROPRIATE FOR THAT CONDITION, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT AND OWNER. IF THEY DEEM NECESSARY, THE PLANTS SHALL BE RELOCATED. THE CONTRACT SHALL BE ADJUSTED TO ALLOW FOR DRAINAGE CORRECTION AT A NEGOTIATED COST, OR THE PLANT SELECTION MODIFIED BY THE LANDSCAPE ARCHITECT TO ACCOMMODATE THE POOR DRAINAGE SITUATION.
- 1.8 WORKMANSHIP:**  
 A. DURING DELIVERY AND INSTALLATION, THE LANDSCAPE CONTRACTOR SHALL PERFORM IN A WORKSMANLIKE MANNER, COORDINATING HIS/HER ACTIVITIES SO AS NOT TO INTERFERE UNNECESSARILY WITH THE WORK OF OTHER TRADES AND LEAVING HIS/HER AREAS CLEAN (CLEAN OF LEAF LITTER AND DEBRIS AT THE CLOSE OF EACH WORKDAY).  
 B. DURING PLANTING, ALL AREAS SHALL BE KEPT NEAT AND CLEAN. PRECAUTIONS SHALL BE TAKEN TO AVOID DAMAGE TO EXISTING PLANTS, LARGE TREES, TREES AND STRUCTURES. WHERE EXISTING TREES ARE TO BE PRESERVED, ADDITIONAL PRECAUTIONS SHOULD BE TAKEN TO AVOID UNNECESSARY ACCUMULATION OF EXCAVATED MATERIALS, SOIL COMPACTION OR ROOT DAMAGE.  
 C. UPON COMPLETION, ALL DEBRIS AND WASTE MATERIAL RESULTING FROM PLANTING OPERATIONS SHALL BE REMOVED FROM THE PROJECT AND THE AREA CLEANED UP.  
 D. ANY DAMAGE TO THE EXISTING UTILITIES, BUILDINGS, PAVING, CURB AND WALLS, AND VEGETATION (NOT SO DESIGNATED FOR REMOVAL ON THESE PLANS) SHALL BE REPAIRED TO PREVIOUS CONDITION OR REPLACED BY THE CONTRACTOR AT HIS EXPENSE.
- 1.9 WATER:**  
 A. THE OWNER SHALL SUPPLY WATER ON SITE AT NO COST. IF THE LANDSCAPE CONTRACTOR HAS TO SUPPLY WATER TO THE SITE, IT SHALL BE AT AN ADDITIONAL COST.
- 1.10 PLANTING SEASON:**  
 A. RED OAK, WHITE OAK, HILLTOP OAK, SCARLET OAKS, DOGWOOD, SHEET GUM, CONIFERS, AND BROAD LEAF EVERGREENS WILL NOT BE PLANTED BETWEEN NOVEMBER 15 AND MARCH 1, UNLESS THE LANDSCAPE CONTRACTOR STATES IN WRITING THAT HE/SHE WILL GUARANTEE PLANTS.
- 1.11 INSPECTIONS AND ACCEPTANCE:**  
 A. INITIAL INSPECTION PRIOR TO PLANTING, ALL PLANT LOCATIONS SHALL BE STAKED IN THE FIELD BY THE CONTRACTOR. THE LANDSCAPE ARCHITECT SHALL BE CONTACTED TO INSPECT AND APPROVE ALL PLANT LOCATIONS BEFORE PLANTING.  
 B. FINAL ACCEPTANCE INSPECTION: A VERIFICATION OF PERFORMANCE FOR WORK BY CONTRACT DOCUMENTS, TO BE CONDUCTED BY THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE ON-SITE AND IN THE PRESENCE OF THE LANDSCAPE CONTRACTOR FOR THE PURPOSE OF ACCEPTANCE.  
 C. FINAL WARRANTY INSPECTION: THE LANDSCAPE CONTRACTOR SHALL CONDUCT A FINAL INSPECTION WITH THE OWNER OR OWNER'S REPRESENTATIVE AT THE END OF THE ONE YEAR PERIOD.
- 1.12 WARRANTY:**  
 A. THE STANDARD WARRANTY IS FOR ONE (1) YEAR PERIOD, EXCLUDING BULBS AND ANNUALS, COMMENCING ON THE DATE OF INITIAL ACCEPTANCE. ALL PLANTS SHALL BE ALIVE AND IN SATISFACTORY GROWTH AT THE END OF THE GUARANTEE PERIOD.  
 B. ANY MATERIAL THAT IS 25% DEAD OR MORE SHALL BE CONSIDERED DEAD AND MUST BE REPLACED AT NO CHARGE. A TREE SHALL BE CONSIDERED DEAD WHEN THE MAIN LEADER HAS DIED BACK, OR 25% OF THE CROWN IS DEAD.  
 C. PERENNIALS SHALL BE GUARANTEED FOR ONE YEAR AFTER INITIAL ACCEPTANCE.
- 2.0 PLANT MATERIALS**
- 2.1 SCOPE OF WORK:**  
 THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING AND INSTALLING ALL PLANT MATERIAL SHOWN ON THE DRAWINGS AND PLANT LIST.
- 2.2 INSPECTION:**  
 A. PLANTS SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE OWNER OR OWNER'S REPRESENTATIVE AT THE PLACE OF GROWTH (BEFORE DIGGING - TREES) OR HOLDING YARD (SHRUBS) FOR CONFORMITY TO SPECIFICATION REQUIREMENTS AS TO QUALITY, SIZE, AND VARIETY.
- 3.0 PRODUCTS**
- 3.1 QUALITY ASSURANCE:**  
 MANUFACTURER'S CERTIFIED ANALYSIS SHALL ACCOMPANY PACKAGED STANDARD PRODUCTS.
- 3.2 ORGANIC MATTER:**  
 A. PEAT MOSS - TYPE I SPHAGNUM PEAT MOSS, FINELY DIVIDED WITH A PH OF 3.1 TO 5.0.  
 B. SEDGE PEAT - DECOMPOSES PEAT CONTAINING NO IDENTIFIABLE FIBERS.  
 C. LEAF COMPOST - THAT IS SCREENED AND FREE OF TRASH.  
 D. COMPOSTED SEWAGE SLUDGE - APPROVED, SCREENED, POLYMER-DEWATERED SEWAGE SLUDGE WITH A PH OF 4.2 - 12.6 MA
- 3.3 TOPSOIL:**  
 A. IT SHALL BE FREE OF STONES, LUMPS, PLANTS, ROOTS AND OTHER DEBRIS OVER 1/4" TOPSOIL MUST ALSO BE FREE OF PLANTS OR PLANT PARTS OF BERNIADGRASS, QUACKGRASS, WINKINGGRASS, MCKENZIE NITSEED, POISON IVY, CANADIAN THISTLE OR OTHERS AS SPECIFIED.  
 B. IT SHALL NOT CONTAIN TOXIC SUBSTANCES HARMFUL TO PLANT GROWTH, I.E. PESTICIDE RESIDUES.
- 3.4 BACKFILL MIXTURE:**  
 A. BACKFILL MIXTURE FOR TREES AND SHRUBS SHALL BE 3/4 EXISTING SOIL MIXED WITH 1/4 ORGANIC MATERIAL, PLUS GRANULAR FERTILIZER.
- 3.5 MULCH:**  
 A. MATERIAL SHALL BE COMPOSTED, SHREDDED HARDWOOD BARK, WITH LESS THAN 10% SAPHWOOD, DARK BROWN IN COLOR, OR APPROVED EQUAL.  
 B. MATERIAL SHALL BE UNIFORM IN SIZE AND FREE OF FOREIGN MATTER.
- 4.0 PLANTING PROCEDURE FOR TREES**
- 4.1 TREE PLANTING:**  
 A. WALL OF TREE PIT SHALL BE DUG SO THAT THEY ARE VERTICAL OR SLOPING OUTWARD IN HEAVY SOILS, BE AND SCARIFIED.  
 B. THE TREE PIT MUST BE A MINIMUM OF 4" LARGER ON EVERY SIDE THAN THE BALL OF THE TREE.  
 C. PLACE THE TREE IN THE PIT CARRYING THE BALL AND THEN LOWERING IT INTO THE PIT. NEVER LIFT THE TREE BY THE TRUNK OR BRANCHES.  
 D. SET THE TREE STRAIGHT AND IN THE CENTER OF THE PIT WITH THE MOST DESIRABLE SIDE FACING TOWARD THE PROMINENT VIEW.  
 E. BACKFILL TREE PIT WITH A SOIL MIXTURE STATED IN THE SPECIFICATIONS.  
 F. CUT AND REMOVE ROPE OR WIRE OFF THE TOP 50% OF ROOTBALL AND PULL BURLAP BACK TO THE EDGE OF THE BALL. REMOVE AS MUCH BURLAP, WOVEN PRODUCTS AND TWINE AS POSSIBLE. ALL PLASTIC OR SYNTHETIC FILM MUST BE REMOVED FROM THE ROOTBALL. CUT ALL TWINE AWAY FROM TRUNK.  
 G. FORM A SAUCER ABOVE EXISTING GRADE, AROUND THE OUTER RIM OF THE TREE PIT, ESPECIALLY ON SLOPES AND IN HEAVY SOILS.  
 H. MULCH TOP OF ROOT BALL AND SAUCER TO A MINIMUM DEPTH OF 2", NOT TO EXCEED 3". DO NOT PLACE MULCH AGAINST THE TRUNK.  
 I. WATER THOROUGHLY ON THE INTERIOR OF THE TREE SAUCER UNTIL IT IS FILLED, EVEN IF IT IS RAINING. A SECOND WATERING MAY BE NECESSARY TO INSURE SATURATION OF THE ROOT BALL AND ELIMINATION OF AIR POCKETS.  
 J. PRUNING SHOULD BE RESTRICTED TO CORRECTIVE PRUNING TO IMPROVE FORM ONLY.  
 K. STAKE TREE PER PLANTING DETAIL.
- 5.0 PLANTING PROCEDURES FOR SHRUBS**
- 5.1 PLANTING SHRUBS**  
 A. FOR A SINGLE SHRUB, THE PIT SHALL BE DUG 1" WIDER THAN THE ROOTBALL AND DEEP ENOUGH TO ALLOW 1/8TH OF THE ROOTBALL TO SET ABOVE EXISTING GRADE. (SINGLE SHRUB PLANTING ONLY IF NOTED ON PLANS)  
 B. FOR A SHRUB MASS PLANTING, THE ENTIRE BED AREA SHALL BE TILLED 4-6" DEEP. TILLING SHOULD ONLY BE DONE IN DRY SOIL TO AVOID COMPACTION. IF THE SOIL IS HEAVY IN CLAY AND SILT, ORGANIC MATERIAL SHOULD BE ADDED. EACH SHRUB PIT SHALL BE EXCAVATED FOR THE PROPER SETTING OF THE ROOTBALL.  
 C. PLACE THE SHRUB IN THE PIT BY LIFTING AND CARRYING IT BY THE ROOTBALL. REMOVE CONTAINERS FROM ALL CONTAINER-GROWN SHRUBS. SLASH THE EDGES OF THE ROOTBALL FROM TOP TO BOTTOM AT LEAST 1" DEEP.  
 D. SET THE SHRUB AND IN THE CENTER OF THE PIT WITH THE MOST DESIRABLE SIDE FACING TOWARD THE PROMINENT VIEW.  
 E. CUT AND REMOVE ROPE OR WIRE OFF THE TOP 50% OF ROOTBALL AND PULL BURLAP BACK TO THE EDGE OF THE BALL. REMOVE AS MUCH BURLAP, WOVEN PRODUCTS AND TWINE AS POSSIBLE. ALL PLASTIC OR SYNTHETIC FILM MUST BE REMOVED FROM THE ROOTBALL. CUT ALL TWINE AWAY FROM TRUNK.  
 F. FORM A SAUCER ABOVE THE EXISTING GRADE AND COMPLETELY AROUND THE PLANTING PIT.  
 G. MULCH TOP OF ROOTBALL AND SAUCER TO A MINIMUM DEPTH OF 2".  
 H. WATER SHRUB MASS THOROUGHLY, EVEN IF IT IS RAINING. A SECOND WATERING MAY BE NECESSARY TO INSURE SATURATION OF THE ROOT BALL AND ELIMINATION OF AIR POCKETS.
- 6.0 PLANTING PROCEDURES FOR GROUND COVER, PERENNIALS AND ANNUALS**
- 6.1 PLANTING GROUND COVER, PERENNIAL AND ANNUAL BEDS**  
 A. THE PLANTING BED SHALL BE LOOSENED WHEN THE SOIL IS DRY PRIOR TO PLANTING BY TILLING. SOIL SHALL BE LOOSENED TO A DEPTH OF 4 TO 6".  
 B. ORGANIC MATTER SHALL BE SPREAD OVER THE BED TO A DEPTH OF 2" FOR PEAT MOSS OF 1" DEEP FOR COMPOST, I.E. NOT TO EXCEED 4 CUBIC YARDS OF COMPOST/1000 SQUARE FEET, AFTER THE SOIL HAS BEEN LOOSENED. THE ORGANIC MATTER SHALL BE WORKED INTO THE BED BY TILLING.  
 C. FERTILIZER SHALL BE TOP-DRESSED OVER BED AREA.  
 D. THE PLANT, EITHER POTTED OR BARE ROOT, SHALL BE INSTALLED SO THAT THE ROOTS ARE SURROUNDED BY SOIL BELOW THE MULCH. POTTED PLANTS SHALL BE SET SO THAT THE TOP OF THE POT IS EVEN WITH THE EXISTING GRADE. THE ROOTS OF BARE ROOT PLANTS SHALL BE COVERED TO THE GROWN.  
 E. SPACING OF PLANTS SHALL BE INSTALLED AS NOTED ON THE LANDSCAPE PLAN.  
 F. THE ENTIRE BED SHALL BE MULCHED TO A MINIMUM DEPTH OF 1", 2" MAXIMUM, WITH APPROVED MULCH.  
 G. THE ENTIRE PLANTING BED SHALL BE THOROUGHLY WATERED.



Proposed Redevelopment Area Analysis			
Project Name:	Woodmere Retail	DPZ File No.	SDP-21-045
1. Input Information	square feet	Acres (1F > 10)	
a. Parcel A 6 area	233,182	5.35	
b. LOD of proposed redevelopment for SDP approval & Grading permit application for construction (Project Area)	55,212	1.27	
c. Portion of LOD on-site	54,624	1.25	
d. Portion of LOD off-site (on the adjacent properties)	588	less 0.1	
e. Balance of existing Parcel (or Lot) outside the on-site LOD not changing use (1a-1c). The Forest conservation obligation for this area is deferred to any future site changes requiring an SDP (or redline) for site work permitting.	178,558	4.10	
2. Deductions & Adjustments			
a. Sec. 161202(b)(1)(vii) existing impervious area within the proposed LOD (Project Area)	38,953	0.89	
b. Existing public utility easement and right-of-way reservation within the above LOD that is not impervious.	517	less 0.1	
c. Total adjustments (deductions) to the Project Area (2a + 2b)	39,470	0.91	
d. Adjusted Project Area (APA= 1b-2c) to use in calculating the Forest Conservation Obligation (FCO):	15,742	0.36	
3. Forest Conservatn Obligation			
a. FCO = Afforestation obligation at 15% of the APA= 2d*0.15	2,361	less 0.1	
b. Fee-in-lieu rate per CR-14-2019	\$ 1.25		
c. Fee-in-lieu requested	\$ 2,951.63		

**FOREST CONSERVATION FEE-IN-LIEU COMPUTATION**

**APPROVED  
PLANNING BOARD OF HOWARD COUNTY**

Date: \_\_\_\_\_

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director \_\_\_\_\_ Date \_\_\_\_\_

Chief, Division of Land Development \_\_\_\_\_ Date \_\_\_\_\_

Chief, Development Engineering Division \_\_\_\_\_ Date \_\_\_\_\_

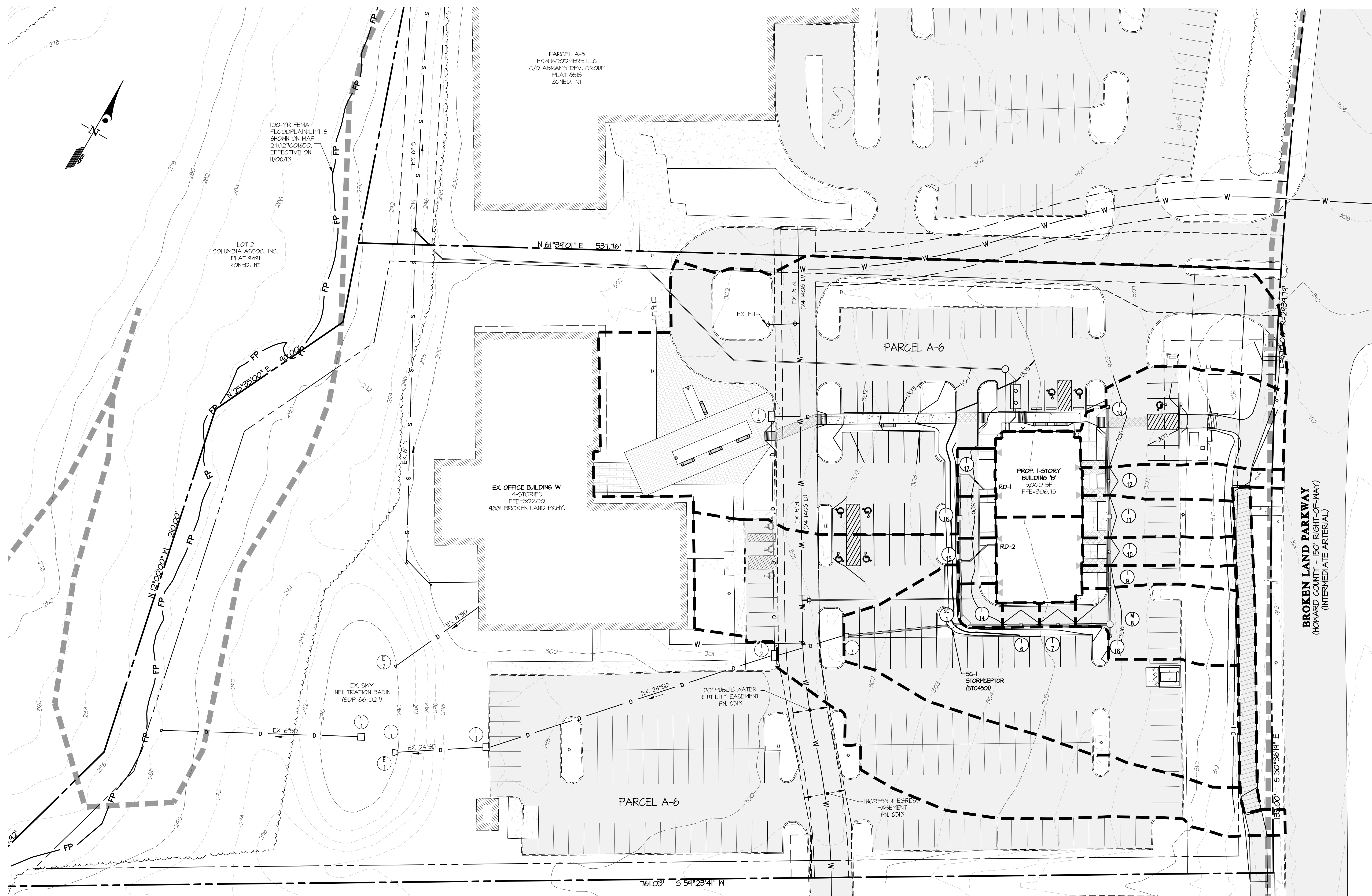
DESIGNED BY:	<b>BWM</b>				
DRAWN BY:	<b>BWM</b>				
CHECKED BY:	<b>DDS</b>				
DATE		REVISION		BY	APPR.

OWNER/DEVELOPER:  
 FKW WOODMERE LLC  
 C/O ABRAMS DEVELOPMENT GROUP  
 8601 ROBERT FULTON DRIVE, SUITE 100  
 COLUMBIA, MD 21046  
 ATTN: PETER MATHIESON  
 TEL: 443-539-4806

LANDSCAPE PLAN - NOTES AND DETAILS			
SCALE	ZONING	G. L. W. FILE No.	
1"=30'	NT	20130	
DATE	TAX MAP - GRID	SHEET	
MARCH, 2022	42-03	13 OF 14	
ELECTION DISTRICT No. 6			
HOWARD COUNTY, MARYLAND			

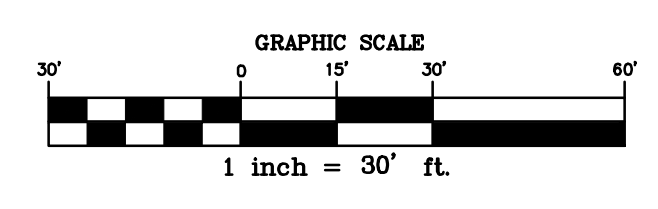
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**LEGEND**  
 - - - - - DRAINAGE DIVIDE

STORM DRAIN SUMMARY TABLE			
STRUCTURE	AREA (AC.)	C <sup>1</sup>	IMPERVIOUS
I-2	0.46	0.85	84%
I-3	0.33	0.80	76%
I-4	1.02	0.76	69%
I-6	0.01	0.96	100%
I-7	0.01	0.96	100%
I-9	0.03	0.72	64%
I-10	0.03	0.72	64%
I-11	0.05	0.73	66%
I-12	0.05	0.67	57%
I-13	0.14	0.65	54%
I-14	0.01	0.96	100%
I-15	0.01	0.96	100%
I-16	0.01	0.96	100%
I-17	0.01	0.96	100%
I-18	0.09	0.67	57%
RD-1	0.06	0.96	100%
RD-2	0.06	0.96	100%



**APPROVED**  
**PLANNING BOARD OF HOWARD COUNTY**  
 Date: \_\_\_\_\_  
 APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
 Director: \_\_\_\_\_ Date: \_\_\_\_\_  
 Chief, Division of Land Development: \_\_\_\_\_ Date: \_\_\_\_\_  
 Chief, Development Engineering Division: \_\_\_\_\_ Date: \_\_\_\_\_

**GLW**  
 PLANNING | ENGINEERING | SURVEYING  
 3809 NATIONAL DRIVE | SUITE 250 | BURTONSVILLE, MD 20866 | GLWPA.COM  
 PHONE: 301-421-4024 | BALT: 410-880-1820 | DC&VA: 301-988-2524 | FAX: 301-421-4186  
 FILED: 11/10/2021 1:48 PM, LAST SAVED: 11/10/2021 1:49 PM, PLOTTED: EYE, EMM, MICHAEL

DESIGNED BY:	DATE	REVISION	BY	APPR.
<b>EWM</b>				
<b>EWM</b>				
<b>DDS</b>				

**OWNER/DEVELOPER:**  
 FWK WOODMERE LLC  
 C/O ABRAMS DEVELOPMENT GROUP  
 8601 ROBERT FULTON DRIVE, SUITE 100  
 COLUMBIA, MD 21046  
 ATTN: PETER MATHIESON  
 TEL: 443-539-4806

**PROFESSIONAL CERTIFICATION**  
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975, EXPIRATION DATE: MAY 26, 2022

**DRAINAGE AREA MAP**  
**WOODMERE RETAIL VILLAGE OF OWEN BROWN, SEC. 3 AREA 1**  
**PARCEL A-6**  
 PLAT 6513  
 ELECTION DISTRICT No. 6  
 HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE NO.
1"=30'	NT	20130
DATE	TAX MAP - GRID	SHEET
NOV, 2021	42-03	14 OF 14

L:\CADD\DRAWINGS\20130\PLANS BY GLW\SDP\20130-SDP-14-DAM.dwg  
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DRIVE THRU

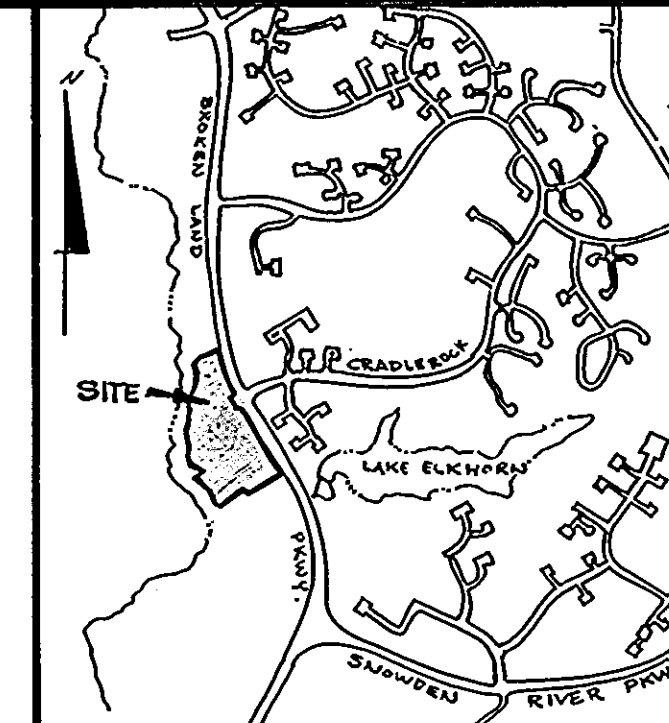
SIGNAGE

SIGNAGE

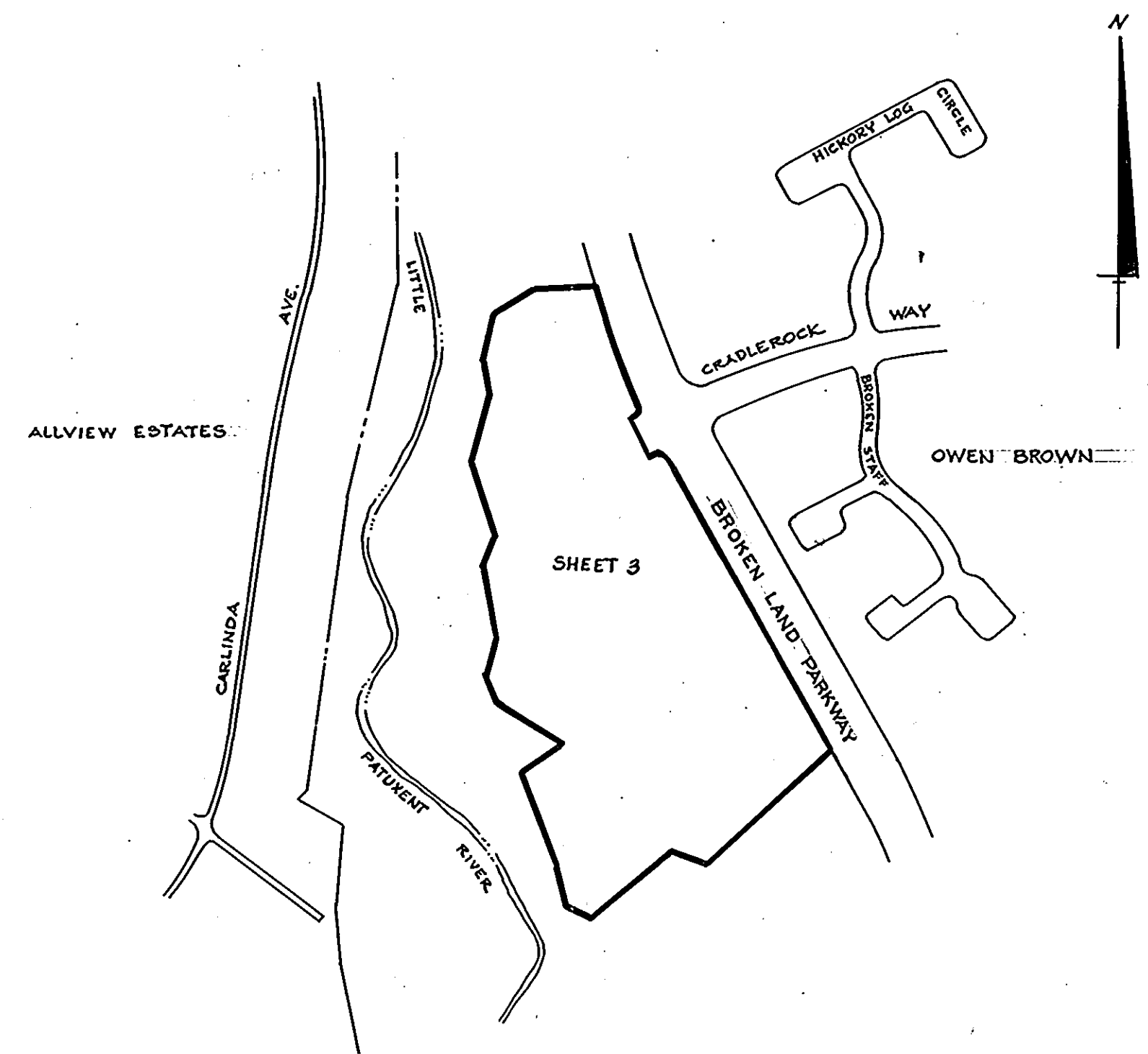
SIGNAGE

SIGNAGE





VICINITY MAP  
SCALE: 1"=2000'



SUMMARY OF AMENDMENTS  
 PHASE 125-A REVISES SHEETS 1, 2 AND 3. PURPOSE IS  
 TO REVISE POINTS OF ACCESS ALONG  
 BROKEN LAND PARKWAY.

RECORDED PLAT 3054A-305  
 ON 11-24 1980 AMONG THE LAND RECORDS OF  
 HOWARD COUNTY, MD.

VILLAGE OF OWEN BROWN  
 SECTION 3 AREA 1  
 PETITIONER AND OWNER  
 COLUMBIA INDUSTRIAL DEVELOPMENT CORPORATION  
 COLUMBIA, MARYLAND 21045

THIS AMENDED PLAT IS INTENDED TO SUPERSEDE SHEET 1 OF 3 FINAL DEVELOPMENT  
 PLAN PHASE 125 RECORDED AMONG THE LAND RECORDS OF HOWARD COUNTY IN  
 PLAT BOOK 20 FOLIO 90

PREPARED AS TO SHEET 1 TO 3  
 IN ACCORDANCE WITH THE ZONING REGULATIONS  
 OF HOWARD COUNTY  
 ADOPTED OCTOBER 3, 1977



*Richard Hoale*  
 LAND SURVEYOR'S SIGNATURE

BOARD OF COUNTY COMM. B.C.C. CASE 412 RESOLUTION APPROVED 8-10-65  
 AMENDED B.C.C. CASE 507 RESOLUTION APPROVED 11-4-68  
 AMENDED Z.B. CASE 606 RESOLUTION APPROVED 11-22-72  
 AMENDED Z.B. CASE 644 RESOLUTION APPROVED 1-7-74  
 AMENDED Z.B. CASE 693 RESOLUTION APPROVED 12-20-76  
 HOWARD COUNTY PLANNING BOARD  
*Thomas G. Harris* 11-20-80  
 H.C.P.B. EXEC. SEC. DATE H.C.P.B. CHAIRMAN DATE

125	3-28-72	20	90 thru 92
PHASE	DATE	PLAT BOOK	FOLIO
RECORDATION			

**COLUMBIA**  
 AMENDED  
 FINAL DEVELOPMENT PLAN PHASE 125-A  
 6<sup>TH</sup> ELECTION DISTRICT HOWARD COUNTY, MD.  
 SCALE 1"=400' JUNE 6, 1980 SHEET 1 OF 3



The Area included within this Final Development Plan Phase is Applicable to Section 1, Area 3 of the Village of Owen Brown.

1. PUBLIC STREET AND ROADS - Section 119-C-1-a(1):  
To be shown on subdivision plats, if required by the Howard County Office of Planning and Zoning.
2. PUBLIC RIGHTS-OF-WAY - Section 119-C-1-a(2):
  - 2A. To be shown on subdivision plats, if required by the Howard County Office of Planning and Zoning.
  - 2B. Vehicular ingress and egress to Broken Land Parkway will be permitted only at points of access approved by the Howard County Office of Planning and Zoning.
3. MAJOR UTILITY RIGHTS-OF-WAY - Section 119-C-1-a(3):  
To be shown on subdivision plats, if required by the Howard County Office of Planning and Zoning.
4. DRAINAGE FACILITIES - Section 119-C-1-a(4):  
To be shown on subdivision plats, if required by the Howard County Office of Planning and Zoning.
5. RECREATIONAL, SCHOOL, PARK AND OTHER COMMUNITY USES - Section 119-C-1-b:  
To be shown on the Final Development Plan, if required by the Howard County Planning Board.
6. PERMITTED GENERAL LOCATION OF BUILDINGS AND STRUCTURES - Section 119-C-1-d:  
The term "structure", as used in this Final Development Plan phase, shall include but not be limited to:

cornices	porches
eaves	bay windows
roof or building overhangs	privacy walls or screens
chimneys	all parts of any buildings,
trellises	dwelling, or accessory buildings

All setback areas shall be clear of any protrusions, extension, or construction of any type, and where any land use is adjacent to a freeway or primary road, no structure shall be located within 50' of the right-of-way line thereof; except, however, that structures may be constructed at any location within such setback areas if such construction is in accordance with a site development plan approved by the Howard County Planning Board.

The term "structure" does not include the following upon which no restriction as to location is imposed:

walks	excavations or fill
shrubbery	fencing under 6' in height
trees	retaining walls under 3' in height
ornamental landscaping	similar minor structures

Determination of the specific character of "similar minor structures" and setbacks applicable thereto will be made by the Howard County Office of Planning and Zoning.

Fences or walls, if located within setback areas adjacent to a public street, road, or highway upon which construction of structures is prohibited, shall not exceed 3' in height if solid or closed nor 5' in height if open, except in accordance with a site development plan approved by the Howard County Planning Board.

- 6C-1 EMPLOYMENT CENTER LAND USE AREAS - COMMERCIAL  
No structure shall be located within 30 feet of the right-of-way of any public street, road, or highway; except, however, that structures may be constructed at any location within such setback area if such construction is in accordance with a site development plan approved by the Howard County Planning Board. Except as restricted by this Paragraph, 6C-1, buildings and other structures may be located at any location within commercial land use areas. All structures must be developed in accordance with a site development plan approved by the Howard County Planning Board.

Adequate planting and landscaping must be provided, as required by the Howard County Planning Board at the time a site development plan is submitted for approval, whenever employment center commercial areas are in proximity to residential land use area.

7. PERMITTED USES - Section 119-C-1-d:

- 7C-3 EMPLOYMENT CENTER LAND USE - COMMERCIAL  
All uses permitted in commercial districts or commercial land use zones are permitted including, but not limited to, all of the following:
  - a. Uses permitted in B-1 districts.
  - b. Uses permitted in B-2 districts.
  - c. Uses permitted in S-C districts.

Division of Commercial Land Use Areas into individual lots to be owned, leased, mortgaged or otherwise conveyed individually, without immediate direct access to a public road is expressly permitted on condition that there shall be provided at all times one or more areas adjoining such lots, for use in common by the owners, lessees, mortgagees and others having an interest in such lots, which areas shall provide vehicular and pedestrian access to such lots across parking and other common space.

8. HEIGHT LIMITATIONS - Section 119-C-1-e:

- 8C-3 COMMERCIAL  
No height limitation is imposed upon structures constructed within this Final Development Plan Phase provided improvements thereon are constructed in accordance with a site development plan approved by the Howard County Planning Board.

9. PARKING REQUIREMENTS - Section 119-C-1-e:

9C-2 COMMERCIAL LAND USE AREAS

- a. Five (5) parking spaces shall be provided for each 1,000 square feet of net leasable area devoted to commercial retail sales uses.
- b. Two (2) parking spaces shall be provided for each 1,000 square feet of net leasable area contained within any building or buildings constructed upon land encompassed by this Final Development Plan Phase which are devoted to office uses.
- c. No parking requirement is imposed upon any restaurant, coffee shop, or similar facility constructed within such buildings which primarily serves tenants and employees of such buildings.
- d. One (1) parking space shall be provided for each bedroom contained within any hotel, inn or similar facility constructed upon the land encompassed by this Final Development Plan Phase; one (1) parking space shall be provided for each five (5) employees of any such facility.
- e. One (1) parking space shall be provided for each three seats within any restaurant, coffee shop or similar facility constructed within a hotel, inn or similar facility; one (1) parking space shall be provided for each five employees of any such facility.
- f. Parking for all building lots subdivided under this Phase shall be provided within the boundaries of each Final Development Plan so as to comply with the terms of Section 7 above and the space indices set forth in this Section 9.
- g. Perpendicular parking bays may be established at or below, grade or in elevated levels or decks in ten (10) foot by sixty (60) foot clear span modules. In the event that angular parking shall be provided, the dimensions of the parking spaces and aisles shall be subject to further approval of the Howard County Planning Board. Both of the above concepts shall be constructed in accordance with a site development plan approved by the Howard County Planning Board.

10. SETBACK PROVISIONS - Section 119-C-1-e:

10A GENERALLY:

- a. Setbacks shall conform to the requirements of Section 6 above.
- b. A 20' setback will be required by the flood plain line as established on the final subdivision plan.
- c. No other setback restrictions are imposed upon land within this Final Development Plan Phase.

11. MINIMUM LOT SIZES - Section 119-C-1-e:

As shown on subdivision plat in accordance with minimum lot sizes as may be required by the Howard County Planning Board.

12. COVERAGE REQUIREMENTS - Section 119-C-1-e:

- 12C COMMERCIAL LAND USE AREAS  
No coverage requirement is imposed upon land within this Final Development Plan Phase devoted to Commercial Land Uses, except in accordance with a site development plan approved by the Howard County Planning Board.

Note: This amended plat is intended to supersede sheet 2 of 3 Final Development Plan Phase 125 recorded among the land records of Howard County in Plat Book 20, Folio 91.

The purpose of this amended plat is to change points of access along Broken Land Parkway.

TABULATION OF LAND USE

Land Use	Acres
Employment Center Commercial	24.37
Total	24.37

RECORDED PLAT 3054A-306  
ON 11-24 1980 AMONG THE LAND RECORDS OF  
HOWARD COUNTY, MD

VILLAGE OF OWEN BROWN

SECTION 3 AREA 1

PETITIONER AND OWNER

COLUMBIA INDUSTRIAL DEVELOPMENT CORPORATION

COLUMBIA, MARYLAND 21045

**COLUMBIA**

AMENDED

FINAL DEVELOPMENT PLAN PHASE 125-A  
6<sup>TH</sup> ELECTION DISTRICT HOWARD COUNTY, MD.

SHEET 2 OF 3



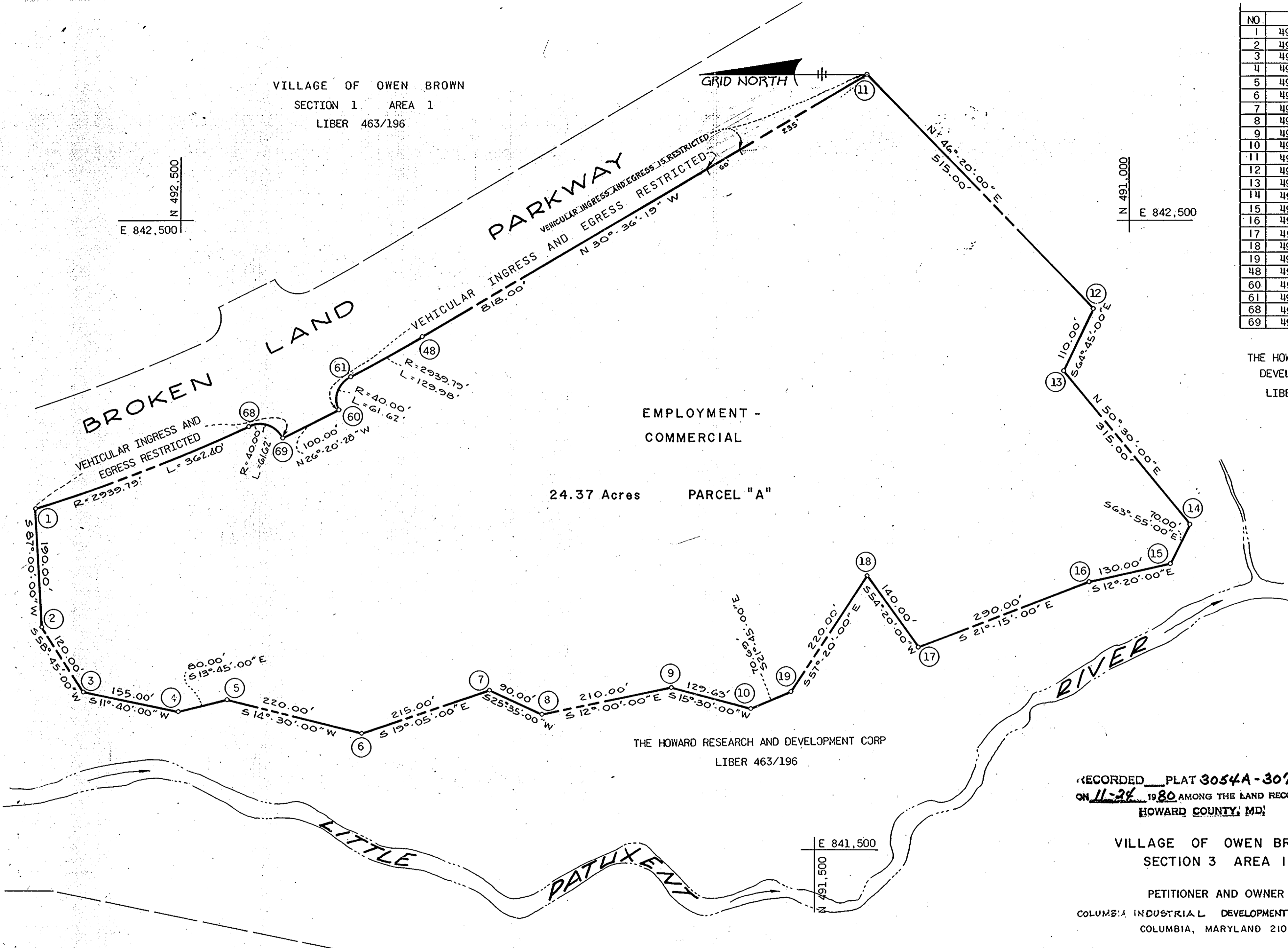
VILLAGE OF OWEN BROWN  
SECTION 1 AREA 1  
LIBER 463/196

N 492,500  
E 842,500

N 491,000  
E 842,500

COORDINATES		
NO.	NORTH	EAST
1	492729.48	842042.83
2	492719.53	841853.09
3	492657.28	841750.50
4	492505.48	841719.15
5	492427.77	841738.17
6	492214.78	841683.08
7	492011.60	841753.38
8	491930.42	841714.51
9	491725.01	841758.17
10	491600.10	841723.53
11	491415.04	842732.02
12	491059.45	842359.49
13	491106.38	842260.00
14	490906.01	842016.93
15	490936.79	841954.06
16	491063.79	841926.30
17	491334.07	841821.19
18	491415.70	841934.93
19	491534.45	841749.73
48	492119.09	842315.56
60	492249.42	842198.83
61	492232.39	842251.88
68	492391.54	842172.08
69	492339.63	842154.46

THE HOWARD RESEARCH AND  
DEVELOPMENT CORP.  
LIBER 463/196



24.37 Acres PARCEL "A"

EMPLOYMENT -  
COMMERCIAL

THE HOWARD RESEARCH AND DEVELOPMENT CORP  
LIBER 463/196

RECORDED PLAT 3054A-307  
ON 11-24 1980 AMONG THE LAND RECORDS OF  
HOWARD COUNTY, MD.

VILLAGE OF OWEN BROWN  
SECTION 3 AREA 1

PETITIONER AND OWNER  
COLUMBIA INDUSTRIAL DEVELOPMENT CORPORATION  
COLUMBIA, MARYLAND 21045

**COLUMBIA**

AMENDED  
FINAL DEVELOPMENT PLAN PHASE 125-A  
6<sup>TH</sup> ELECTION DISTRICT HOWARD COUNTY, MD.  
SCALE 1"=100' JUNE 6, 1980 SHEET 3 OF 3

THIS AMENDED PLAT IS INTENDED TO SUPERSEDE SHEET 3 OF 3 FINAL DEVELOPMENT  
PLAN PHASE 125 RECORDED AMONG THE LAND RECORDS OF HOWARD COUNTY IN  
PLAT BOOK 20 FOLIO 91.

THE PURPOSE OF THIS AMENDED PLAT IS TO CHANGE POINTS OF ACCESS ALONG  
BROKEN LAND PARKWAY.

"ALLVIEW ESTATES"