

**GENERAL NOTES**

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS IF APPLICABLE.
- THE CONTRACTOR SHALL NOTIFY THE BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST 48 HOURS PRIOR TO THE START OF WORK.
- THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7171 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK.
- THE CONTRACTOR SHALL NOTIFY THE HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS BUREAU OF UTILITIES AT (410) 313-4900 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK.
- A) IF REQUIRED, ANY "STOP" SIGN OR THE STREET NAME SIGN (SNS) ASSEMBLY FOR THIS DEVELOPMENT MUST BE INSTALLED BEFORE THE BASE PAVING IS COMPLETED.  
 B) THE TRAFFIC CONTROL DEVICE LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE AND MUST BE FIELD APPROVED BY HOWARD COUNTY TRAFFIC DIVISION (410-313-2430) PRIOR TO THE INSTALLATION OF ANY OF THE TRAFFIC CONTROL DEVICES.  
 C) ALL TRAFFIC CONTROL DEVICES AND THEIR LOCATIONS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MARYLAND MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).  
 D) ALL SIGN POSTS USED FOR TRAFFIC CONTROL SIGNS INSTALLED IN THE COUNTY RIGHT-OF-WAY SHALL BE MOUNTED ON A 2" GALVANIZED STEEL PERFORATED TUBULAR POST (TYPICAL), SQUARE TUBE POST (4 GAUGE) INSERTED INTO A 2 1/2" GALVANIZED STEEL PERFORATED SQUARE TUBE SERVICE (2 GAUGE) - 3' LONG. THE ANCHOR SHALL NOT EXTEND MORE THAN TWO QUICK PUNCH HOLES ABOVE GROUND LEVEL. A GALVANIZED STEEL POLE CAP SHALL BE MOUNTED ON TOP OF EACH POST.
- PROJECT BACKGROUND:
 

LOCATION: TAX MAP 36	PROPERTY IS ZONED NET TOWN PER THE 2013 COMPREHENSIVE ZONING PLAN AND IS DESIGNATED AS DOWNTOWN MIXED USE AREA. ADDITIONALLY, THE PROJECT AREA IS SUBJECT TO THE DOWNTOWN COLUMBIA PLAN - A GENERAL PLAN AMENDMENT EFFECTIVE APRIL 6, 2010 AS AMENDED 11/9/2016.
ZONING: ELECTION DISTRICT: DOWNTOWN COLUMBIA LAND USE: AREA OF BUILDABLE LOTS: DPZ REF. FILE NO.:	PROPERTY IS ZONED NET TOWN PER THE 2013 COMPREHENSIVE ZONING PLAN AND IS DESIGNATED AS DOWNTOWN MIXED USE AREA. ADDITIONALLY, THE PROJECT AREA IS SUBJECT TO THE DOWNTOWN COLUMBIA PLAN - A GENERAL PLAN AMENDMENT EFFECTIVE APRIL 6, 2010 AS AMENDED 11/9/2016. FIRST ELECTION DISTRICT: DOWNTOWN MIXED USE AREA PARCEL B: 1.42 AC FDP-DC-L-1A SDP-15-23, NP-22-018, ECP-22-005, F-22-024, SDP-14-031
- TOPOGRAPHIC AERIAL SURVEY WAS PERFORMED ON APRIL, 2011 BY MCKENZIE SNYDER AND SUPPLEMENTED BY TOPOGRAPHIC FIELD SURVEY IN JUNE, 2021 BY GUTSCHICK, LITTLE AND WEBER.
- COORDINATES ARE BASED ON NAD 83 MARYLAND COORDINATE SYSTEM AS PROJECTED BY HOWARD COUNTY GEODETIC CONTROL STATION NUMBERS: 36AA AND 306A.
- THE EXISTING UTILITIES SHOWN HEREIN WERE DERIVED FROM AVAILABLE PUBLIC RECORDS AND FIELD LOCATED MISS UTILITY MARKINGS BY GUTSCHICK LITTLE & WEBER, P.A. THE CONTRACTOR SHALL TEST PIT ALL EXISTING UTILITIES AT LEAST (5) DAYS PRIOR TO STARTING ANY WORK SHOWN ON THESE DRAWINGS AND NOTIFY THE ENGINEER OF ANY CONFLICTS. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND MAINTAIN UNINTERRUPTED SERVICE. ANY DAMAGE INCURRED DUE TO CONTRACTOR'S OPERATION SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE. EXISTING UTILITIES ARE SHOWN BASED ON THE BEST AVAILABLE INFORMATION.
- SPOT ELEVATIONS SHOWN FOR CURB ARE BOTTOM OF CURB UNLESS OTHERWISE NOTED.
- ALL PLAN DIMENSIONS ARE TO THE FACE OF BUILDING OR CURB UNLESS OTHERWISE NOTED. DIMENSIONS ARE MEASURED PERPENDICULAR OR RADIAL BETWEEN ITEMS UNLESS NOTED OTHERWISE. CURB RADII ARE 5' UNLESS NOTED OTHERWISE.
- THE CEMETERY INVENTORY MAP DOES NOT SHOW ANY CEMETERIES WITHIN THE PROJECT LIMITS.
- THE SCENIC ROADS MAP DOES NOT INDICATE ANY SCENIC ROADS IN THE VICINITY.
- THERE ARE NO DESIGNATED HISTORIC OR CULTURALLY SIGNIFICANT EXISTING SITES, BUILDINGS, OR STRUCTURES OR PUBLIC ART WITHIN THE SITE AREA. HOWEVER, THE ADJACENT WHOLE FOODS (FORMER ROUSE COMPANY HEADQUARTERS) IS DESIGNATED AS AN EXISTING SIGNATURE BUILDING. SEE THE ROUSE COMPANY HEADQUARTERS PRESERVATION GUIDELINES IN THE LAKEFRONT CORE NEIGHBORHOOD DESIGN GUIDELINES.
- THE GEO-TECHNICAL REPORT WAS PROVIDED BY EGS MID ATLANTIC, LLC DATED OCTOBER 8, 2021.
- A NOISE STUDY IS NOT REQUIRED FOR THIS PROJECT.
- THE REGULATED WATER RESOURCES VERIFICATION FOR THIS PROJECT WAS PREPARED BY DAFT-MCCUNE-WALKER, INC., DATED JULY 20, 2021 AND SUPPLEMENTED BY AN EMAIL FROM MDE DATED DECEMBER 14, 2021.
- SOILS DATA WAS TAKEN FROM THE SOIL SURVEY OF HOWARD COUNTY, MARYLAND ISSUED MARCH, 2008.
- THE TRANSPORTATION AND PARKING STUDY FOR THIS PROJECT WAS PREPARED BY WELLS AND ASSOCIATES, DATED DECEMBER, 2021, AND WAS APPROVED WITH THIS SDP. OFFSITE IMPROVEMENTS AT LITTLE PATUXENT PARKWAY AND SYMPHONY WOODS ROAD WILL BE PROVIDED ON SDP-19-022. THE DOUBLE LEFT LANE CONFIGURATION AND STRIPING SHOWN IS AN INTERIM CONDITION THAT HAS BEEN DETERMINED TO BE ADEQUATE FOR THE SOUTHLAKE MOB (SDP-22-19) AND LAKEFRONT NORTH FDP BULDOZ (FDP-DC-L-2A). ANY FURTHER DEVELOPMENT IN THE LAKEFRONT CORE (FDP-DC-L-1) WILL REQUIRE THE INTERSECTION TO BE RE-EVALUATED.
- THE PARKING STUDY FOR THIS PROJECT WAS PREPARED BY WELLS AND ASSOCIATES, DATED DECEMBER, 2021, AND WAS APPROVED WITH THIS SDP. SEE SHEET 3 FOR ADDITIONAL INFORMATION.
- BOUNDARY INFORMATION IS FROM BOUNDARY SURVEYS BY GLX DATED MARCH, 2017.
- A FLOODPLAIN STUDY FOR THIS PROJECT WAS PREPARED BY GLX DATED DECEMBER, 2021, AND WAS APPROVED WITH THIS SDP.
- NO GRADING, REMOVAL OF VEGETATIVE COVER OR TREES, OR PLACEMENT OF NEW STRUCTURES IS PERMITTED WITHIN LIMITS OF WETLANDS, STREAMS OR THEIR REQUIRED BUFFERS, OR 100 YEAR FLOODPLAIN AREAS, UNLESS PERMITTED UNDER AN APPROVED MAJOR PERMIT OR DETERMINED TO BE ESSENTIAL OR NECESSARY BY DPZ. THE ENVIRONMENTAL DISTURBANCES SHOWN ON THESE PLANS ARE COVERED BY NP-22-018 AND MDE PERMIT NO A1 #114925/202206045.
- THE PROJECT IS WITHIN THE METROPOLITAN DISTRICT. WATER AND SEWER SERVICE IS PUBLIC (CONTR. #24-5140-D).
- THIS SITE WHICH IS SUBJECT TO A DEVELOPMENT RIGHTS AND RESPONSIBILITIES AGREEMENT (L 17457 F, 265), IS EXEMPT FROM FOREST CONSERVATION REQUIREMENTS OF SECTION 16.1200 OF THE HOWARD COUNTY CODE SECTION IN ACCORDANCE WITH THE SINE REMOVED SECTION 16.1202 (B)(W)(V) (FUD WITH A POP APPROVED PRIOR TO 12/31/02) WHICH WAS IN PLACE AT THE TIME THE DEVELOPMENT RIGHTS AND RESPONSIBILITIES AGREEMENT WAS RECORDED IN FEBRUARY 2007.
- ALL OUTDOOR LIGHTING SHALL BE ORIENTED TO DIRECT LIGHT INWARDS AND DOWNWARDS ON-SITE AWAY FROM ALL ADJOINING PUBLIC ROADS AND IN ACCORDANCE WITH SECTION 134 OF THE HOWARD COUNTY ZONING REGULATIONS.
- TRASH COLLECTION FOR THE SITE WILL BE PRIVATE AND SHARED WITH THE ADJACENT ROUSE BUILDINGS.
- THE LANDSCAPE PLAN WAS PREPARED ACCORDING TO THE ALTERNATIVE COMPLIANCE SECTION OF THE LANDSCAPE MANUAL. THE LANDSCAPE PLANS HAVE BEEN PREPARED BY A REGISTERED LANDSCAPE ARCHITECT AND IS CERTIFIED TO MEET THE DESIGN INTENT OF THE LAKEFRONT CORE NEIGHBORHOOD DESIGN GUIDELINES. SURETY FOR THE REQUIRED LANDSCAPING, \$20,040 SHALL BE POSTED WITH THE DEVELOPER'S AGREEMENTS.
- THE MINIMUM BUILDING SETBACKS RESTRICTIONS FROM PROPERTY LINES AND PUBLIC ROAD RIGHTS OF WAY ARE TO BE IN ACCORDANCE WITH FDP-DC-L-1A AND LAKEFRONT CORE NEIGHBORHOOD DESIGN GUIDELINES.
- THE PROPOSED BUILDINGS WILL HAVE AN AUTOMATIC FIRE SUPPRESSION SPRINKLER SYSTEM.
- THIS PROPERTY IS SUBJECT TO THE LAKEFRONT CORE NEIGHBORHOOD SPECIFIC DESIGN GUIDELINES (NSDG) RECORDED IN L. XXXXX F. XXX. THE LAKEFRONT CORE NEIGHBORHOOD SPECIFIC IMPLEMENTATION PLAN (NSIP), RECORDED IN L. XXXXX F. XXX. THE LAKEFRONT CORE NEIGHBORHOOD CONCEPT PLAN (NCP) RECORDED AS PLAT NOS. XXXXXX THRU XXXXX AND THE LAKEFRONT CORE FINAL DEVELOPMENT PLAN (FDP-DC-L-1A), RECORDED AS PLAT NOS. XXXXXX THRU XXXXXX.
- THE PROPOSED BUILDING FOR THIS PROJECT IS REGISTERED WITH THE GREEN BUILDING CERTIFICATION INSTITUTE FOR LEED CERTIFICATION. PROJECT I.D. #1000145664
- AT THE TIME OF SDP APPROVAL, THE SITE IS UNDER PHASE I OF THE DOWNTOWN REVITALIZATION PHASING PROGRESSION.
- EACH OWNER OF PROPERTY DEVELOPED WITH COMMERCIAL USES PURSUANT TO SECTION 125.0.A.9 OF THE ZONING REGULATIONS SHALL PROVIDE AN ANNUAL PER SQUARE FOOT CHARGE IN AN AMOUNT OF \$0.25 PER SQUARE FOOT OF GROSS LEASABLE AREA FOR OFFICE AND RETAIL USES AND \$0.25 PER SQUARE FOOT OF NET FLOOR AREA FOR HOTELS TO THE DOWNTOWN COLUMBIA PARTNERSHIP ADJUSTED, CALCULATED AND PAYABLE IN ACCORDANCE WITH SECTION 28.115 OF THE COUNTY CODE (CEPPA 25).
- TO ADDRESS AFFORDABLE HOUSING, THE PROPERTY HAS BEEN INCLUDED IN A DEVELOPMENT RIGHTS AND RESPONSIBILITIES AGREEMENT BETWEEN THE COUNTY AND PETITIONER RECORDED AMONG THE HOWARD COUNTY LAND RECORDS IN BOOK 17457 AT PAGE 265. ADDITIONALLY, EACH OWNER WITHIN THE FDP AREA WILL MAKE THE APPLICABLE ANNUAL PAYMENTS REQUIRED BY CEPPA 21, ADJUSTED, CALCULATED AND PAYABLE IN ACCORDANCE WITH SECTION 28.115 OF THE HOWARD COUNTY CODE.
- IN ACCORDANCE WITH FDP-DC-L-1A THERE IS A 9 STORY BUILDING HEIGHT LIMIT (NOT TO EXCEED 120 FEET)
- PRIOR TO SUBMITTING THIS SITE DEVELOPMENT PLAN A PRE-SUBMISSION COMMUNITY MEETING WAS HELD ON AUGUST 31, 2021 AT SLAYTON HOUSE AT THE WILDE LAKE COMMUNITY ASSOCIATION. NOTICE OF THE MEETING WAS PROVIDED IN ACCORDANCE WITH SECTION 16.128 OF THE ZONING REGULATIONS.
- PRIOR TO SUBMITTING THIS SITE DEVELOPMENT PLAN, A SUBMISSION TO THE HOWARD COUNTY DESIGN ADVISORY PANEL WAS MADE IN ACCORDANCE WITH SECTION 125.110; THE DESIGN ADVISORY PANEL CONSIDERED THE APPLICATION AT ITS MEETINGS ON SEPTEMBER 22, 2021 AND NOVEMBER 10, 2021. AFTER THE NOVEMBER 10, 2021 MEETING, THE DAP ADOPTED ONE RECOMMENDATION TO THE PLANNING BOARD FOR THE PROJECT AS NOTED IN THE MINUTES.
- ART FOR THIS PROJECT WILL BE PROVIDED EQUIVALENT IN VALUE TO 1% OF THE CONSTRUCTION COST OF THE BUILDING, EXCLUDING THE GARAGE, OR A FEE IN LIEU WILL BE PAID AS PROVIDED IN SECTION 125.A.15(2). POTENTIAL LOCATIONS ARE SHOWN ON SHEET 2.
- PER SECTION 125.0.A.4 OF THE ZONING REGULATIONS, MINOR ADJUSTMENTS TO THE PEDESTRIAN, BICYCLE, TRANSIT CIRCULATION, ROAD NETWORK, BLOCK CONFIGURATION AND DOWNTOWN COMMUNITY COMMONS MAY BE APPROVED AS PART OF THE SITE DEVELOPMENT PLAN.
- THE PLANNING BOARD HAS APPROVED APPROXIMATELY 2600000 SQUARE FEET AND ISSUED BUILDING PERMITS FOR ABOUT 2300000 SQUARE FEET OF NET NEW DEVELOPMENT DOWNTOWN. FINAL SQUARE FOOTAGES WILL BE MAINTAINED IN THE DOWNTOWN COLUMBIA DATABASE MAINTAINED BY THE COUNTY.
- THIS SITE QUALIFIES FOR REDEVELOPMENT UNDER MDE CRITERIA, HOWEVER AS PART OF AN AGREEMENT WITH DPZ, THIS SITE WILL PROVIDE SHM IN EXCESS OF THE MINIMUM MDE REQUIREMENTS. SEE NOTE 46 FOR ADDITIONAL INFORMATION. TO FULFILL THE STORMWATER MANAGEMENT REQUIREMENTS A STORMCEPTOR (UNDERGROUND STORAGE CHAMBER AND UNDERGROUND STORMFILTER (F-2)) WILL BE USED. ALL STORMWATER DEVICES WILL BE PRIVATELY OWNED AND MAINTAINED. THERE ARE NO MAJOR STORMWATER MANAGEMENT FACILITIES WITHIN THE PLAN AREA OR ADJOINING LAND.
- THIS SITE IS A REDEVELOPMENT OF AN EXISTING PARKING LOT. ALL STEEP SLOPES IN THE VICINITY OF THE LOD ARE MAN-MADE.
- HEALTH DEPARTMENT APPROVAL OF THIS SITE DEVELOPMENT PLAN (SDP) DOES NOT ENSURE APPROVAL OF BUILDING PERMIT APPLICATIONS ASSOCIATED WITH THIS PLAN. PERMIT PLANS FOR CERTAIN FACILITIES TO BE CONSTRUCTED WITHIN THE LIMITS DESCRIBED BY THIS SDP WILL REQUIRE REVIEW AND APPROVAL BY THE HEALTH DEPARTMENT. SUCH FACILITIES MAY INCLUDE, BUT ARE NOT LIMITED TO, THOSE WHICH HAVE SHIMMING POOLS OR THAT SELL, PREPARED OR PACKAGED FOODS, OR THAT MAY HAVE EQUIPMENT THAT EMITS RADIATION.
- EXISTING DRY UTILITY INFORMATION TAKEN FROM SUBSURFACE UTILITY DESIGNATING WORKSHEET BY ACCURATE INFRASTRUCTURE DATA, INC DATED JUNE 1, 2017

SEE SHEET 2 FOR ADDITIONAL NOTES

**APPROVED**  
**PLANNING BOARD OF HOWARD COUNTY**

Date: \_\_\_\_\_

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APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director: \_\_\_\_\_ Date: \_\_\_\_\_

Chief, Division of Land Development: \_\_\_\_\_ Date: \_\_\_\_\_

Chief, Development Engineering Division: \_\_\_\_\_ Date: \_\_\_\_\_

**APPROVED: HOWARD COUNTY HEALTH DEPARTMENT**  
**FOR PUBLIC WATER & SEWERAGE SYSTEM**

County Health Officer: \_\_\_\_\_ Date: \_\_\_\_\_

**GLW**  
PLANNING | ENGINEERING | SURVEYING

3509 NATIONAL DRIVE | SUITE 250 | BURTONSVILLE, MD 20886 | GLWPA.COM  
PHONE: 301-421-4024 | BALT: 410-880-1820 | DCORVA: 301-989-2524 | FAX: 301-421-4188

DESIGNED BY:	DRAWN BY:	CHECKED BY:	DATE
dds	dds		

PREPARED FOR:

**OWNER:**  
CLOVER ACQUISITIONS LLC  
C/O THE HOWARD HUGHES CORP.  
PO BOX 131298  
CARLSBAD CA 92013

**DEVELOPER:**  
THE HOWARD RESEARCH AND DEVELOPMENT CORP.  
10860 GRANTCHESTER WAY, SUITE 110  
COLUMBIA, MD 21044  
ATTN: GABRIEL CHUNG  
410-964-4800

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975  
EXPIRATION DATE: MAY 26, 2024

**COVER SHEET**

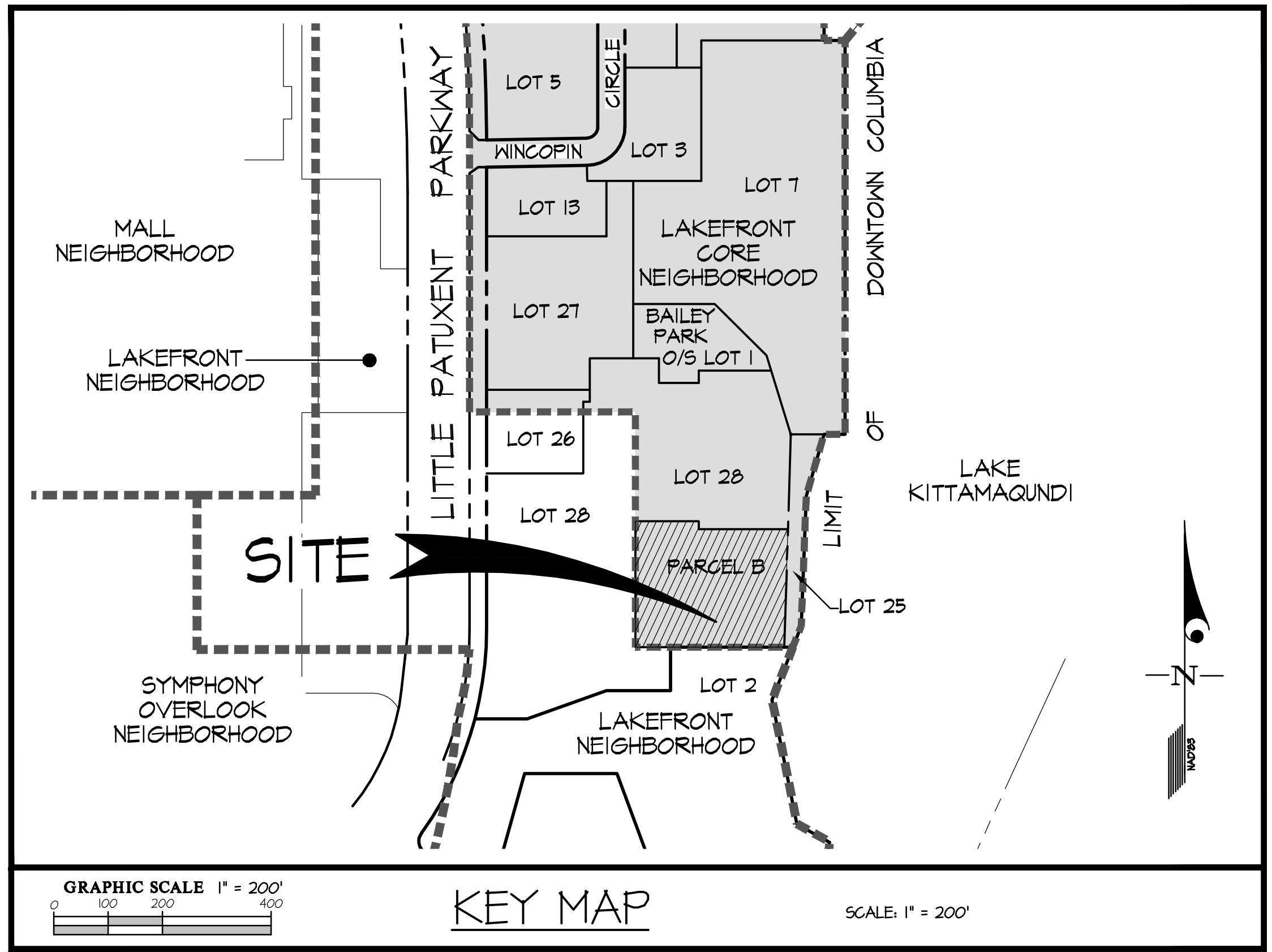
**SOUTHLAKE OFFICE BUILDING**  
**DOWNTOWN COLUMBIA**  
**LAKEFRONT CORE NEIGHBORHOOD, PHASE I, PARCEL B**  
**A REVISION OF SECTION I, PARCEL B (PLAT NO. XXXXX)**

ELECTION DISTRICT No. 5 PN: \_\_\_\_\_ HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE NO.	
AS SHOWN	NT	18046	
DATE	TAX MAP - GRID	SHEET	
JUNE, 2022	36 - 2	1 OF 52	

# SITE DEVELOPMENT PLAN DOWNTOWN COLUMBIA LAKEFRONT CORE NEIGHBORHOOD PHASE I

## PARCEL B · MEDICAL OFFICE BUILDING



**DEVELOPMENT CHART**

PARCEL	Uses <sup>1</sup>														Residential (DU)					
	Existing							Proposed							Ultimate					
	Rest./	Office	Other	Total	Rest./	Office	Other	Total	Rest./	Office	Other	Total	Rest./	Office	Other	Total	Existing	Proposed	Net	
Parcel B																				
<b>Lakefront Core Total This SDP</b>	<b>61,953</b>	<b>1,42</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>85,731</b>	<b>0</b>	<b>85,731</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>

(1) THE NON-RESIDENTIAL AND RESIDENTIAL GROSS FLOOR AREA, THE NUMBER OF RESIDENTIAL UNITS AND/OR THE LAND USE APPROVED FOR AN INDIVIDUAL PARCEL MAY BE REALLOCATED AMONG OTHER PARCELS WITHIN THE FDP AREA AND/OR EXCEEDED ON A SUBSEQUENT SITE DEVELOPMENT PLAN WITHOUT AMENDING THIS FDP, PROVIDED THE TOTAL NON-RESIDENTIAL AND RESIDENTIAL GROSS FLOOR AREA AND THE TOTAL NUMBER OF RESIDENTIAL UNITS APPROVED FOR ALL PARCELS WITHIN THE FDP AREA IS NOT EXCEEDED.

(2) NET NEW AREA TO BE USED TO CALCULATE DOWNTOWN REVITALIZATION SQUARE FOOTAGE FOR PHASING AND CEPPA

(3) THE AMERICAN CITY BUILDING, LOCATED ON LOT 13 (FUTURE PARCELS E & F) WAS DEMOLISHED IN MAY, 2018 PER COMMERCIAL DEMOLITION PERMIT #B9403335. THIS PROVIDED AN OFFICE DEMOLITION CREDIT OF 117,098 SF PER FDP-DC-L-1A. THE OFFICE BUILDING ON PARCEL B WILL USE 65,731 SF OF THIS CREDIT, LEAVING 51,367 SF OF OFFICE DEMOLITION CREDIT FROM THIS BUILDING AVAILABLE FOR FUTURE SITE DEVELOPMENT PLANS WITHIN THE LIMITS OF THE FDP-DC-L-1A BOUNDARY.

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- GARAGE LEVEL -1
- LEVEL 1
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- GRADING PLAN
- PAVEMENT AND CURB DELINEATION PLAN
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- SEDIMENT CONTROL PLAN PHASE 2
- SEDIMENT CONTROL DETAILS
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- STORMWATER DRAINAGE AREA MAP
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- MAINTENANCE OF TRAFFIC PLAN
- MAINTENANCE OF TRAFFIC PLAN
- SEDIMENT CONTROL DETAILS

**CUMULATIVE DOWNTOWN COMMUNITY COMMONS TRACKING CHART**

**LAKEFRONT CORE NEIGHBORHOOD (FDP-DC-L-1A)**  
5% Downtown Community Commons (DCC) Requirement: 2,022 SF

SDP No.	Parcel	DCC Area (to be) Provided (SF)	NOTES
SDP 14-031	O/S LOT 1	26,255	SEE NOTE 1
SDP 22-014	PARCEL B	0	SUBJECT PROPERTY
FUTURE SDP	PARCEL E/F	35,145 (min)	SEE NOTES 2 & 3
CUMULATIVE TOTALS (5F)		62,050 SF	
ANTICIPATED SURPLUS (5F)		30,028 SF	

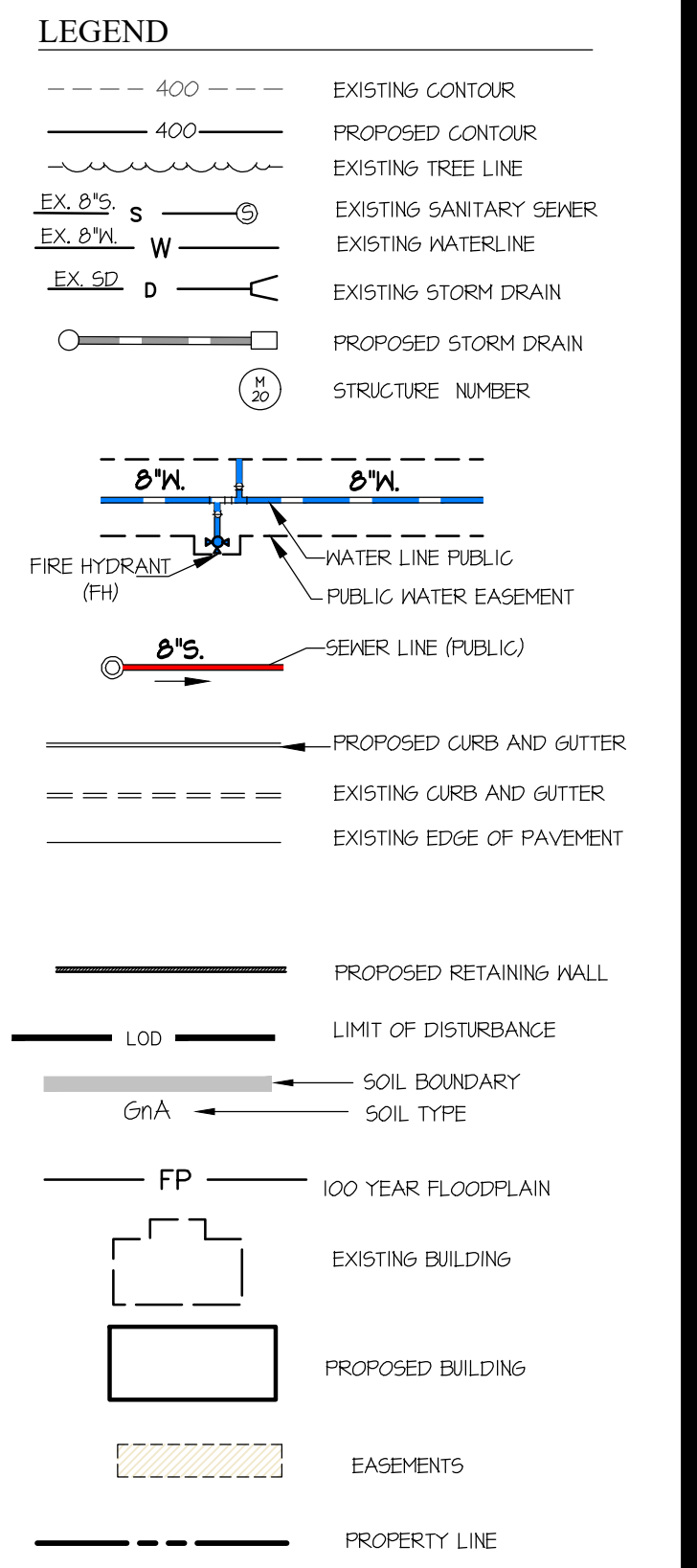
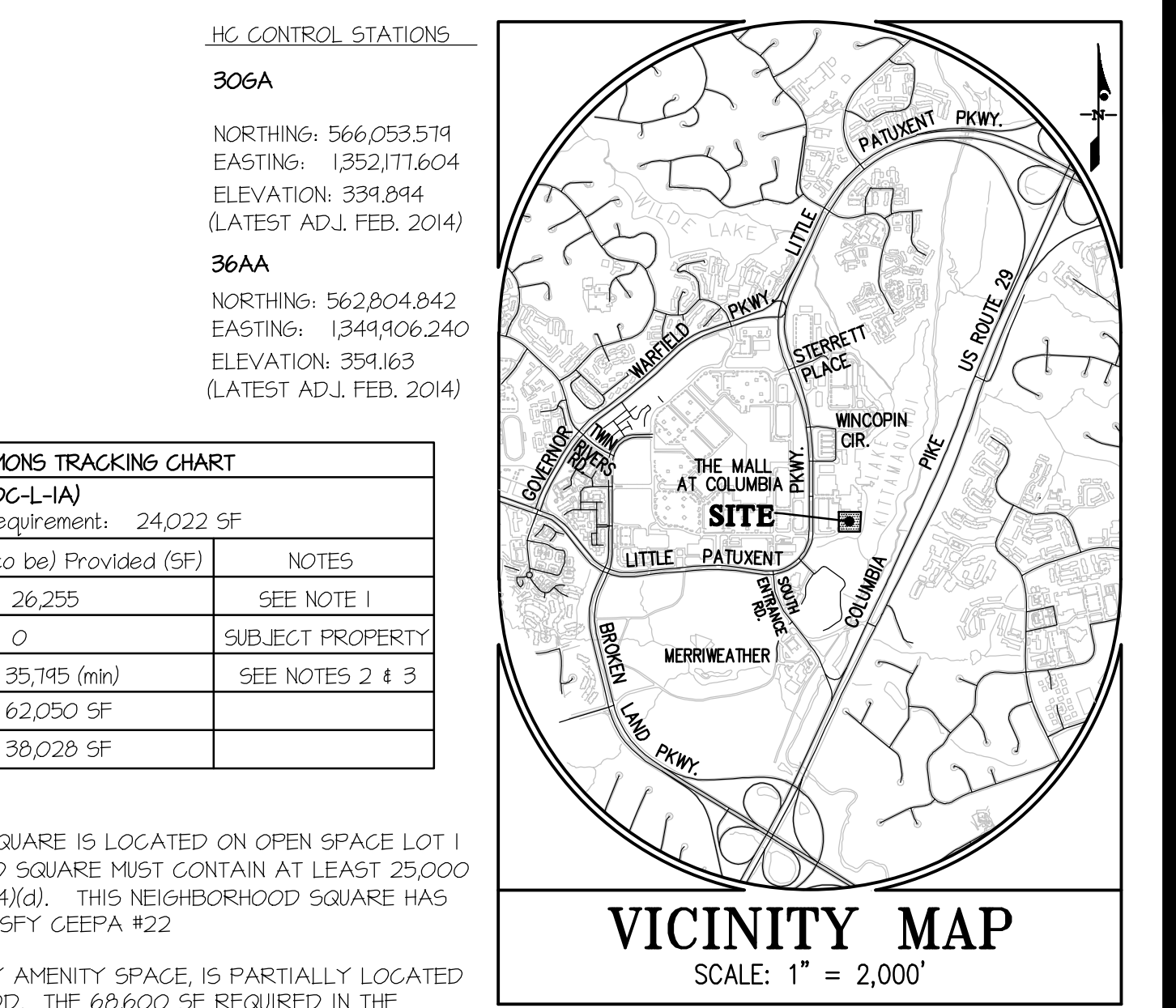
- DOWNTOWN COMMUNITY COMMONS NOTES:**
- THE LAKEFRONT CORE NEIGHBORHOOD SQUARE IS LOCATED ON OPEN SPACE LOT 1 (SDP-14-031). A DOWNTOWN NEIGHBORHOOD SQUARE MUST CONTAIN AT LEAST 25,000 SF PER SECTION 103 & SECTION 125.0.A.9.a(4)(d). THIS NEIGHBORHOOD SQUARE HAS BEEN DEEDED TO HOWARD COUNTY TO SATISFY CEPPA #22.
  - THE LAKEFRONT CONNECTION, A PRIMARY AMENITY SPACE, IS PARTIALLY LOCATED WITHIN THE LAKEFRONT CORE NEIGHBORHOOD. THE 65,600 SF REQUIRED IN THE DOWNTOWN COLUMBIA PLAN FOR THE LAKEFRONT CONNECTION IS PROPORTIONED BETWEEN THE LAKEFRONT CORE AND LAKEFRONT NEIGHBORHOODS. SEE EXHIBIT 6 IN THE DOWNTOWN COLUMBIA PLAN. 30,442 SF IS THE MINIMUM AREA THAT IS REQUIRED FOR THE PERCENTAGE OF THE LAKEFRONT CONNECTION WITHIN THE LIMITS OF FDP-DC-L-1A. 35,145 SF OF THE 30,442 SF HAS BEEN DESIGNATED AS NET NEW DOWNTOWN COMMUNITY COMMONS AS SHOWN ON FDP-DC-L-1A. SEE NEIGHBORHOOD DESIGN GUIDELINES FOR MORE INFORMATION AND SEE TIMING NOTE BELOW.
  - PER SECTION 125.0.A.9.a(4)(f) AND IN ACCORDANCE WITH ALTERNATIVE CEPPA TIMING APPROVED 6/21/18, NEW DOWNTOWN COMMUNITY COMMONS SHOWN WITHIN THE LIMITS OF FDP-DC-L-1A WILL BE CONSTRUCTED IN ACCORDANCE WITH THE FOLLOWING PHASING PLAN:
    - THE DOWNTOWN NEIGHBORHOOD SQUARE (OPEN SPACE LOT 1) MUST BE COMPLETED AND DEEDED TO HOWARD COUNTY PRIOR TO ISSUANCE OF A BUILDING PERMIT FOR THE 2,600,000TH NET NEW SQUARE FOOT OF DEVELOPMENT. (SATISFIED, L19735 F,54)
    - THE LAKEFRONT CONNECTION WILL BE CONSTRUCTED AFTER THE AMERICAN CITY BUILDING IS DEMOLISHED AND MUST BE COMPLETED (LANDSCAPE PLANTING SUBJECT TO WEATHER CONDITIONS) PRIOR TO OCCUPANCY OF MORE THAN 50% OF THE DEVELOPMENT TO BE LOCATED ON PARCEL E.

I. GENERAL SITE DATA

- TOTAL SITE AREA (PARCEL B): 1.42 AC.
- LIMIT OF DISTURBED AREA: 2.6 AC.
- PRESIDENT ZONING: NT-DMIA (FDP DC-L-1A)
- PROPOSED USE OF SITE: MEDICAL OFFICE, PARKING GARAGE
- FLOOR SPACE:
 

LEVEL	GROSS AREA (SF)
1	16,164
2	23,194
3	23,194
4	23,194
TOTAL	85,731

- II. PARCEL B DEVELOPMENT DATA
- MEDICAL OFFICE
    - PROPOSED AREA: 85,731 square feet
  - PARKING REQUIREMENTS:
    - THE LAKEFRONT CORE NEIGHBORHOOD REQUIRES 905 PARKING SPACES. SEE SHEET 3 FOR ADDITIONAL INFORMATION
    - PARKING PROVIDED:
      - THE LAKEFRONT CORE NEIGHBORHOOD HAS 1,064 PARKING SPACES. SEE SHEET 3 FOR ADDITIONAL INFORMATION
- SEE SHEET 2 FOR CEPPA TRACKING CHART



**STORMWATER MANAGEMENT INFORMATION CHART**

LOT/PARCEL	FACILITY NAME/NO.	PRACTICE TYPE (QUANTITY)	PUBLIC/PRIVATE	MISC.
PARCEL B	STORMCEPTOR (M-108)	SC (1)	PRIVATE	
PARCEL B	STORM FILTER (M-107)	F-2 (1)	PRIVATE	

**ADDRESS CHART**

BUILDING	10285 LITTLE PATUXENT PARKWAY
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**PERMIT INFORMATION CHART**

SUBDIVISION NAME: DOWNTOWN COLUMBIA		SECTION/AREA: N/A	PARCEL: PARCEL B
LAKEFRONT CORE NEIGHBORHOOD - PHASE I			
PLAT No.	PARCEL	ZONE	TAX MAP
	321	NT	36
BLOCK		ELEC. DIST.	CENSUS TRACT
		5	6054.02
WATER CODE: NA		SEWER CODE: NA	

L:\CADD\DRAWINGS\18046\PLANS BY GLW\SDP\18046-CS.dwg, 11/16/2022, 2:04 PM, LAST SAVED: 6/17/2022, 10:59 AM, PLOTTED BY: Don Swannery

GENERAL NOTES cont

46. ON OCTOBER 24, 2021 AND PURSUANT TO SECTION 16.104, THE DIRECTOR OF THE DEPARTMENT OF PLANNING AND ZONING UPON THE ADVICE OF THE DEPARTMENT OF PUBLIC WORKS, DEPARTMENT OF RECREATION AND PARKS, DEPARTMENT OF LICENSES AND PERMITS, AND THE SOIL CONSERVATION DISTRICT, APPROVED NP-22-018, THE REQUEST FOR ALTERNATIVE COMPLIANCE WITH RESPECT TO SECTION 16.105(C)(2) OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS TO PERMIT GRADING, CONSTRUCT A BUILDING AND RELOCATE UTILITIES IN THE FLOODPLAIN. APPROVAL OF THIS ALTERNATIVE COMPLIANCE IS SUBJECT TO THE FOLLOWING CONDITIONS:
1. SUBMIT A FLOODPLAIN STUDY USING THE CURRENT FEMA 100-YEAR FLOW RATE AND ANALYZE ANY CHANGES TO THE WATER SURFACE ELEVATION OR FLOW RATES USING THE ULTIMATE DEVELOPMENT OF THIS PARCEL. THE STUDY WILL BE REVIEWED BY DPW AND VERIFIED WITH DPW STORMWATER DIVISION. THE EXPECTATION IS THAT NO STORAGE VOLUME WILL BE LOST WITHIN THE LIMITS OF THE FLOODPLAIN.
  2. STORMWATER MANAGEMENT SHOULD BE PROVIDED FOR THE LIMIT OF DISTURBANCE USING ESD PRACTICES ASSUMING GREENFIELD CONDITIONS. ALL OPTIONS AND METHODS FOR PROVIDING MANAGEMENT FOR THE FIRST INCH OF RUNOFF ARE AVAILABLE, INCLUDING REDEVELOPMENT PRACTICES. PROVIDING MANAGEMENT OF OFFSITE IMPERVIOUS AREA AT A 1:1 RATIO MAY ALSO BE CONSIDERED.
  3. ALTHOUGH WASTE MANAGEMENT AREAS CANNOT BE INTENTIONALLY DIRECTED TO STORMWATER MANAGEMENT DEVICES, THE EXISTING STORM DRAIN AT THE WHOLE FOODS LOADING DOCK AREA APPEARS TO BE AN OPPORTUNITY TO TREAT CURRENT RUNOFF THAT IS DISCHARGING TO THE LAKE AND TREAT IT FOR WATER QUALITY. THIS COULD BE DONE WITH A FILTER PRACTICE OR BIORETENTION TIRE FACILITY. PLEASE INVESTIGATE AS PART OF THE SITE DESIGN.
  4. PLEASE REVIEW AND ADDRESS THE COMMENTS PROVIDED BY THE DEVELOPMENT ENGINEERING DIVISION WITH THE SOP SUBMISSION.
  5. PROVIDE A REVISED EXHIBIT TO MODIFY THE SITE DESIGN TO INCLUDE ADJING FILL ALONG THE SOUTHERN BOUNDARY IN ORDER TO RAISE THE ELEVATION TO TIE INTO THE EXISTING SEWER OFF-SITE WHICH WILL REDUCE THE LENGTH OF A SEWER PIPE REQUIRED IN THE FORESTED AREA SOUTH OF THE SITE CURRENTLY SHOWN ON EXHIBIT D. CONSULT WITH DEP AND DPW IF THE ADDITIONAL FILL HAS ANY IMPACTS ON THE FLOODPLAIN CALCULATIONS.
  6. THE FLOODPLAIN DISTURBANCE APPROVED IS LIMITED TO THE ULTIMATE AREA OF FLOODPLAIN ON PARCEL B AND THE MINIMUM AREA REQUIRED SOUTH OF THE SITE TO TIE THE RELOCATED SEWER LINE TO THE EXISTING SEWER OFFSITE.
47. THE SCHEMATIC BUILDING ELEVATIONS INDICATE BUILDING HEIGHT, MASSING AND ARCHITECTURAL INTENT AND MAY CHANGE WITH FURTHER DESIGN DEVELOPMENT. FINAL ARCHITECTURAL DESIGN WILL BE SHOWN ON THE CONSTRUCTION DOCUMENTS AND WILL BE REVIEWED FOR COMPLIANCE WITH THE NEIGHBORHOOD SPECIFIC DESIGN GUIDELINES AT THE TIME OF BUILDING PERMIT.
48. THIS PLAN PROPOSES OFF-SITE DISTURBANCE ON THREE LOTS, LOT 2, LOT 25 AND LOT 14. LOT 2, SECTION 1 AREA 9 IS OWNED BY THE HOWARD RESEARCH AND DEVELOPMENT CORPORATION. LOTS 14 AND 25 ARE OWNED BY THE COLUMBIA ASSOCIATION. A LETTER OF PERMISSION HAS BEEN PROVIDED FROM ALL AFFECTED OWNERS.
49. KNOX BOXES SHALL BE LOCATED WITHIN 6' TO THE RIGHT OF THE MAIN ENTRANCE AT A RANGE OF 4'-5' IN HEIGHT. THE CONTRACTOR SHOULD CONTACT THE OFFICE OF THE FIRE MARSHAL PRIOR TO PURCHASING AND INSTALLING KNOX BOXES TO DETERMINE IF ADDITIONAL KNOX BOXES WILL BE REQUIRED AS WELL AS TO VERIFY THE LOCATION(S) WHERE THEY ARE TO BE MOUNTED.
50. FIRE DEPARTMENT CONNECTION(S) FOR FIRE PROTECTION SYSTEMS SHALL BE LOCATED, (A) ON THE SIDE OF THE STRUCTURE DISPLAYING THE ADDRESS CLEARLY VISIBLE TO THE RESPONDING UNITS OR AS OTHERWISE SHOWN ON THE APPROVED PLAN (B) WITHIN 100 FT. OF A FIRE HYDRANT (I) THE APPROPRIATE SIGN SHALL BE MOUNTED ON THE BUILDING'S WALL BETWEEN 8' AND 12' FEET ABOVE THE FIRE DEPARTMENT CONNECTION (II) A FIRE-RESISTANT FIRE DEPARTMENT CONNECTION SHALL HAVE THE SIGN MOUNTED ON A POLE DIRECTLY BEHIND THE CONNECTION APPROXIMATELY 6' FEET HIGH (IV) SIGNS SHALL HAVE A WHITE REFLECTIVE BACKGROUND WITH A RED REFLECTIVE BORDER, RED REFLECTIVE LETTERS AND A RED REFLECTIVE ARROW. THE BORDER SHALL HAVE A 3/8" STROKE. THE LETTERS SHALL BE 6" HIGH WITH A 1" STROKE. THE ARROW SHALL HAVE A STROKE NOTE LESS THAN 2". THE OVERALL SIGN MEASUREMENTS SHALL BE 12" BY 18" (V) ANY OBSTRUCTION OR CONDITION THAT DETERS OR HINDERS ACCESS TO A FDC IS PROHIBITED. A MINIMUM CLEAR SPACE OF 15 FEET (15 FEET ON ALL SIDES) SHALL BE MAINTAINED.
51. ON DECEMBER 22, 2021 DMK2-22-010, A WAIVER TO HOWARD COUNTY DESIGN MANUAL VOLUME II - WATER AND SEWER WAS APPROVED. THE WAIVER APPROVAL WAS SPLIT INTO FOUR SECTIONS.
1. A WAIVER TO SECTION 3.3.B.2.b.2, MAXIMUM UNLOOPED WATER MAIN FOR COMMERCIAL AREAS WITH FIRE PROTECTION BE 800 FEET WAS APPROVED PROVIDED THAT WATERLINE B' IS EXTENDED UP TO THE MOORE CIRCLE PROPERTY LINE AT LITTLE FOOTOUT PARKWAY TO ALLOW FOR FUTURE REDUNDANCY LOOPING OF THE MAINS.
  2. A WAIVER TO SECTION 5.4.B.5, WHICH REQUIRES 10-FOOT HORIZONTAL CLEARANCE BETWEEN THE WATER EASEMENT AND PERMANENT STRUCTURES WAS APPROVED FOR WATERLINE B (STA 2+71 - 5+60) PROVIDED THAT (I) EXISTING UTILITIES THAT ARE WITHIN THE LIMITS OF THE PUBLIC EASEMENT ARE RELOCATED, AND (II) NO NEW OR ADDITIONAL UTILITIES ARE INSTALLED PARALLEL TO THE WATER MAIN CROSSINGS ARE PERMITTED AND SHALL BE SHOWN ON THE WATER AND SEWER CONTRACT DRAWINGS. THIS APPLIES TO WALLS 1 & 2 LABELED ON SHEET 2.
  3. A WAIVER WAS APPROVED TO ALLOW PRIVATE STORM DRAIN TO ENCROUGH INTO THE PUBLIC WATER EASEMENT FOR THE 24" STORM DRAIN FROM THE UPPER PARKING LOT.
  4. A WAIVER WAS APPROVED TO SECTION 11.E.2 WHICH REQUIRES 18" VERTICAL CLEARANCE PER MDE DESIGN GUIDELINES FOR DRINKING WATER FACILITIES - MINIMUM REQUIREMENTS, AND THE 10-STATE RECOMMENDED STANDARDS FOR WATER WORKS SECTION D.9 FOR THE FIRE HYDRANT 'B' PIPE. THIS WAIVER REQUEST IS APPROVED PROVIDED THAT (I) A MINIMUM OF 6-INCH CLEARANCE IS PROVIDED ABOVE THE ELLIPTICAL STORM PIPE, (II) ALL JOINTS BETWEEN THE FIRE HYDRANT AND THE WATER MAIN ARE RESTRAINED, AND (III) APPROVED PLANS SHALL INCLUDE A NOTE THAT THE CONTRACTOR SHALL MINIMIZE THE NUMBER OF JOINTS NEEDED BY USING FULL LENGTHS OF PIPE TO THE MAXIMUM EXTENT POSSIBLE.
52. ON MAY 6, 2022 A WAIVER TO HOWARD COUNTY DESIGN MANUAL VOLUME 3, SECTION 2.6.C AND APPENDIX 6 WAS APPROVED TO REDUCE THE WIDTH OF A PORTION OF THE PARKING SPACES TO PROVIDE LESS THAN THE 9' REQUIREMENT. THE SPACES LESS THAN 9' ARE TO BE MARKED AS COMPACT.

**APPROVED**  
**PLANNING BOARD OF HOWARD COUNTY**

Date: \_\_\_\_\_

---

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director \_\_\_\_\_ Date \_\_\_\_\_

Chief, Division of Land Development \_\_\_\_\_ Date \_\_\_\_\_

Chief, Development Engineering Division \_\_\_\_\_ Date \_\_\_\_\_



3809 NATIONAL DRIVE | SUITE 250 | BURTONSVILLE, MD 20866 | GLW@PA.COM  
PHONE: 301-421-4024 | BALT: 410-880-1820 | DC&VA: 301-989-2524 | FAX: 301-421-4168

DESIGNED BY:	_____	_____	_____	_____
ddc	_____	_____	_____	_____
DRAWN BY:	_____	_____	_____	_____
ddc	_____	_____	_____	_____
CHECKED BY:	_____	_____	_____	_____
DATE	REVISION	BY	APPR.	

PREPARED FOR:

**OWNER:**  
CLOVER ACQUISITIONS LLC  
C/O THE HOWARD HUGHES  
CORP.  
PO BOX 131298  
CARLSBAD CA 92013

**DEVELOPER:**  
THE HOWARD RESEARCH  
AND DEVELOPMENT CORP.  
10960 GRANTCHESTER  
WAY, SUITE 110  
COLUMBIA, MD 21044  
ATTN: GABRIEL CHUNG  
410-964-4800

**PROFESSIONAL CERTIFICATION**

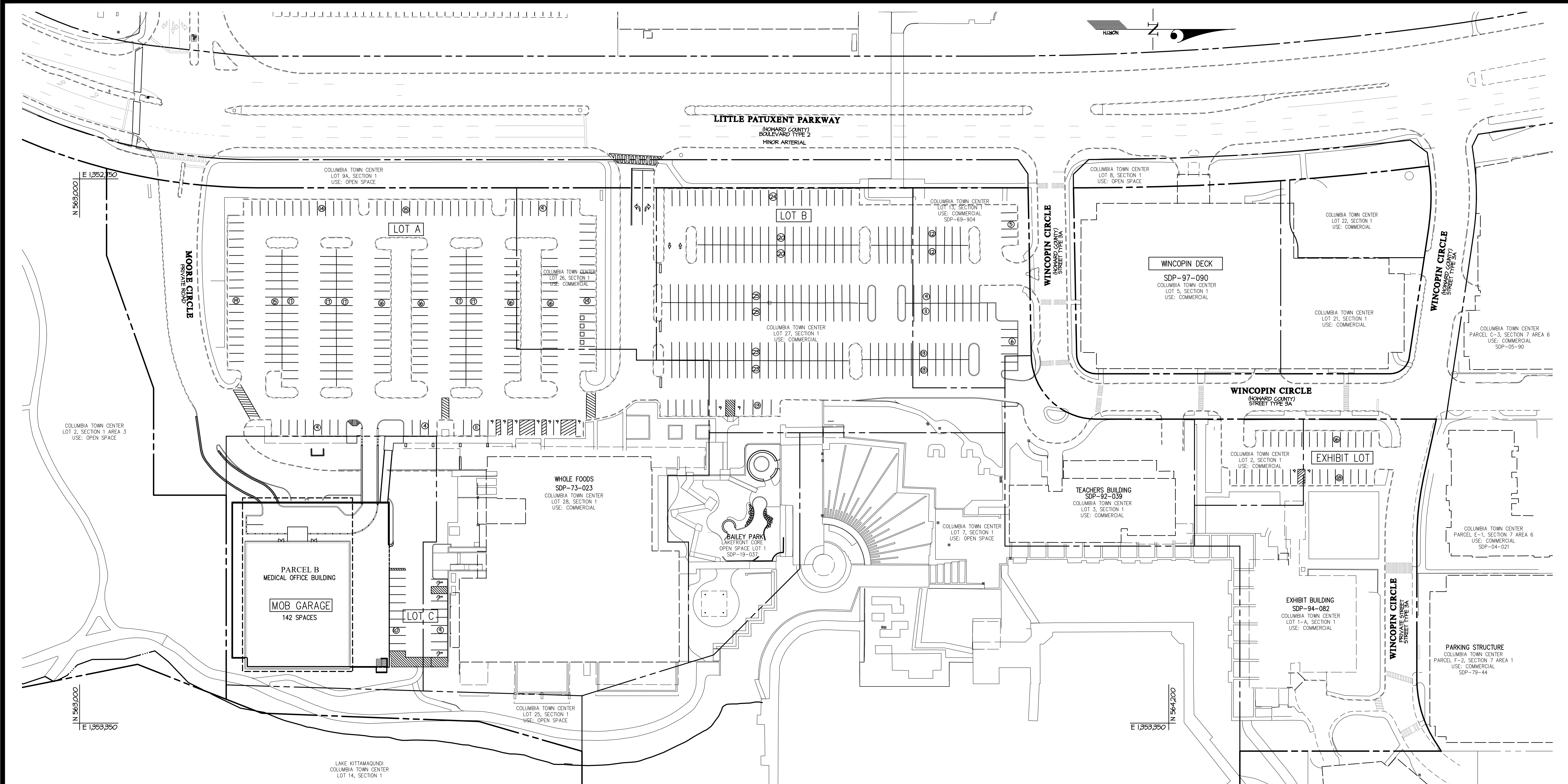
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975  
EXPIRATION DATE: MAY 26, 2024

Community Enhancements, Programs and Public Amenities (CEPPA's) Tracking Chart			
Downtown Columbia Plan	CEPPA	Trigger	Notes
1	Environmental Assessment	Prior to Submission of First FDP	Satisfied
2	Environmental Sustainability Program	Prior to Submission of First FDP	Satisfied
3	rte. 29 Interchange Study	Prior to Submission of First FDP	Satisfied
4	Downtown Wide Design Guidelines	Prior to Approval of First FDP	Satisfied
5	Transportation Feasibility Study	Prior to Approval of First FDP	Satisfied
6	Downtown Columbia Partnership	Prior to Approval of First FDP	Satisfied
7	Environmental Restoration Phasing/initial SDP	Prior to Approval of First FDP	Satisfied
8	Downtown Arts and Culture Commission (DCACC)	Prior to Approval of First FDP	Satisfied
9	Fire Station	Prior to the Issuance of the First Building Permit	Satisfied
10	\$1.5 million Housing Fund Payment	Upon Issuance of the First Building Permit	Satisfied
11	\$1.5 million Housing Fund Payment	Upon Issuance of the First Building Permit for the 400th Residential Unit	Satisfied
12	Downtown Pedestrian Pathways	Prior to Issuance of a Building Permit for the 500,000th SF of Development (Pathway SDP Only)	Satisfied, per Alternative Compliance
13	Rouse Building Covenants	Prior to Issuance of a Building Permit for the 500,000th SF of Development	Satisfied
14	Transit Center	Prior to Issuance of a Building Permit for the 1,300,000th SF of Development	Pending; Alternative Timing to 3,200,000 SF Approved November 17, 2017
15	Environmental Restoration	Prior to Issuance of a Building Permit for the 1,300,000th SF of Development	Satisfied
16	Phase 1 Merriweather Improvements	Prior to Issuance of a Building Permit for the 1,300,000th SF of Development	Satisfied
17	School Site or Equivalent	Upon Issuance of the of a Building Permit for the 1,375th Residential Unit	Satisfied
18	Wilde Lake Pathway	Prior to Issuance of a Building Permit for the 3,900,000th SF of Development.	Satisfied
19	Lakefront Terrace	Prior to Issuance of a Building Permit for the 2,600,000th SF of Development.	Pending - Alternative timing to 3.9 MSF approved June 21, 2018
20	Phase 2 Merriweather Improvements	Prior to Issuance of a Building Permit for the 2,600,000th SF of Development.	See Alternative Compliance approved November 4, 2016
21	Phase 3 Merriweather Improvements	Prior to Issuance of a Building Permit for the 3,900,000th SF of Development.	See Alternative Compliance approved November 4, 2016
22	Downtown Neighborhood Square to County	Prior to Issuance of a Building Permit for the 2,600,000th SF of Development.	Satisfied
23	\$1million funding for Downtown Shuttle	Prior to Issuance of a Building Permit for the 5,000,000th SF of Development.	Pending
24	Transfer of Merriweather to DCACC	Prior to Issuance of a Building Permit for the 5,000,000th SF of Development.	Satisfied
25	*Downtown Columbia Partnership Funding (ongoing)	Prior to each FDP	On-going
26	Removed	n/a	Removed by passage of C 52-2016
27	** Housing Fund Payments (ongoing)	Additional CEPPA Contribution	On-going

<b>ADDITIONAL NOTES AND CHARTS</b> <b>SOUTHLAKE OFFICE BUILDING</b> <b>DOWNTOWN COLUMBIA</b> <b>LAKEFRONT CORE NEIGHBORHOOD, PHASE I, PARCEL B</b> <b>A REVISION OF SECTION I, PARCEL B (PLAT No. XXXXX)</b>	SCALE	ZONING	G. L. W. FILE No.
	AS SHOWN	NT	18046
ELECTION DISTRICT No. 5	DATE	TAX MAP - GRID	SHEET
	JUNE, 2022	36 - 2	2 OF 52

PN: \_\_\_\_\_ HOWARD COUNTY, MARYLAND

L:\CAD\DRAWINGS\18046\PLANS BY GLW\SDP\18046-CS.dwg, PLOTTED: 5/21/2022, 12:39 PM, LAST SAVER: 5/21/2022, 11:32 AM, PLOTTED BY: Don Spivey



**APPROVED**  
**PLANNING BOARD OF HOWARD COUNTY**

Date: \_\_\_\_\_

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director \_\_\_\_\_ Date \_\_\_\_\_

Chief, Division of Land Development \_\_\_\_\_ Date \_\_\_\_\_

Chief, Development Engineering Division \_\_\_\_\_ Date \_\_\_\_\_

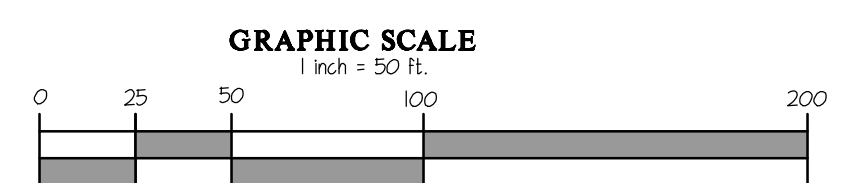
PARKING SUPPLY TABLE				
LOT NAME	DPZ FILE NUMBER	STANDARD SPACES	ADA SPACES	TOTAL SPACES
LOT A	SDP-13-023	251	3 STD 4 VAN	264
LOT B <sup>2</sup>	SDP-69-904 SDP-13-023	252	0 STD 2 VAN	254
LOT C	SDP-22-019	16	0 STD 3 VAN	19
EXHIBIT LOT	SDP-44-082	32	0 STD 2 VAN	34
MOB GARAGE	SDP-22-019	128	8 STD 6 VAN	142
WINOPIN DECK	SDP-97-090	341	4 STD 4 VAN	355
CART CORRAL <sup>3</sup>	-----	-4	---	-4
TOTALS	-----	1,028	15 STD 21 VAN	1,064

**NOTES:**

- PROPERTY WITHIN THE AREA OF THIS SITE DEVELOPMENT PLAN FOR PARCEL B, AND THE ADJACENT LOTS 1-A, 2, 3, 5, 13, 21, 22, 26, 27, 4, 28 ARE NOW SUBJECT TO THE TERMS OF A RECIPROCAL EASEMENT AGREEMENT DATED XXXXX RECORDED AMONG THE HOWARD COUNTY LAND RECORD IN LIBER XXXXX FOLIO XXXX (REA) WHICH, AMONG OTHER THINGS, CREATES RECIPROCAL RIGHTS AND OBLIGATIONS OF THE PROPERTY OWNERS AS TO ACCESS, PARKING, UTILITIES, STORM WATER MANAGEMENT, AMENITIES AND LANDSCAPING, AND SETS FORTH THE PRIVATE MAINTENANCE RESPONSIBILITIES FOR ALL PRIVATELY OWNED COMMON AREA AND/OR QUASI-PUBLIC AMENITIES (SUCH AS PRIVATE ROADWAYS, PRIVATE SIDEWALKS, AND DOWNTOWN COMMONS) AND PUBLIC ART TO BE MAINTAINED BY THE PROPERTY OWNER(S), SUBJECT TO SUCH RESPONSIBILITIES BEING SHARED AMONG THE PROPERTY OWNER(S) OR ASSIGNED BY A MAINTENANCE ORGANIZATION, THE COUNTY OR OTHER ORGANIZATION. PROPERTY OWNER ACKNOWLEDGES AND CONFIRMS THAT ANY REFERENCE IN THE AREA TO AN OWNER'S RIGHT TO DEDICATE ALL OR A PORTION OF AN EASEMENT AREA OR MAINTENANCE OF ANY OFF-SITE AREA TO THE COUNTY IS SUBJECT TO THE COUNTY'S AFFIRMATIVE ACCEPTANCE OF ANY SUCH OBLIGATION WHICH IT MAY GRANT OR DENY, IN ITS OWN DETERMINATION, IN ACCORDANCE WITH THE COUNTY'S PROCEDURES REGARDING SAME.
- LOT B HAS 200 EXISTING PARKING SPACES. A REDLINE TO SDP-69-904 TO EXPAND THE PARKING LOT WAS APPROVED BY A SPEED MEMO DATED APRIL 28, 2022.
- FOUR PARKING SPACES HAVE BEEN REMOVED FROM THE PARKING SUPPLY FOR USE AS CART CORRALS. EXACT LOCATION OF CART CORRALS TO BE DETERMINED BY TENANT.
- THIS PLAN IS FOR PARKING INFORMATION ONLY. SEE NOTE 1 ABOVE FOR PRIVATE PARKING AGREEMENTS AND SEE SHEET 1 FOR LIMITS OF THIS SITE PLAN.
- THIS PLAN COMPLIES WITH SECTION 193.0.B.4.E OF THE ZONING REGULATIONS. THE PARKING FACILITY IS SUBJECT TO RECORDED COVENANTS OR EASEMENTS FOR PARKING, OR OTHER PROOF IS PROVIDED THAT THE CONTINUED USE OF THE PARKING AREA IS GUARANTEED THROUGHOUT THE LIFE OF THE LAND USER BY THE RECIPROCAL EASEMENT AGREEMENT DISCUSSED IN NOTE 1 ABOVE.
- AT THE TIME OF THIS SDP APPROVAL, THE OVERALL PARKING REQUIREMENT FOR THE HOWARD RESEARCH AND DEVELOPMENT PROPERTIES THAT HAVE GONE THROUGH THE DOWNTOWN REVITALIZATION PROCESS PER SECTION 125.0.A.3 OF THE ZONING REGULATIONS IS 5,933 SPACES. A TOTAL OF 5,334 GARAGE SPACES IN DOWNTOWN COLUMBIA ARE PROVIDED ON THESE SDPS. GARAGE PARKING PROVIDES 41.8% OF THE OVERALL PARKING REQUIREMENT IN CONFORMANCE WITH 193.0.B.5 OF THE ZONING REGULATIONS. THE SITE DEVELOPMENT PLANS INCLUDED IN THIS ANALYSIS ARE SDP-13-007, SDP-14-024, SDP-15-068, SDP-17-021, SDP-17-042, SDP-18-008, AND SDP-22-019.
- A PARKING STUDY PER SECTION 193.0.F.3 OF THE ZONING REGULATIONS WAS PREPARED BY WELLS AND ASSOCIATES, DATED APRIL, 2022 AND WAS APPROVED BY THE DEPARTMENT OF PLANNING AND ZONING WITH THIS PLAN.

**PARKING REQUIREMENTS**

A PARKING STUDY FOR THIS PROJECT WAS PREPARED BY WELLS AND ASSOCIATES, DATED DECEMBER, 2021. THE RESULTS OF THE SHARED PARKING ANALYSIS FOR THE LAKEFRONT CORE DISTRICT THAT ACCOUNT FOR THE PROPOSED SOUTHLAKE OFFICE BUILDING INDICATE THAT A MAXIMUM OF 485 PARKING SPACES IS REQUIRED TO SERVE THE AREA ON A WEEKDAY AT MID-AFTERNOON (2:00 PM) DURING THE PEAK HOLIDAY SHOPPING SEASON IN DECEMBER. BASED ON A PARKING SUPPLY OF 1,070 SPACES, A SURPLUS OF APPROXIMATELY 285 SPACES (OR APPROXIMATELY 26% PERCENT) WOULD EXIST. THE PEAK PARKING REQUIREMENT ON A WEEKEND IS EXPECTED TO OCCUR IN DECEMBER AT 11:00 AM WHEN A TOTAL OF 168 SPACES WOULD BE REQUIRED TO ADEQUATELY SERVE THE SITE. THIS A SURPLUS OF 302 SPACES (OR 28 PERCENT) WOULD EXIST. THESE RESULTS INDICATE THAT THE PROPOSED PARKING SUPPLY FOR THE LAKEFRONT OFFICE BUILDING WOULD BE ADEQUATELY ACCOMMODATED THROUGH THE ADDITIONAL PARKING PROVIDED ON-SITE ACCOMPANIED WITH THE ADJACENT PARKING SHARED WITH OTHER USES WITHIN THE LAKEFRONT CORE DISTRICT.



**GLW**  
 PLANNING | ENGINEERING | SURVEYING

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 PHONE: 301-421-4024 | BALT: 410-880-1820 | DC&VA: 301-989-2524 | FAX: 301-421-4168

DESIGNED BY	DATE	REVISION	BY	APPR.
DDS				
DRAWN BY				
DDS				
CHECKED BY				

**PREPARED FOR:**

OWNER:  
 CLOVER ACQUISITIONS LLC  
 C/O THE HOWARD HUGHES  
 CORP.  
 PO BOX 131298  
 CARLSBAD CA 92013

**PROFESSIONAL CERTIFICATION**

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975, EXPIRATION DATE: MAY 26, 2024.

**OVERALL PARKING PLAN**  
**SOUTHLAKE OFFICE BUILDING**  
**LAKEFRONT CORE NEIGHBORHOOD, PHASE I, PARCEL B**  
 A REVISION OF SECTION 1, PARCEL B (PLAT No. XXXXX)

SCALE: 1"=50'  
 ZONING: NT  
 DATE: JUNE, 2022  
 TAX MAP - GRID: 36 - 2  
 SHEET: 3 OF 52

ELECTION DISTRICT No. 5  
 PN: \_\_\_\_\_  
 HOWARD COUNTY, MARYLAND

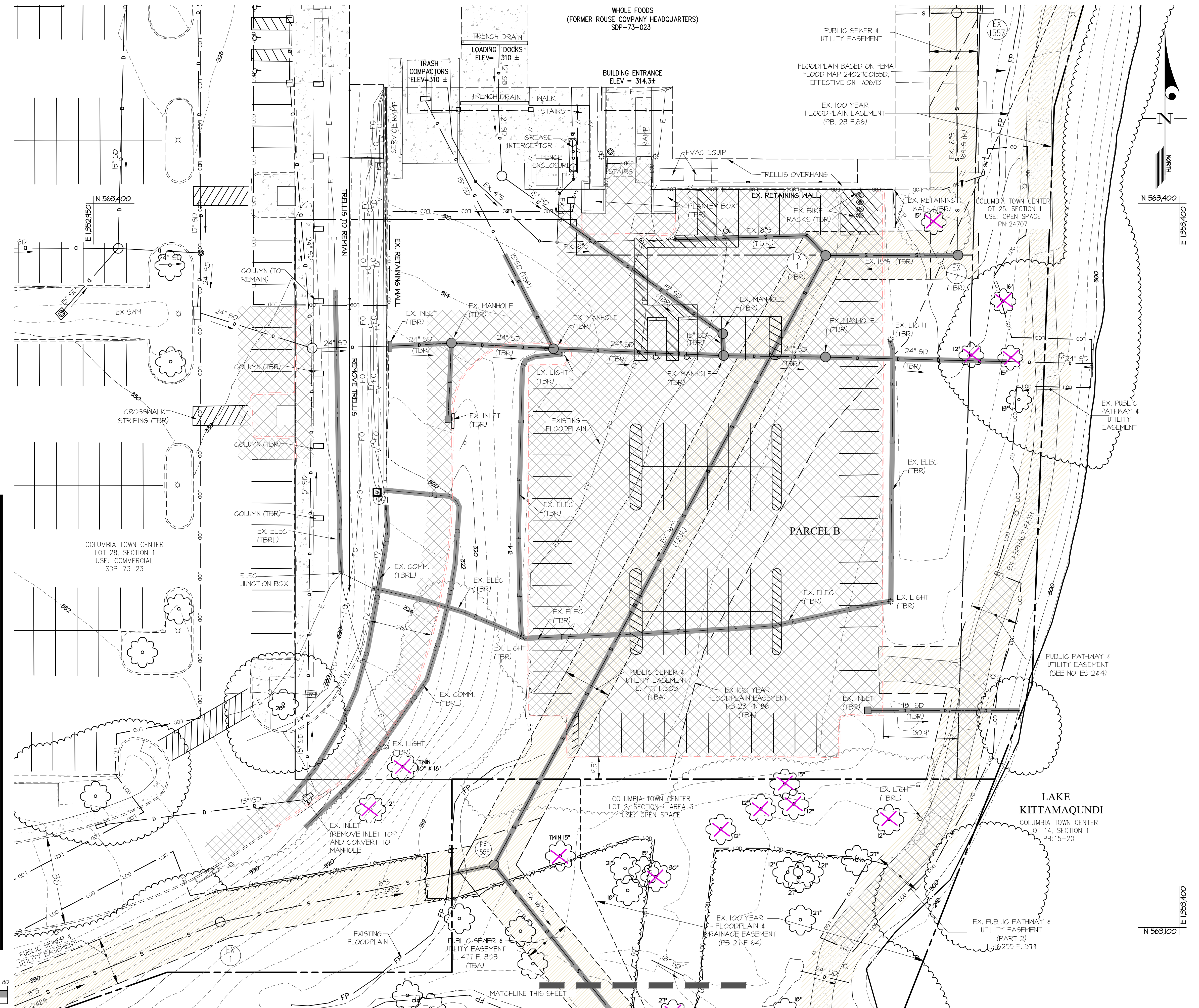
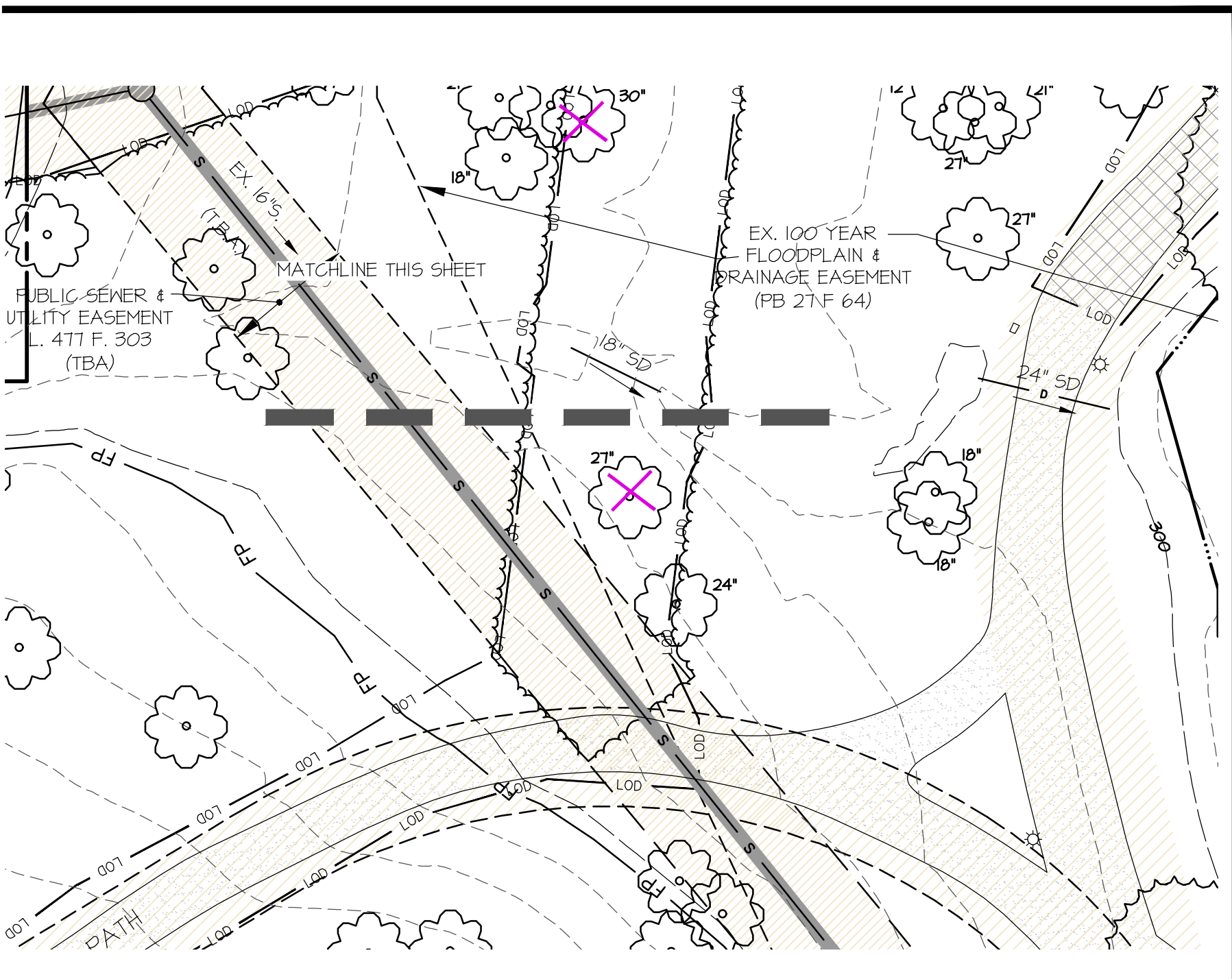
G. L. W. FILE No.	SCALE	ZONING
18046	1"=50'	NT
SHEET	DATE	TAX MAP - GRID
3 OF 52	JUNE, 2022	36 - 2

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 PLOTTED: 07/27/2022, 12:39 PM, LAST SAVINGS: 07/20/22, 11:32 AM, PLOTTED BY: Don Spivey

**LEGEND**

- EX. 8" S ——— EXISTING SANITARY SEWER
  - EX. 8" W ——— EXISTING WATERLINE
  - EX. SD ——— EXISTING STORM DRAIN
  - TV ——— CABLE TV LINE
  - E ——— ELECTRIC LINE
  - FO ——— FIBER OPTIC LINE
  - G ——— GAS LINE
  - T ——— TELECOMMUNICATIONS LINE
  - EXISTING CURB AND GUTTER
  - - - EXISTING CURB AND GUTTER TO BE REMOVED
  - EXISTING EDGE OF PAVEMENT
  - ▨ EXISTING PAVEMENT OR CONCRETE TO BE REMOVED
  - L.O.D. — LIMIT OF DISTURBANCE
  - EXISTING UTILITY (TO BE REMOVED/ABANDONED)
- 
- (TBR) TO BE REMOVED
  - (TBR/L) TO BE RELOCATED
  - (TBA) TO BE ABANDONED
  - ☼ EXISTING TREE
  - ☼ EXISTING TREE TO BE REMOVED
  - ~ EXISTING TREELINE (FROM AERIAL TOPOGRAPHY)
  - ~ PROPOSED TREELINE

- NOTES:**
1. COORDINATE ALL CONSTRUCTION WITH WHOLE FOODS SO DELIVERIES AND TRASH PICKUP CONTINUE UNINTERRUPTED THROUGHOUT CONSTRUCTION.
  2. EXISTING PUBLIC PATHWAY EASEMENT TO BE REVISED TO FOLLOW NEW PATHWAY ALIGNMENT.
  3. SEE PUBLIC WATER AND SEWER CONTRACT 24-5190-D FOR ADDITIONAL INFORMATION ON SEWER DEMOLITION AND REALIGNMENT.
  4. LIMIT THE SHUTDOWN OF PATHWAY SURROUNDING LAKE KITTAMAQUONDI TO THE MINIMUM TIME REQUIRED TO CONSTRUCT SEWER AND REBUILD PATH.



**APPROVED**  
**PLANNING BOARD OF HOWARD COUNTY**

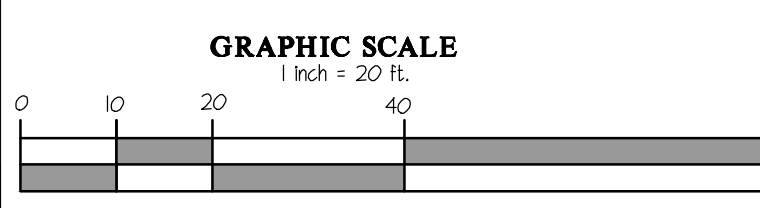
Date: \_\_\_\_\_

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director \_\_\_\_\_ Date \_\_\_\_\_

Chief, Division of Land Development \_\_\_\_\_ Date \_\_\_\_\_

Chief, Development Engineering Division \_\_\_\_\_ Date \_\_\_\_\_



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DESIGNED BY	DATE	REVISION	BY	APPR.
dds				
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CHECKED BY				

**PREPARED FOR:**

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**DEVELOPER:**  
 THE HOWARD RESEARCH  
 AND DEVELOPMENT CORP.  
 10860 GRANTCHESTER  
 WAY, SUITE 110  
 COLUMBIA, MD 21044  
 ATTN: GABRIEL CHUNG  
 410-964-4800

**PROFESSIONAL CERTIFICATION**

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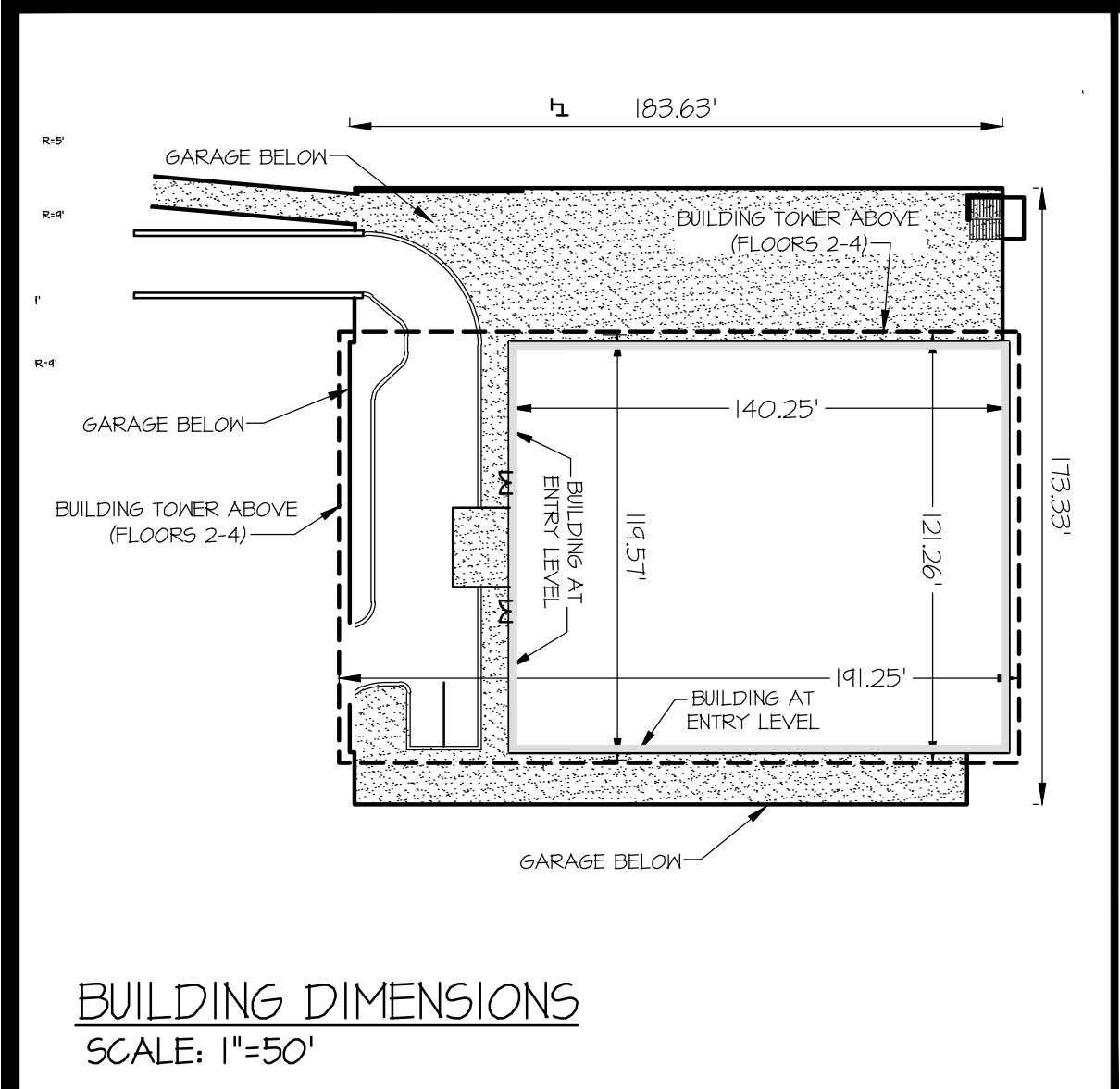
**DEMOLITION PLAN**

**SOUTHLAKE OFFICE BUILDING**  
**DOWNTOWN COLUMBIA**  
**LAKEFRONT CORE NEIGHBORHOOD, PHASE I, PARCEL B**  
 A REVISION OF SECTION I, PARCEL B (PLAT No. XXXXX)

ELECTION DISTRICT No. 5  
 PN: \_\_\_\_\_  
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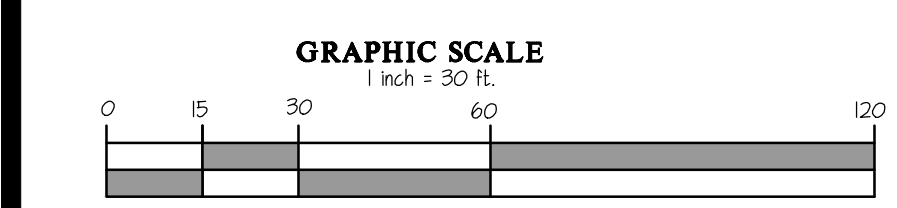
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L:\CADD\DRAWINGS\18046\PLANS BY GLW\SDP\18046 DEMO.dwg, PLOTTED: 07/27/2022, 12:38 PM, LAST SAVE: 07/27/2022, 12:38 PM, PLOTTER: HP DesignJet 2400, PLOTTED BY: Dan Steverson



**NOTES:**

- SEE SHEET 4 AND BUILDING PERMIT PLANS FOR PORTE COCHERE, DROP-OFF, PLAZA, AND BRIDGE GRADING.
- KNOX BOXES SHALL BE LOCATED WITHIN 6' TO THE RIGHT OF THE MAIN ENTRANCE AT A RANGE OF 4'-5' IN HEIGHT. THE CONTRACTOR SHOULD CONTACT THE OFFICE OF THE FIRE MARSHAL PRIOR TO PURCHASING AND INSTALLING KNOX BOXES TO DETERMINE IF ADDITIONAL KNOX BOXES WILL BE REQUIRED AS WELL AS TO VERIFY THE LOCATION(S) WHERE THEY ARE TO BE MOUNTED.
- LOT 28 AND PARCEL B ARE SUBJECT TO A RECIPROCAL EASEMENT AGREEMENT DATED XXXXX RECORDED AMONG THE HOWARD COUNTY LAND RECORD IN LIBER XXXX FOLIO XXX (REA). THIS EASEMENT WILL ADDRESS RETAINING WALLS AND RETAINING WALL MAINTENANCE. SEE SHEET 3 FOR ADDITIONAL INFORMATIONAL.



**APPROVED**  
**PLANNING BOARD OF HOWARD COUNTY**

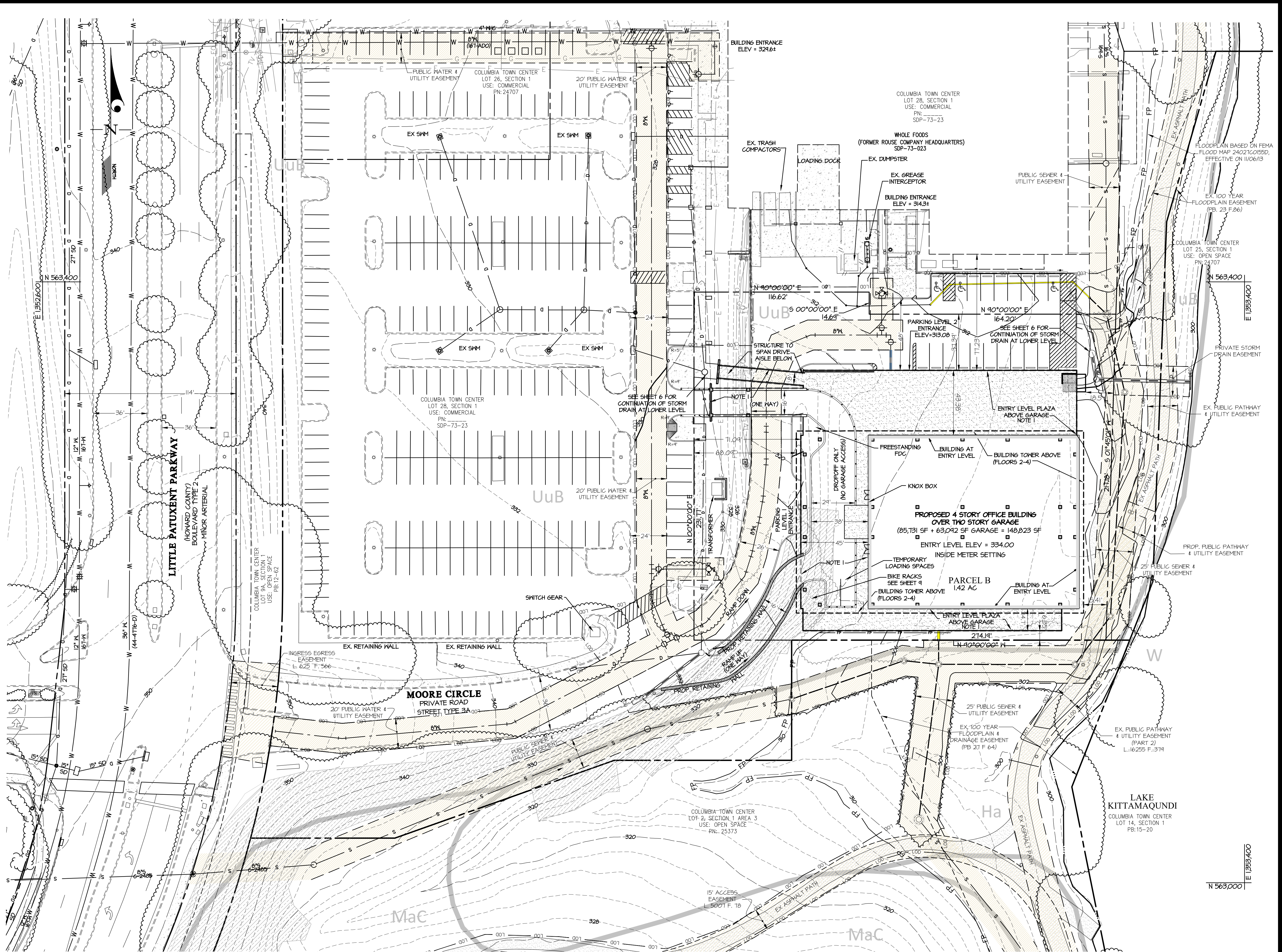
Date: \_\_\_\_\_

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director \_\_\_\_\_ Date \_\_\_\_\_

Chief, Division of Land Development \_\_\_\_\_ Date \_\_\_\_\_

Chief, Development Engineering Division \_\_\_\_\_ Date \_\_\_\_\_



DESIGNED BY: **dds**

DRAWN BY: **dds**

CHECKED BY: \_\_\_\_\_

DATE	REVISION	BY	APPR.

PREPARED FOR:

**OWNER:**  
 CLOVER ACQUISITIONS LLC  
 C/O THE HOWARD HUGHES  
 CORP.  
 PO BOX 131298  
 CARLSBAD CA 92013

**DEVELOPER:**  
 THE HOWARD RESEARCH  
 AND DEVELOPMENT CORP.  
 10960 GRANTCHESTER  
 WAY, SUITE 110  
 COLUMBIA, MD 21044  
 ATTN: GABRIEL CHUNG  
 410-964-4800

**PROFESSIONAL CERTIFICATION**

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975, EXPIRATION DATE: MAY 26, 2024.

**SITE PLAN - BUILDING LEVEL 1**

**SOUTHLAKE OFFICE BUILDING**

**DOWNTOWN COLUMBIA**

**LAKEFRONT CORE NEIGHBORHOOD, PHASE I, PARCEL B**

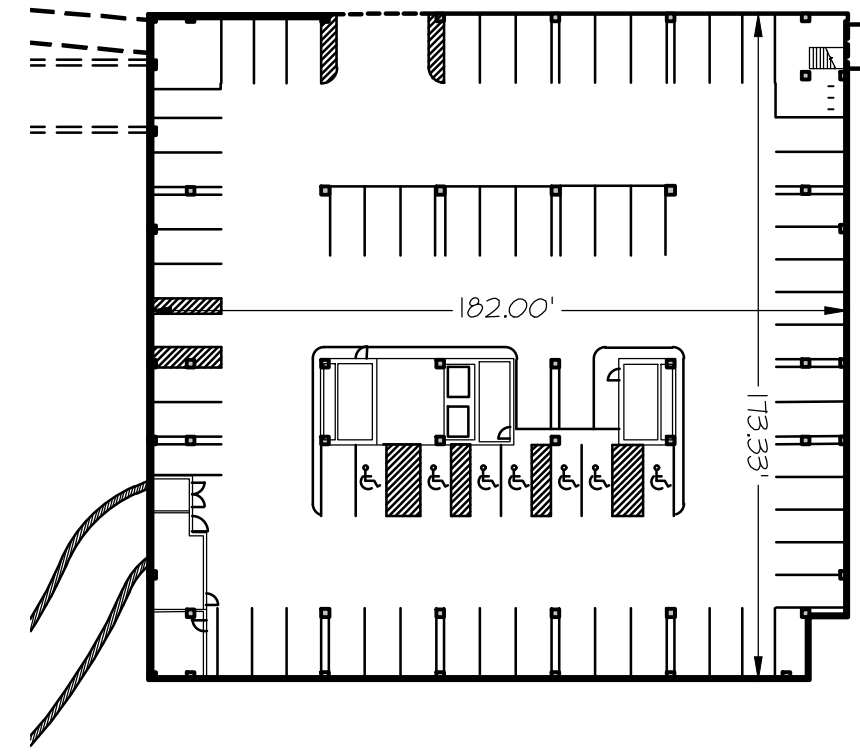
A REVISION OF SECTION I, PARCEL B (PLAT No. XXXXX)

PN: \_\_\_\_\_

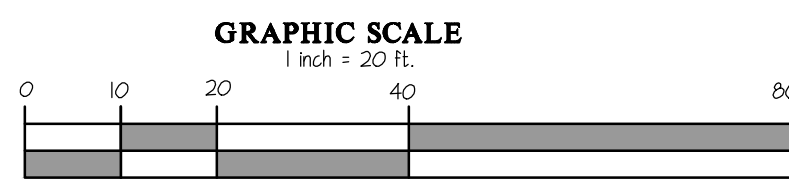
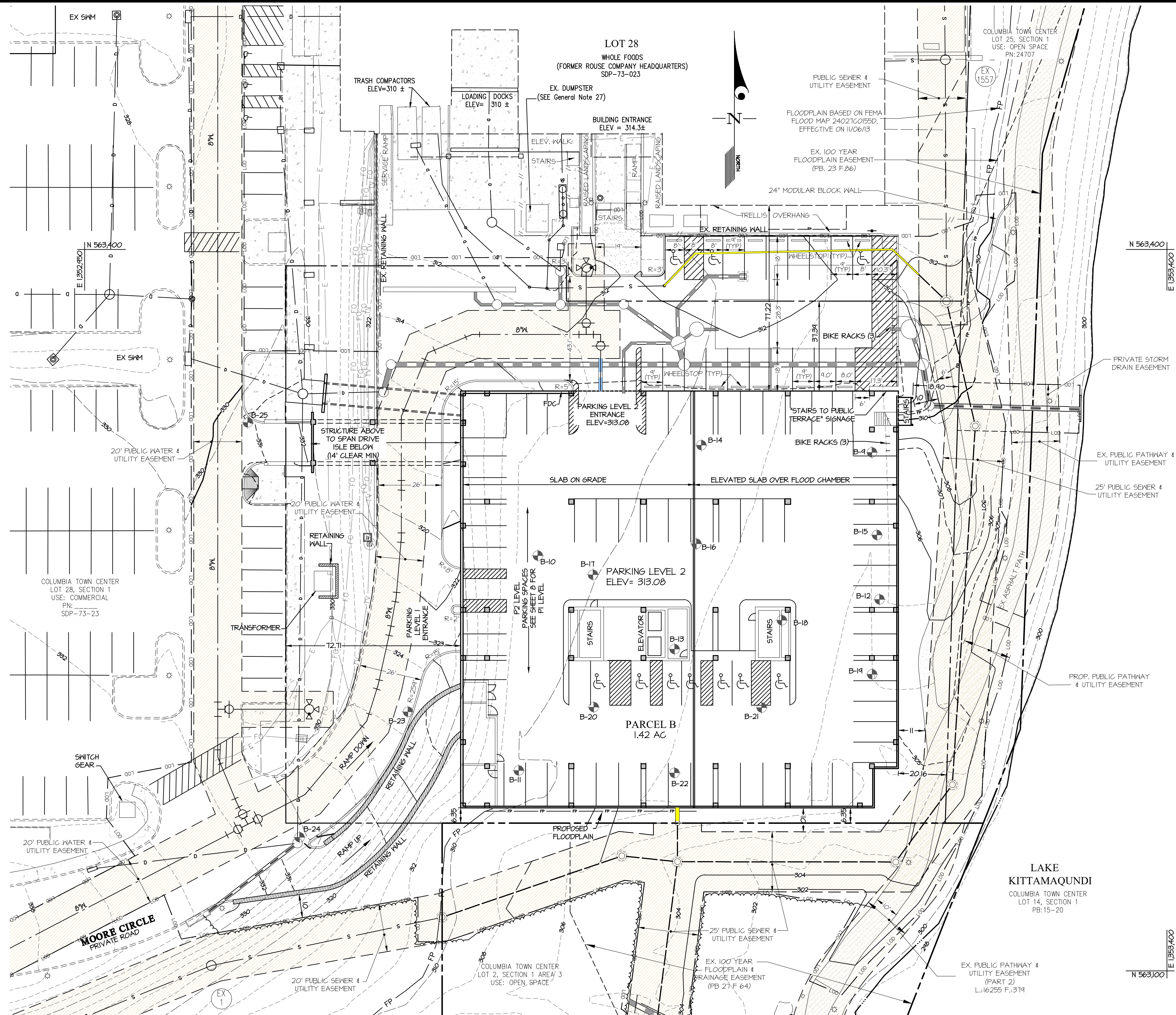
SCALE	ZONING	G. L. W. FILE NO.
1" = 30'	NT	18046
DATE	TAX MAP - GRID	SHEET
JUNE, 2022	36 - 2	5 OF 52

ELECTION DISTRICT No. 5  
 HOWARD COUNTY, MARYLAND

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 PLOTTED: 7/2022 8:12 AM, LAST SAVED: 6/17/2022 8:12 AM, CREATED BY: Don Swamy



**BUILDING DIMENSIONS**  
SCALE: 1"=50'



**APPROVED**  
**PLANNING BOARD OF HOWARD COUNTY**

Date: \_\_\_\_\_

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director \_\_\_\_\_ Date \_\_\_\_\_

Chief, Division of Land Development \_\_\_\_\_ Date \_\_\_\_\_

Chief, Development Engineering Division \_\_\_\_\_ Date \_\_\_\_\_

DESIGNED BY:	ddd		
DRAWN BY:	ddd		
CHECKED BY:			
DATE	REVISION	BY	APPR.

**PREPARED FOR:**

**OWNER:**  
CLOVER ACQUISITIONS LLC  
C/O THE HOWARD HUGHES CORP.  
PO BOX 131298  
CARLSBAD CA 92013

**DEVELOPER:**  
THE HOWARD RESEARCH AND DEVELOPMENT CORP.  
10960 GRANTCHESTER WAY, SUITE 110  
COLUMBIA, MD 21044  
ATTN: GABRIEL CHUNG  
410-964-4800

**PROFESSIONAL CERTIFICATION**

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975, EXPIRATION DATE: MAY 26, 2024

**SITE PLAN - PARKING LEVEL 2**

**SOUTHLAKE OFFICE BUILDING**  
**DOWNTOWN COLUMBIA**  
**LAKEFRONT CORE NEIGHBORHOOD, PHASE I, PARCEL B**  
A REVISION OF SECTION I, PARCEL B (PLAT No. XXXXX)  
PN: \_\_\_\_\_

ELECTION DISTRICT No. 5

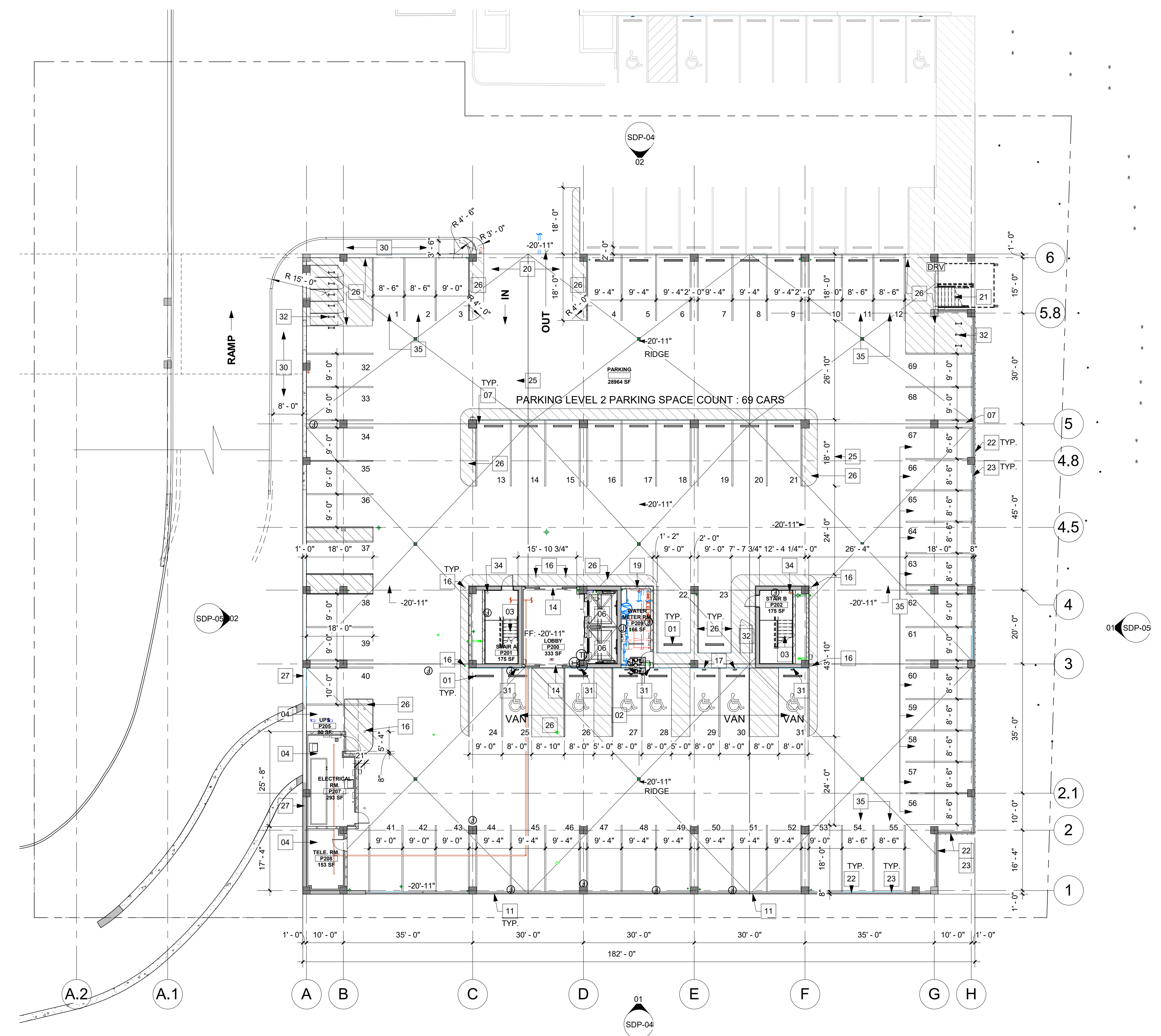
HOWARD COUNTY, MARYLAND

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1" = 20'	NT	18046
DATE	TAX MAP - GRID	SHEET
JUNE, 2022	36 - 2	6 OF 52

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- 01 CONCRETE WHEEL STOP, RE: G0.32
- 02 ADA ACCESSIBLE PARKING STALL, PAINTED GRAPHIC & HATCHING IN ADJACENT ACCESS SIDE AISLE, RE: G0.32
- 03 METAL PAN STAIR W/ CONCRETE TREADS, GUARDRAILS AND HANDRAILS, PAINTED
- 04 MECHANICAL & ELECTRICAL EQUIPMENTS, RE: MEP. PROVIDE PLYWOOD FOR WALL-MOUNTED EQUIPMENT AS REQUIRED
- 05 ELECTRIC TRANSFORMER PAD, RE: ELECTRICAL
- 06 ELEVATOR, CUSTOM FINISH PACKAGE, PROVIDE 4X12 SUPPORT STL. BEAM RE: SPEC.
- 07 INTERNAL RAIN LEADER PIPE, RE: PLUMBING
- 08 EDGE BRIDGE OF STRUCTURE ABOVE
- 09 GALVANIZED STEEL BARRIER CABLE SYSTEM TO 42" AFF
- 10 WALL MOUNTED FIRE EXTINGUISHER CABINET
- 11 SEMI RECESSED FIRE EXTINGUISHER CABINET
- 12 WALL HYDRANT, RE: PLUMBING
- 13 KNOX KEY BOX, RE: G0.32 FOR MOUNTING HEIGHT
- 14 FDC LOCATION, RE: FIRE PROTECTION
- 15 GALVANIZED STEEL MESH & FRAMES MOUNTED TO CONCRETE COLUMNS BELOW PARKING LEVEL 2, RE: LANDSCAPE
- 16 FIXED BOLLARD
- 17 ACCESSIBLE PARKING SIGN MOUNTED ON BOLLARD, RE: G0.32
- 18 VALLEY IN SLOPED CONCRETE SLAB
- 19 RIDGE IN SLOPED CONCRETE SLAB
- 20 NEW CONCRETE DRIVEWAY TIE TO EXISTING PARKING LOT / RAMP DRIVE, RE: CIVIL
- 21 EXTERIOR STAIR SYSTEM AND HANDRAILS, RE: LANDSCAPE
- 22 8" THICK X 36 1/2" HIGH REINFORCED CONCRETE VEHICULAR BUMPER GUARD, RE: DETAIL
- 23 1-1/2" O.D. GALVANIZED PAINTED HANDRAIL @ 42" ABOVE FFL SECURED TO BUMPER GUARD @ 5'-0" CENTERS MAX
- 24 GARAGE FLOOR AREA DRAIN, RE: PLUMBING DWGS
- 25 STAINLESS STEEL CABLE TRELLIS BOLTED TO STRUCTURE, RE: LANDSCAPE
- 26 PAINTED STRIPING
- 27 CONCRETE RETAINING WALL, RE: STRUCT.
- 28 SURFACE PARKING SPACES, RE: CIVIL
- 29 REWORK EXISTING ENTRY W/ PROPOSED GRADE, RE: CIVIL
- 30 LANDSCAPED AREA
- 31 ACCESSIBLE PARKING SIGN MOUNTED ON WALL, RE: G0.32
- 32 BIKE RACKS, RE: LANDSCAPING DETAIL 3 SDP SHEET 38
- 33 1" NYSTROM PDM COMPRESSION SEAL
- 34 FIRE STANDPIPE
- 35 PROVIDE SIGN: "COMPACT ONLY"

**FLOOR PLAN KEYNOTES**



**APPROVED**  
**PLANNING BOARD OF HOWARD COUNTY**

Date: \_\_\_\_\_

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director: \_\_\_\_\_ Date: \_\_\_\_\_

Chief, Division of Land Development: \_\_\_\_\_ Date: \_\_\_\_\_

Chief, Development Engineering Division: \_\_\_\_\_ Date: \_\_\_\_\_



DESIGNED BY:	CB	DATE:		REVISION:		BY:		APPR.:	
DRAWN BY:	CH								
CHECKED BY:	PK								

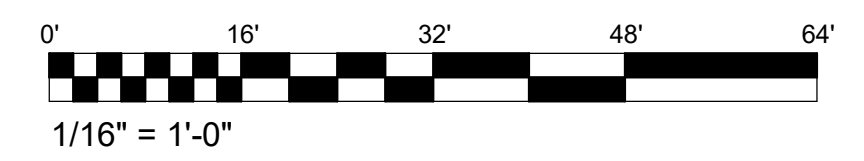
PREPARED FOR:

OWNER: CLOVER ACQUISITIONS LLC  
 C/O THE HOWARD HUGHES CORP.  
 PO BOX 131298  
 CARLSBAD CA 92013

DEVELOPER: THE HOWARD RESEARCH AND DEVELOPMENT CORP.  
 10960 GRANTCHESTER WAY, SUITE 110  
 COLUMBIA, MD 21044  
 ATTN: GABRIEL CHUNG  
 410-964-4800

**PARKING LEVEL 2 FLOOR PLAN**  
**SOUTHLAKE OFFICE BUILDING**  
 DOWNTOWN COLUMBIA  
 LAKEFRONT CORE NEIGHBORHOOD, PHASE 1, PARCEL B  
 A RESUBDIVISION OF SECTION 1, LOT 29 (PLAT No. XXXXX)  
 ELECTION DISTRICT No. 5  
 PN: \_\_\_\_\_

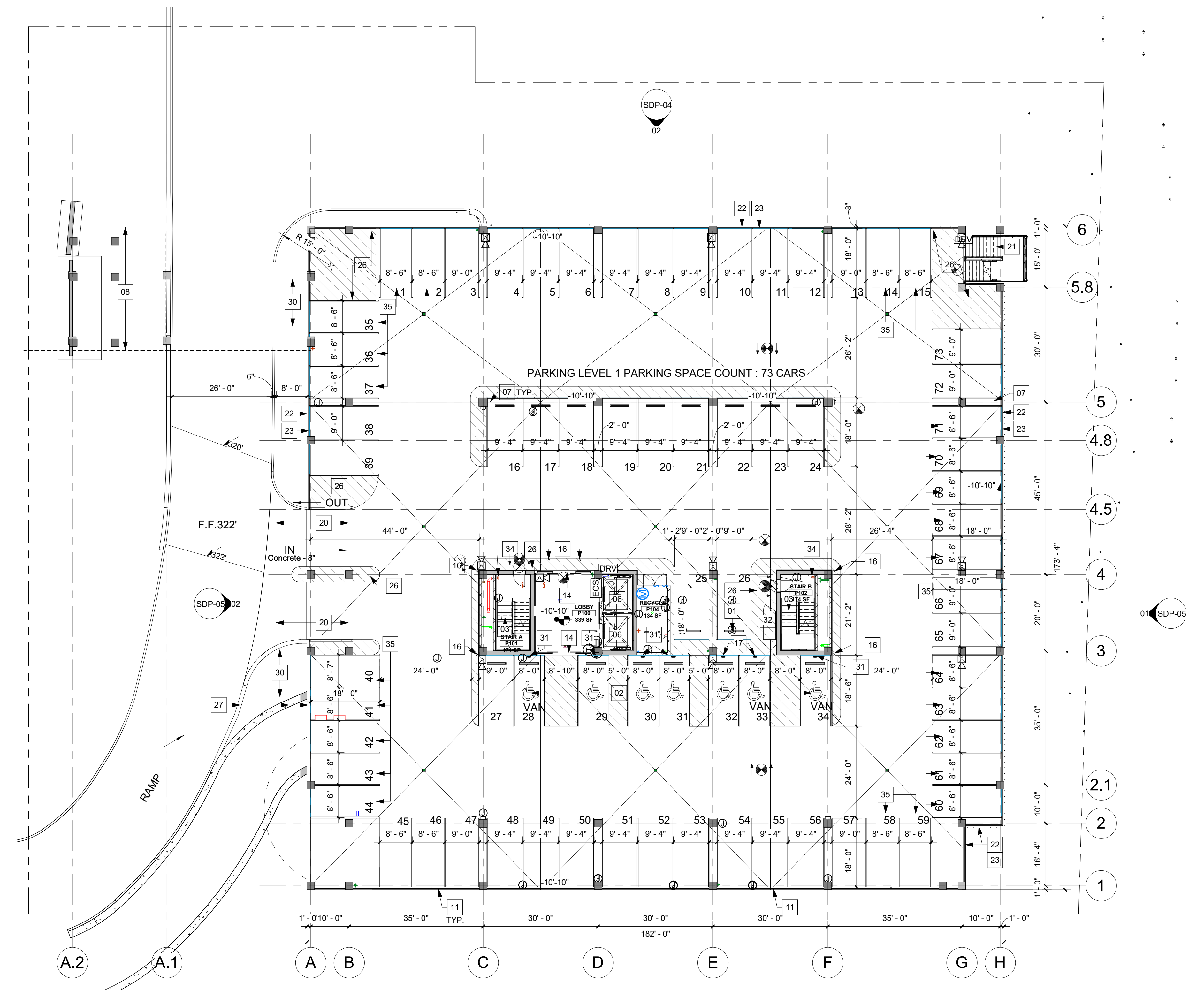
SCALE	ZONING	JOB No.
1/16" = 1'	NT	2108
DATE	SHEET	
DEC.13, 2021	7 OF 52	



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 SDP-22-19

- 01 CONCRETE WHEEL STOP, RE: G0.32
- 02 ADA ACCESSIBLE PARKING STALL, PAINTED GRAPHIC & HATCHING IN ADJACENT ACCESS SIDE AISLE, RE: G0.32
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- 04 MECHANICAL & ELECTRICAL EQUIPMENTS, RE: MEP. PROVIDE PLYWOOD FOR WALL-MOUNTED EQUIPMENT AS REQUIRED
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- 06 ELEVATOR, CUSTOM FINISH PACKAGE, PROVIDE 4X12 SUPPORT STL. BEAM RE: SPEC.
- 07 INTERNAL RAIN LEADER PIPE, RE: PLUMBING
- 08 EDGE BRIDGE OF STRUCTURE ABOVE
- 09 GALVANIZED STEEL BARRIER CABLE SYSTEM TO 42" AFF
- 10 WALL MOUNTED FIRE EXTINGUISHER CABINET
- 11 SEMI RECESSED FIRE EXTINGUISHER CABINET
- 12 WALL HYDRANT, RE: PLUMBING
- 13 KNOX KEY BOX, RE: G0.32 FOR MOUNTING HEIGHT
- 14 FDC LOCATION, RE: FIRE PROTECTION
- 15 GALVANIZED STEEL MESH & FRAMES MOUNTED TO CONCRETE COLUMNS BELOW PARKING LEVEL 2, RE: LANDSCAPE
- 16 FIXED BOLLARD
- 17 ACCESSIBLE PARKING SIGN MOUNTED ON BOLLARD, RE: G0.32
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- 27 CONCRETE RETAINING WALL; RE: STRUCT.
- 28 SURFACE PARKING SPACES, RE: CIVIL
- 29 REWORK EXISTING ENTRY W/ PROPOSED GRADE, RE: CIVIL
- 30 LANDSCAPED AREA
- 31 ACCESSIBLE PARKING SIGN MOUNTED ON WALL, RE: G0.32
- 32 BIKE RACKS, RE: LANDSCAPING DETAIL 3 SDP SHEET 38
- 33 1" NYSTROM PDM COMPRESSION SEAL
- 34 FIRE STANDPIPE
- 35 PROVIDE SIGN: "COMPACT ONLY"

**FLOOR PLAN KEYNOTES**



**APPROVED**  
**PLANNING BOARD OF HOWARD COUNTY**

Date: \_\_\_\_\_

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director: \_\_\_\_\_ Date: \_\_\_\_\_

Chief, Division of Land Development: \_\_\_\_\_ Date: \_\_\_\_\_

Chief, Development Engineering Division: \_\_\_\_\_ Date: \_\_\_\_\_

**STUDIO RED ARCHITECTS**  
 1320 McGowen st  
 Houston, TX 77004  
 StudioREDarchitects.com

DESIGNED BY:	DATE	REVISION	BY	APPR.
CB				
DRAWN BY:				
CH				
CHECKED BY:				
PK				

PREPARED FOR:

OWNER: CLOVER ACQUISITIONS LLC  
 C/O THE HOWARD HUGHES CORP.  
 PO BOX 131298  
 CARLSBAD CA 92013

DEVELOPER: THE HOWARD RESEARCH AND DEVELOPMENT CORP.  
 10960 GRANTCHESTER WAY, SUITE 110  
 COLUMBIA, MD 21044  
 ATTN: GABRIEL CHUNG  
 410-964-4800

**PARKING LEVEL 1 FLOOR PLAN**  
**SOUTHLAKE OFFICE BUILDING**  
 DOWNTOWN COLUMBIA  
 LAKEFRONT CORE NEIGHBORHOOD, PHASE 1, PARCEL B  
 A RESUBDIVISION OF SECTION 1, LOT 29 (PLAT No. XXXXX)  
 ELECTION DISTRICT No. 5  
 PN: \_\_\_\_\_

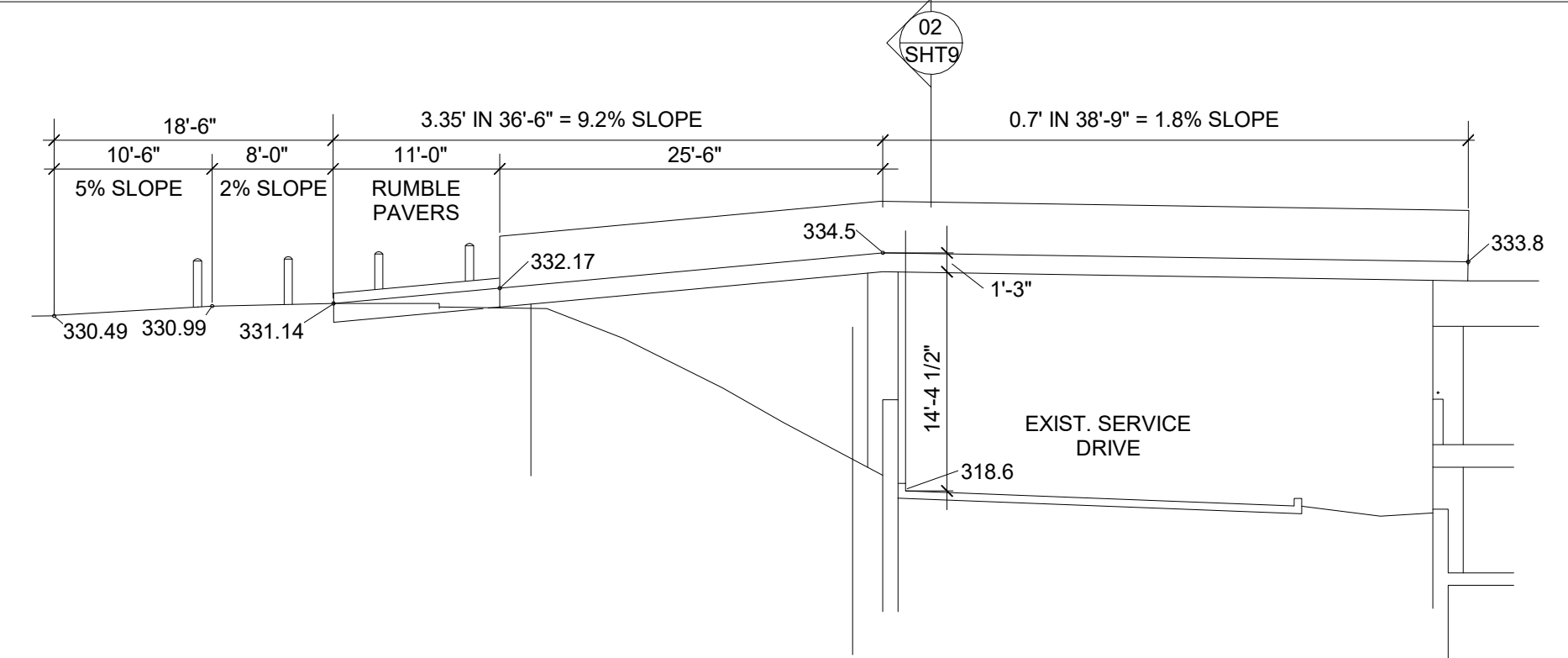
SCALE	ZONING	JOB No.
1/16" = 1'	NT	2108
DATE		SHEET
DEC.13, 2021	36 - 2	8 OF 52

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 SDP-22-19

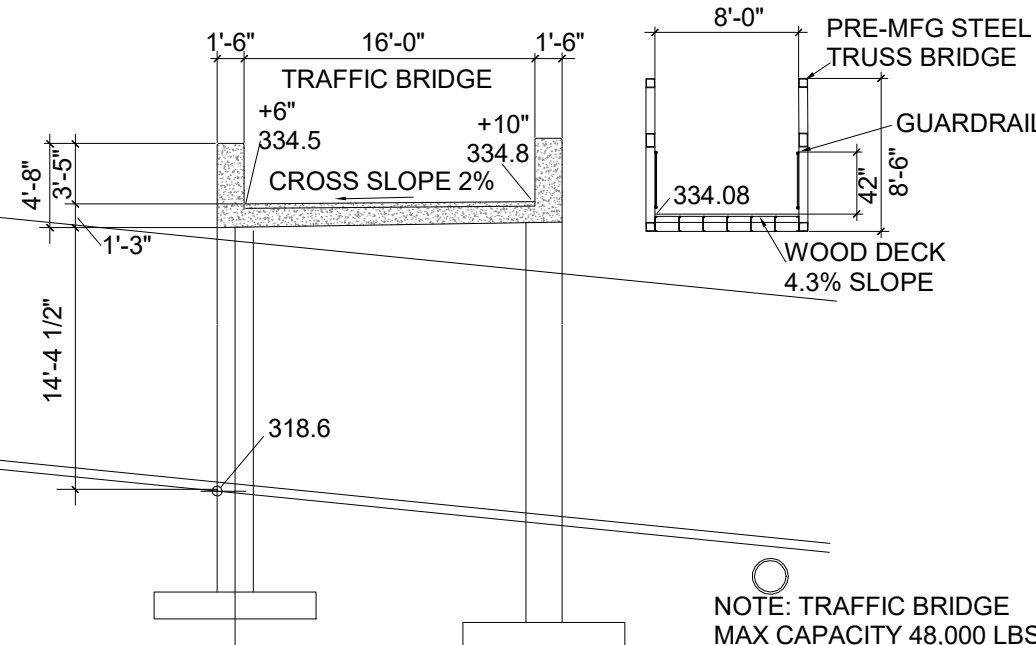


- 01 EXISTING TRELLIS TO REMAIN
- 02 AREA OF EXISTING TRELLIS & SIDEWALK TO BE DEMOLISHED
- 03 METAL PAN STAIR W/ CONCRETE TREADS, GUARDRAILS AND HANDRAILS, PAINTED.
- 04 RAILING SYSTEM. RE: LANDSCAPE
- 05 TRANSFORMER & CONCRETE PAD, RE: ELECT.
- 06 ELEVATOR, RE: SPEC.
- 07 INTERNAL RAIN LEADER PIPE, RE: PLUMBING
- 08 EDGE OF SOFFIT ABOVE.
- 09 SEMI-RECESSED FIRE EXTINGUISHER CABINET
- 10 FIRE EXTINGUISHER ON BRACKET MOUNTED TO COLUMN
- 11 ADA DROP-OFF ZONE, 1.5% SLOPE
- 12 WALL HYDRANT, RE: PLUMB.
- 13 KNOX KEY BOX, RE: G0.20 FOR MOUNTING HEIGHT
- 14 EXTERIOR WALL ASSEMBLY.
- 15 SCHED. MILLWORK
- 16 BOLLARD
- 17 PROVIDE TREATED PLYWOOD BLOCKING ON WALL WHERE INDICATED FOR OFOI WALL MOUNTED EQUIPMENT
- 18 SCHED. DRINKING FOUNTAIN, RE: PLUMB.
- 19 REINFORCED 8" CMU WALL, 1 HR RATED
- 20 PAVERS ON MORTAR BED OR SCORED CONCRETE OVER CONCRETE SLAB. RE: LANDSCAPE
- 21 EXTERIOR STAIR SYSTEM. RE: LANDSCAPE
- 22 CONCRETE RAMP W/ CONCRETE TRAFFIC BARRIERS, RE: STRUCT.
- 23 CAST-IN-PLACE CONCRETE, SMOOTH FINISH
- 24 FIRE RATED GLASS WALL ASSEMBLY
- 25 3'X4' DIGITAL DIRECTORIES DISPLAY (OFOI), PROVIDE ELECT. AND DATA CONNECTION.
- 26 FIRE CONTROL PANEL, RE: ELECT.
- 27 WOOD DECKING OVER CONCRETE SLAB, RE: LANDSCAPE
- 28 PLANTING AREA, RE: LANDSCAPE
- 29 FIRE STANDPIPE
- 30 BIKE RACKS, RE: LANDSCAPING DETAIL 3 SDP SHEET 38
- 31 SCORED CONCRETE OVER CONCRETE DECK. RE: LANDSCAPE

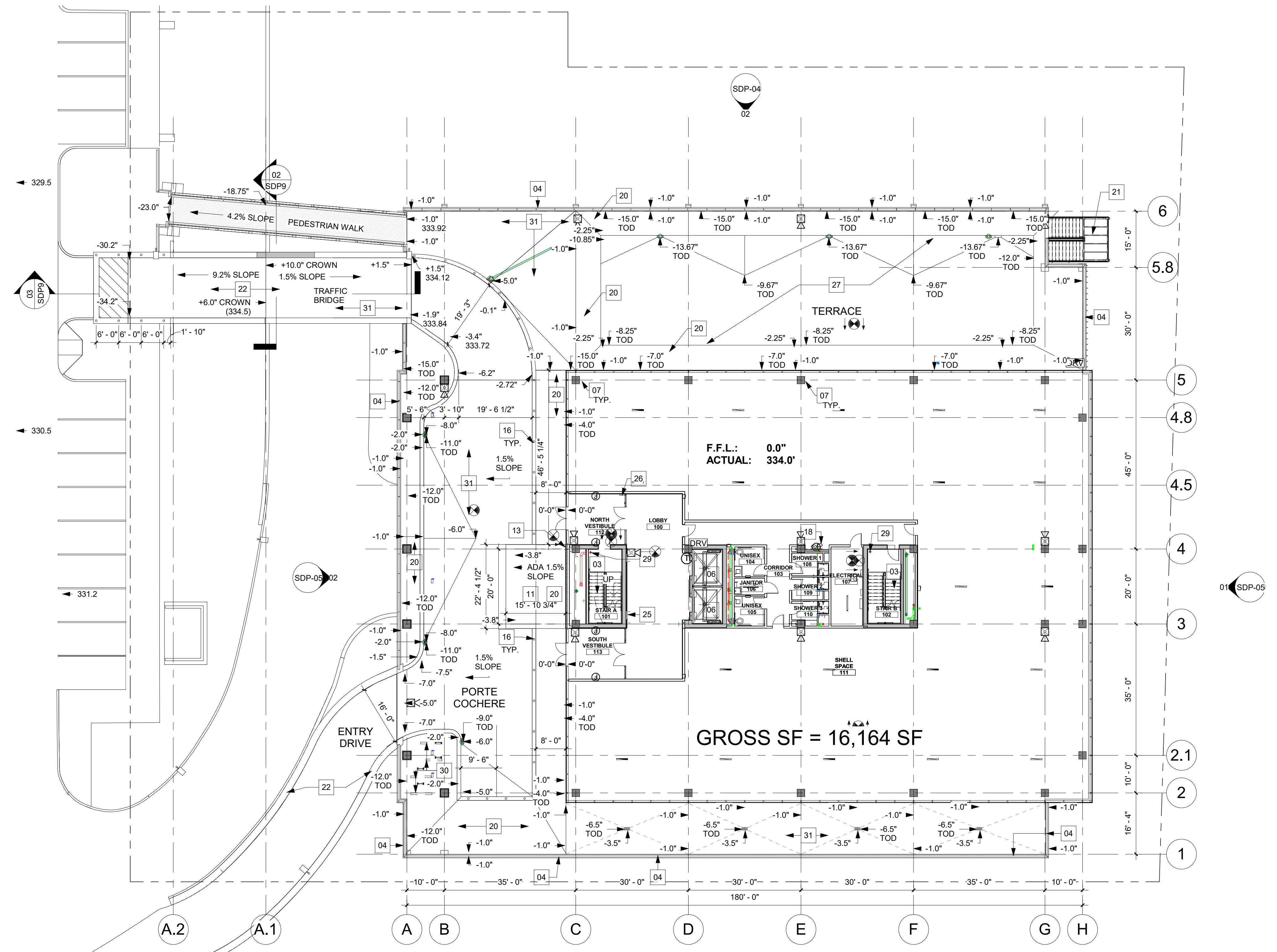
**FLOOR PLAN KEYNOTES**



**SDP BRIDGE SECTION** 3/32" = 1'-0" 03



**SDP BRIDGE SECTION** 3/32" = 1'-0" 02



**APPROVED**  
**PLANNING BOARD OF HOWARD COUNTY**

Date: \_\_\_\_\_

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director: \_\_\_\_\_ Date: \_\_\_\_\_

Chief, Division of Land Development: \_\_\_\_\_ Date: \_\_\_\_\_

Chief, Development Engineering Division: \_\_\_\_\_ Date: \_\_\_\_\_

**STUDIO RED ARCHITECTS**  
 1320 McGowen st  
 Houston, TX 77004  
 StudioREDarchitects.com

DESIGNED BY:	DATE	REVISION	BY	APPR.
CB				
DRAWN BY:				
CH				
CHECKED BY:				
PK				

PREPARED FOR:

OWNER: CLOVER ACQUISITIONS LLC  
 270 THE HOWARD HUGHES CORP.  
 PO BOX 131298  
 CARLSBAD CA 92013

DEVELOPER: THE HOWARD RESEARCH AND DEVELOPMENT CORP.  
 10960 GRANTCHESTER WAY, SUITE 110  
 COLUMBIA, MD 21044  
 ATTN: GABRIEL CHUNG  
 410-964-4800

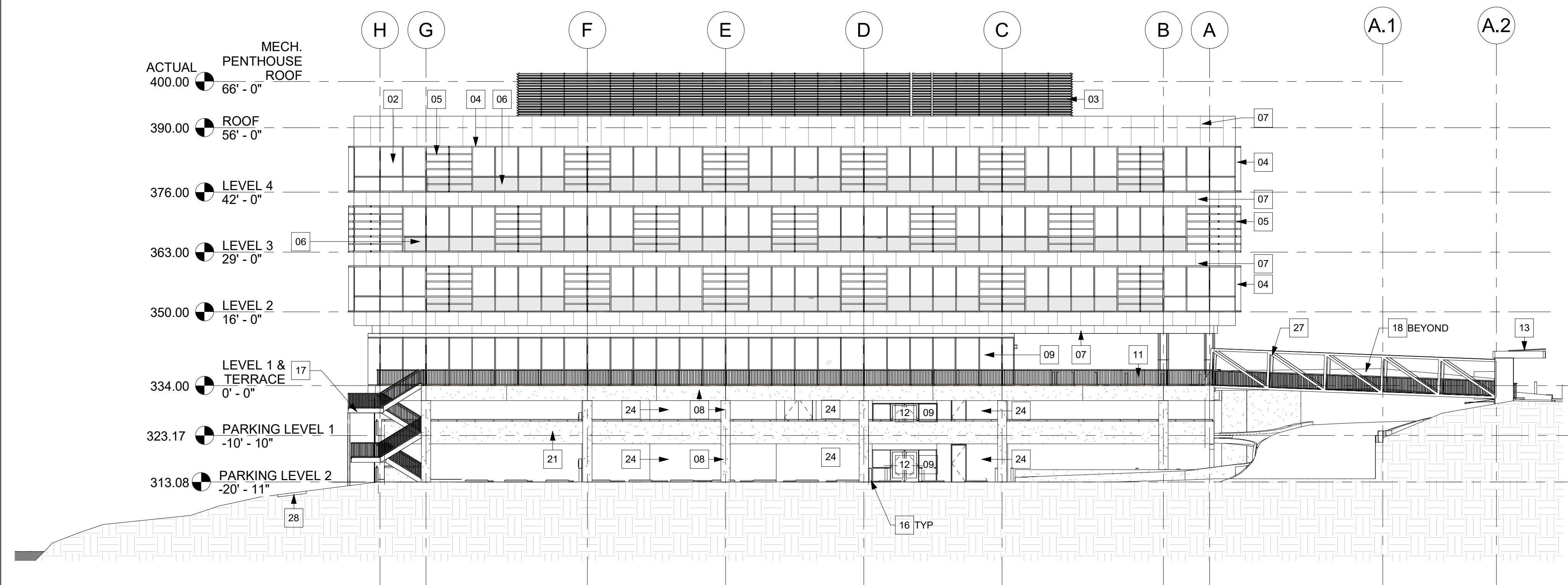
**LEVEL 1 FLOOR PLAN**  
**SOUTHLAKE OFFICE BUILDING**  
 DOWNTOWN COLUMBIA  
 LAKEFRONT CORE NEIGHBORHOOD, PHASE 1, PARCEL B  
 A RESUBDIVISION OF SECTION 1, LOT 29 (PLAT No. XXXXX)  
 PN: \_\_\_\_\_

ELECTION DISTRICT No. 5

HOWARD COUNTY, MARYLAND

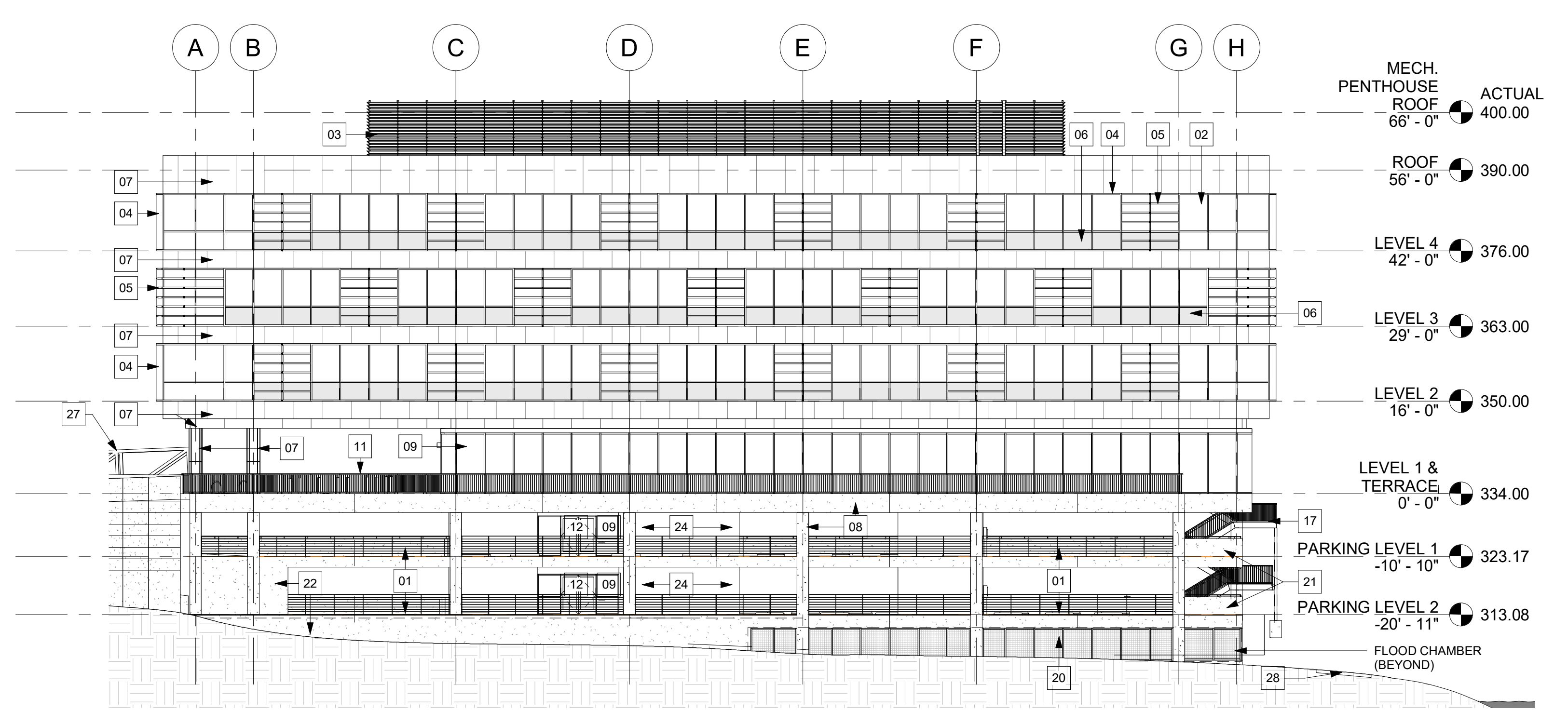
SCALE	ZONING	JOB No.
1/16" = 1'	NT	2108
DATE		SHEET
DEC.13, 2021	36 - 2	9 OF 52

- |  |  |
|--|--|
| 01 GALVANIZED STEEL BARRIER SYSTEM, 42" AFF  | 12 PREMANUFACTURED STEEL TRUSS PEDESTRIAN BRIDGE   |
| 02 SCHED. ALUMINUM WINDOW WALL SYSTEM<br>RE: WINDOW SCHEDULE                           | 13 EXISTING TRELLIS  |
| 03 ROOFTOP LOUVERS MOUNTED TO STEEL STRUCTURE, RE: STRUCTURAL                          | 16 6" DIA. STEEL W/ CONCRETE BOLLARD WITH STAINLESS STEEL COVER  |
| 04 PREFINISHED EXTRUDED ALUMINUM FRAME MOUNTED<br>TO WINDOW WALL SYSTEM (4 SIDED)      | 17 CONCRETE FILLED METAL PAN SYSTEM STAIR, GALVANIZED, PRIMED, PAINTED,<br>GUARDRAILS AND HANDRAILS, RE: LANDSCAPING             |
| 05 PREFINISHED EXTRUDED ALUMINUM SUNSHADE BLADE WITH<br>PRE-ENGINEERED MOUNTING SYSTEM | 18 CAST-IN-PLACE CONCRETE RAMP W/ CONCRETE TRAFFIC BARRIERS, RE: STRUCT.   |
| 06 GALVANIZED STEEL BARRIER CABLE SYSTEM   | 19 STAINLESS STEEL CABLE TRELLIS BOLTED TO STRUCTURE, RE: LANDSCAPE  |
| 07 VERTICAL REVEAL IN PREFINISHED WALL PANEL,<br>ALIGN WITH C.L. OF WINDOW MULLIONS    | 20 GALVANIZED 4" WWM & ANGLE FRAMES MOUNTED TO CONCRETE STRUCTURE AT<br>FLOOD CHAMBER W/ 1 PANEL BOLTED FOR ACCESS. RE: 11/A-401 |
| 08 CAST-IN-PLACE CONCRETE STRUCTURE, RE: STRUCT.                                       | 21 REINFORCED CONCRETE VEHICULAR BUMPER GUARD W/ GALVANIZED PAINTED<br>HANDRAIL @ 42" ABOVE FFL                                  |
| 09 SCHED. ALUMINUM STOREFRONT WINDOW SYSTEM<br>RE: WINDOW SCHEDULE                     | 22 CAST IN PLACE RETAINING WALL RE: STRUCTURE  |
| 10 CONCRETE CONTROL JOINT, RE: STRUCTURAL  | 23 SCHED. STONE VENEER WALL BETWEEN ENTRY DOORS  |
| 11 GUARDRAIL, RE: LANDSCAPE  | 24 PAINTED EIFS ON RIGID INSULATION BOARD, RE: FINISH SCHEDULE   |
|  | 25 ACM ENCLOSURE FOR AUTOMATIC SWING DOOR OPENER WITH SENSOR   |
|  | 26 INTERNALLY ILLUMINATED SIGNAGE, PIN MOUNTED, RE: ELECT.   |
|  | 27 PREMANUFACTURED STEEL TRUSS PEDESTRIAN BRIDGE   |
|  | 28 EXISTING ASPHALT TRAIL W/ NEW TIE-IN  |



ELEVATION KEYNOTES

NORTH ELEVATION 1/16" = 1'-0" 02



REFER TO SHEET 46 FOR  
EAST & WEST ELEVATIONS

SOUTH ELEVATION 1/16" = 1'-0" 01

**APPROVED**  
**PLANNING BOARD OF HOWARD COUNTY**

Date: \_\_\_\_\_

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director: \_\_\_\_\_ Date: \_\_\_\_\_

Chief, Division of Land Development: \_\_\_\_\_ Date: \_\_\_\_\_

Chief, Development Engineering Division: \_\_\_\_\_ Date: \_\_\_\_\_

**STUDIO RED ARCHITECTS**  
1320 McGowen st  
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DESIGNED BY:	DATE	REVISION	BY	APPR.
CB				
DRAWN BY:				
CH				
CHECKED BY:				
PK				

PREPARED FOR:

OWNER: CLOVER ACQUISITIONS LLC  
270 THE HOWARD HIGHES CORP.  
PO BOX 131298  
CARLSBAD CA 92013

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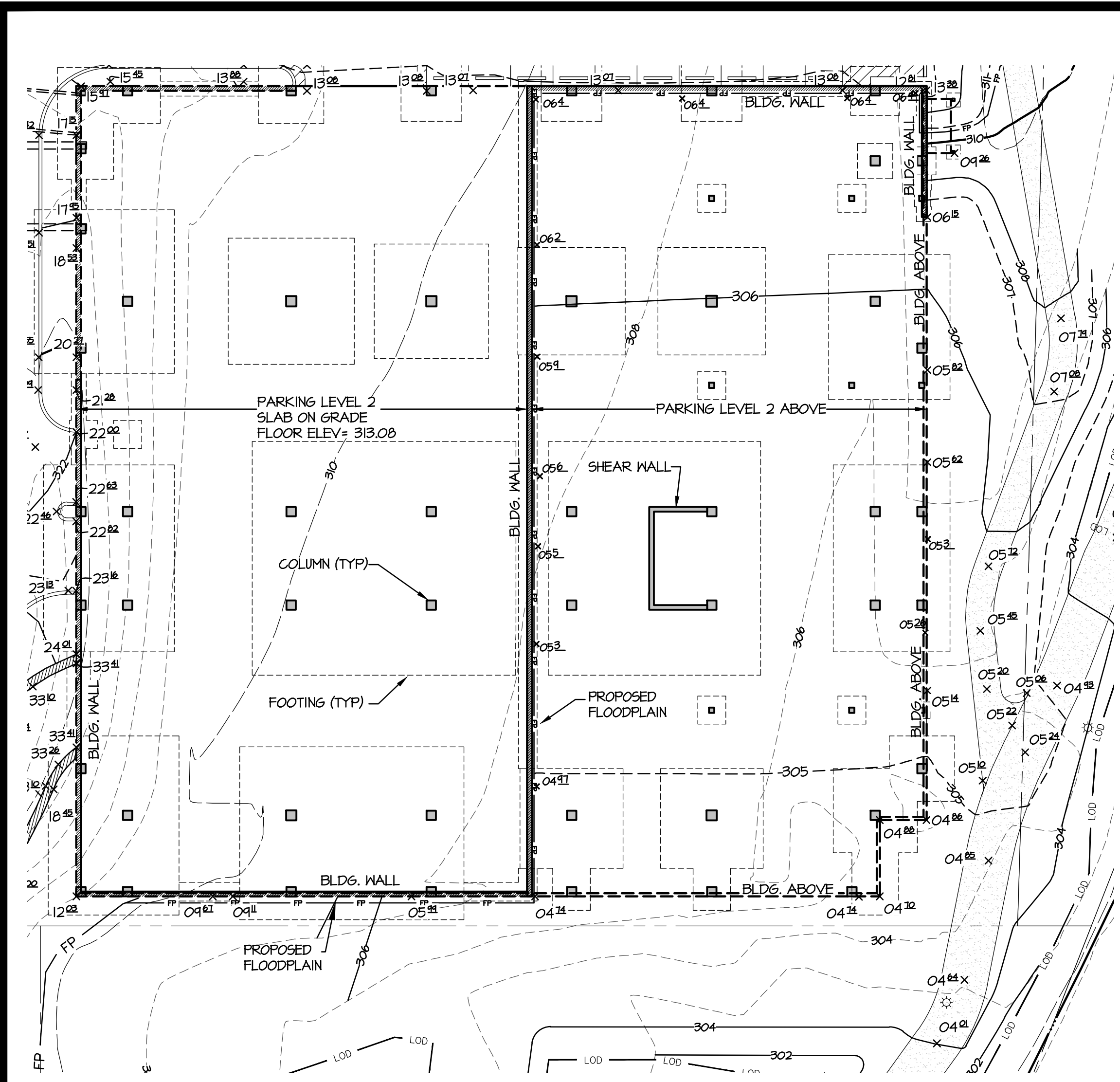
**BUILDING ELEVATIONS**  
**SOUTHLAKE OFFICE BUILDING**  
DOWNTOWN COLUMBIA  
LAKEFRONT CORE NEIGHBORHOOD, PHASE 1, PARCEL B  
A RESUBDIVISION OF SECTION 1, LOT 29 (PLAT No. XXXXX)  
PN: \_\_\_\_\_

ELECTION DISTRICT No. 5

HOWARD COUNTY, MARYLAND

SCALE	ZONING	JOB No.
1/16" = 1'	NT	2108
DATE		SHEET
DEC.13, 2021	36 - 2	10 OF 52

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PLOTTED: 12/17/2021 1:36 PM, LAST SAVED: 12/17/2021 3:06 PM, PLOTTED BY: GRA User



NOTES:  
 1. PROVIDE GALVANIZED STEEL MESH & FRAMES ALONG OPEN SIDES (SOUTH AND EAST) OF FLOOD CHAMBER. SEE ARCHITECTURAL PLAN SET FOR ADDITIONAL INFORMATION.  
 2. BOTTOM OF FLOOD CHAMBER TO BE LINED WITH CLASS 1 RIP-RAP.

**FLOOD CHAMBER GRADING**

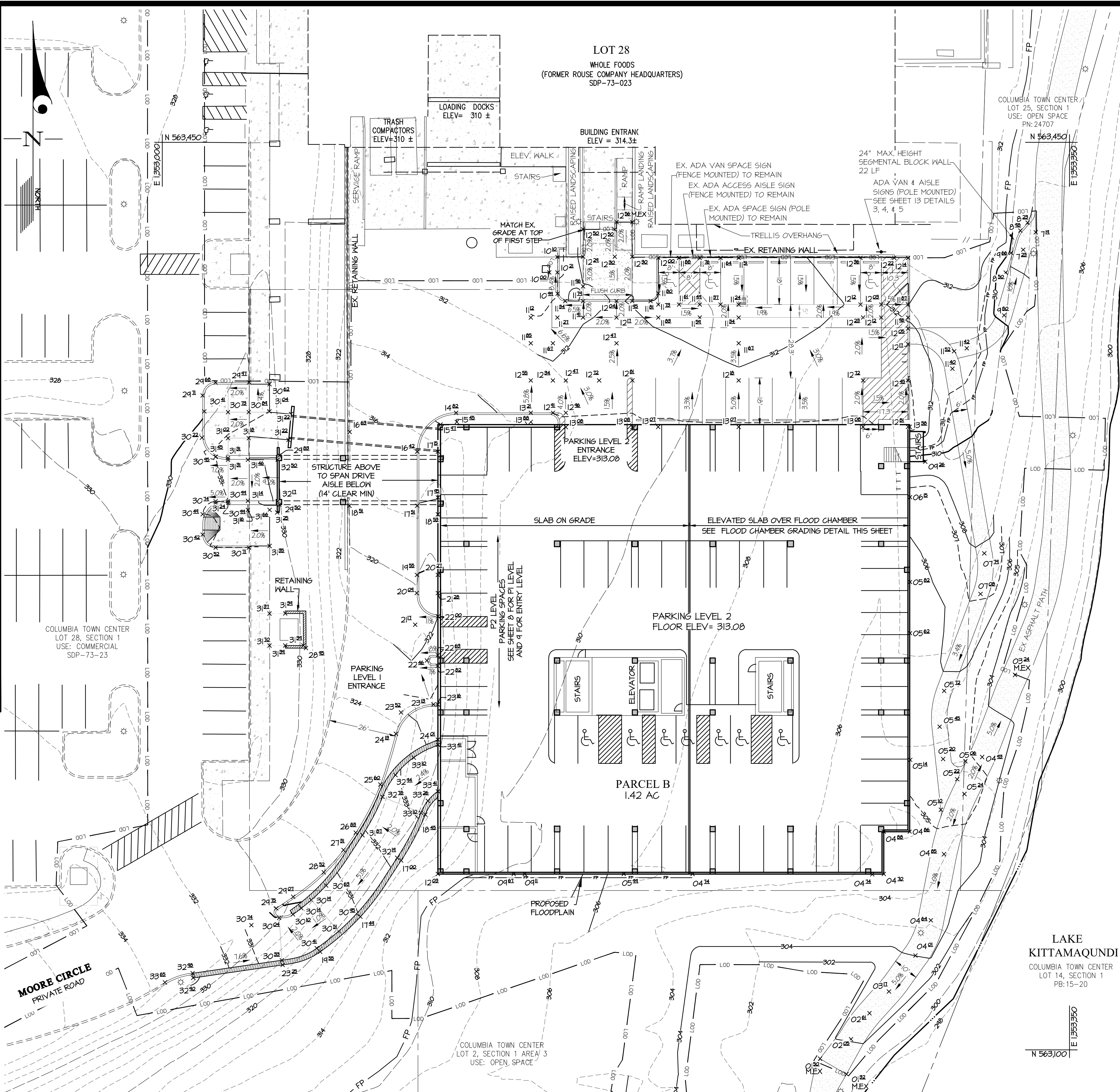
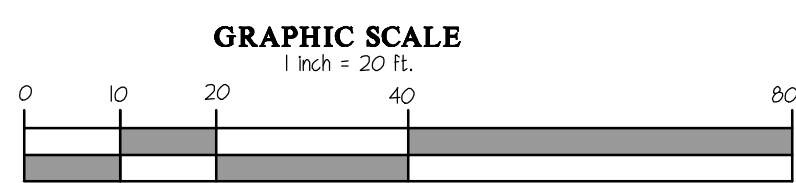
SCALE: 1" = 20'

NOTES:  
 1. MEX = MATCH EXISTING GRADE

APPROVED  
 PLANNING BOARD OF HOWARD COUNTY  
 Date: \_\_\_\_\_

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director \_\_\_\_\_ Date \_\_\_\_\_  
 Chief, Division of Land Development \_\_\_\_\_ Date \_\_\_\_\_  
 Chief, Development Engineering Division \_\_\_\_\_ Date \_\_\_\_\_



COLUMBIA TOWN CENTER  
 LOT 28, SECTION 1  
 USE: COMMERCIAL  
 SDP-73-23

LOT 28  
 WHOLE FOODS  
 (FORMER ROUSE COMPANY HEADQUARTERS)  
 SDP-73-023

COLUMBIA TOWN CENTER  
 LOT 25, SECTION 1  
 USE: OPEN SPACE  
 PN: 24707

LAKE  
 KITTAMAQUONDI  
 COLUMBIA TOWN CENTER  
 LOT 14, SECTION 1  
 PB:15-20

DESIGNED BY:	ddd	DATE:	
DRAWN BY:	ddd	REVISION:	
CHECKED BY:		BY:	
		APPR:	

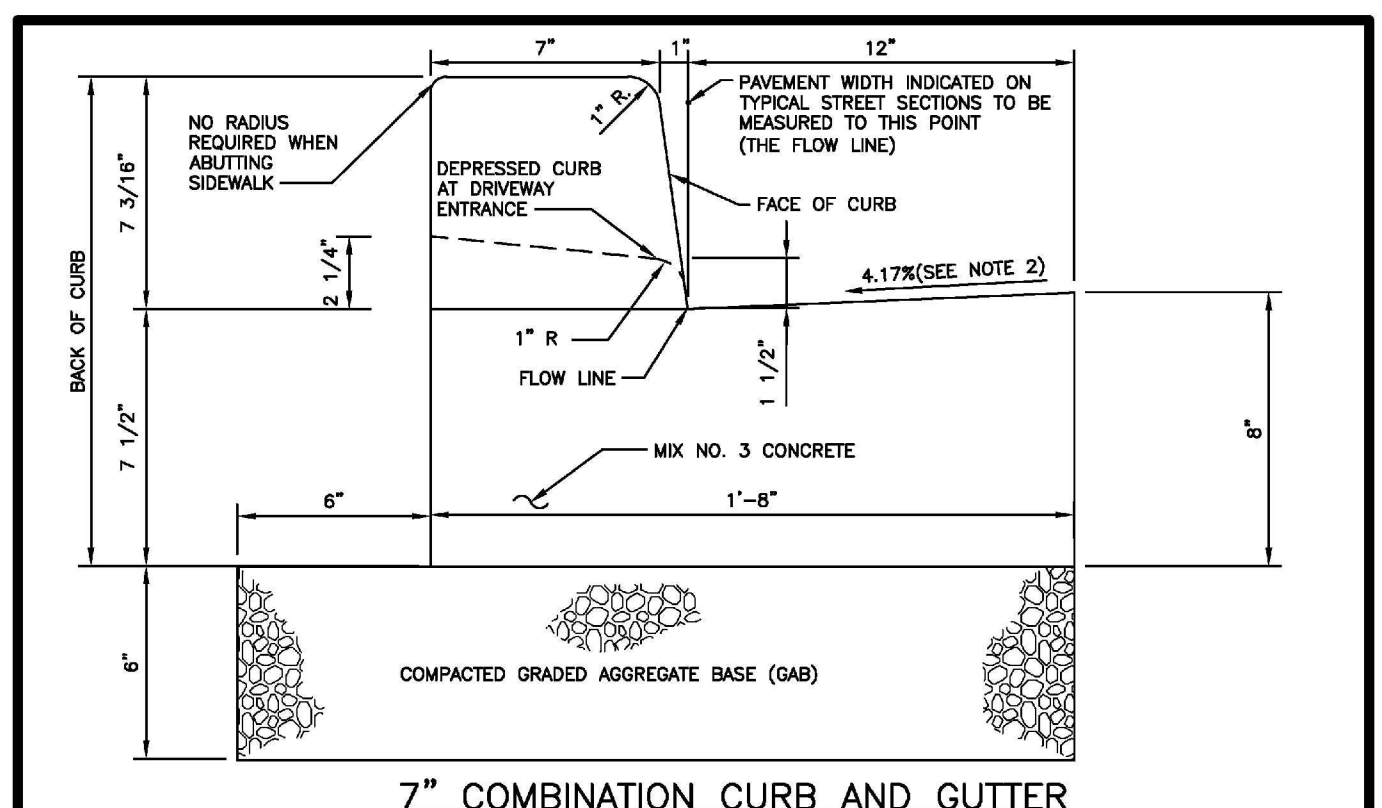
PREPARED FOR:  
 OWNER: CLOVER ACQUISITIONS LLC  
 C/O THE HOWARD HUGHES CORP.  
 PO BOX 131298  
 CARLSBAD CA 92013

DEVELOPER:  
 THE HOWARD RESEARCH AND DEVELOPMENT CORP.  
 10960 GRANTCHESTER WAY, SUITE 110  
 COLUMBIA, MD 21044  
 ATTN: GABRIEL CHUNG  
 410-964-4800

PROFESSIONAL CERTIFICATION  
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975  
 EXPIRATION DATE: MAY 26, 2024

GRADING PLAN  
**SOUTHLAKE OFFICE BUILDING**  
**DOWNTOWN COLUMBIA**  
**LAKEFRONT CORE NEIGHBORHOOD, PHASE I, PARCEL B**  
 A REVISION OF SECTION I, PARCEL B (PLAT No. XXXXX)  
 PN: \_\_\_\_\_  
 HOWARD COUNTY, MARYLAND

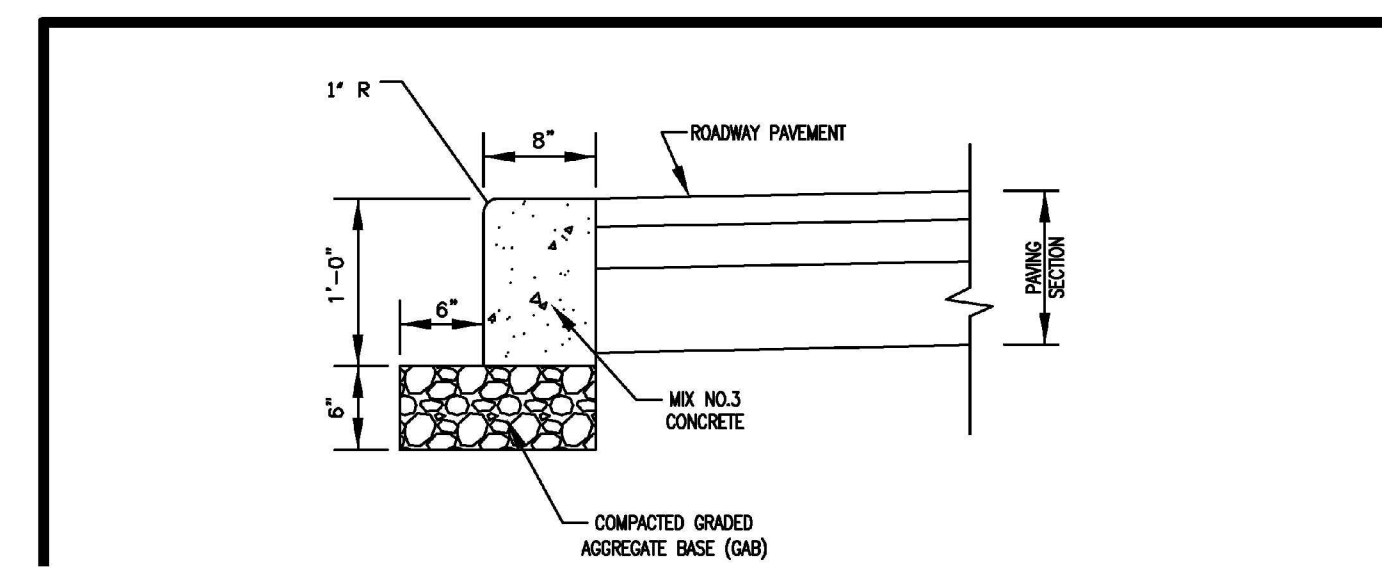
SCALE	ZONING	G. L. W. FILE No.
1" = 20'	NT	18046
DATE	TAX MAP - GRID	SHEET
JUNE, 2022	36 - 2	11 OF 52



**NOTE:**

- A REVERSE GUTTER PAN SHALL HAVE A GUTTER SLOPE OF 4.17% AWAY FROM THE FLOW LINE, AND SHALL NOT BE USED WHERE THIS DRAINAGE CREATES A HAZARDOUS CONDITION.
- GUTTER PAN AT THE MEDIAN EDGE OF INTERMEDIATE ARTERIALS OR THE HIGH SIDE OF SUPERELEVATED SECTIONS SHALL BE SLOPED AT THE SAME RATE AND IN THE SAME DIRECTION AS THE PAVEMENT. MATCH PAVEMENT CROSS SLOPE WHEN CURB IS LOCATED ON THE LOW SIDE OF SUPERELEVATED SECTION AND THE RATE OF SUPERELEVATION IS GREATER THAN 3% FOR MODIFIED CURB & GUTTER.
- A MINIMUM OF TWO (2) FEET OF COMPACTED STABILIZED EARTH, OR EQUIVALENT, SHALL SUPPORT THE ENTIRE BACK OF CURB.
- POSITIVE DRAINAGE SHALL BE PROVIDED BOTH BEHIND THE CURB AND ALONG THE GUTTER AND FLOW LINE.

Reviewed 5/20/2021 Approved 5/27/2021	Howard County, Maryland Department of Public Works CURB AND GUTTER 7" & Modified	Detail R-3.01
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Reviewed 5/20/2021 Approved 5/27/2021	Howard County, Maryland Department of Public Works Curb Flush	Detail R-3.07
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SECTION NUMBER	ROAD AND STREET CLASSIFICATION	CALIFORNIA BEARING RATIO (CBR)	3 TO <3		5 TO <7		≥ 7	
			MIN. SUPERPAVE ASPHALT MIX WITH GAB	SUPERPAVE ASPHALT MIX WITH CONSTANT GAB	MIN. SUPERPAVE ASPHALT MIX WITH GAB	SUPERPAVE ASPHALT MIX WITH CONSTANT GAB	MIN. SUPERPAVE ASPHALT MIX WITH GAB	SUPERPAVE ASPHALT MIX WITH CONSTANT GAB
P-B	PAVED SHOULDER: UNDIVIDED INTERMEDIATE ARTERIAL DIVIDED INTERMEDIATE ARTERIAL SIDEWALK AND PARKING AREAS (PRIVATE) (NOTE: THIS SECTION MAY BE USED IN LIEU OF CONCRETE SIDEWALK IN OFF-SITE, PRIVATELY MAINTAINED AREAS ONLY.)	SUPERPAVE ASPHALT MIX FINAL SURFACE 12.5 MM, PG 64-225, LEVEL 1 (LOW ESAL)	3.0	3.0	3.0	4.0	3.5	3.5
			GRADED AGGREGATE BASE (GAB)	8.5	8.0	5.5	6.0	6.0

Reviewed 5/20/2021 Approved 5/27/2021	Howard County, Maryland Department of Public Works PAVING SECTIONS P-5 to P-8	Detail R-2.02
--	--	------------------

**PAVING LEGEND**

**SIDEWALK RAMP LEGEND**

- PERPENDICULAR SIDEWALK RAMP (R-4.05)
- EXISTING SIDEWALK RAMP

**CURB LEGEND**

- 6"CG 6" CURB AND GUTTER (R-4.01)
- 7"CG 7" CURB AND GUTTER (R-3.01)
- EX CG EXISTING CURB AND GUTTER
- FCG FLUSH CURB AND GUTTER (R-3.07)

**CURB TRANSITION LEGEND**

- NOSE DOWN FULL HEIGHT CURB AND GUTTER TO FLUSH CURB AND GUTTER (R-3.02)

**PAVING SECTIONS**

- HEAVY DUTY PAVEMENT SEE DETAIL THIS SHEET
- PARKING PAVEMENT SEE DETAIL THIS SHEET
- MILL & OVERLAY
- ASPHALT PATHWAY HOWARD COUNTY TYPE P-B (R-2.01)
- REINFORCED CONCRETE PAVEMENT SEE DETAIL SHEETS 24-25
- SCORED CONCRETE SIDEWALK MATCH EXISTING SCORING HOWARD COUNTY DETAIL- R-3.05
- PAVERS SEE LANDSCAPE

**NOTE:** ANY PAVEMENT REMOVED FOR UTILITY INSTALLATION OUTSIDE THE LIMITS OF THE PAVEMENT DELINEATION SHOWN SHALL BE REPLACED IN KIND.

**APPROVED PLANNING BOARD OF HOWARD COUNTY**

Date: \_\_\_\_\_

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director: \_\_\_\_\_ Date: \_\_\_\_\_

Chief, Division of Land Development: \_\_\_\_\_ Date: \_\_\_\_\_

Chief, Development Engineering Division: \_\_\_\_\_ Date: \_\_\_\_\_

DESIGNED BY: dds	DATE	REVISION	BY	APPR.
DRAWN BY: dds				
CHECKED BY:				

**PREPARED FOR:**

OWNER: CLOVER ACQUISITIONS LLC  
C/O THE HOWARD HUGHES CORP.  
PO BOX 131298  
CARLSBAD CA 92013

DEVELOPER: THE HOWARD RESEARCH AND DEVELOPMENT CORP.  
10960 GRANTCHESTER WAY, SUITE 110  
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410-964-4800

**PROFESSIONAL CERTIFICATION**

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EXPIRATION DATE: MAY 26, 2024

**PAVING AND CURB DELINEATION PLAN**

**SOUTHLAKE OFFICE BUILDING**

**DOWNTOWN COLUMBIA**

**LAKEFRONT CORE NEIGHBORHOOD, PHASE I, PARCEL B**

A REVISION OF SECTION I, PARCEL B (PLAT No. XXXXX)

SCALE: 1" = 20'

ZONING: NT

G. L. W. FILE No.: 18046

DATE: JUNE, 2022

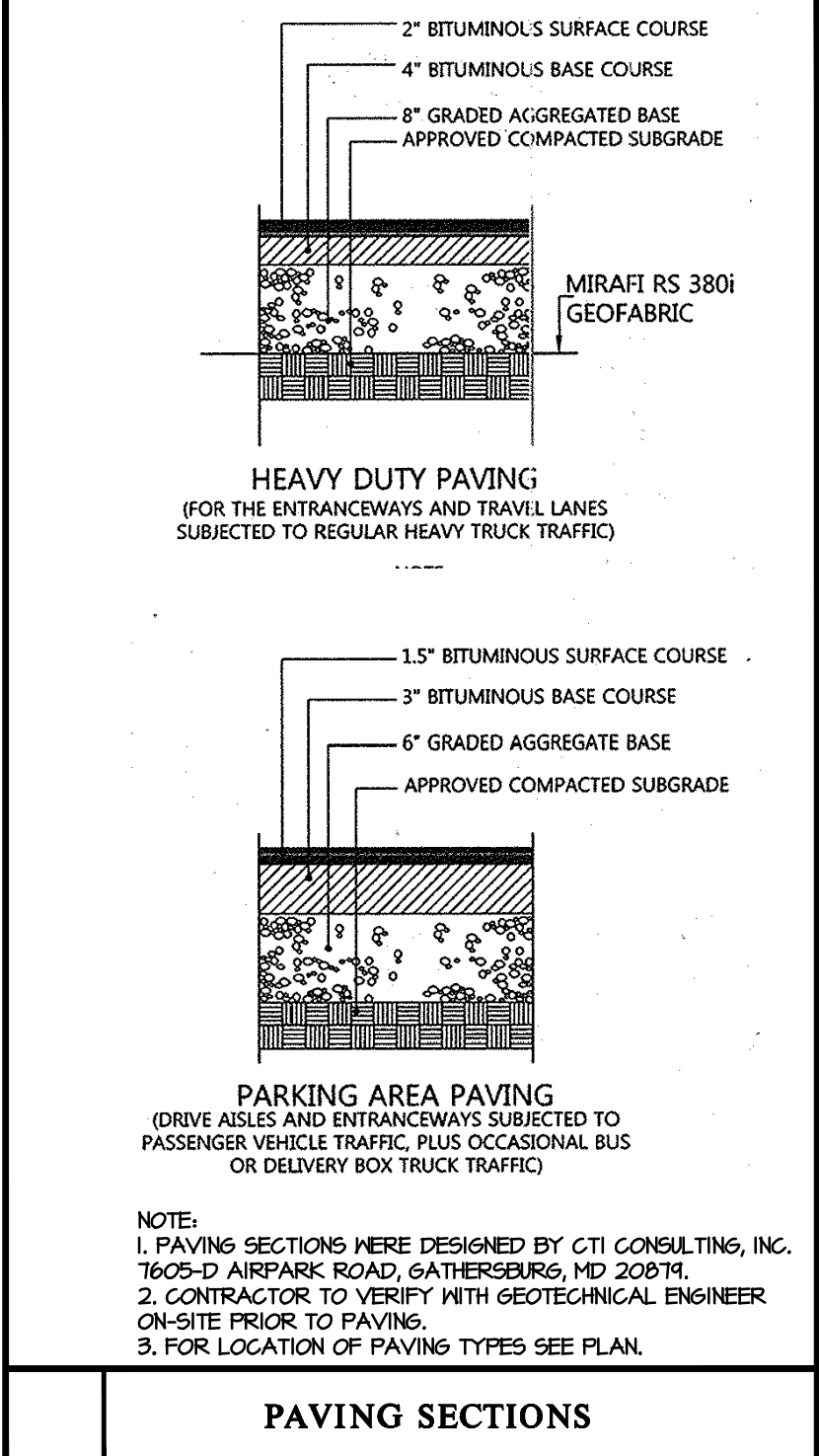
TAX MAP - GRID: 36 - 2

SHEET: 12 OF 52

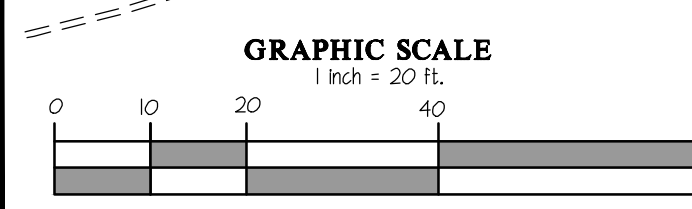
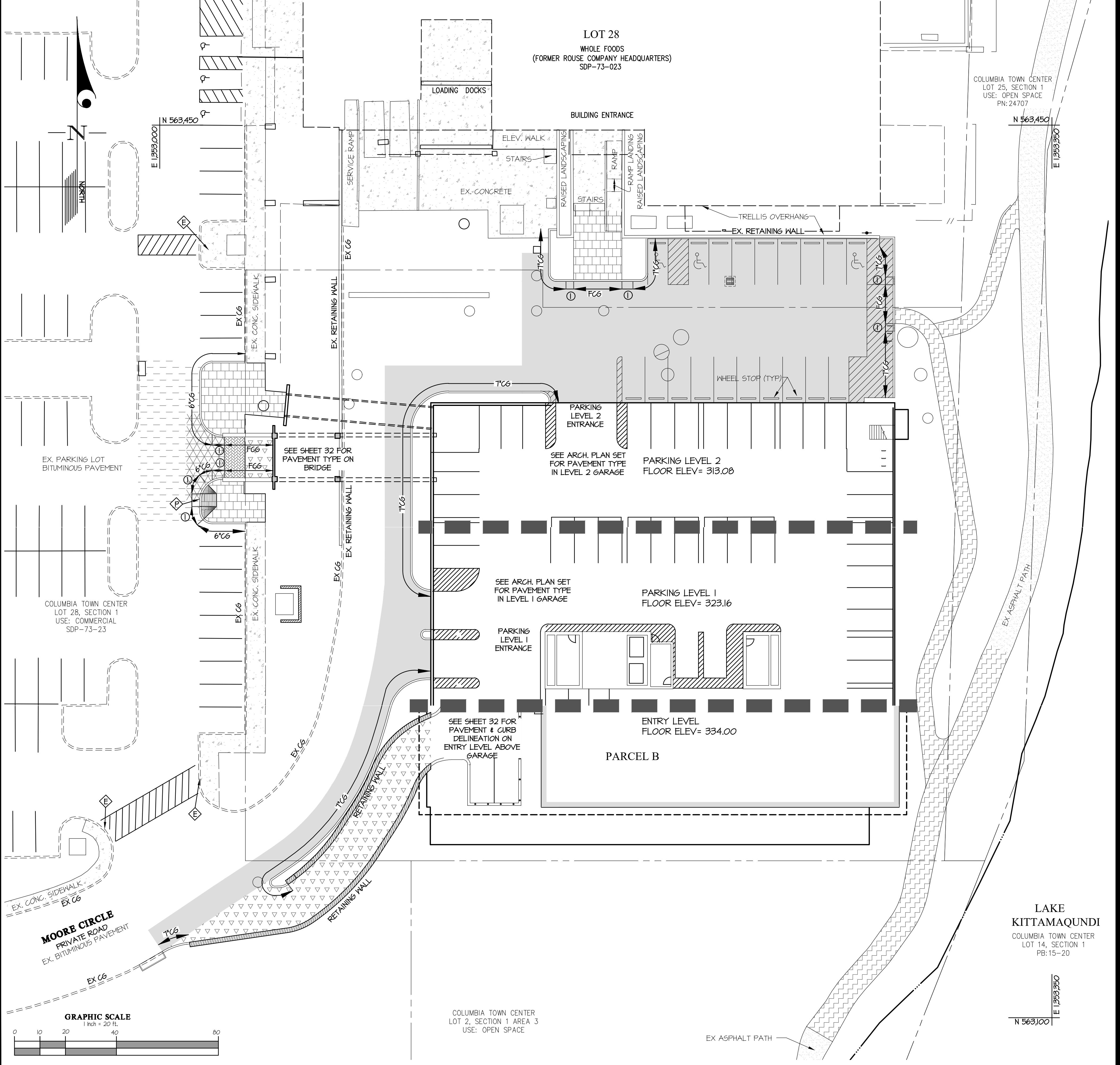
ELECTION DISTRICT No. 5

PN: \_\_\_\_\_

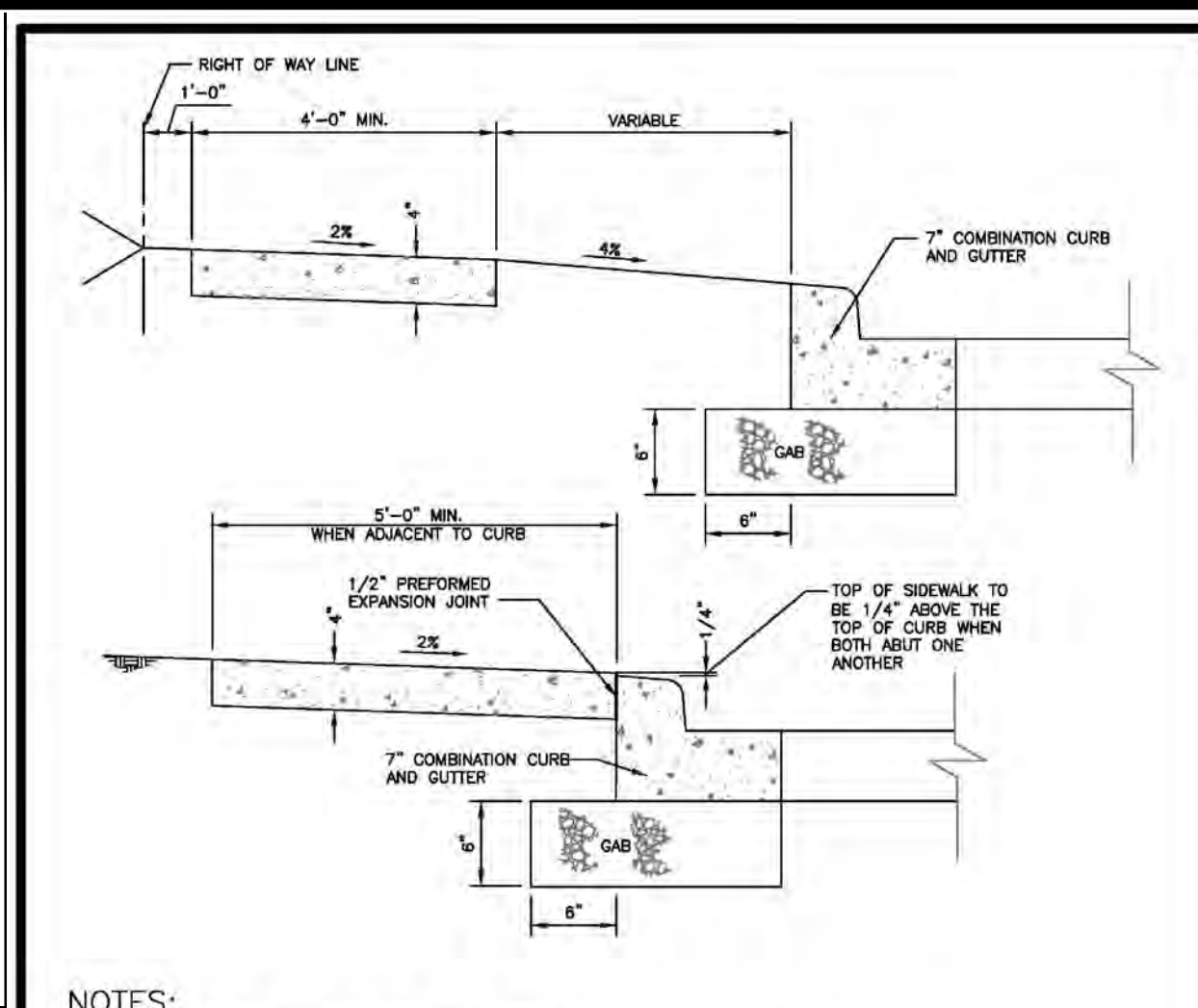
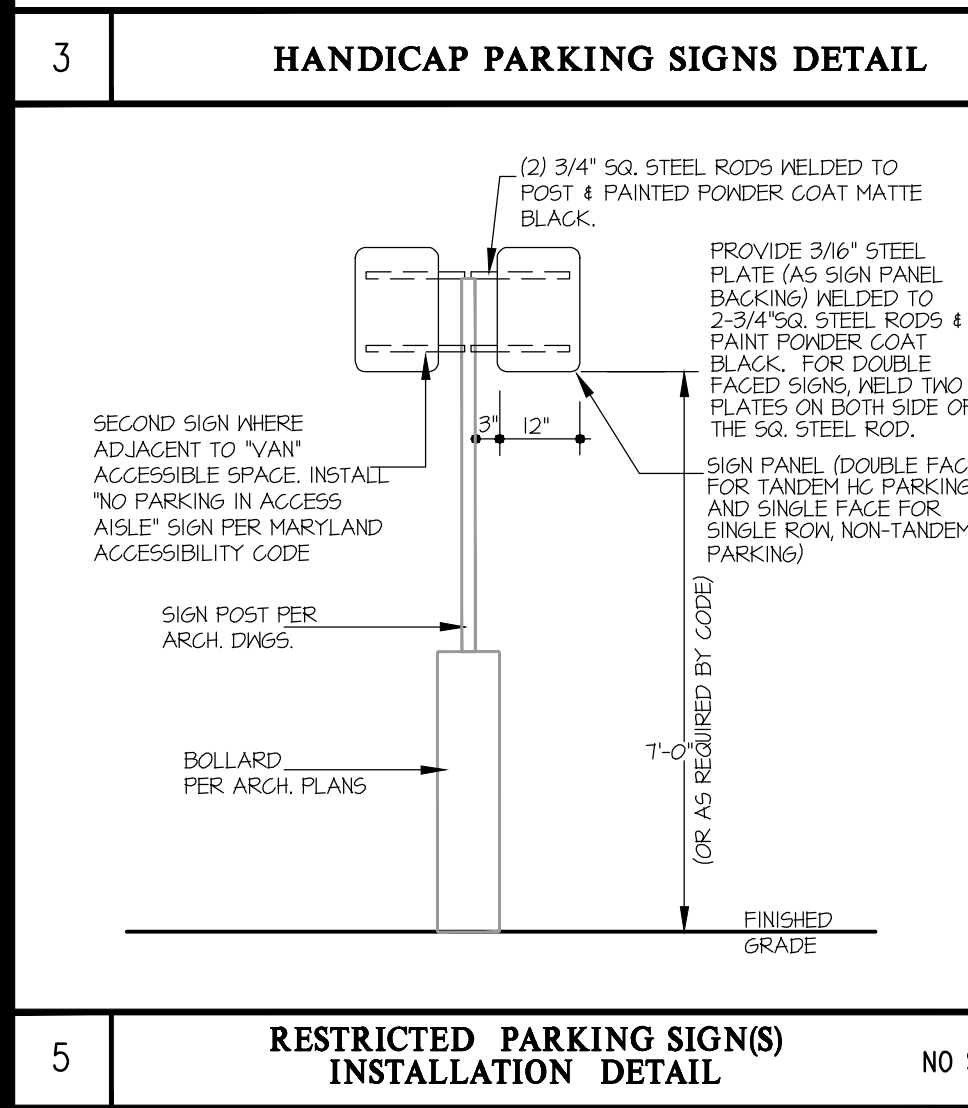
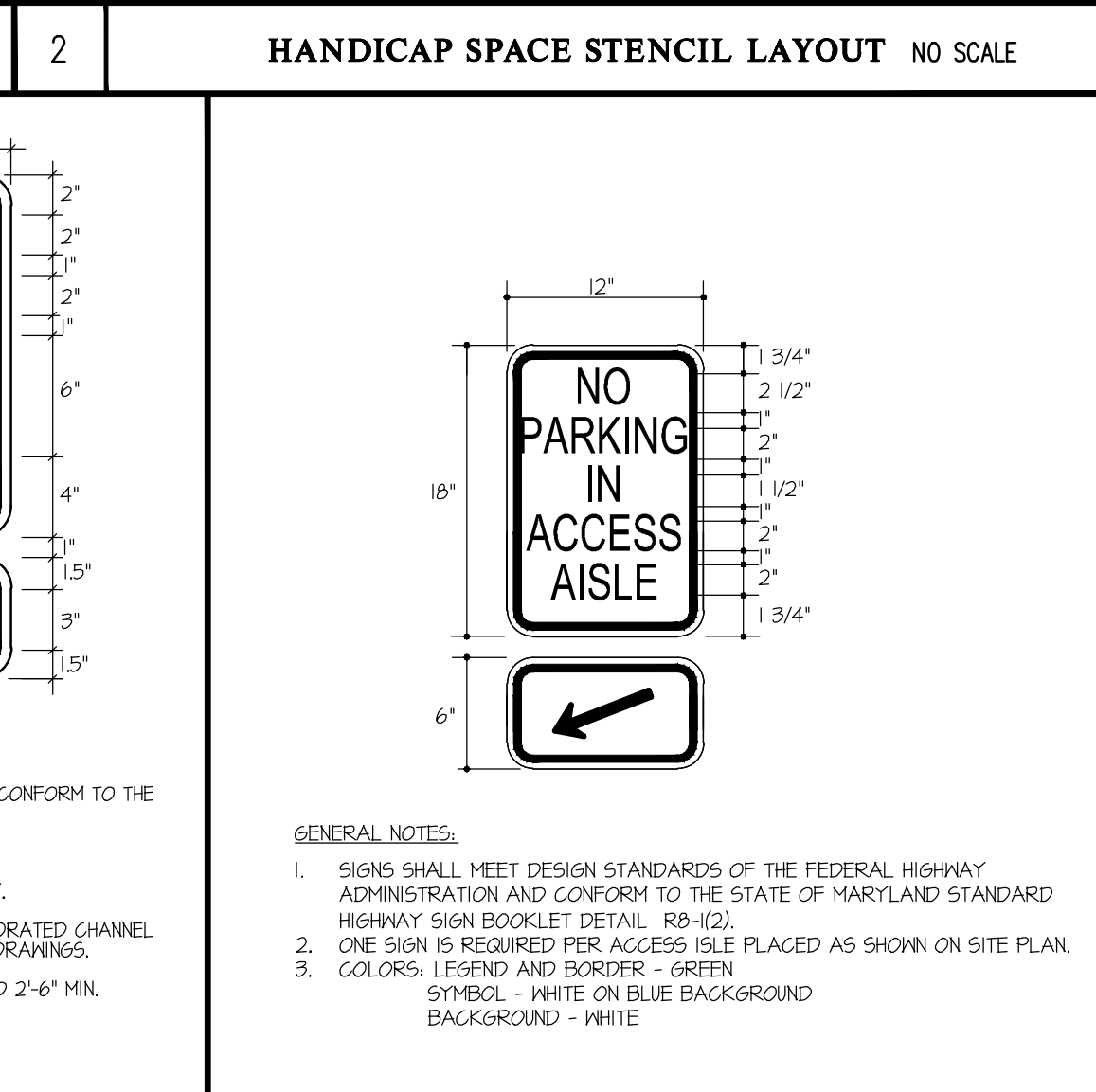
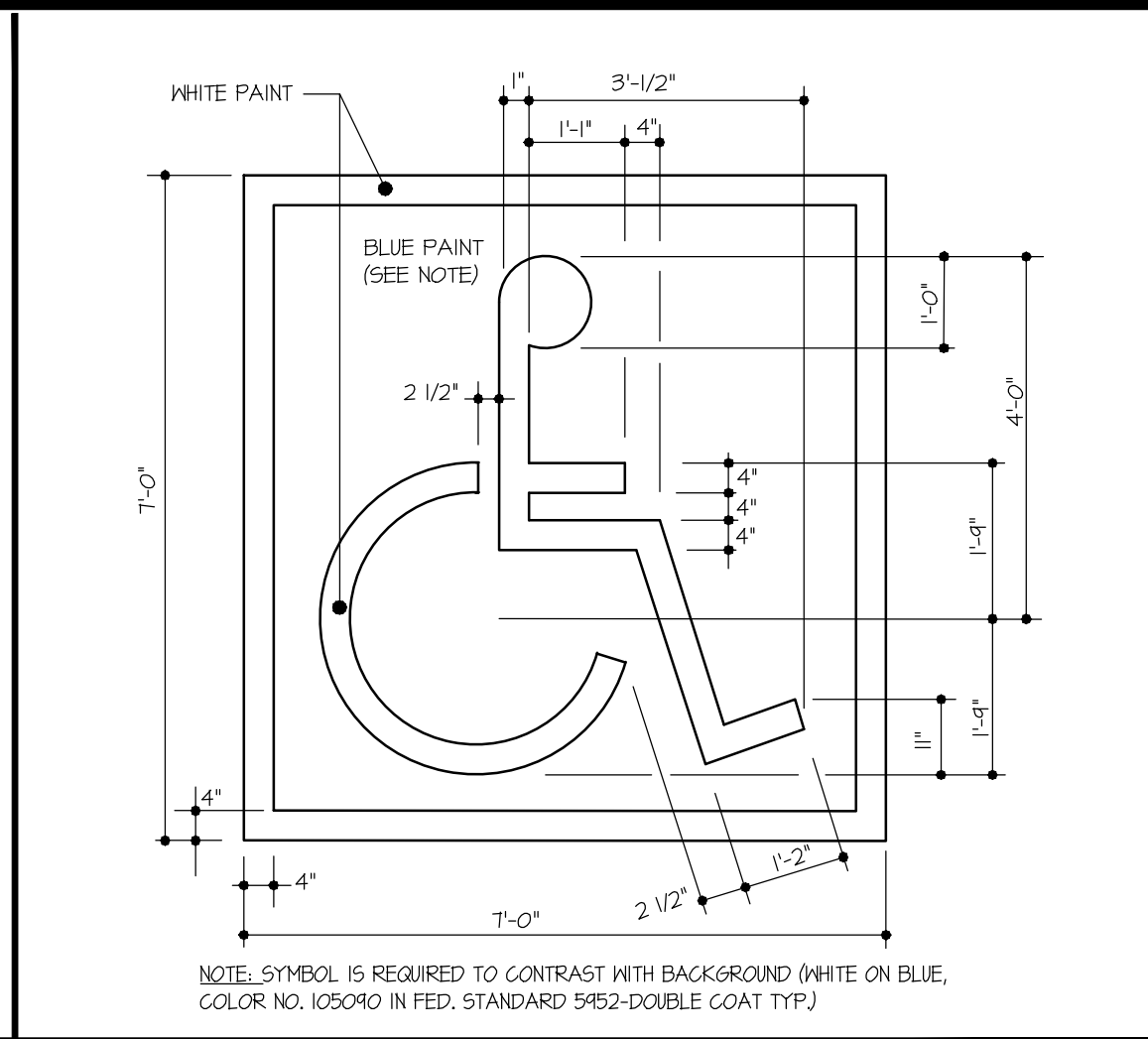
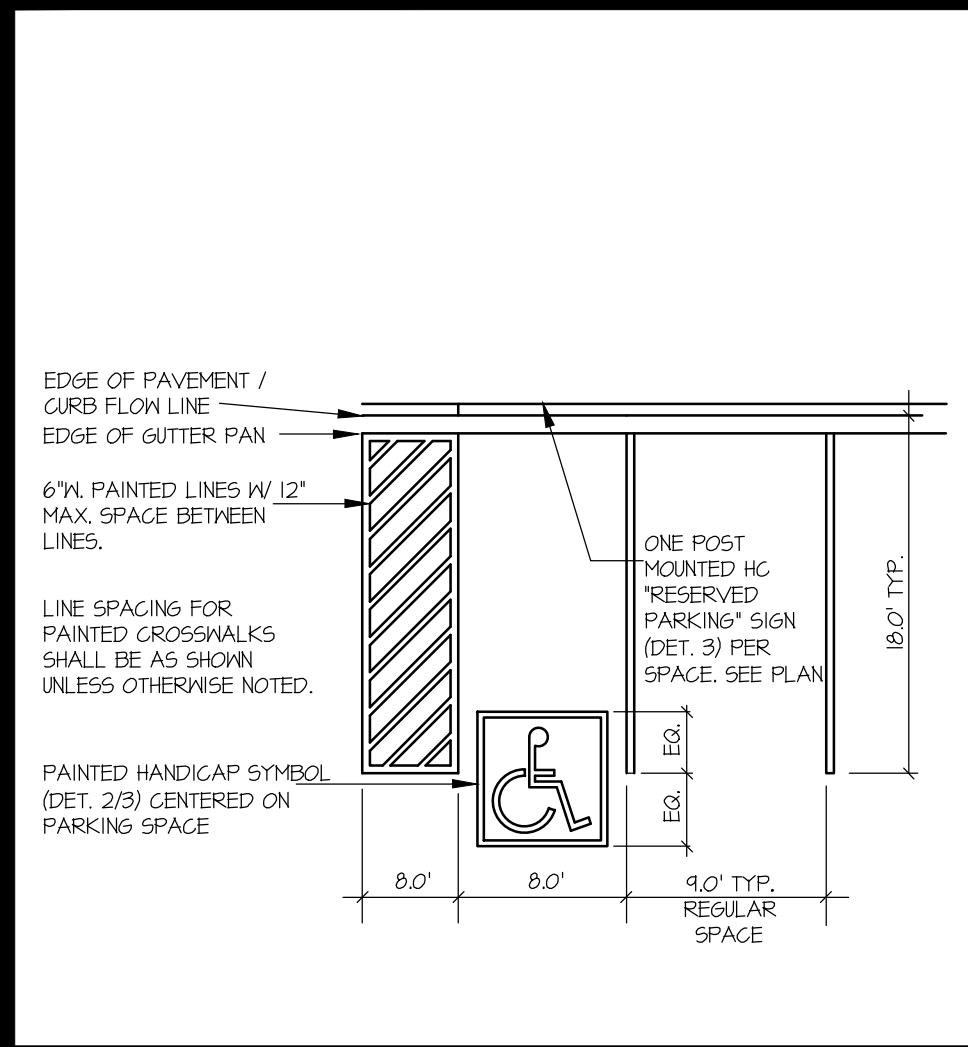
HOWARD COUNTY, MARYLAND



**PAVING SECTIONS**



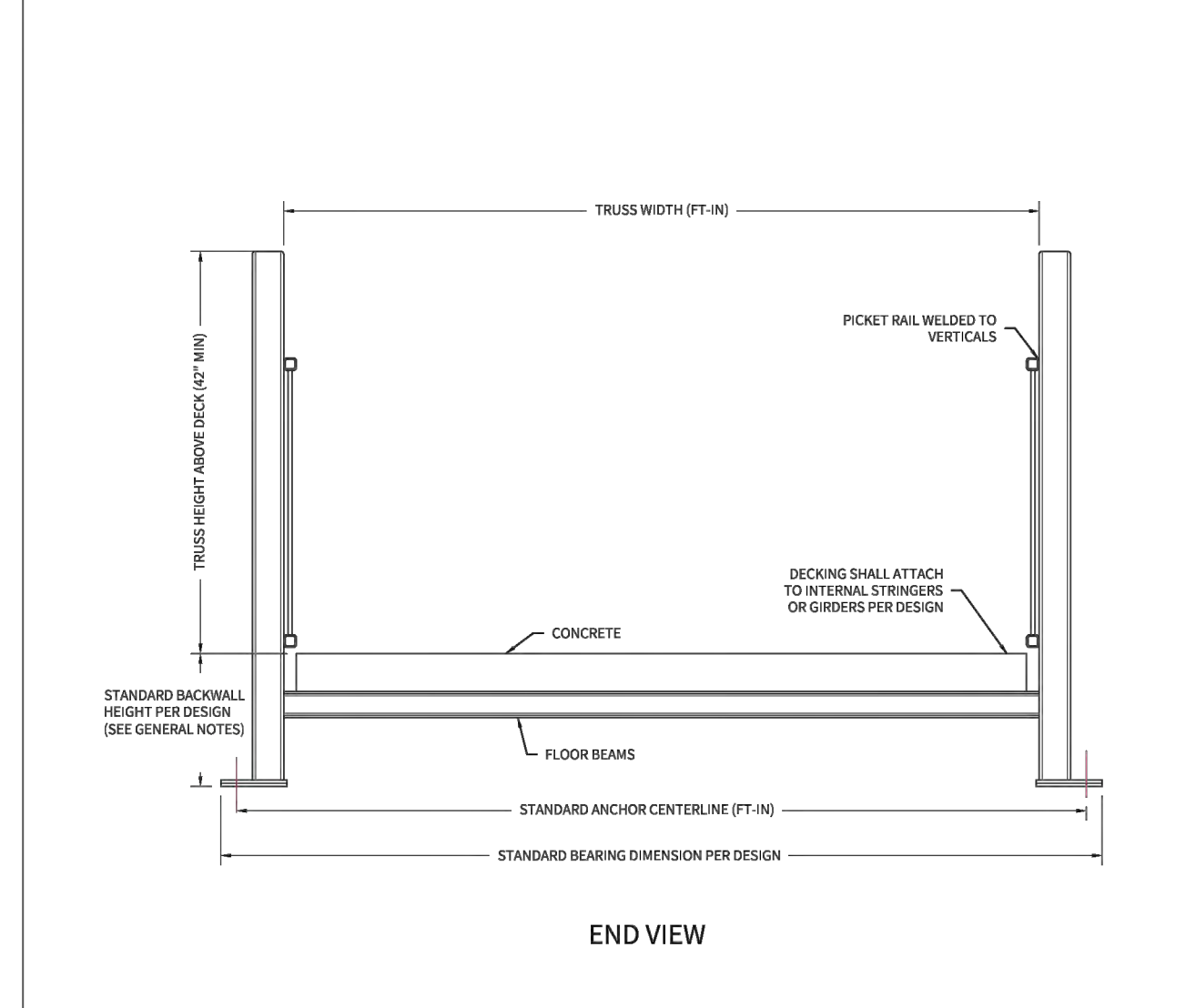
L:\CADD\DRAWINGS\18046\PLANS BY GLW\SDP\18046 PAVING.dwg, PLOT DATE: 6/7/2022, 2:29 PM, LAST SAVER: EKV/2022, 2:29 PM, PLOTTER: B7c, 30in, Sweeney



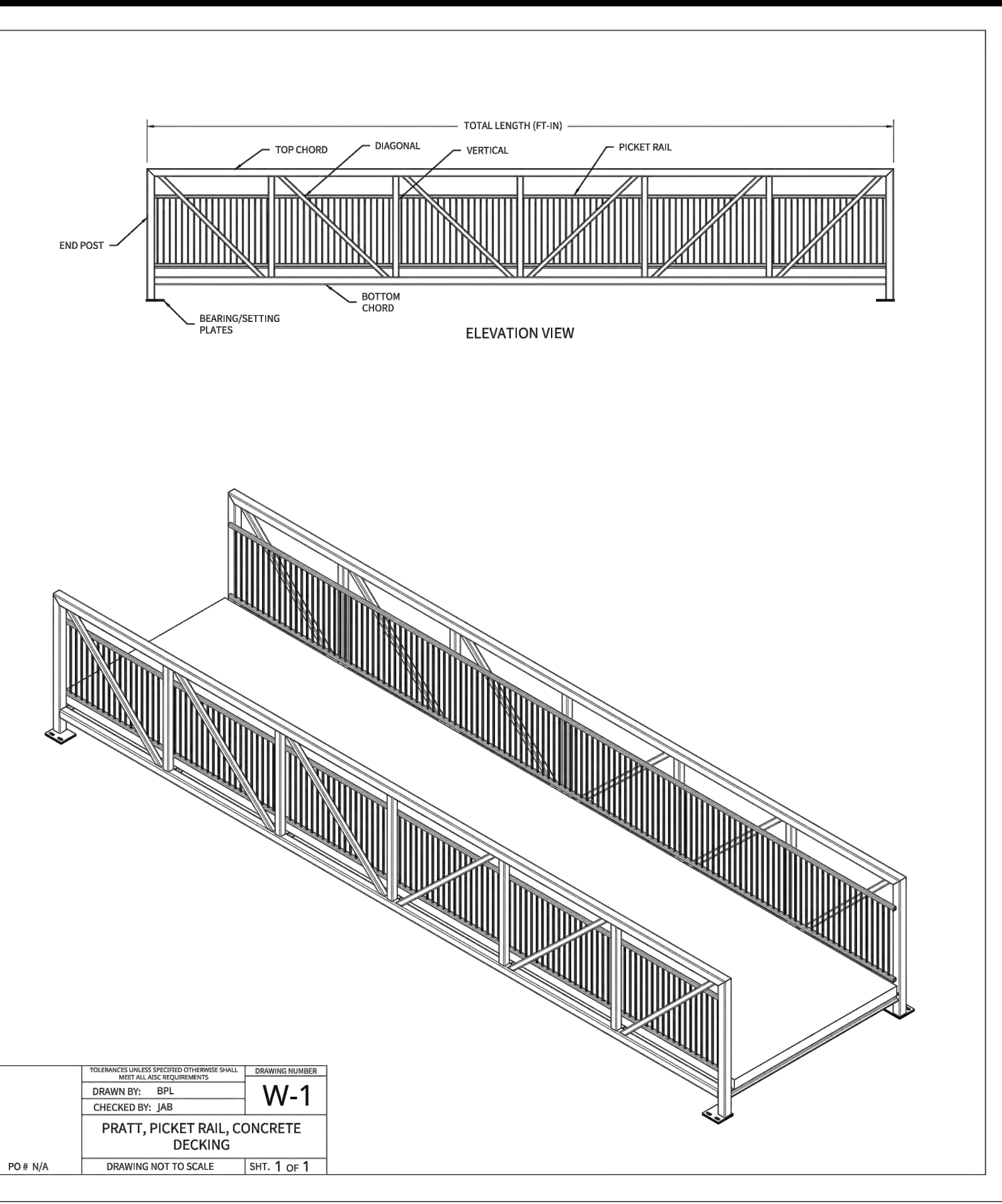
- NOTES:**
- SIDEWALK TO BE Scribed IN 5'-0" MAXIMUM SQUARES.
  - EXPANSION JOINTS ACROSS THE SIDEWALK NOT TO BE MORE THAN 15' APART, OR 16' FOR 4' WIDE SIDEWALK.
  - 1/2" PREFORMED EXPANSION MATERIAL IN EXPANSION JOINTS TO BE KEPT 1/4" BELOW SURFACE OF SIDEWALK.
  - CONCRETE TO BE MIX #3.
  - WHEN SIDEWALK ADJUTS CURB, SIDEWALK SHALL BE 1/4" ABOVE CURB WITH 1/2" PREFORMED EXPANSION JOINT BETWEEN SIDEWALK AND CURB.
  - ON LONGITUDINAL SIDEWALK GRADIENTS OF 8% OR GREATER, A CONCRETE HEADER, 8" THICK AND 6" DEEP BELOW THE NORMAL 4" SIDEWALK THICKNESS SHALL BE CONSTRUCTED FOR THE FULL WIDTH OF THE SIDEWALK AT INTERVALS OF 48 FEET. THE HEADERS SHALL BE PLACED AT THE EXPANSION JOINT LOCATIONS AND SHALL BE MONOLITHIC WITH THE SIDEWALK.
  - SIDEWALK WIDTH ADJACENT TO CURB SHALL BE 5'-0" MINIMUM EXCEPT SIDEWALK ADJACENT TO CURB IN CUL-DE-SAC BULBS MAY BE 4'-0" WIDE.
  - SIDEWALK LOCATED 2' OR MORE FROM CURB MAY BE 4'-0" IN WIDTH WITH A 5'x5' PAVED SECTION PLACED 200' APART.
  - 4'-0" SIDEWALK REQUIRES A PASSING AREA (SEE DETAIL R-4.01).

	<b>Howard County, Maryland</b> Department of Public Works Approved: <i>Thomas J. Smith</i> Chief, Bureau of Engineering	<b>CONCRETE SIDEWALK</b>	<b>Detail</b> <b>R-3.05</b>
--	--	--------------------------	--------------------------------

- GENERAL NOTES:**
- THE PRIMARY FUNCTION OF THIS STRUCTURE IS TO CARRY PEDESTRIANS & BICYCLISTS.
  - SLIDE PLATES SHALL BE MADE FROM UHMW AND ARE GENERALLY SHIPPED LOOSE FROM BRIDGE ENDS SHALL BE CONSTRUCTED AT THE SAME ELEVATION.
  - BRIDGES SHALL BE DESIGNED FOR BOLTED OR WELDED CONNECTIONS TO PROVIDE A STRUCTURE WHICH CAN BE ECONOMICALLY SHIPPED AND ERECTED.
  - BRIDGES SHALL HAVE VERTICAL CAMBER TO OFFSET ANY DEAD LOAD DEFLECTIONS GREATER THAN 1/4".
  - UNPAINTED WEATHERING STEEL BRIDGES WHICH ARE NOT TO BE PAINTED SHALL BE FABRICATED FROM HIGH STRENGTH, LOW ALLOY, AND ATMOSPHERIC CORROSION RESISTANT ASTM A572 GRADE 50 AND RECTANGULAR TUBING AND ASTM A508 GRADE B OR C AND SHALL UTILIZE A TWO-COAT EPOXY AND POLYURETHANE FINISH.
  - PAINTED STEEL BRIDGES SHALL BE FABRICATED FROM ASTM A572 AND TUBULAR SECTIONS FROM ASTM A508 GRADE B OR C AND SHALL UTILIZE A TWO-COAT EPOXY AND POLYURETHANE FINISH.
  - GALVANIZED STEEL BRIDGES SHALL BE FABRICATED FROM ASTM A572 AND TUBULAR SECTIONS FROM ASTM A508 GRADE B OR C AND SHALL INCORPORATE WEEP HOLES FOR PROPER DRAINAGE.
  - ALUMINUM BRIDGES SHALL BE FABRICATED FROM 6061-T6 FOR ALL STRUCTURAL COMPONENTS AND MAY USE ANY 6000 SERIES ALLOY FOR NON-STRUCTURAL COMPONENTS AND DECORATING.
  - SHOP WELDING SHALL CONFORM TO AWS D1.1 STEEL OR D1.2 ALUMINUM.
  - ALL ELECTRICAL AND LIGHT HARDWARE INSTALLATION AND DESIGN ARE PROVIDED BY OTHERS UNLESS OTHERWISE SPECIFIED.
  - 50' BRIDGES SHALL HAVE A STANDARD BACKWALL HEIGHT OF 18" TO 20".
  - 50' TO 100' BRIDGES SHALL HAVE A STANDARD BACKWALL HEIGHT OF 24".
  - 100' BRIDGES SHALL HAVE A STANDARD BACKWALL HEIGHT OF 30".



	<b>BRIDGE BROTHERS</b> 1000 10th Street, Columbia, MD 21044 (410) 730-1000 <a href="http://www.bridgebrothers.com">www.bridgebrothers.com</a>	PROJECT NAME PROJECT LOCATION CUSTOMER: _____ CUSTOMER NAME: _____ CUSTOMER LOCATION: _____ PD & N/A	<table border="1"> <tr> <td>           DRAWN BY: <i>BP</i>            CHECKED BY: <i>JAB</i> </td> <td> <b>W-1</b>            PRATT, PICKET RAIL, CONCRETE DECKING            DRAWING NOT TO SCALE            SHIT. 1 of 1         </td> </tr> </table>	DRAWN BY: <i>BP</i> CHECKED BY: <i>JAB</i>	<b>W-1</b> PRATT, PICKET RAIL, CONCRETE DECKING DRAWING NOT TO SCALE SHIT. 1 of 1
DRAWN BY: <i>BP</i> CHECKED BY: <i>JAB</i>	<b>W-1</b> PRATT, PICKET RAIL, CONCRETE DECKING DRAWING NOT TO SCALE SHIT. 1 of 1				



**APPROVED**  
**PLANNING BOARD OF HOWARD COUNTY**

Date: \_\_\_\_\_

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director: \_\_\_\_\_ Date: \_\_\_\_\_

Chief, Division of Land Development: \_\_\_\_\_ Date: \_\_\_\_\_

Chief, Development Engineering Division: \_\_\_\_\_ Date: \_\_\_\_\_

	<b>GLW</b> PLANNING   ENGINEERING   SURVEYING 3808 NATIONAL DRIVE   SUITE 250   BURTONSVILLE, MD 20866   GLW@PA.COM PHONE: 301-421-4024   BALT. 410-880-1820   DC&VA: 301-989-2524   FAX: 301-421-4168
--	---

DESIGNED BY:	XXXX				
DRAWN BY:	XXXX				
CHECKED BY:	XXXX				
	DATE	REVISION	BY	APPR.	

PREPARED FOR:

OWNER: CLOVER ACQUISITIONS LLC  
 C/O THE HOWARD HUGHES CORP.  
 PO BOX 131298  
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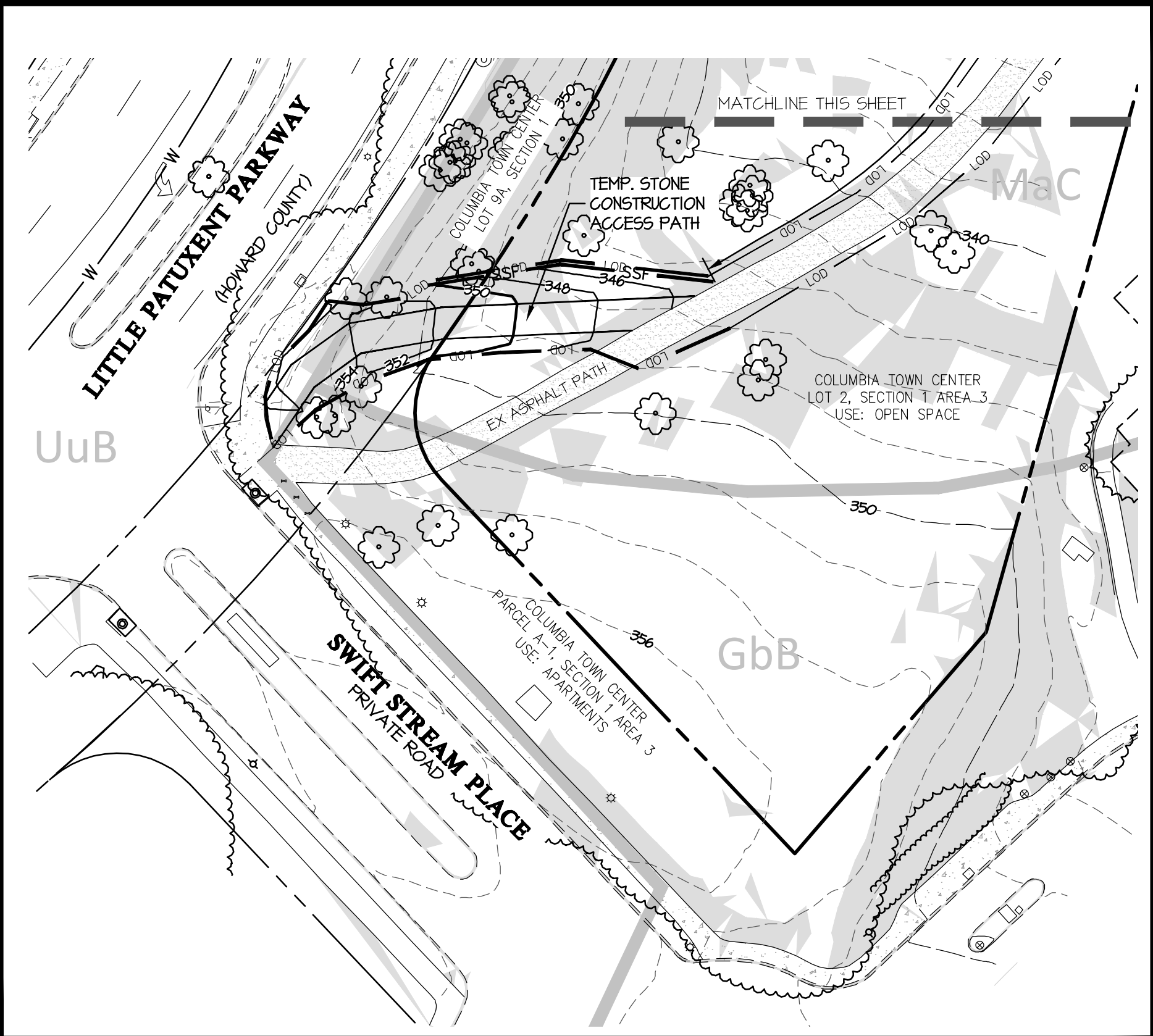
<b>SITE DETAILS</b> <b>SOUTHLAKE OFFICE BUILDING</b> <b>DOWNTOWN COLUMBIA</b> <b>LAKEFRONT CORE NEIGHBORHOOD, PHASE I, PARCEL B</b> A REVISION OF SECTION I, PARCEL B (PLAT No. XXXXX) PN: _____			SCALE AS SHOWN	ZONING NT	G. L. W. FILE No. 18046
DATE JUNE, 2022	TAX MAP - GRID 36 - 2	SHEET 13 OF 52	HOWARD COUNTY, MARYLAND		

ELECTION DISTRICT No. 5	SCALE AS SHOWN	ZONING NT	G. L. W. FILE No. 18046
DATE JUNE, 2022	TAX MAP - GRID 36 - 2	SHEET 13 OF 52	HOWARD COUNTY, MARYLAND

L:\CADD\DRAWINGS\18046\PLANS BY GLW\SDP\18046 SITE DETAILS.dwg  
 PLOTTED: 6/7/2022 2:21 PM, LAST SAVED: 6/7/2022 2:21 PM, PLOTTED BY: Don Swamy

- SEQUENCE OF CONSTRUCTION:**
- SCE - STONE CONSTRUCTION ENTRANCE  
SF - SILT FENCE  
SSF - SUPER SILT FENCE
- PHASE 1**
- OBTAIN GRADING PERMIT AND ARRANGE FOR AN ON SITE PRE-CONSTRUCTION MEETING. (1 DAY)
  - INSTALL SCE AND SSF. INSTALL SSF ON THE LAKE SIDE OF THE ASPHALT TRAIL IN THE VICINITY OF SEWER MANHOLE 4. INSTALL SSF AND TEMPORARY STONE ACCESS PATH. STABILIZE ANY DISTURBANCE FOR ACCESS PATH (5 DAYS)
  - INSTALL SEWER FROM MH-1 TO MH-3 AND MH-2 TO MH-7 (3 DAYS)
  - INSTALL 24" ACCESS CULVERT. NOTE CROSSING IS NOT A REGULATED STREAM.
  - CLOSE LAKE KITTAMAQUONDI TRAIL. REMOVE EXISTING 18" STORM DRAIN AT SOUTHEAST CORNER OF PARKING LOT AND INSTALL SEWER FROM MH-3 TO MH-5 (8 DAYS)
  - REMOVE EXISTING 24" STORM DRAIN BETWEEN STORM MANHOLE M-102 AND EXISTING HEADWALL 100. INSTALL PROPOSED 18"x30" SD AND M-102. TEMPORARY CONNECT EXISTING 24" STORM DRAIN INTO STORM MANHOLE 102. (3 DAYS)
  - REBUILD ASPHALT TRAIL OVERTOP OF SEWER. STABILIZE ALL DISTURBANCE ON THE EAST SIDE OF THE TRAIL. RELOCATE SSF TO THE WEST SIDE OF THE TRAIL AS SHOWN. REOPEN LAKE KITTAMAQUONDI TRAIL TO THE PUBLIC. (1 DAY)
  - INSTALL TEMPORARY SEWER BYPASS BETWEEN EXISTING SEWER MANHOLE 1551 (64'-5) AND EXISTING SEWER MANHOLE 1 (61'-AD0). SEE CONTRACT 24-5190-D FOR ADDITIONAL INFORMATION. (1 DAY)
  - REMOVE EXISTING SEWER MANHOLE 2 (61'-AD0). INSTALL SEWER MH 6 AND SEWER FROM MH-6 TO MH-5. (1 DAY)
  - INSTALL 6" SEWER FROM SEWER MH-6 TO TIE IN LOCATION WITH THE EXISTING 6" SILEX SERVING THE WHOLE FOODS BUILDING (NEAR STORM MH 101). (1 DAY)
  - REMOVE SEWER PUMP AROUND AT SEWER MANHOLE 1551 (1 DAY)
  - INSTALL TEMPORARY SEWER BYPASS BETWEEN EXISTING SEWER MANHOLE 1 (61'-AD0) AND SEWER MANHOLE 7 (24-5190-D) (1 DAY)
  - REMOVE MANHOLE 1556. INSTALL MANHOLE 8 (24-5190) AND SEWER FROM MH-8 TO MH-7 (1 DAY)
  - REMOVE TEMPORARY SEWER BYPASS AT EX MH 1 (C-2485) AND REMOVE ANY REMAINING SEWER WITHIN PARKING LOT CALLED OUT TO BE REMOVED ON THIS PLAN. (1 DAY)
  - INSTALL STORM DRAIN FROM M-102 TO MH-103 TO RIGHT BEFORE M-104. STOP AT CROSSING WITH EXISTING 15" STORM DRAIN. (1 DAY)
  - ON A DRY DAY WITH NO RAIN IN THE FORECAST, REMOVE EXISTING 15" STORM DRAIN BETWEEN M-104 AND M-115. INSTALL REMAINING STORM DRAIN UP TO M-104, AND STORM FROM M-104 TO M-115 AND M-112. DO NOT INSTALL THEIR PLATE IN MH-106 AND BLOCK OPENING FROM M-104 TO M-108. (1 DAY)
  - INSTALL STORM DRAIN FROM M-104 TO M-106, M-112 TO M-113, M-104 TO M-114, AND M-104 TO RD-120. (1 DAY)
  - INSTALL STORM DRAIN FROM M-104 TO M-103 AND CONTECH CHAMBERMAXX. LEAVE OPENING FROM M-104 TO M-108 BLOCKED UNTIL BUILDING CONSTRUCTION IS COMPLETE. (2 DAYS)
  - REMOVE ANY REMAINING STORM DRAIN WITHIN PARKING LOT CALLED OUT TO BE REMOVED ON THIS PLAN. (2 DAYS)

PROCEEDED TO PHASE 2



**LEGEND**

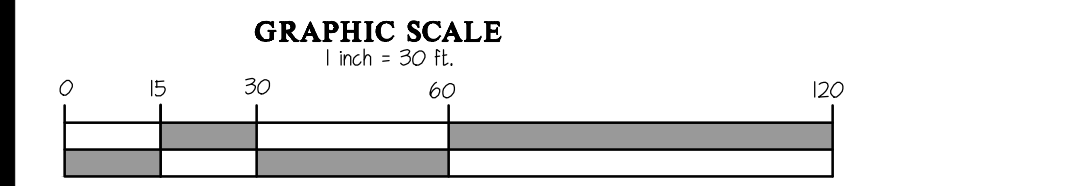
- LOD - LIMIT OF DISTURBANCE
- SF - SILT FENCE
- SSF - SUPERSILT FENCE
- GnA - SOIL BOUNDARY
- SCE - STABILIZED CONSTRUCTION ENTRANCE
- TAC - TEMPORARY ACCESS CULVERT
- AGP - AT GRADE INLET PROTECTION
- FP - 100 YEAR FLOODPLAIN
- S - EXISTING UTILITY (TO BE REMOVED/ABANDONED)
- TAB - TEMPORARY ASPHALT BERM

**SOILS (on site)**

Map Unit	Map Unit Name	Type	K Factor
UB	Urban land-Undisturbed complex, 0 to 8 percent slopes	D	0.28

HOWARD COUNTY SOIL MAP NUMBER: 18 - SAVAGE NN

- NOTES:**
- STANDARD SILT FENCE MAY BE REPLACED WITH SUPER SILT FENCE AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR.
  - WHEN SUPER SILT FENCE IS RUNNING AT A SLOPE GREATER THEN 5% FOR A DISTANCE OVER 50', CURB FENCE UP 2' FOR EVERY 2' OF ELEVATION CHANGE ALONG SILT FENCE.
  - SEDIMENT CONTROL INSPECTOR MAY RELOCATE STABILIZED CONSTRUCTION ENTRANCES.
  - SEE DETAIL B-4-B ON SHEET 16 FOR STOCKPILE BENCHING REQUIREMENTS.
  - ANY SEDIMENT CONTROLS INTERRUPTED BY THE INSTALLATION OF A UTILITY IS TO BE REPAIRED IMMEDIATELY.
- STANDARD STABILIZATION NOTE:**
- FOLLOWING INITIAL SOIL DISTURBANCE OR RE-DISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION MUST BE COMPLETED WITHIN:
- A) THREE (3) CALENDAR DAYS AS TO THE SURFACE OF ALL PERIMETER DIKES, SHALES, DITCHES, PERIMETER SLOPES, AND ALL SLOPES STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL (3:1); AND
- B) SEVEN (7) CALENDAR DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE NOT UNDER ACTIVE GRADING.



**THIS PLAN IS FOR SEDIMENT CONTROL PURPOSES ONLY**

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

HOWARD SOIL CONSERVATION DISTRICT \_\_\_\_\_ DATE \_\_\_\_\_

**DEVELOPER'S/BUILDER'S CERTIFICATE**

I/WE HEREBY CERTIFY THAT ANY CLEARING, GRADING, CONSTRUCTION, OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS APPROVED EROSION AND SEDIMENT CONTROL PLAN, INCLUDING INSPECTING AND MAINTAINING CONTROLS, AND THAT THE RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF TRAINING AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT (MDE) APPROVED TRAINING PROGRAM FOR THE CONTROL OF EROSION AND SEDIMENT PRIOR TO BEGINNING THE PROJECT. I CERTIFY RIGHT-OF-ENTRY FOR PERIODIC ON-SITE EVALUATION BY HOWARD COUNTY, THE HOWARD SOIL CONSERVATION DISTRICT AND/OR MDE.

SIGNATURE OF DEVELOPER/BUILDER \_\_\_\_\_ DATE \_\_\_\_\_

PRINTED NAME & TITLE \_\_\_\_\_

**ENGINEER'S CERTIFICATE**

I HEREBY CERTIFY THAT THIS PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH CURRENT MARYLAND EROSION AND SEDIMENT CONTROL LAW REGULATIONS AND STANDARDS, THAT IT REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE, AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

ENGINEER'S SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

CARL GUTSCHICK \_\_\_\_\_ (2475) (P.E.)

PRINTED NAME \_\_\_\_\_ MD REGISTRATION NO. \_\_\_\_\_

**APPROVED**

**PLANNING BOARD OF HOWARD COUNTY**

Date: \_\_\_\_\_

**APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING**

Director \_\_\_\_\_ Date \_\_\_\_\_

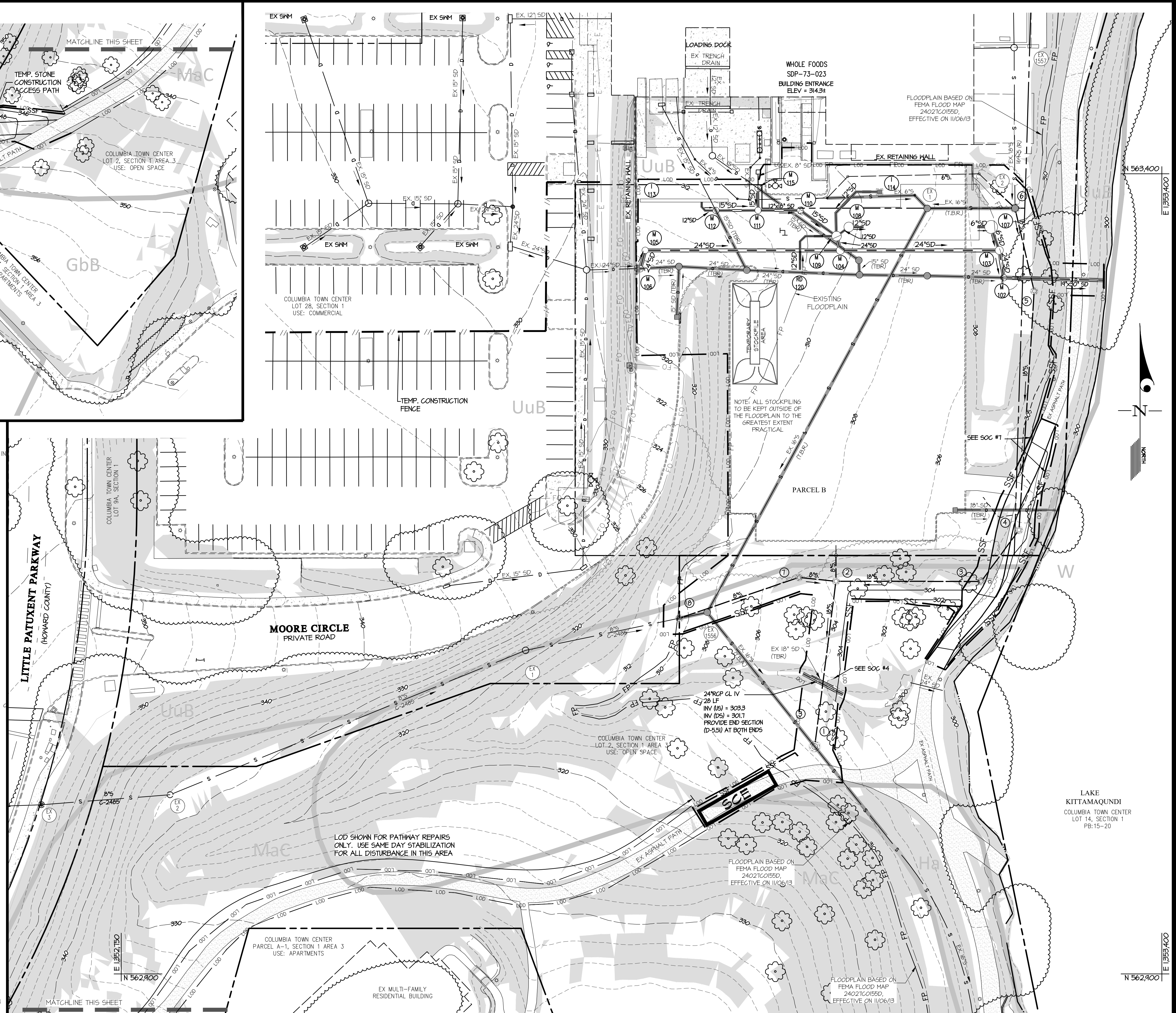
Chief, Division of Land Development \_\_\_\_\_ Date \_\_\_\_\_

Chief, Development Engineering Division \_\_\_\_\_ Date \_\_\_\_\_

**GLW**  
PLANNING | ENGINEERING | SURVEYING

3809 NATIONAL DRIVE | SUITE 250 | BURTONTOWNE, MD 20898 | GLWPA.COM  
PHONE: 301-421-0241 | BALT: 410-890-1820 | DC/VA: 301-989-2524 | FAX: 301-421-4188

DESIGNED BY	DRAWN BY	CHECKED BY	DATE	REVISION	BY	APPR.
ddd	ddd					



**PREPARED FOR:**

**OWNER:** CLOVER ACQUISITIONS LLC  
C/O THE HOWARD HUGHES CORP.  
PO BOX 131298  
CARLSBAD CA 92013

**DEVELOPER:** THE HOWARD RESEARCH AND DEVELOPMENT CORP.  
10960 GRANTCHESTER WAY, SUITE 110  
COLUMBIA, MD 21044  
ATTN: GABRIEL CHUNG  
410-964-4800

**PROFESSIONAL CERTIFICATION**

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975  
EXPIRATION DATE: MAY 26, 2024

**SEDIMENT CONTROL PLAN - PHASE 1**

**SOUTHLAKE OFFICE BUILDING**

**DOWNTOWN COLUMBIA**

**LAKEFRONT CORE NEIGHBORHOOD, PHASE I, PARCEL B**

A REVISION OF SECTION 1, PARCEL B (PLAT No. XXXXX)

PN: \_\_\_\_\_

ELECTION DISTRICT No. 5

HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE NO.
1" = 30'	NT	18046
DATE	TAX MAP - GRID	SHEET
JUNE, 2022	36 - 2	14 OF 52

- BEST MANAGEMENT PRACTICES FOR WORKING IN NONTIDAL WETLANDS, WETLAND BUFFERS, WATERWAYS, AND 100-YEAR FLOODPLAINS**  
 1) NO EXCESS FILL, CONSTRUCTION MATERIAL, OR DEBRIS SHALL BE STOCKPILED OR STORED IN NONTIDAL WETLANDS, NONTIDAL WETLAND BUFFERS, WATERWAYS, OR THE 100-YEAR FLOODPLAIN.
- 2) PLACE MATERIALS IN A LOCATION AND MANNER WHICH DOES NOT ADVERSELY IMPACT SURFACE OR SUBSURFACE WATER FLOW INTO OR OUT OF NONTIDAL WETLANDS, NONTIDAL WETLAND BUFFERS, WATERWAYS, OR THE 100-YEAR FLOODPLAIN.
- 3) DO NOT USE THE EXCAVATED MATERIAL AS BACKFILL IF IT CONTAINS WASTE METAL PRODUCTS, UNSIGHTLY DEBRIS, TOXIC MATERIAL, OR ANY OTHER DELETERIOUS SUBSTANCE. IF ADDITIONAL BACKFILL IS REQUIRED, USE CLEAN MATERIAL FREE OF WASTE METAL PRODUCTS, UNSIGHTLY DEBRIS, TOXIC MATERIAL, OR ANY OTHER DELETERIOUS SUBSTANCE.
- 4) PLACE HEAVY EQUIPMENT ON MATS OR SUITABLY OPERATE THE EQUIPMENT TO PREVENT DAMAGE TO NONTIDAL WETLANDS, NONTIDAL WETLAND BUFFERS, WATERWAYS, OR THE 100-YEAR FLOODPLAIN.
- 5) REPAIR AND MAINTAIN ANY SERVICEABLE STRUCTURE OR FILL SO THERE IS NO PERMANENT LOSS OF NONTIDAL WETLANDS, NONTIDAL WETLAND BUFFERS, OR WATERWAYS, OR PERMANENT MODIFICATION OF THE 100-YEAR FLOODPLAIN IN EXCESS OF THAT LOST UNDER THE ORIGINALLY AUTHORIZED STRUCTURE OR FILL.
- 6) RECTIFY ANY NONTIDAL WETLANDS, WETLAND BUFFERS, WATERWAYS, OR 100-YEAR FLOODPLAIN TEMPORARILY IMPACTED BY ANY CONSTRUCTION.
- 7) ALL STABILIZATION IN THE NONTIDAL WETLAND AND NONTIDAL WETLAND BUFFER SHALL CONSIST OF THE FOLLOWING SPECIES: ANNUAL RYEGRASS (LOLIUM MULTIFLORUM), MILLET (SETARIA ITALICA), BARLEY (HORDEUM SP.), OATS (Avena sp.), AND/OR RYE (SECALE CEREALE). THESE SPECIES WILL ALLOW FOR THE STABILIZATION OF THE SITE WHILE ALSO ALLOWING FOR THE VOLUNTARY RESTORATION OF NATURAL WETLAND SPECIES. OTHER NON-PERSISTENT VEGETATION MAY BE ACCEPTABLE, BUT MUST BE APPROVED BY THE NONTIDAL WETLANDS AND WATERWAYS DIVISION, KENTIC. PESCULE SHALL NOT BE UTILIZED IN WETLAND OR BUFFER AREAS. THE AREA SHOULD BE SEEDED AND MOWED TO REDUCE EROSION AFTER CONSTRUCTION ACTIVITIES HAVE BEEN COMPLETED.
- 8) AFTER INSTALLATION HAS BEEN COMPLETED, MAKE POST-CONSTRUCTION GRADES AND ELEVATIONS THE SAME AS THE ORIGINAL GRADES AND ELEVATIONS IN TEMPORARILY IMPACTED AREAS.
- 9) TO PROTECT AQUATIC SPECIES, IN-STREAM WORK IS PROHIBITED AS DETERMINED BY THE CLASSIFICATION OF THE STREAM. NOT APPLICABLE TO THIS PROJECT. THERE ARE NO STREAMS WITHIN THE VICINITY OF THE LOT.
- 10) STORMWATER RUNOFF FROM IMPERVIOUS SURFACES SHALL BE CONTROLLED TO PREVENT THE WASHING OF DEBRIS INTO THE WATERWAY.
- 11) GULVERTS SHALL BE CONSTRUCTED AND ANY RIPRAP PLACED SO AS NOT TO OBSTRUCT THE MOVEMENT OF AQUATIC SPECIES, UNLESS THE PURPOSE OF THE ACTIVITY IS TO IMPROVE WATER.

NOTE: FLOODPLAIN DISTURBANCE IS UNDER REVIEW BY MDE.  
 TRACKING #: A1 #174935/202206045

**SEQUENCE OF CONSTRUCTION - PHASE 2:**

1. RECONFIGURE S9F AS SHOWN ON THIS PLAN (1 DAY)
2. BRING PARKING AREA TO THE NORTH OF THE BUILDING AND EAST OF THE LOADING DOCKS UP TO ITS ULTIMATE GRADE AND BASE PAVE. INSTALL INLET PROTECTION ON I-114. (5 DAYS)
3. INSTALL TEMPORARY ASPHALT BERM (1 DAY)
4. REMOVE ALL EXISTING PAVEMENT AND CURB WITHIN BUILDING FOOTPRINT (2 DAYS)
5. BEGIN BUILDING CONSTRUCTION. ONCE BUILDING BLOCKS ACCESS ROUTE FROM LOT 2, REPAIR PATHWAY TO EXISTING CONDITIONS, REMOVE SCE, REMOVE AND RESTORE TEMPORARY STONE ACCESS PATH, AND REMOVE ANY REMAINING SEDIMENT CONTROLS IN LOT 2. RE-OPEN PATHWAY TO THE PUBLIC. (4 MONTHS)
6. CONSTRUCT RETAINING WALLS AT THE SOUTH-EAST CORNER OF THE BUILDING (30 DAYS)
7. PRIOR TO THE BRIDGE CONSTRUCTION, INSTALL PUBLIC 8" WATER FROM WHOLE FOODS ENTRANCE TO THE END AT THE LOADING DOCK (10 DAYS)
8. INSTALL BRIDGE AND NEW DRIVE AISLE IN THE UPPER PARKING LOT (20 DAYS)
9. ONCE BUILDING IS MOSTLY COMPLETE, INSTALL ANY REMAINING UTILITIES, CURB, AND PAVEMENT. (10 DAYS)
10. STABILIZE ANY REMAINING DISTURBED AREAS, REMOVE S9F, INLET PROTECTION, TEMPORARY ACCESS GULVERT, AND ANY REMAINING SEDIMENT CONTROLS (5 DAYS)
11. INSTALL WEIR PLATE IN M-104 AND UNLOCK OPENING TO M-108. (1 DAY)

**WATER NOTES**  
 1. ANY WATERLINE CONSTRUCTION IN THE ACTIVE PARKING LOT MUST BE DONE AT NIGHT WHEN WHOLE FOODS IS CLOSED TO THE PUBLIC. METAL PLATES SHALL BE PLACED OVER ANY TRENCHES EVERY MORNING SO THE PARKING LOT CAN BE REOPENED. METAL PLATES SHALL NOT EXTEND INTO ANY EXISTING ADA SPACES.

2. 8" WATER LINES SHALL BE INSTALLED USING SAME DAY STABILIZATION.



**THIS PLAN IS FOR SEDIMENT CONTROL PURPOSES ONLY**

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

HOWARD SOIL CONSERVATION DISTRICT \_\_\_\_\_ DATE \_\_\_\_\_  
 DEVELOPER'S/BUILDER'S CERTIFICATE

"I/WE HEREBY CERTIFY THAT ANY CLEARING, GRADING, CONSTRUCTION, OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS APPROVED EROSION AND SEDIMENT CONTROL PLAN, INCLUDING INSPECTING AND MAINTAINING CONTROLS, AND THAT THE RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF TRAINING AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT (MDE) APPROVED TRAINING PROGRAM FOR THE CONTROL OF EROSION AND SEDIMENT PRIOR TO BEGINNING THE PROJECT. I CERTIFY RIGHT-OF-ENTRY FOR PERIODIC ON-SITE EVALUATION BY HOWARD COUNTY, THE HOWARD SOIL CONSERVATION DISTRICT AND/OR MDE."

\_\_\_\_\_  
 SIGNATURE OF DEVELOPER/BUILDER DATE \_\_\_\_\_  
 PRINTED NAME & TITLE \_\_\_\_\_

**ENGINEER'S CERTIFICATE**  
 "I HEREBY CERTIFY THAT THIS PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH CURRENT MARYLAND EROSION AND SEDIMENT CONTROL LAWS, REGULATIONS, AND STANDARDS, THAT IT REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE, AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."

\_\_\_\_\_  
 ENGINEER'S SIGNATURE DATE \_\_\_\_\_  
 CARL GUTSCHICK 12475 (P.E.)  
 PRINTED NAME MD REGISTRATION NO. \_\_\_\_\_

**APPROVED**  
**PLANNING BOARD OF HOWARD COUNTY**  
 Date: \_\_\_\_\_

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director \_\_\_\_\_ Date \_\_\_\_\_  
 Chief, Division of Land Development \_\_\_\_\_ Date \_\_\_\_\_  
 Chief, Development Engineering Division \_\_\_\_\_ Date \_\_\_\_\_

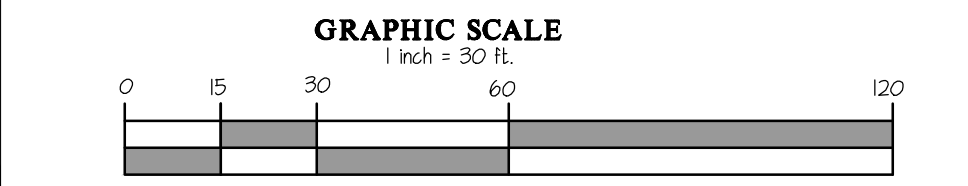
**SOILS (on site)**

Map Unit	Map Unit Name	Type	K Factor
UuB	Urban land-urban/complex, 0 to 8 percent slopes	D	0.28

HOWARD COUNTY SOIL MAP NUMBER: 10 - SAVAGE NW

- NOTES:**
1. STANDARD SILT FENCE MAY BE REPLACED WITH SUPER SILT FENCE AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR.
  2. WHEN SUPER SILT FENCE IS RUNNING AT A SLOPE GREATER THEN 5% FOR A DISTANCE OVER 50', CURL FENCE UP 2' FOR EVERY 2' OF ELEVATION CHANGE ALONG SILT FENCE.
  3. SEDIMENT CONTROL INSPECTOR MAY RELOCATE STABILIZED CONSTRUCTION ENTRANCES.
  4. SEE DETAIL B-4-B ON SHEET 16 FOR STOCKPILE BENCHING REQUIREMENTS.
  5. ANY SEDIMENT CONTROLS INTERRUPTED BY THE INSTALLATION OF A UTILITY IS TO BE REPAIRED IMMEDIATELY.

**STANDARD STABILIZATION NOTE:**  
 FOLLOWING INITIAL SOIL DISTURBANCE OR RE-DISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION MUST BE COMPLETED WITHIN:  
 A) THREE (3) CALENDAR DAYS AS TO THE SURFACE OF ALL PERIMETER DIKES, SHOALS, DITCHES, PERIMETER SLOPES, AND ALL SLOPES STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL (3H:1V); AND  
 B) SEVEN (7) CALENDAR DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE NOT UNDER ACTIVE GRADING.



L:\CADD\DRAWINGS\18046 PLANS BY GLW\SDP\18046 SNE - PH2.dwg, PLOTTED: 6/7/2022 8:41 PM, LAST SAVED: 4/20/2022 2:27 PM, PLOTTED BY: Don Stevens

**GLW**  
 PLANNING | ENGINEERING | SURVEYING  
 3809 NATIONAL DRIVE | SUITE 250 | BURTONSVILLE, MD 20886 | GLWPA.COM  
 PHONE: 301-421-4024 | BALT: 410-880-1820 | DC&VA: 301-989-2524 | FAX: 301-421-4188

DESIGNED BY	DRAWN BY	CHECKED BY	DATE	REVISION	BY	APPR.
ddd	ddd					

**PREPARED FOR:**

**OWNER:**  
 CLOVER ACQUISITIONS LLC  
 C/O THE HOWARD HUGHES CORP.  
 10960 GRANTCHESTER WAY, SUITE 110  
 COLUMBIA, MD 21044  
 ATTN: GABRIEL CHUNG  
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**SEDIMENT CONTROL PLAN - PHASE 2**  
**SOUTHLAKE OFFICE BUILDING**  
**DOWNTOWN COLUMBIA**  
**LAKEFRONT CORE NEIGHBORHOOD, PHASE I, PARCEL B**  
 A REVISION OF SECTION 1, PARCEL B (PLAT No. XXXXX)  
 PN: \_\_\_\_\_

SCALE	ZONING	G. L. W. FILE NO.
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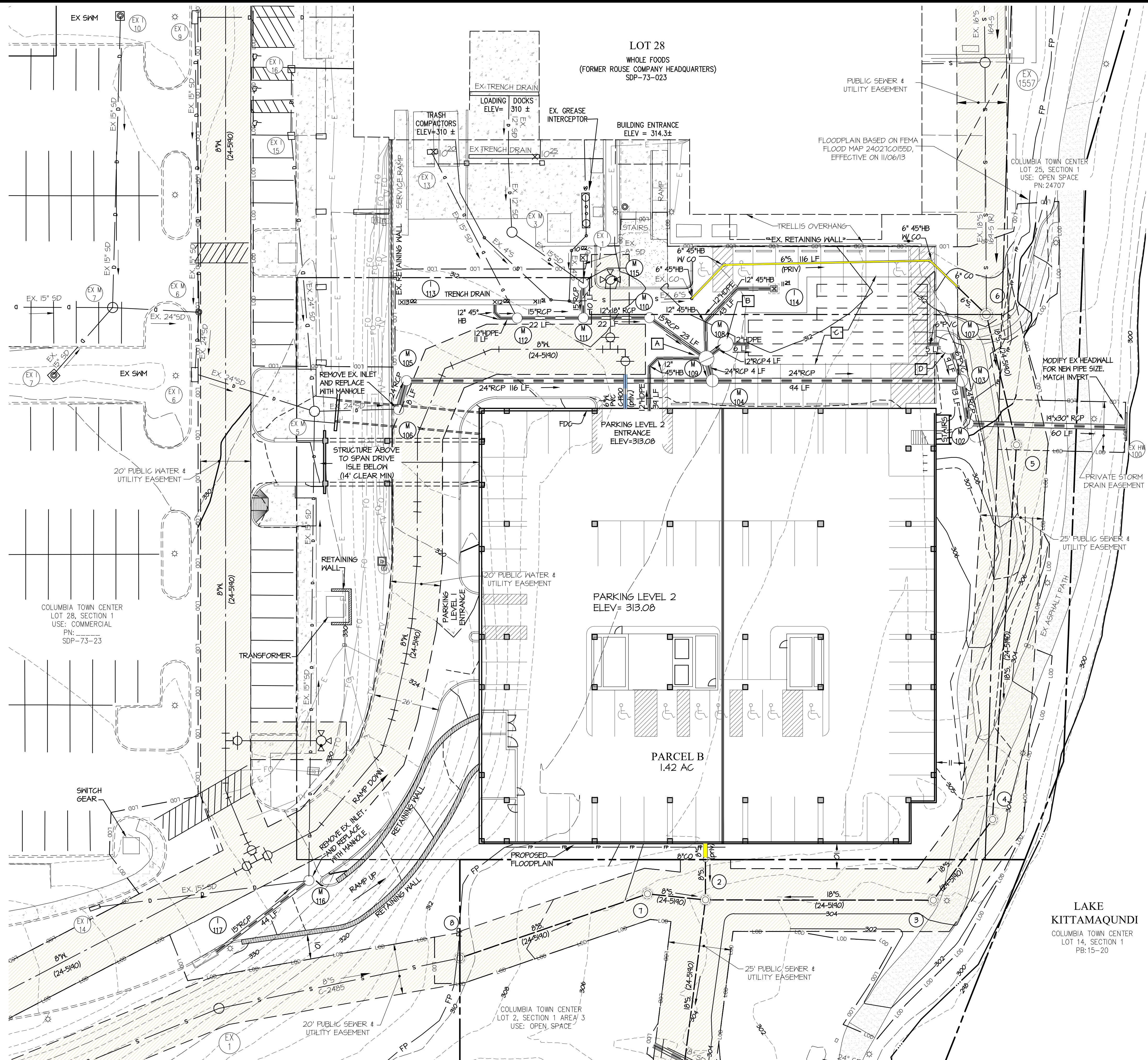
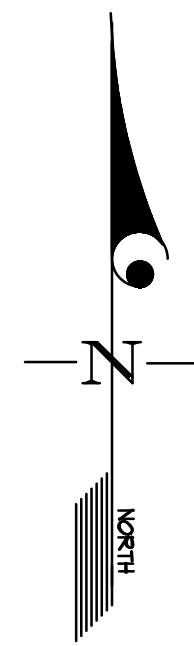




**LEGEND**

- A** SPLITTER MANHOLE
- B** STORMCEPTOR STC-400  
SEE DETAIL SHEET 21
- C** 50 - CONTECH CHAMBERMAXX  
CHAMBERS SURROUNDED IN STONE.  
4370 CF OF STORAGE  
SEE DETAIL SHEET 22
- D** STORMFILTER SFMM16 W NINE  
27" CARTRIDGES  
SEE DETAIL SHEET 21
- HB** HORIZONTAL BEND
- CO** CLEANOUT (S-222)  
NOTE: ALL CLEANOUTS IN PAVEMENT  
TO BE H9-20 RATED

**NOTES:**  
1. LOTS 28 AND 29 ARE SUBJECTED TO A RECIPROCAL EASEMENT  
AGREEMENT RECORDED L. XXXXXX F. XXXXXX WHICH ALLOWS  
PRIVATE UTILITIES TO CROSS PROPERTY LINES.



**APPROVED**  
**PLANNING BOARD OF HOWARD COUNTY**

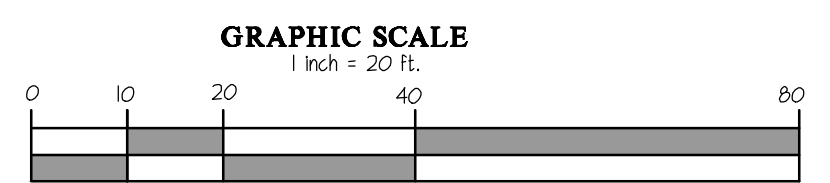
Date: \_\_\_\_\_

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director \_\_\_\_\_ Date \_\_\_\_\_

Chief, Division of Land Development \_\_\_\_\_ Date \_\_\_\_\_

Chief, Development Engineering Division \_\_\_\_\_ Date \_\_\_\_\_



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DESIGNED BY:	DATE	REVISION	BY	APPR.
ddd				
DRAWN BY:				
ddd				
CHECKED BY:				

**PREPARED FOR:**

**OWNER:**  
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C/O THE HOWARD HUGHES  
CORP.  
PO BOX 131298  
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LICENSE NO. 10976  
EXPIRATION DATE: MAY 26, 2024

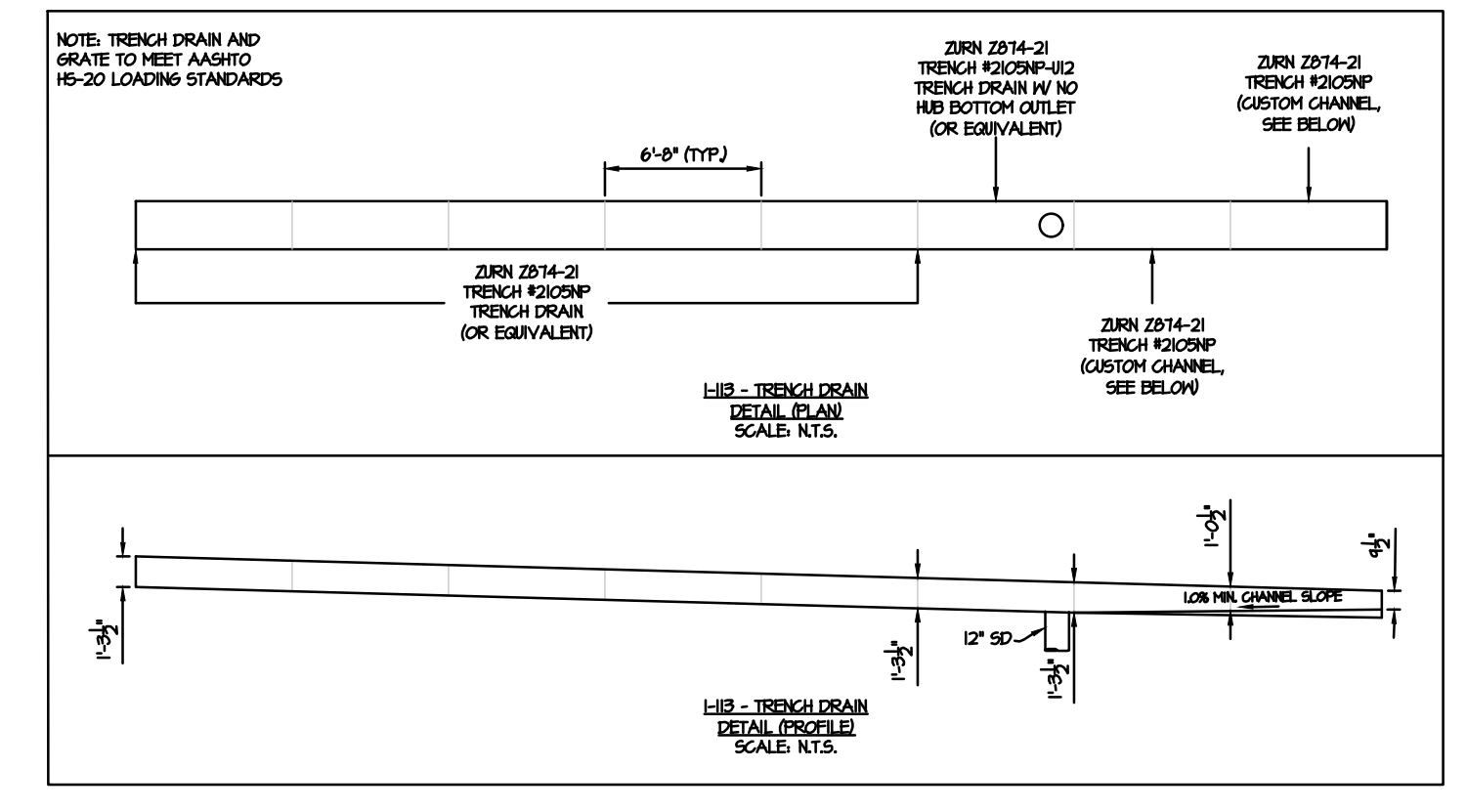
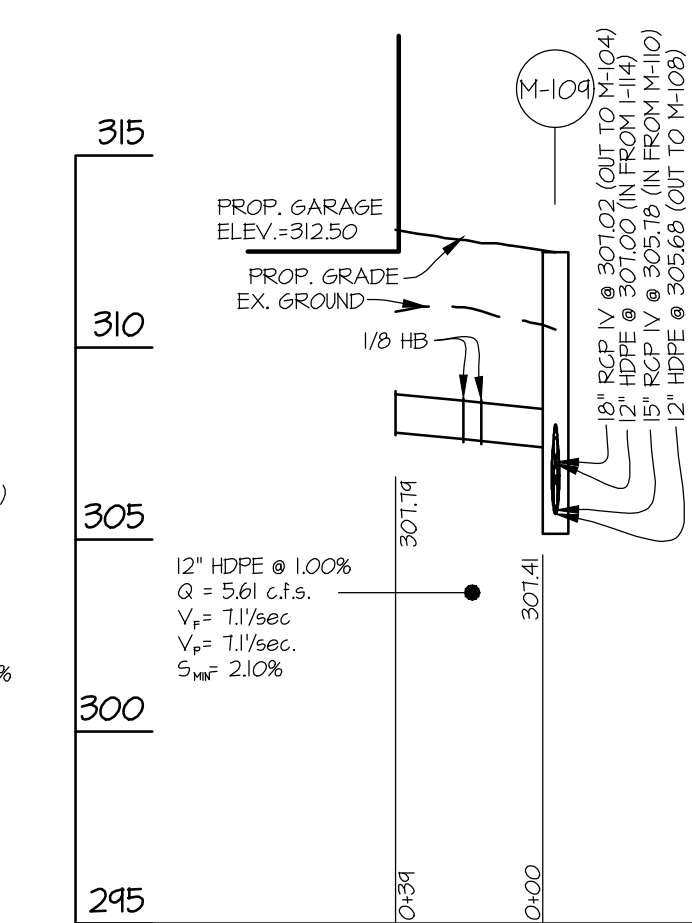
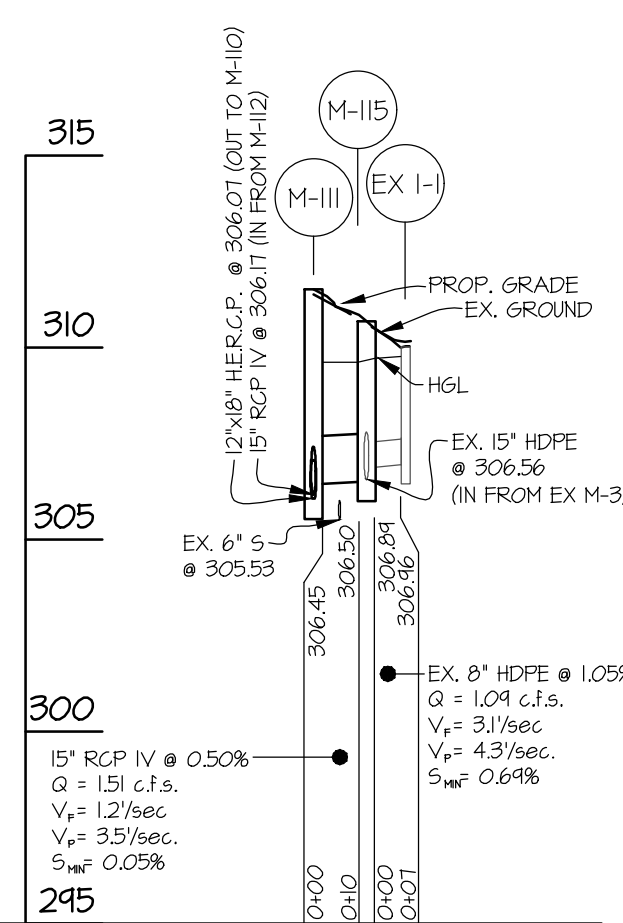
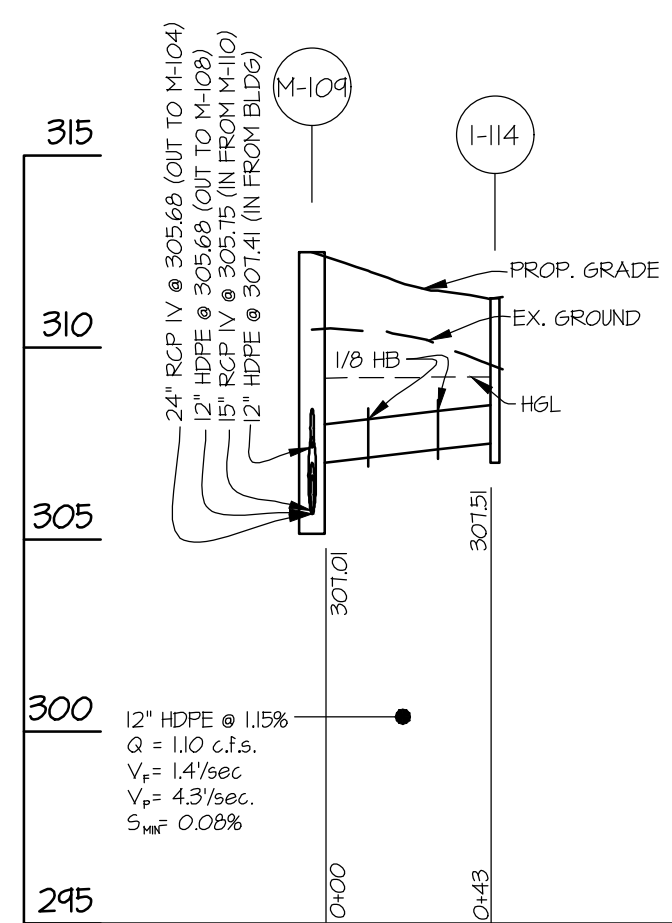
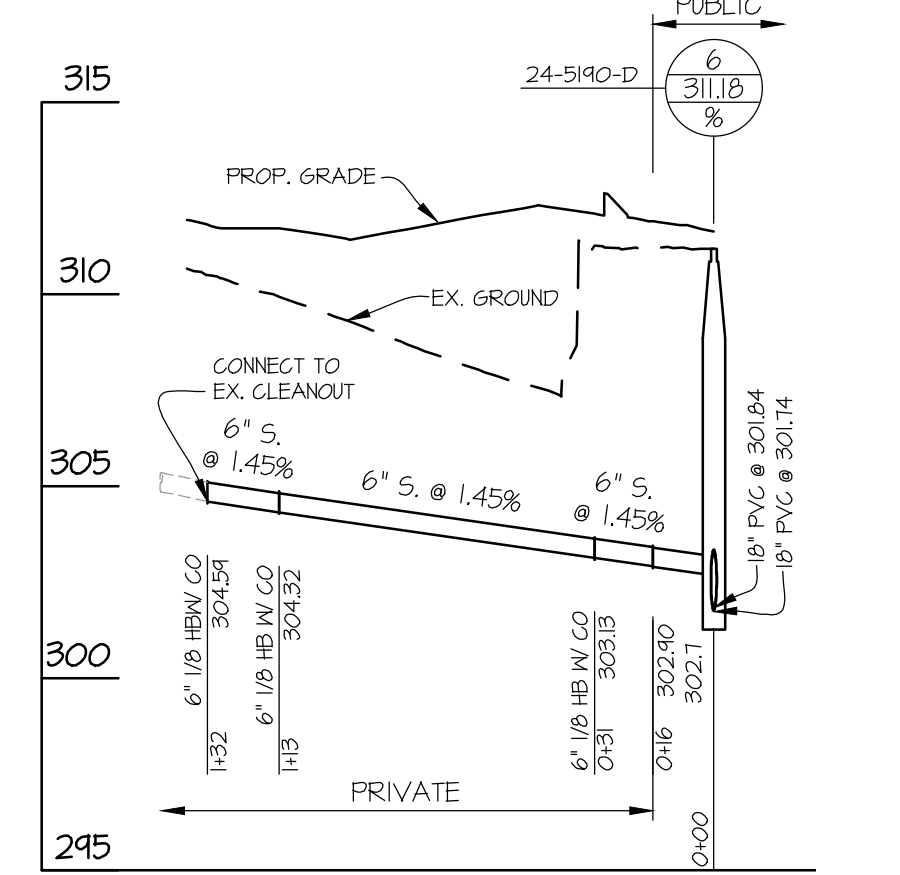
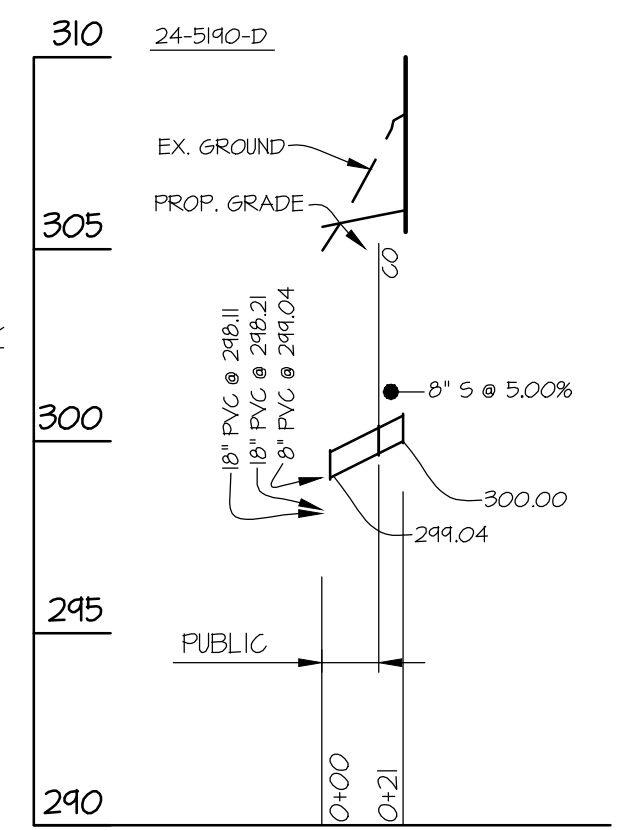
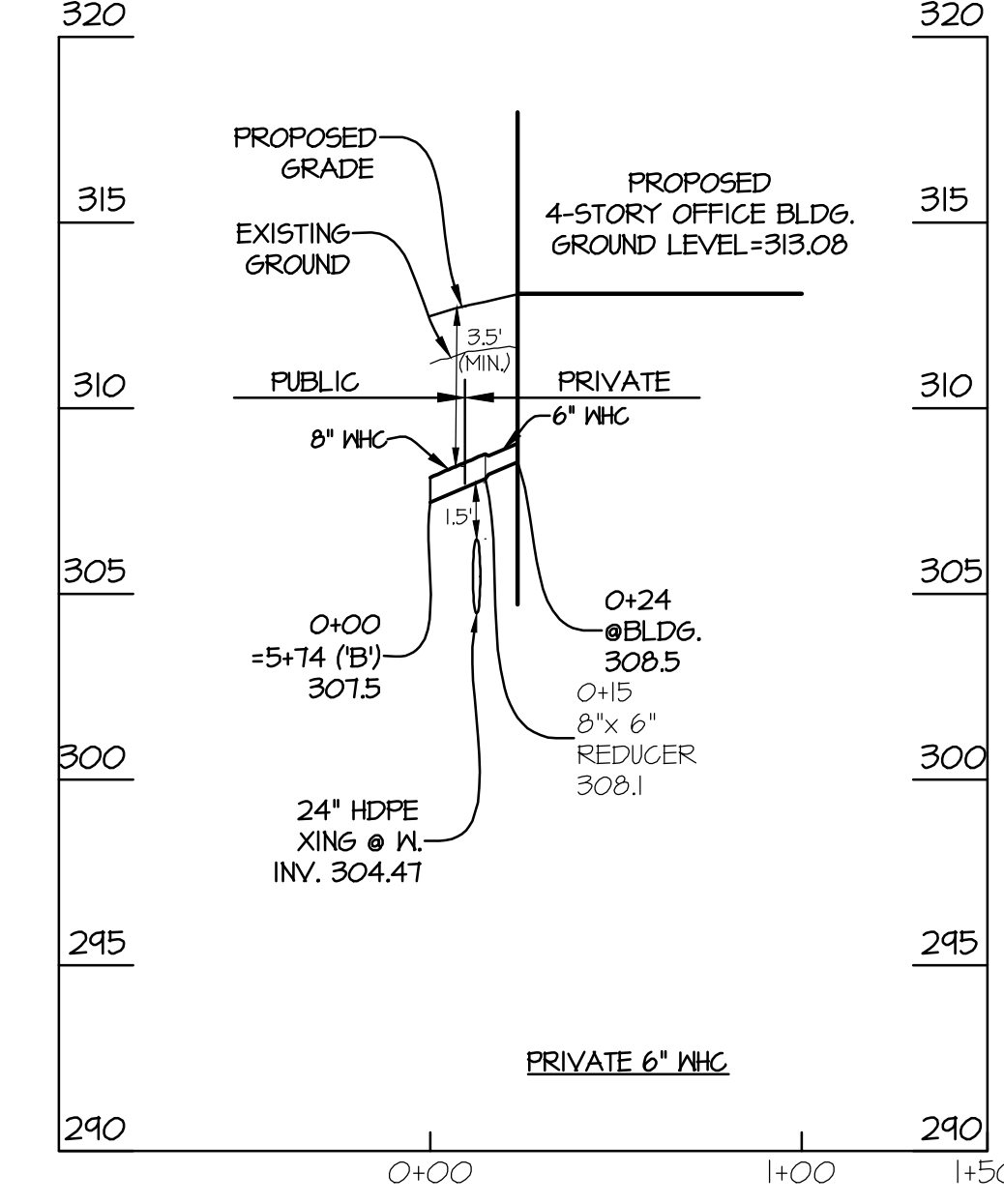
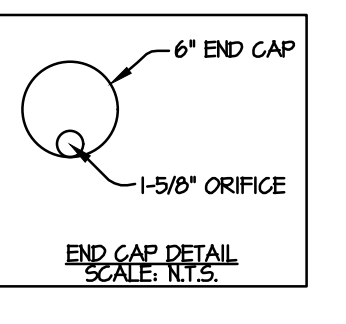
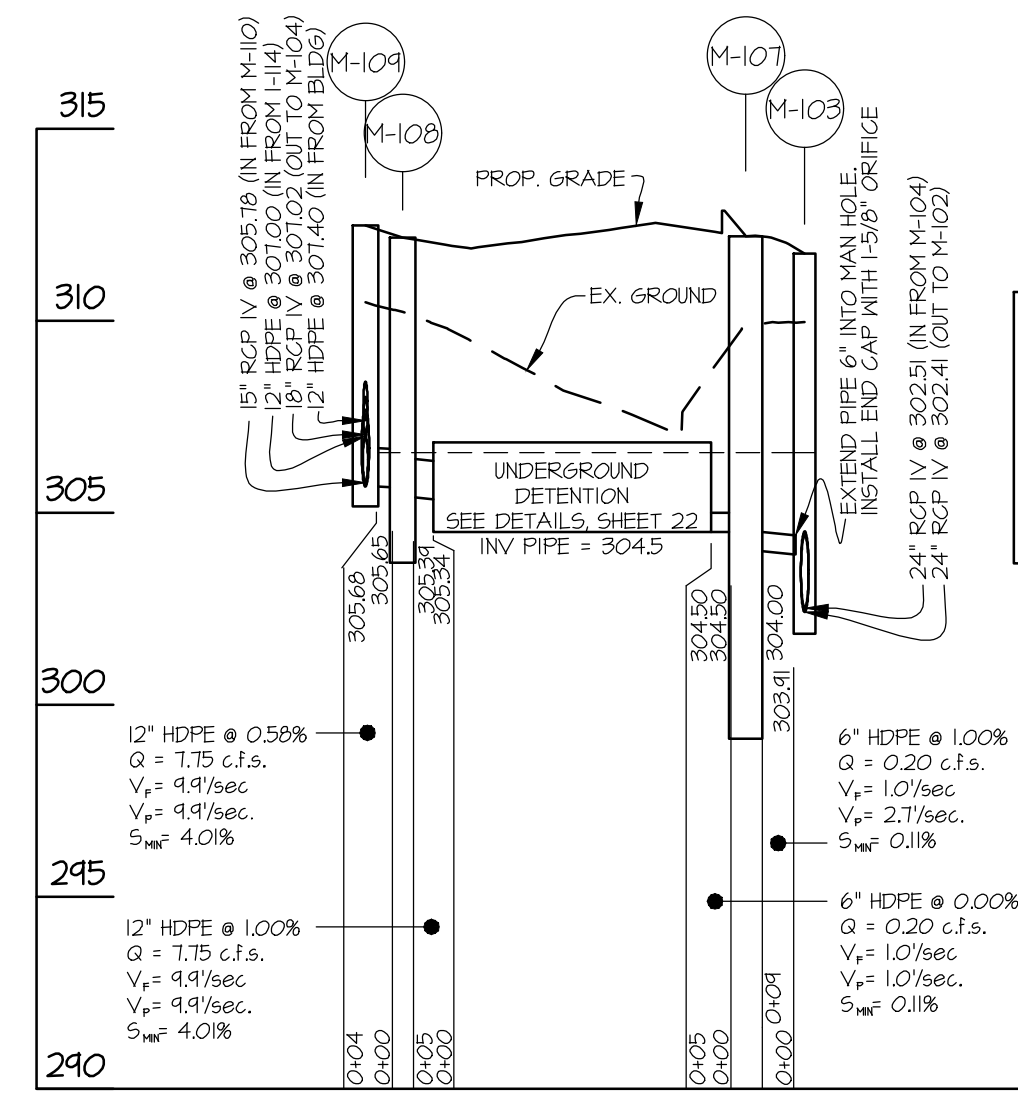
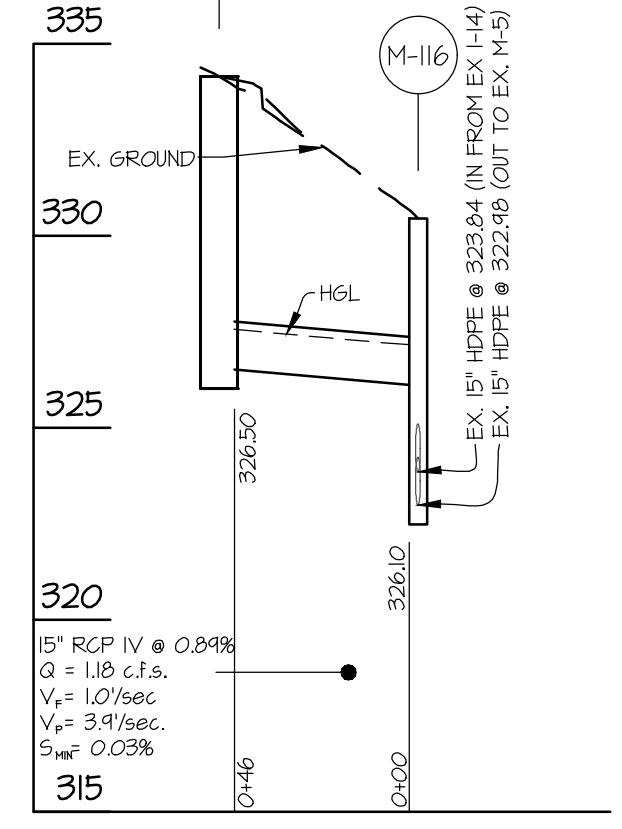
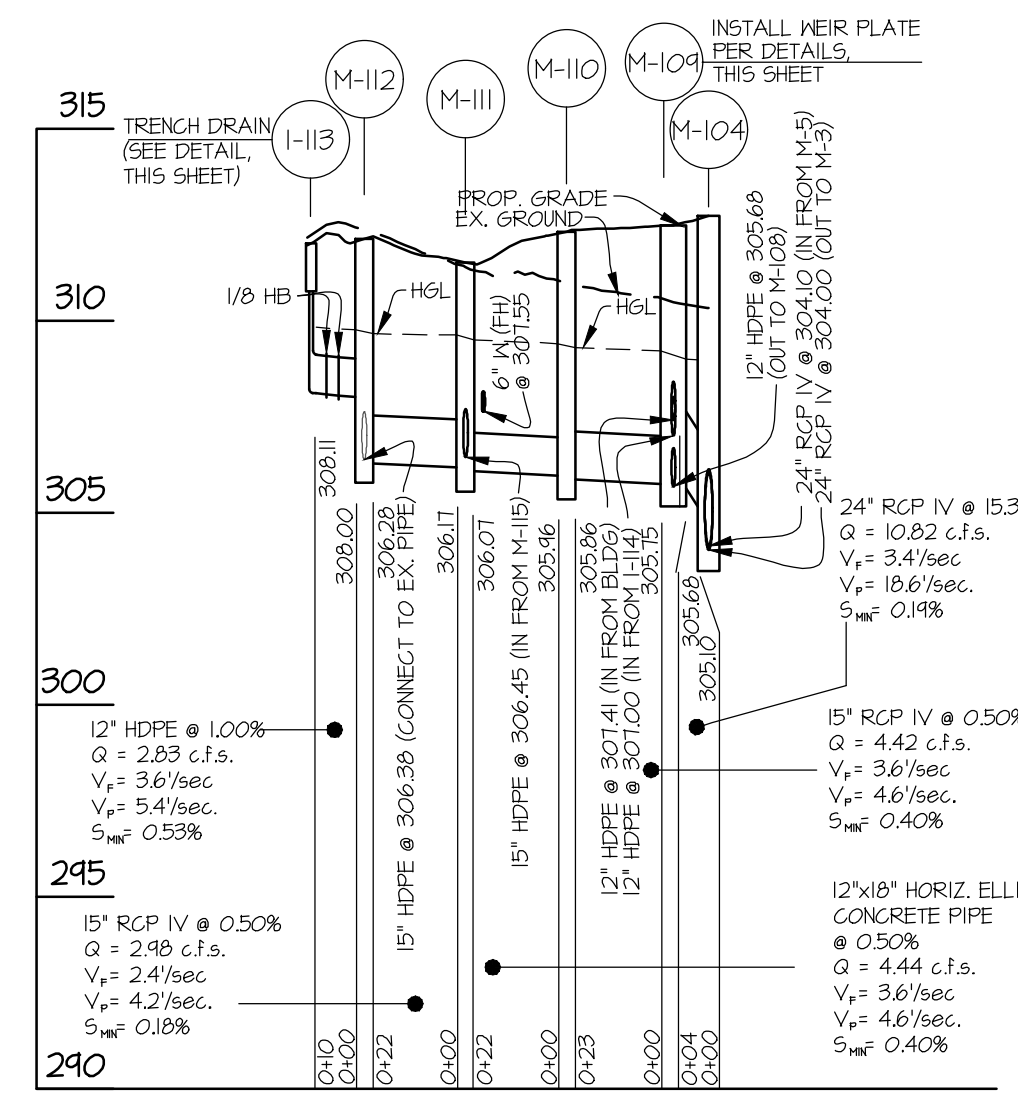
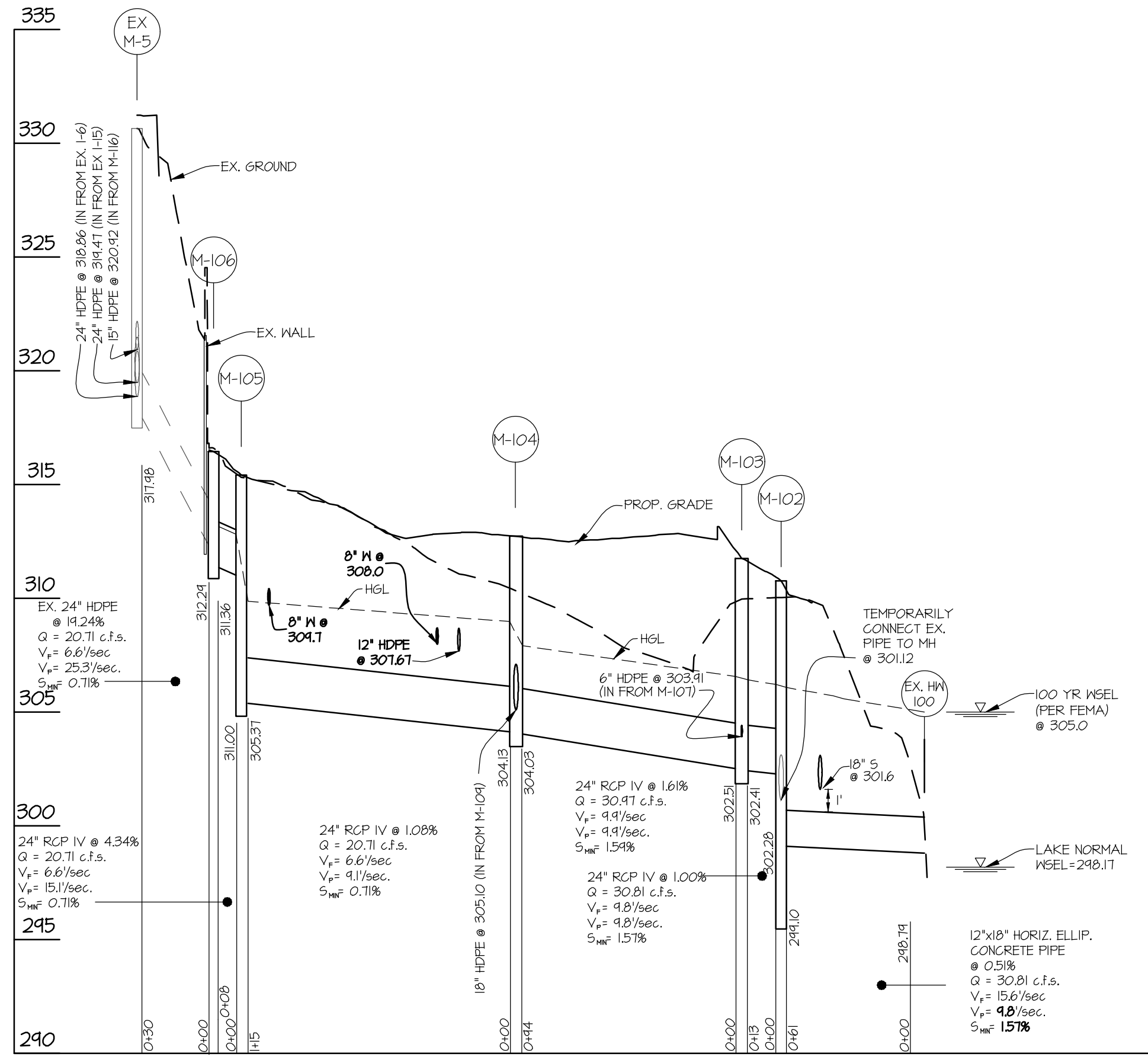
**UTILITY PLAN**

**SOUTHLAKE OFFICE BUILDING**  
**DOWNTOWN COLUMBIA**  
**LAKEFRONT CORE NEIGHBORHOOD, PHASE I, PARCEL B**  
A REVISION OF SECTION 1, PARCEL B (PLAT No. XXXXX)  
PN: \_\_\_\_\_

ELECTION DISTRICT No. 5

SCALE	ZONING	G. L. W. FILE No.
1" = 20'	NT	18046
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HOWARD COUNTY, MARYLAND

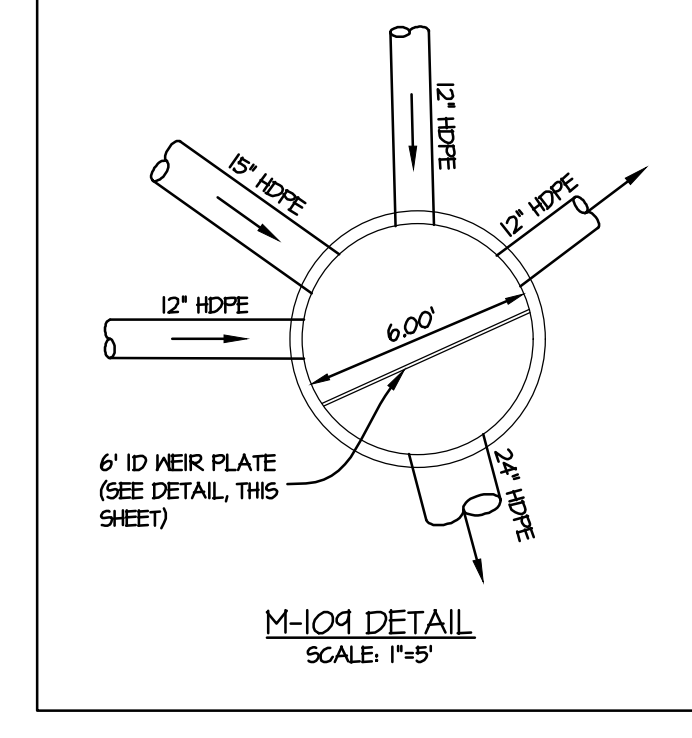


**Phoenix Precast Products**

1-800-639-2199 Fax (603) 224-2927

**6" ID Weir Plate**

77 Regional Drive Concord, NH 03301



PRIVATE SEWER PIPE SCHEDULE

SIZE	TYPE	QUANTITY (LJ)	REMARKS
6"	PVC	116	
8"	PVC	8	

STRUCTURE SCHEDULE

NO	TYPE	WIDTH (INSIDE)	TOP ELEVATION		INVERT		STD. DETAIL	LOCATIONS	PRIVATE/PUBLIC
			PROPOSED	AS-BUILT	PROPOSED	AS-BUILT			
M-102	STANDARD MANHOLE	4.0'	310.51	---	302.28	294.10	HO. CO. 6-512	N 563,995J E 1363,901B	PRIVATE
M-103	STANDARD MANHOLE	5.0'	311.61	---	303.41	302.41	HO. CO. 6-513	N 563,992J E 1363,240A	PRIVATE
M-104	STANDARD MANHOLE	4.0'	312.40	---	306.80	304.00	HO. CO. 6-512	N 563,992J E 1363,2042	PRIVATE
M-105	STANDARD MANHOLE	4.0'	315.55	---	311.00	305.97	HO. CO. 6-512	N 563,992J E 1363,0785	PRIVATE
M-106	STANDARD MANHOLE	4.0'	316.55	---	312.21	311.36	HO. CO. 6-512	N 563,940.T E 1363,0742	PRIVATE
M-107	STANDARD MANHOLE	8.0'	311.91	---	304.50	304.00	HO. CO. 6-512	N 563,966.B E 1363,244.0	PRIVATE
M-108	STANDARD MANHOLE	4.0'	312.15	---	306.65	305.40	HO. CO. 6-512	N 563,966.B E 1363,2045	PRIVATE
M-109	STANDARD MANHOLE	5.0'	312.46	---	307.40	305.68	HO. CO. 6-513	N 563,961.0 E 1363,946.0	PRIVATE
M-110	STANDARD MANHOLE	4.0'	312.31	---	305.96	305.86	HO. CO. 6-512	N 563,971.2 E 1363,147.0	PRIVATE
M-111	STANDARD MANHOLE	4.0'	311.52	---	306.45	306.07	HO. CO. 6-512	N 563,971.J E 1363,147.0	PRIVATE
M-112	STANDARD MANHOLE	4.0'	312.33	---	308.00	306.28	HO. CO. 6-512	N 563,971.J E 1363,1215	PRIVATE
I-113	TRENCH DRAIN	2'	312.22	---	---	---	SEE DETAIL THIS SHEET		
I-114	S INLET	2.0'	311.21	---	---	307.51	HO. CO. D-424	N 563,980.8 E 1363,223.7	PRIVATE
M-115	STANDARD MANHOLE	4.0'	310.72	---	306.84	306.50	HO. CO. 6-512	N 563,940.4 E 1363,417.8	PRIVATE
M-116	STANDARD MANHOLE	4.0'	330.44	---	---	326.10	HO. CO. 6-512	N 563,953.J E 1363,080.5	PRIVATE
I-117	A-10 INLET	2.5'	333.35	---	---	326.50	HO. CO. D-403	N 563,928.4 E 1363,008.4	PRIVATE

PIPE SCHEDULE

SIZE	TYPE	QUANTITY (LJ)	REMARKS
6"	PVC	14	
12"	HDPE	103	
15"	RCP GL IV	101	
24"	RCP GL IV	410	
12"x8"	HORIZ. ELLIP. RCP	22	
18"x30"	HORIZ. ELLIP. RCP	61	

NOTE: ALL NYLOPLAST STRUCTURES MAY BE SUBSTITUTED FOR AN EQUIVALENT STRUCTURE

NOTE: PROVIDE RUBBER GASKETS ALL RCP PIPING

APPROVED  
PLANNING BOARD OF HOWARD COUNTY

Date: \_\_\_\_\_

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director: \_\_\_\_\_ Date: \_\_\_\_\_

Chief, Division of Land Development: \_\_\_\_\_ Date: \_\_\_\_\_

Chief, Development Engineering Division: \_\_\_\_\_ Date: \_\_\_\_\_

**GLW**  
PLANNING | ENGINEERING | SURVEYING

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DESIGNED BY: XXX

DRAWN BY: XXX

CHECKED BY: XXX

DATE	REVISION	BY	APPR.

PREPARED FOR:

OWNER: CLOVER ACQUISITIONS LLC  
C/O THE HOWARD HUGHES CORP.  
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STORM DRAIN AND PRIVATE SEWER PROFILES

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**DOWNTOWN COLUMBIA**  
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A REVISION OF SECTION I, PARCEL B (PLAT No. XXXXX)

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DATE	TAX MAP - GRID	SHEET
JUNE, 2022	36 - 2	18 OF 52

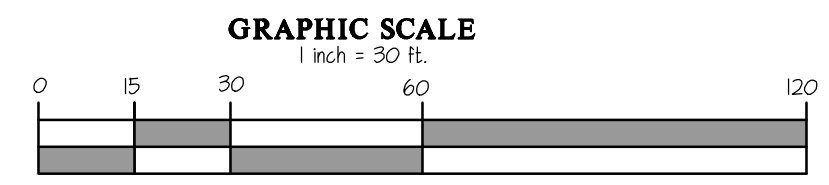
HOWARD COUNTY, MARYLAND

'C' FACTOR COMPUTATIONS			
STRUCTURE	AREA (AC.)	'C'	IMPERVIOUS
EX I-1	0.15 Ac.	0.86	100%
EX I-6	0.52 Ac.	0.12	76%
EX I-13	0.46 Ac.	0.12	75%
EX I-14	0.15 Ac.	0.86	100%
EX I-17	0.16 Ac.	0.86	100%
RD-120	0.71 Ac.	0.86	100%



--- EXISTING STORMDRAIN DRAINAGE DIVIDE (SDP-13-23)  
 - - - - - STORMDRAIN DRAINAGE DIVIDE

SOILS (on site)  
 Map Unit Map Unit Name Type K Factor  
 UB Urban land-thermophilic complex, 0 to 8 percent slopes D 0.28



**APPROVED**  
**PLANNING BOARD OF HOWARD COUNTY**  
 Date: \_\_\_\_\_

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director \_\_\_\_\_ Date \_\_\_\_\_  
 Chief, Division of Land Development \_\_\_\_\_ Date \_\_\_\_\_  
 Chief, Development Engineering Division \_\_\_\_\_ Date \_\_\_\_\_

3989 NATIONAL DRIVE | SUITE 250 | BURTONSVILLE, MD 20886 | GLWPA.COM  
 PHONE: 301-421-4024 | BALT: 410-880-1820 | DC&VA: 301-989-2524 | FAX: 301-421-4188

DESIGNED BY	DRAWN BY	CHECKED BY	DATE	REVISION	BY	APPR.
dds	dds					

PREPARED FOR:

OWNER: CLOVER ACQUISITIONS LLC  
 C/O THE HOWARD HUGHES CORP.  
 PO BOX 131298  
 CARLSBAD CA 92013

DEVELOPER: THE HOWARD RESEARCH AND DEVELOPMENT CORP.  
 10960 GRANTCHESTER WAY, SUITE 110  
 COLUMBIA, MD 21044  
 ATTN: GABRIEL CHUNG  
 410-964-4800

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975, EXPIRATION DATE: MAY 26, 2024

**STORMDRAIN DRAINAGE AREA MAP**  
**SOUTHLAKE OFFICE BUILDING**  
**DOWNTOWN COLUMBIA**  
**LAKEFRONT CORE NEIGHBORHOOD, PHASE I, PARCEL B**  
 A REVISION OF SECTION I, PARCEL B (PLAT No. XXXXX)  
 PN: \_\_\_\_\_

ELECTION DISTRICT No. 5  
 HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE NO.
1" = 30'	NT	18046
DATE	TAX MAP - GRID	SHEET
JUNE, 2022	36 - 2	19 OF 52

L:\CADD\DRAWINGS\18046\PLANS BY GLW\SDP\18046 SD DAM.dwg  
 PLOTTED: 6/7/2022 4:01 PM, LAST SAVED: 6/7/2022 4:01 PM, PLOTTED BY: Don Swannery  
 © GLW 2021

STORMWATER MANAGEMENT REQUIREMENT	
DEVELOPMENT AREA :	80,458 SF.
% IMPERVIOUS:	73.2%
Rv:	0.104
TARGET P <sub>e</sub> (100% D SOILS):	1.8"
REQUIRED ESDV:	$A \times Rv \times Pe/12 = (80,458 \times 0.104 \times 1.8)/12 = 8,609 \text{ cf}$

STORMWATER MANAGEMENT RECHARGE	
DEVELOPMENT AREA :	80,458 SF
% IMPERVIOUS:	73.2%
Rv:	0.104
RECHARGE FACTOR:	0.01
REQUIRED RECHARGE:	$5 \times Rv \times A/12 = (0.01 \times 0.104 \times 80,458)/12 = 335 \text{ cf}$
RECHARGE PROVIDED BY STONE BELOW CHAMBERMAXX CHAMBER:	443 CF

ESD SUMMARY TABLE				
AREA NO.	AREA (SF)	IMPERVIOUS	ESDv (CF)	P <sub>e</sub> PROVIDED
DA 1	68,980	88%	9,235	1.90
TOTAL	68,980	88%	9,235	---
REQUIRED ESDv			PROVIDED ESDv	
8,609 cf			9,235 cf	

NOTE: ALL STORMWATER MANAGEMENT FACILITIES WILL BE PRIVATELY OWNED AND MAINTAINED BY THE PROPERTY OWNER.

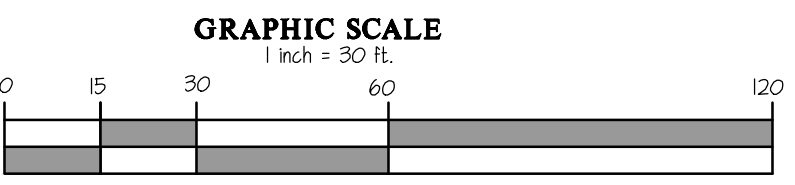
STORMWATER MANAGEMENT PROVIDED BY DEVICE	
STORM FILTER (F-2):	4,865 CU-FT
STORMCEPTOR:	4,370 CU-FT
TOTAL:	9,235 CU-FT

- LEGEND**
- A** SPLITTER MANHOLE
  - B** STORMCEPTOR STC-400 SEE DETAIL SHEET 21
  - C** 58 - CONTECH CHAMBERMAXX CHAMBERS SURROUNDED IN STONE. 4,370 CF OF STORAGE SEE DETAIL SHEET 22
  - D** STORMFILTER SFM416 W/ NINE 21" CARTRIDGES SEE DETAIL SHEET 21

**---** STORMWATER DRAINAGE DIVIDE

**B-23** SOIL BORINGS BY EGS FROM GEOTECH REPORT, DATED 10/8/21

SOILS (on site)	Map Unit	Map Unit Name	Type	K Factor
UB	Urban land-urban/therms complex, 0 to 8 percent slopes		D	0.28



**APPROVED**  
PLANNING BOARD OF HOWARD COUNTY

Date: \_\_\_\_\_

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director: \_\_\_\_\_ Date: \_\_\_\_\_

Chief, Division of Land Development: \_\_\_\_\_ Date: \_\_\_\_\_

Chief, Development Engineering Division: \_\_\_\_\_ Date: \_\_\_\_\_

3909 NATIONAL DRIVE | SUITE 250 | BURTONSVILLE, MD 20866 | GLW@PA.COM  
PHONE: 301-421-4024 | BALT: 410-880-1820 | DC&VA: 301-989-2524 | FAX: 301-421-4188

DESIGNED BY:	CHECKED BY:	DATE	REVISION	BY	APPR.
dds	dds				

PREPARED FOR:

**OWNER:**  
CLOVER ACQUISITIONS LLC  
C/O THE HOWARD HUGHES CORP.  
PO BOX 131298  
CARLSBAD CA 92013

**DEVELOPER:**  
THE HOWARD RESEARCH AND DEVELOPMENT CORP.  
10960 GRANTCHESTER WAY, SUITE 110  
COLUMBIA, MD 21044  
ATTN: GABRIEL CHUNG  
410-964-4800

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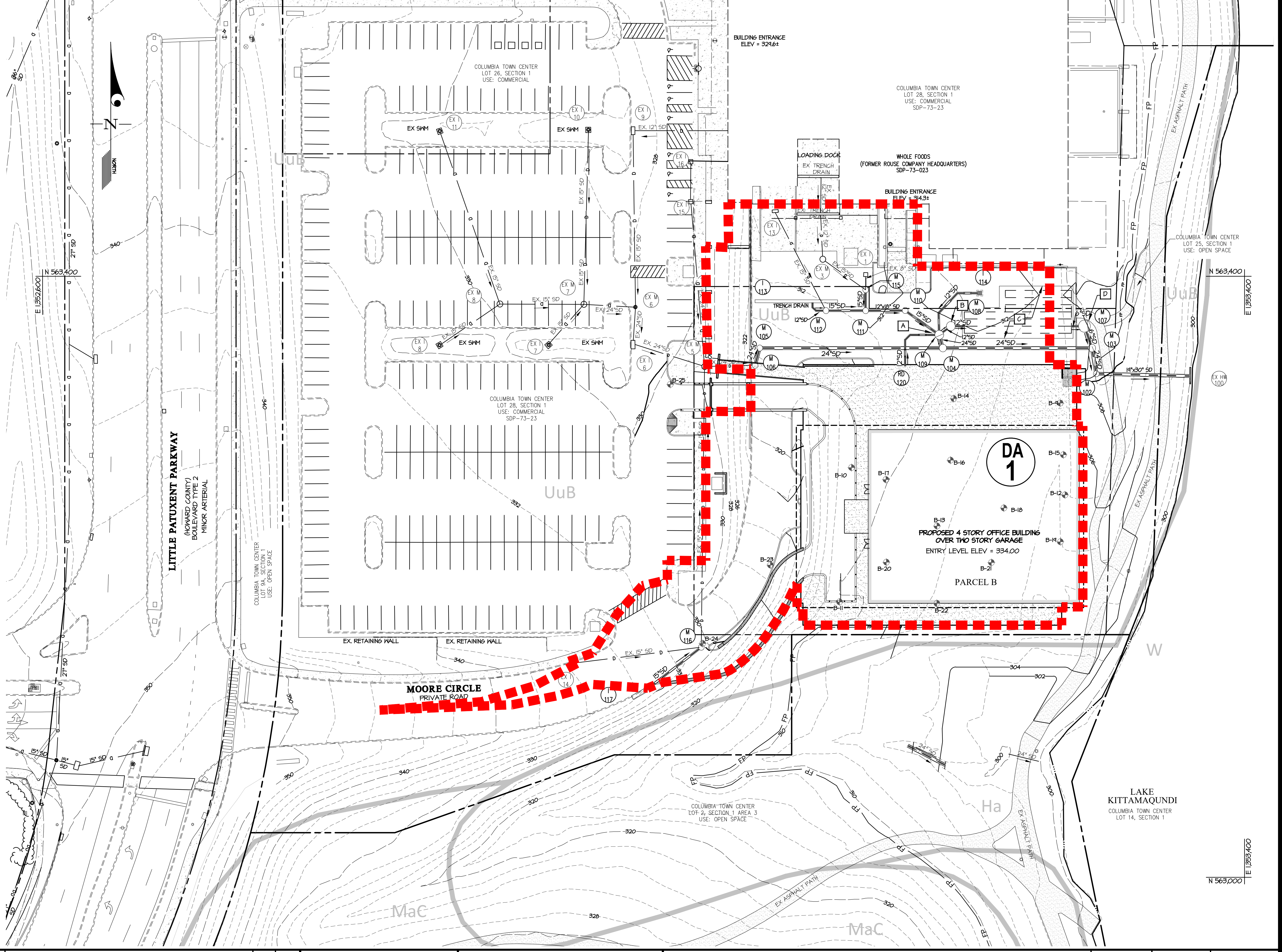
**STORMWATER MANAGEMENT DRAINAGE AREA MAP**

**SOUTHLAKE OFFICE BUILDING**  
**DOWNTOWN COLUMBIA**  
**LAKEFRONT CORE NEIGHBORHOOD, PHASE I, PARCEL B**  
A REVISION OF SECTION I, PARCEL B (PLAT No. XXXXX)

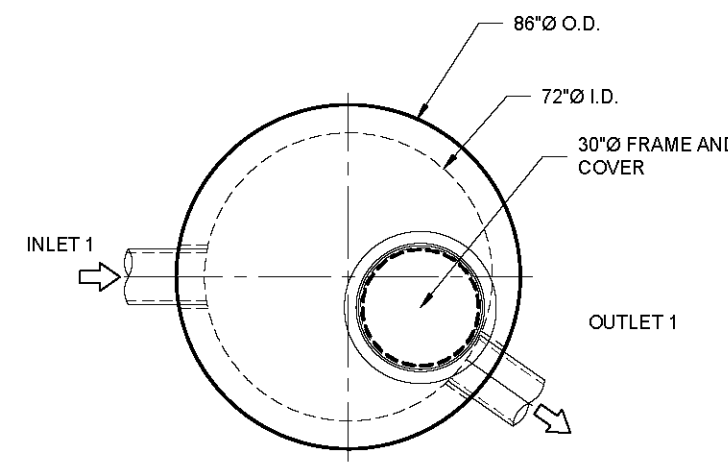
ELECTION DISTRICT No. 5

HOWARD COUNTY, MARYLAND

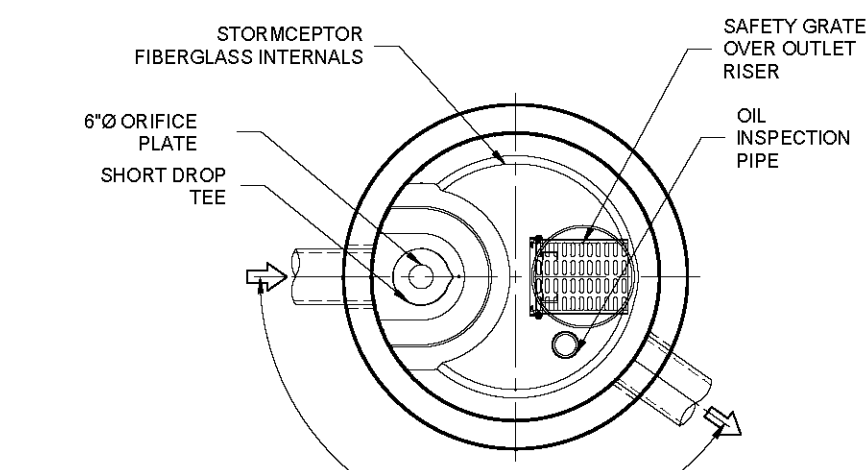
SCALE	ZONING	G. L. W. FILE NO.
1" = 30'	NT	18046
DATE	TAX MAP - GRID	SHEET
JUNE, 2022	36 - 2	20 OF 52



L:\CADD\DRAWINGS\18046\PLANS BY GLW\SDP\18046 SWM DAM.dwg  
 PLOTTED: 6/7/2022 4:03 PM, LAST SAVER: 4/17/2022 2:08 PM, PLOTTED BY: Dan Swenney  
 © GLW 2021



PLAN VIEW  
INTERNALS NOT SHOWN



SECTION FOR PIPE ORIENTATION  
TOP SLAB NOT SHOWN

MATERIAL LIST - PROVIDED BY CONTECH

COUNT	DESCRIPTION	INSTALLED BY
1	STC900 60 FIBERGLASS SINGLE INSERT, STD	CONTECH
1	FIBERGLASS 6" ORIFICE PLATE	CONTECH
1	FIBERGLASS SHORT 6" DROP TEE	CONTECH
1	ALUMINUM 24" SAFETY GRATE	CONTECH
2	6" PVC OIL INSPECTION PIPE	CONTECH
1	6" PVC COUPLING	CONTECH
1	SEALANT FOR JOINTS	CONTRACTOR
1	PLC GRADE RINGS/RISERS	CONTRACTOR
1	30" x 4" FRAME AND COVER, EJ #41800484, OR EQUIV.	CONTRACTOR

GENERAL NOTES

- CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
- FOR FABRICATION DRAWINGS WITH DETAILED STRUCTURE DIMENSIONS AND WEIGHTS, PLEASE CONTACT YOUR CONTECH REPRESENTATIVE. [www.conteches.com](http://www.conteches.com)
- STORMCEPTOR WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING. CONTRACTOR TO CONFIRM STRUCTURE MEETS REQUIREMENTS OF PROJECT.
- STRUCTURE SHALL MEET AASHTO HS-20 LOAD RATING, ASSUMING EARTH COVER OF 0'-2" AND GROUNDWATER ELEVATION AT OR BELOW THE OUTLET PIPE INVERT ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION. CASTINGS SHALL MEET AASHTO M308 AND BE CAST WITH THE CONTECH LOGO.
- STORMCEPTOR STRUCTURE SHALL BE PRECAST CONCRETE CONFORMING TO ASTM C-478 AND AASHTO LOAD FACTOR DESIGN METHOD.

INSTALLATION NOTES

- ANY SUB-BASE, BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
- CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE STORMCEPTOR MANHOLE STRUCTURE.
- CONTRACTOR TO ADD JOINT SEALANT BETWEEN ALL STRUCTURE SECTIONS, AND ASSEMBLE STRUCTURE.
- CONTRACTOR TO PROVIDE, INSTALL, AND GROUT PIPES. MATCH PIPE INVERTS WITH ELEVATIONS SHOWN. ALL PIPE CENTERLINES TO MATCH PIPE OPENING CENTERLINES.
- CONTRACTOR TO TAKE APPROPRIATE MEASURES TO ASSURE UNIT IS WATER TIGHT, HOLDING WATER TO FLOWLINE INVERT MINIMUM. IT IS SUGGESTED THAT ALL JOINTS BELOW PIPE INVERTS ARE GROUTED.

MAXIMUM FOOTPRINT = 7.17'0"

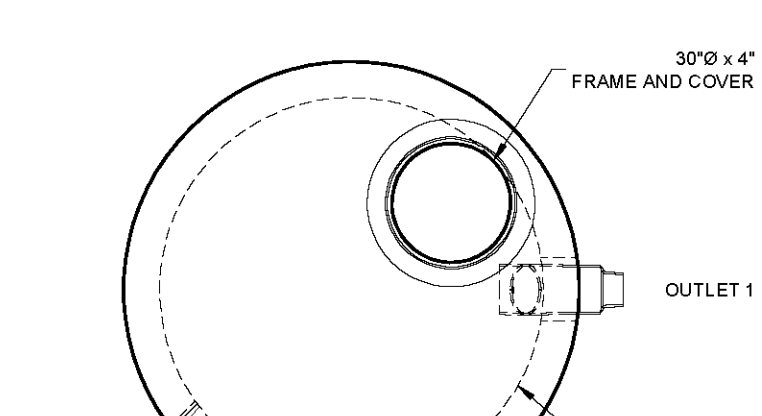
CONTECH  
PROPOSAL  
DRAWING

STC900 - 687286-010  
SOUTH LAKE MEDICAL OFFICE BUILDING  
COLUMBIA, MD  
SITE DESIGNATION: M-107/B

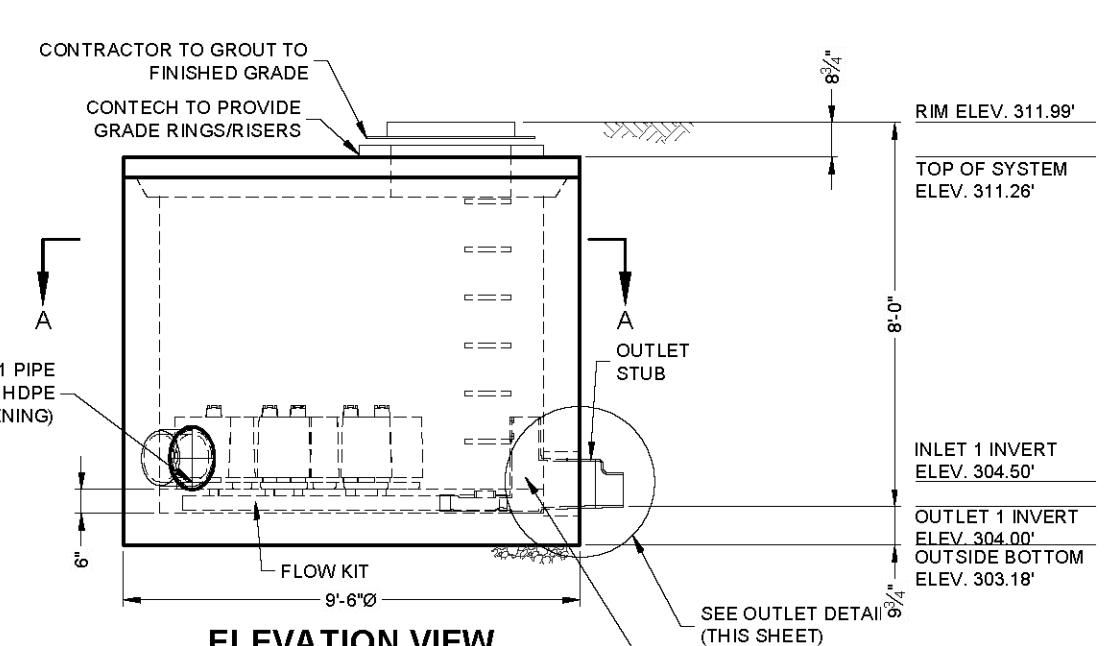
CONTECH ENGINEERING SOLUTIONS, LLC  
www.conteches.com  
Stormceptor™

DATE: XX/XX/XX  
DESIGNED BY: BAB XXX  
CHECKED BY: BAB BAB  
PROJECT NO.: 687286 010  
SHEET: 1 OF 1

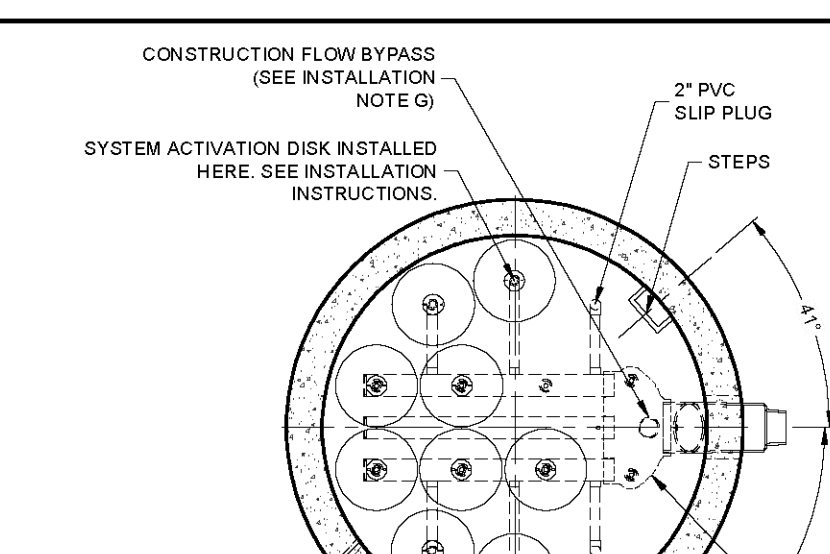
GILL LAYOUT ZA



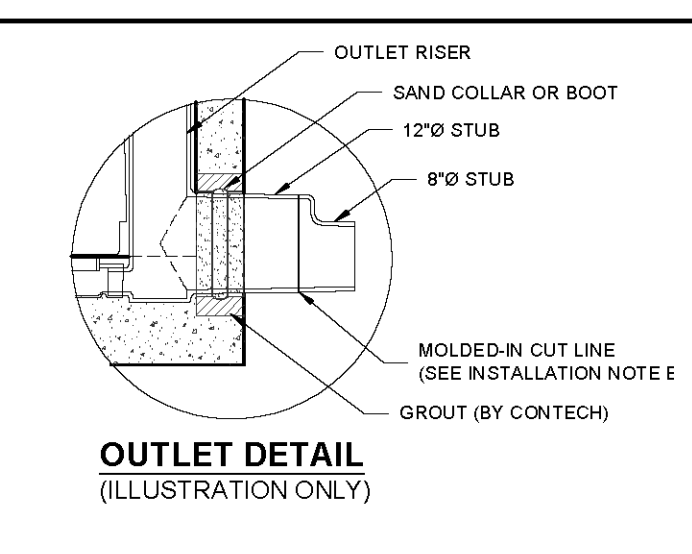
PLAN VIEW  
CARTRIDGES AND FLOW KIT NOT SHOWN



ELEVATION VIEW



SECTION A-A



OUTLET DETAIL  
(ILLUSTRATION ONLY)

SITE DESIGN DATA

WATER QUALITY VOLUME	4370 CF
PEAK FLOW RATE	OFFLINE
RETURN PERIOD OF PEAK FLOW	N/A
FILTER MEDIA TYPE	CSF

PERFORMANCE SPECIFICATION

FILTER CARTRIDGES SHALL BE MEDIA-FILLED, PASSIVE, SIPHON ACTUATED, RADIAL FLOW, AND SELF-CLEANING. RADIAL MEDIA DEPTH SHALL BE 7-INCHES. FILTER MEDIA CONTACT TIME SHALL BE AT LEAST 30 SECONDS. SPECIFIC FLOW RATE SHALL BE 8 GPM/CF (MAXIMUM). SPECIFIC FLOW RATE IS THE MEASURE OF THE FLOW (GPM) DIVIDED BY THE MEDIA SURFACE CONTACT AREA (SF). MEDIA VOLUMETRIC FLOW RATE SHALL BE 6 GPM/CF OF MEDIA (MAXIMUM).

GENERAL NOTES

- CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
- FOR FABRICATION DRAWINGS WITH DETAILED STRUCTURE DIMENSIONS AND WEIGHT, PLEASE CONTACT YOUR CONTECH ENGINEERED SOLUTIONS, LLC REPRESENTATIVE. [www.conteches.com](http://www.conteches.com)
- STORMCEPTOR WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING. CONTRACTOR TO CONFIRM STRUCTURE MEETS REQUIREMENTS OF PROJECT.
- STRUCTURE SHALL MEET AASHTO HS-20 LOAD RATING, ASSUMING EARTH COVER OF 0'-5" AND GROUNDWATER ELEVATION AT OR BELOW THE OUTLET PIPE INVERT ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION. CASTINGS SHALL MEET AASHTO M308 LOAD RATING AND BE CAST WITH THE CONTECH LOGO.
- STORMCEPTOR STRUCTURE SHALL BE PRECAST CONCRETE CONFORMING TO ASTM C-478 AND AASHTO LOAD FACTOR DESIGN METHOD.

INSTALLATION NOTES

- ANY SUB-BASE, BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
- CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE STORMCEPTOR STRUCTURE.
- CONTRACTOR TO INSTALL JOINT SEALANT BETWEEN ALL STRUCTURE SECTIONS AND ASSEMBLE STRUCTURE.
- CONTRACTOR TO PROVIDE, INSTALL, AND GROUT INLET PIPES. ALL PIPE CENTERLINES TO MATCH PIPE OPENING CENTERLINES.
- CONTRACTOR TO PROVIDE AND INSTALL CONNECTOR TO THE OUTLET RISER STUB. STORMCEPTOR EQUIPPED WITH A DUAL DIAMETER HOPE OUTLET STUB. IF OUTLET PIPE IS LARGER THAN 8 INCHES, CONTRACTOR TO REMOVE THE 8 INCH OUTLET STUB AT MOLDED-IN CUT LINE. COUPLING BY FERROCO OR EQUAL AND PROVIDED BY CONTRACTOR.
- CONTRACTOR TO TAKE APPROPRIATE MEASURES TO PROTECT CARTRIDGES FROM CONSTRUCTION-RELATED EROSION RUNOFF.
- CONTRACTOR TO INSTALL SUPPLIED PLUG IN CONSTRUCTION FLOW BYPASS WHEN SYSTEM IS BROUGHT ON LINE (PRESSURE FIT ONLY, DO NOT GLUE).

MATERIAL LIST (PROVIDED BY CONTECH)

COUNT	DESCRIPTION	INSTALLED BY
9	27" CSF CARTRIDGE	CONTECH
14	VOLUME GPM RESTRICTOR DISK (PURPLE POLY DISK)	CONTECH
5	2" PVC SLIP PLUG	CONTECH
1	43A-DD FLOWKIT	CONTECH
1	SF ACTIVATION DISK	CONTECH
1	SEALED OUTLET RISER	CONTECH
6	STEPS, PICTETS, LANE LADDER, OR EQUIV.	CONTECH
1	SEALANT FOR JOINTS	CONTRACTOR
1	PLC GRADE RINGS/RISERS	CONTRACTOR
1	30" x 4" FRAME & COVER, EJ#41800484, OR EQUIV.	CONTRACTOR

CONTECH  
PROPOSAL  
DRAWING

CONTECH ENGINEERING SOLUTIONS, LLC  
www.conteches.com  
Stormceptor™

DATE: 12/02/21 SCALE: 1/4" = 1'-0"  
DESIGNED BY: BAB BAB  
CHECKED BY: BAB BAB  
PROJECT NO.: 687286 010  
SHEET: 1 OF 1

GILL LAYOUT ZA  
6788 / 453079

STORMFILTER SFM106 - 687286-30  
BUILDING  
SOUTH LAKE MEDICAL OFFICE  
COLUMBIA, MD  
for SYSTEM: M-107/D

OPERATION AND MAINTENANCE SCHEDULE FOR

PRIVATELY OWNED AND MAINTAINED STORMCEPTOR WATER QUALITY DEVICE

- THE OWNER SHALL INSPECT THE STORMCEPTOR WATER QUALITY STRUCTURE PERIODICALLY AND CLEAN IT TO MAINTAIN PROPER OPERATION AND FUNCTION. THE OWNER SHALL INSPECT THE STORMCEPTOR UNIT YEARLY AT A MINIMUM, UTILIZING THE STORMCEPTOR INSPECTION/MONITORING FORM. INSPECTIONS SHALL BE DONE BY USING A CLEAR FLEXGLASS TIE ("SLUDGE JUDGE") TO EXTRACT A WATER COLUMN SAMPLE. WHEN THE SEDIMENT DEPTHS EXCEED THE LEVEL SPECIFIED IN TABLE 6 OF THE STORMCEPTOR TECHNICAL MANUAL, THE STORMCEPTOR UNIT MUST BE CLEANED.
- THE OWNER SHALL CHECK AND CLEAN IMMEDIATELY THE STORMCEPTOR WATER QUALITY STRUCTURE AFTER PETROLEUM SPILLS. THE OWNER SHALL CONTACT THE APPROPRIATE REGULATORY AGENCIES AND CLEAN THE PETROLEUM SPILLS IN ACCORDANCE WITH ALL APPLICABLE LAWS AND REGULATIONS.
- THE MAINTENANCE OF THE STORMCEPTOR UNIT SHALL BE DONE USING A VACUUM TRUCK WHICH WILL REMOVE THE WATER, SEDIMENT, DEBRIS, FLOATING HYDROCARBONS AND OTHER MATERIALS IN THE STORMCEPTOR UNIT. THE OWNER SHALL FOLLOW ALL REQUIREMENTS FOR THE PROPER CLEANING AND DISPOSAL OF THE REMOVED MATERIALS AND LIQUID.
- THE OWNER SHALL CHECK THE INLET AND OUTLET PIPES FOR ANY OBSTRUCTIONS AT LEAST ONCE EVERY SIX (6) MONTHS. IF OBSTRUCTIONS ARE FOUND, THE OWNER SHALL HAVE THEM REMOVED. THE OWNER SHALL REPAIR THE STRUCTURAL PARTS OF THE STORMCEPTOR UNIT AS NEEDED.
- THE OWNER SHALL RETAIN AND MAKE THE STORMCEPTOR INSPECTION/MONITORING FORMS AVAILABLE TO THE HOWARD COUNTY OFFICIALS UPON THEIR REQUEST.

OPERATION AND MAINTENANCE SCHEDULE FOR

PRIVATELY OWNED AND MAINTAINED UNDERGROUND STORMWATER FILTRATION SYSTEMS (F-2 AND F-3)

- THE SEDIMENT CHAMBER OUTLET DEVICES SHALL BE CLEANED AND/OR REPAIRED WHEN DRAWDOWN TIMES WITHIN THE CHAMBER EXCEED 36 HOURS.
- DEBRIS AND LITTER SHALL BE REMOVED AS NECESSARY TO INSURE PROPER OPERATION OF THE SYSTEM.
- SEDIMENT SHALL BE CLEANED OUT OF THE SEDIMENTATION CHAMBER WHEN IT ACCUMULATES TO A DEPTH OF 6 INCHES. VEGETATION WITHIN THE SEDIMENT CHAMBER SHALL BE LIMITED TO A HEIGHT OF 10 INCHES.
- WHEN WATER POUNDS ON THE SURFACE OF THE FILTER BED FOR MORE THAN 12 HOURS, THE TOP FEW INCHES OF DISCOLORED MATERIAL SHALL BE REPLACED WITH FRESH MATERIAL. PROPER CLEANING AND DISPOSAL OF THE REMOVED MATERIALS AND LIQUID MUST BE FOLLOWED BY THE OWNER.
- A LOGBOOK SHALL BE MAINTAINED TO DETERMINE THE RATE AT WHICH THE FACILITY DRAINS.
- THE MAINTENANCE LOGBOOK SHALL BE AVAILABLE TO HOWARD COUNTY FOR INSPECTION TO INSURE COMPLIANCE WITH OPERATION AND MAINTENANCE CRITERIA.
- ONCE THE PERFORMANCE CHARACTERISTICS OF THE INFILTRATION SYSTEM HAVE BEEN VERIFIED, THE MONITORING SCHEDULE CAN BE REDUCED TO AN ANNUAL BASIS UNLESS THE PERFORMANCE DATA INDICATES THAT A MORE FREQUENT SCHEDULE IS REQUIRED.

APPROVED  
PLANNING BOARD OF HOWARD COUNTY

Date: \_\_\_\_\_

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director \_\_\_\_\_ Date \_\_\_\_\_

Chief, Division of Land Development \_\_\_\_\_ Date \_\_\_\_\_

Chief, Development Engineering Division \_\_\_\_\_ Date \_\_\_\_\_

DESIGNED BY: XXXX

DRAWN BY: XXXX

CHECKED BY: XXXX

DATE	REVISION	BY	APPR.

PREPARED FOR:

OWNER: CLOVER ACQUISITIONS LLC  
C/O THE HOWARD HUGHES CORP.  
PO BOX 131298  
CARLSBAD CA 92013

DEVELOPER: THE HOWARD RESEARCH AND DEVELOPMENT CORP.  
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410-964-4800

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EXPIRATION DATE: MAY 26, 2024

STORMWATER DETAILS

**SOUTHLAKE OFFICE BUILDING  
DOWNTOWN COLUMBIA**

LAKEFRONT CORE NEIGHBORHOOD, PHASE I, PARCEL B  
A REVISION OF SECTION I, PARCEL B (PLAT No. XXXXX)

SCALE: AS SHOWN

ZONING: NT

G. L. W. FILE No.: 18046

DATE: JUNE, 2022

TAX MAP - GRID: 36 - 2

SHEET: 21 OF 46

ELECTION DISTRICT No. 5

PN: \_\_\_\_\_

HOWARD COUNTY, MARYLAND

L:\CADD\DRAWINGS\18046\PLANS BY GLW\SDP\18046 CONTECH DEETS.dwg, PLOTTED: 6/7/2022 4:05 PM, LAST SAVER: JFJ/2022 12:07 PM, PLOTTED BY: Don Schwemy

**PROJECT SUMMARY**

**DESIGN PARAMETERS**

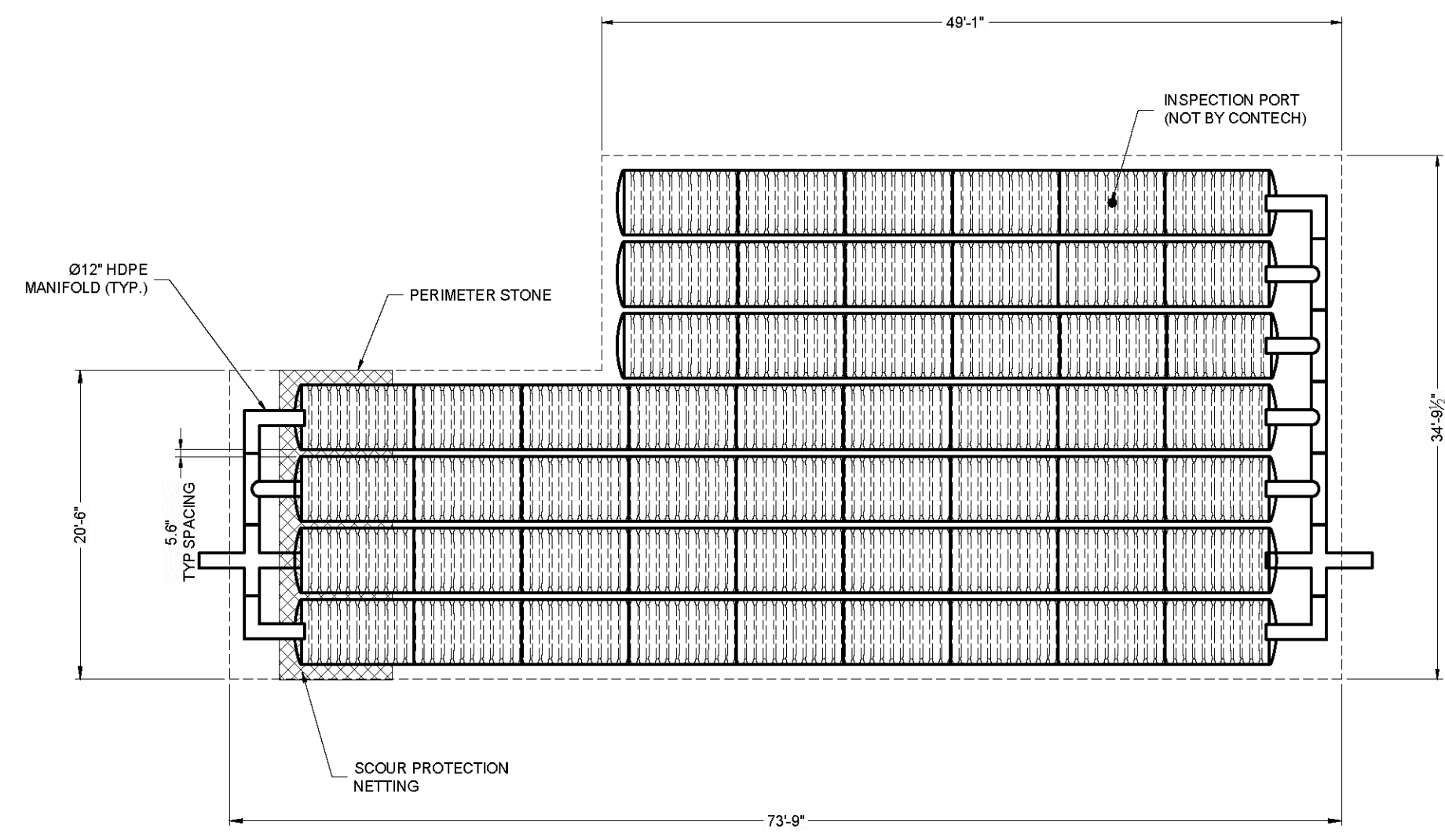
- PRETREATMENT METHOD = Hydrodynamic Separator
- STORAGE VOLUME REQUIRED = 4370ft<sup>3</sup>
- INVERT DEPTH = 7.5ft
- MANIFOLD DIAMETER = 12in.
- SPACING BETWEEN CHAMBERS = 5.6in.
- SIDE PERIMETER STONE WIDTH = 12in.
- END PERIMETER STONE WIDTH = 12in.
- TOP PERIMETER STONE WIDTH = 6in.
- BOTTOM PERIMETER STONE WIDTH = 6in.
- STONE POROSITY = 40%

**SYSTEM DETAILS**

- TOTAL ELBOW MANIFOLDS = 4
- TOTAL TEE MANIFOLDS = 5
- TOTAL START CHAMBERS = 7
- TOTAL MID CHAMBERS = 40
- TOTAL END CHAMBERS = 7
- TOTAL NUMBER OF CHAMBERS = 54
- NUMBER OF ROWS = 7
- CHAMBER STORAGE VOLUME = 2562 ft<sup>3</sup>
- MANIFOLD STORAGE VOLUME = 54ft<sup>3</sup>
- BACKFILL STORAGE VOLUME = 1811 ft<sup>3</sup>
- TOTAL STORAGE PROVIDED = 4427 ft<sup>3</sup>

**GENERAL NOTES**

1. ALL ELEVATIONS, DIMENSIONS AND LOCATIONS OF RISERS AND INLETS SHALL BE VERIFIED BY THE ENGINEER OF RECORD.
2. PRIOR TO INSTALLATION OF THE CHAMBERMAXX SYSTEM A PRE-CONSTRUCTION MEETING SHALL BE CONDUCTED. THOSE REQUIRED TO ATTEND ARE THE SUPPLIER OF THE SYSTEM, THE GENERAL CONTRACTOR, SUB-CONTRACTORS AND THE ENGINEER.
3. CHAMBERMAXX CHAMBERS ARE MANUFACTURED FROM POLYPROPYLENE PLASTIC.
4. CHAMBERMAXX SYSTEM TO MEET AASHTO H20/S20 LIVE LOADING, PER AASHTO LRFD SECTION 12.
5. ACCESS COVERS TO MEET AASHTO H20/S20 LIVE LOADING.
6. MINIMUM COVER IS 18-INCHES TO BOTTOM OF FLEXIBLE PAVEMENT OR TO TOP OF RIGID PAVEMENT. FOR COVER HEIGHTS GREATER THAN 96-INCHES CONTACT YOUR LOCAL REPRESENTATIVE.
7. ALL PARTS PROVIDED BY CONTECH UNLESS OTHERWISE NOTED.
8. FOR INFORMATION ON PRE-TREATMENT SYSTEMS, REFERENCE CONTECH PRE-TREATMENT SYSTEM STANDARD DETAILS OR CONTACT YOUR LOCAL REPRESENTATIVE.
9. CHAMBERMAXX BY CONTECH ENGINEERED SOLUTIONS (800) 925-5240

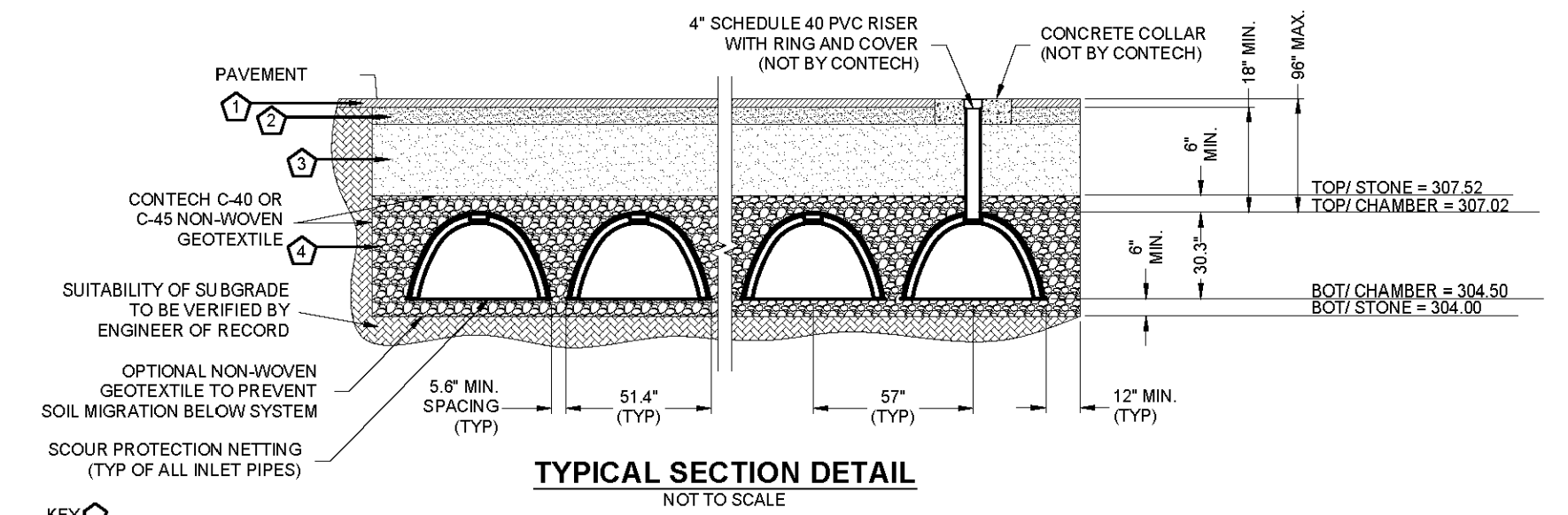


ASSEMBLY SCALE 1"=10'

				DYO11890 Southlake Office Building Southlake Office Building Columbia, MD CHAMBERMAXX		PROJECT No. 7429 SHEET No. 11890 DATE 12/01/2021
8301 State Highway 20 North, Alexandria, MN 56008 800-925-2047 320-962-7500 320-962-7007 FAX	8301 State Highway 20 North, Alexandria, MN 56008 800-925-2047 320-962-7500 320-962-7007 FAX	CONTECH DYODS DRAWING	CONTECH DYODS DRAWING	DATE: _____ REVISION DESCRIPTION: _____ BY: _____	DATE: _____ REVISION DESCRIPTION: _____ BY: _____	DATE: 12/01/2021 DRAWN: DYO APPROVED: DYO SHEET No. D1 of D3

**INSTALLATION NOTES**

1. CHAMBERMAXX INSTALLATION GUIDE TO BE REVIEWED BY CONTRACTOR PRIOR TO INSTALLATION.
2. PRIOR TO PLACING BEDDING, THE FOUNDATION MUST BE CONSTRUCTED TO A UNIFORM AND STABLE GRADE. IN THE EVENT THAT UNSUITABLE FOUNDATION MATERIALS ARE ENCOUNTERED DURING EXCAVATION, UNSUITABLE MATERIAL SHALL BE REMOVED AND BROUGHT BACK TO GRADE WITH FILL MATERIAL, AS APPROVED BY THE ENGINEER OF RECORD, ONCE THE FOUNDATION PREPARATION IS COMPLETE, THE BEDDING MATERIAL CAN BE PLACED.
3. THE SCOUR PROTECTION NETTING TO EXTEND 1'-0" BEYOND OUTSIDE EDGE OF INLET CHAMBERS.
4. COVER ANY OPEN VOID SPACES GREATER THAN 3/4" ON CHAMBERS WITH A NON-WOVEN GEOTEXTILE TO PREVENT INFILTRATION OF BACKFILL MATERIAL.
5. STONE EMBEDMENT MATERIAL SHALL BE INSTALLED TO 95% STANDARD PROCTOR DENSITY AND PLACED IN 6-INCH TO 8-INCH LIFTS SUCH THAT THERE IS NO MORE THAN A TWO LIFT DIFFERENTIAL BETWEEN ANY OF THE CHAMBERS AT ANY TIME. GRANULAR BACKFILL MATERIAL SHALL BE COMPACTED TO 90% STD. BACKFILLING SHALL BE ADVANCED ALONG THE LENGTH OF THE CHAMBER ROWS AT THE SAME RATE TO AVOID DIFFERENTIAL LOADING AND DISPLACEMENT OF THE CHAMBERS. THE MINIMUM CHAMBER SPACING MUST BE MAINTAINED.
6. REFER TO CHAMBERMAXX INSTALLATION GUIDE FOR TEMPORARY CONSTRUCTION LOADING GUIDELINES.
7. IT IS ALWAYS THE CONTRACTOR'S RESPONSIBILITY TO FOLLOW OSHA GUIDELINES FOR SAFE PRACTICES.
8. GENERAL INSTALLATION METHODS AND MATERIALS TO BE IN ACCORDANCE WITH ASTM D2231.



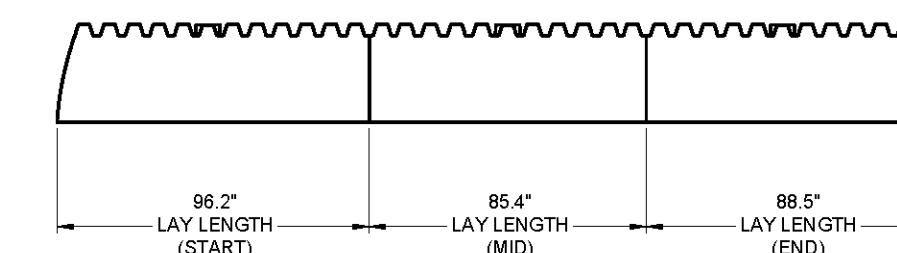
TYPICAL SECTION DETAIL NOT TO SCALE

**KEY**

1. FLEXIBLE PAVEMENT.
  2. GRANULAR ROAD BASE.
  3. ANY SUITABLE NATIVE OR GENERAL BACKFILL, SEE ENGINEER PLANS.
  4. THE BACKFILL MATERIAL SHALL BE FREE-DRAINING ANGULAR WASHED STONE 3/4" - 2" PARTICLE SIZE. MATERIAL SHALL BE PLACED IN 8"-10" MAXIMUM LIFTS. MATERIAL SHALL BE WORKED INTO THE CHAMBER SPACING BY MEANS OF SHOVEL-SLICING, RODDING, AIR-TAMPER, VIBRATORY ROD, OR OTHER EFFECTIVE METHODS. COMPACTION IS CONSIDERED ADEQUATE WHEN NO FURTHER YIELDING OF THE MATERIAL IS OBSERVED UNDER THE COMPACTOR, OR UNDER FOOT, AND THE PROJECT ENGINEER OR THEIR REPRESENTATIVE IS SATISFIED WITH THE LEVEL OF COMPACTION. INADEQUATE COMPACTION CAN LEAD TO EXCESSIVE DEFLECTIONS WITHIN THE SYSTEM AND SETTLEMENT OF THE SOILS OVER THE SYSTEM. BACKFILL SHALL BE PLACED SUCH THAT THERE IS NO MORE THAN A TWO-LIFT DIFFERENTIAL BETWEEN THE SIDES OF ANY CHAMBER IN THE SYSTEM AT ALL TIMES DURING THE BACKFILL PROCESS. BACKFILL SHALL BE ADVANCED ALONG THE LENGTH OF THE SYSTEM AT THE SAME RATE TO AVOID DIFFERENTIAL LOADING ON ANY PIPES IN THE SYSTEM.
- EQUIPMENT USED TO PLACE AND COMPACT THE BACKFILL SHALL BE OF A SIZE AND TYPE SO AS NOT TO DISTORT, DAMAGE, OR DISPLACE THE CHAMBERS. ATTENTION MUST BE GIVEN TO PROVIDING ADEQUATE MINIMUM COVER FOR SUCH EQUIPMENT, AND MAINTAIN BALANCED LOADING ON ALL CHAMBERS IN THE SYSTEM, DURING ALL SUCH OPERATIONS.
- OTHER ALTERNATE BACKFILL MATERIAL MAY BE ALLOWED DEPENDING ON SITE SPECIFIC CONDITIONS. CONTACT YOUR LOCAL CONTECH REPRESENTATIVE FOR DETAILS.

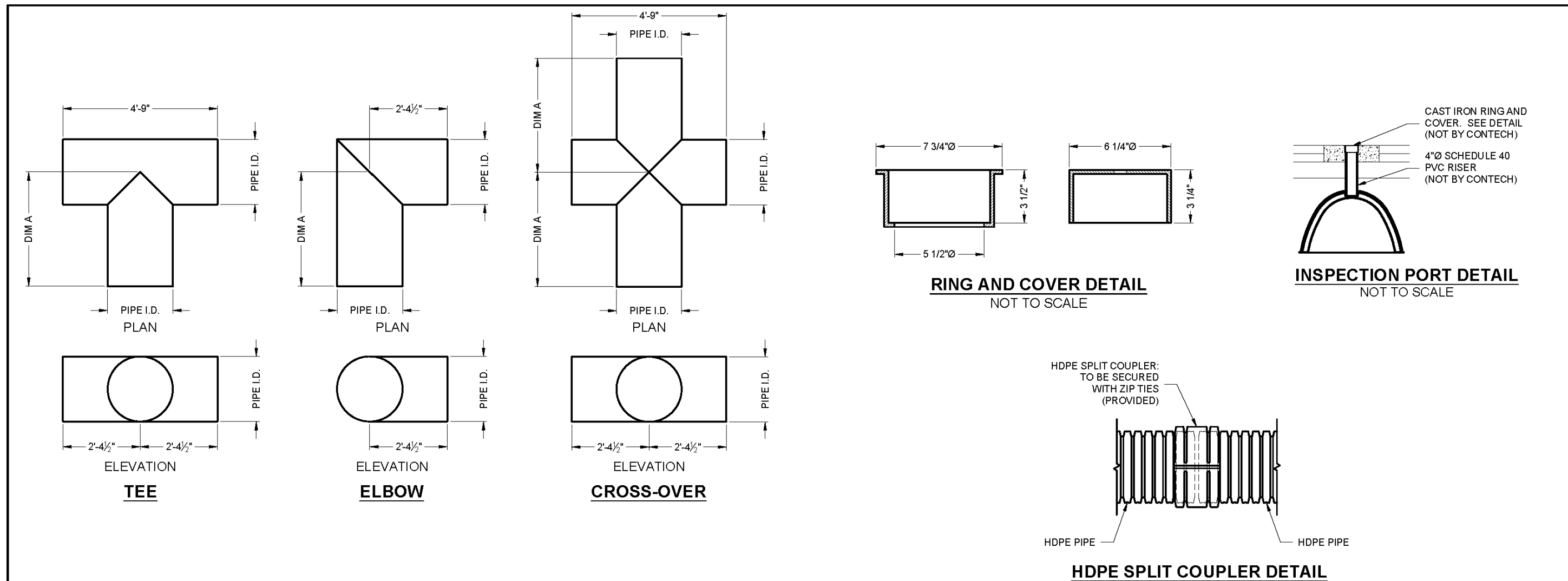
CHAMBERMAXX DESIGN DETAILS			
FEATURE	START CHAMBER	MIDDLE CHAMBER	END CHAMBER
OVERALL CHAMBER HEIGHT - IN	30.3	30.3	30.3
OVERALL CHAMBER WIDTH - IN	51.4	51.4	51.4
ACTUAL LENGTH - IN	98.4	91.0	92.0
INSTALLED LAY LENGTHS - IN	96.2	85.4	88.5
CHAMBER STORAGE VOLUME - CF	50.2	47.2	46.2
CHAMBER STORAGE PER LINEAR FOOT - CF/LF	6.3	6.6	6.3
*MIN. INSTALLED CHAMBER VOLUME - CF	78.1	75.1	74.1
*MIN. INSTALLED CHAMBER VOLUME PER LINEAR FOOT - CF/LF	9.7	10.6	10.0
CHAMBER WEIGHT - LB	83	73	76

\*6" OF STONE ABOVE AND BELOW CHAMBER, 5.6" CHAMBER SPACING AND 40% POROSITY



TYPICAL ELEVATION VIEW NOT TO SCALE

				DYO11890 Southlake Office Building Southlake Office Building Columbia, MD CHAMBERMAXX		PROJECT No. 7429 SHEET No. 11890 DATE 12/01/2021
8301 State Highway 20 North, Alexandria, MN 56008 800-925-2047 320-962-7500 320-962-7007 FAX	8301 State Highway 20 North, Alexandria, MN 56008 800-925-2047 320-962-7500 320-962-7007 FAX	CONTECH DYODS DRAWING	CONTECH DYODS DRAWING	DATE: _____ REVISION DESCRIPTION: _____ BY: _____	DATE: _____ REVISION DESCRIPTION: _____ BY: _____	DATE: 12/01/2021 DRAWN: DYO APPROVED: DYO SHEET No. D2 of D3



**STANDARD MANIFOLD COMPONENTS - NOT TO SCALE**

	AVAILABLE DIAMETERS - INCHES			
	12	15	18	24
TEE	12	15	18	24
ELBOW	12	15	18	24
DIMA	42	42	48	48

- GENERAL NOTES:**
1. FITTING MATERIAL TO BE MANUFACTURED FROM CORRUGATED HIGH DENSITY POLYETHYLENE, AASHTO M294 PIPE.
  2. FITTINGS TO BE FABRICATED IN ACCORDANCE WITH THE REQUIREMENT OF AASHTO M294.
  3. FITTINGS DESIGNED TO PROTRUDE 6" INTO THE END OF THE INLET CHAMBERS.
  4. MANIFOLD TEE AND ELBOW JOINT TO BE CONNECTED UTILIZING HDPE SPLIT COUPLERS.

**TYPICAL MANIFOLD DETAILS**

				DYO11890 Southlake Office Building Southlake Office Building Columbia, MD CHAMBERMAXX		PROJECT No. 7429 SHEET No. 11890 DATE 12/01/2021
8301 State Highway 20 North, Alexandria, MN 56008 800-925-2047 320-962-7500 320-962-7007 FAX	8301 State Highway 20 North, Alexandria, MN 56008 800-925-2047 320-962-7500 320-962-7007 FAX	CONTECH DYODS DRAWING	CONTECH DYODS DRAWING	DATE: _____ REVISION DESCRIPTION: _____ BY: _____	DATE: _____ REVISION DESCRIPTION: _____ BY: _____	DATE: 12/01/2021 DRAWN: DYO APPROVED: DYO SHEET No. D3 of D3

**APPROVED**  
**PLANNING BOARD OF HOWARD COUNTY**

Date: \_\_\_\_\_

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director: \_\_\_\_\_ Date: \_\_\_\_\_

Chief, Division of Land Development: \_\_\_\_\_ Date: \_\_\_\_\_

Chief, Development Engineering Division: \_\_\_\_\_ Date: \_\_\_\_\_

PLANNING | ENGINEERING | SURVEYING

3909 NATIONAL DRIVE | SUITE 250 | BURTONSVILLE, MD 20866 | GLWPA.COM  
 PHONE: 301-421-4024 | BALT: 410-890-1820 | DC&VA: 301-989-2524 | FAX: 301-421-4168

DESIGNED BY:	DRAWN BY:	CHECKED BY:	DATE:	REVISION:	BY:	APPR.:
XXX	XXX	XXX				

**PREPARED FOR:**

OWNER: CLOVER ACQUISITIONS LLC  
 C/O THE HOWARD HUGHES CORP.  
 PO BOX 131298  
 CARLSBAD CA 92013

DEVELOPER: THE HOWARD RESEARCH AND DEVELOPMENT CORP.  
 10960 GRANTCHESTER WAY, SUITE 110  
 COLUMBIA, MD 21044  
 ATTN: GABRIEL CHUNG  
 410-964-4800

**PROFESSIONAL CERTIFICATION**

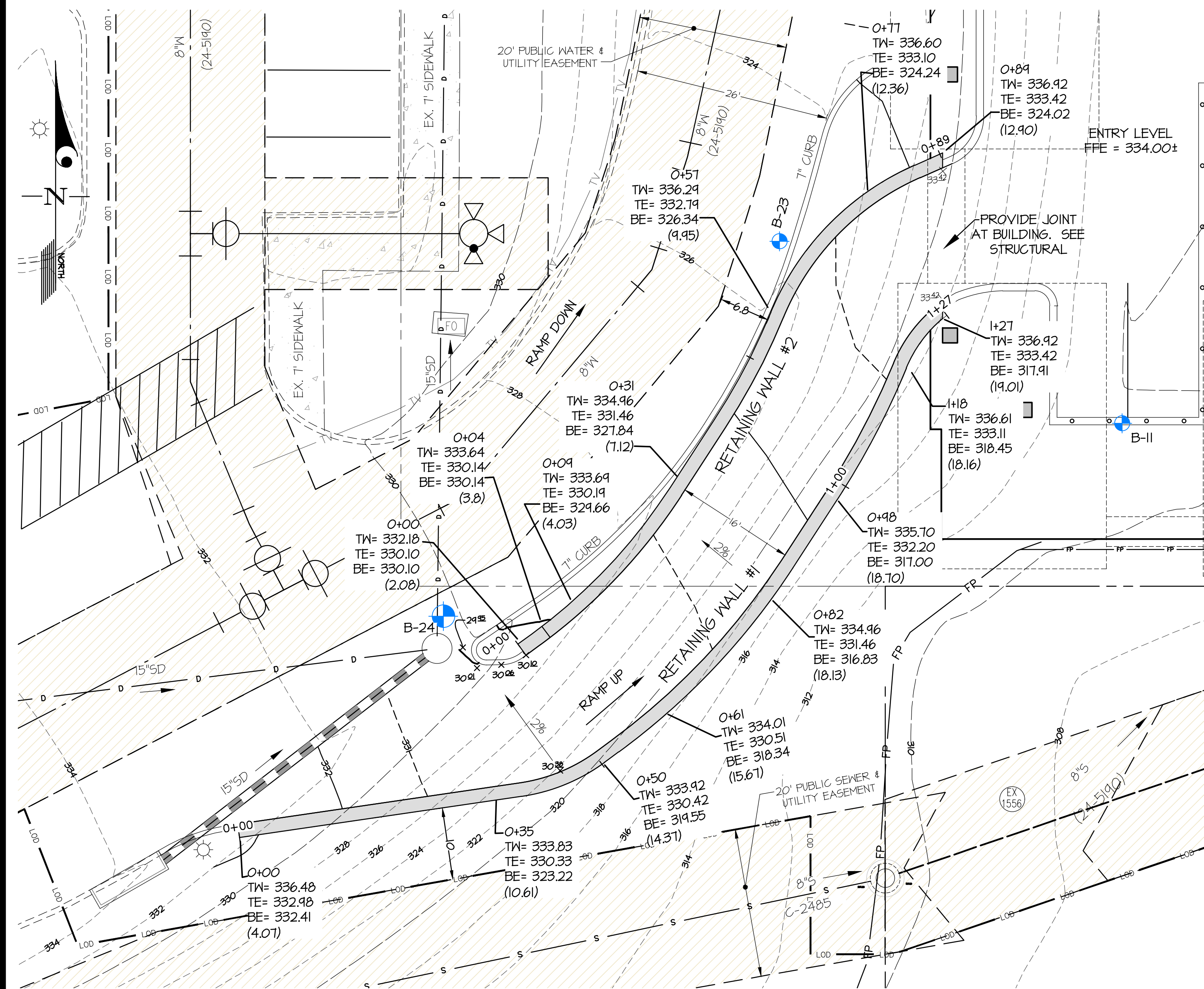
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975, EXPIRATION DATE: MAY 26, 2024

**STORMWATER DETAILS**

**SOUTHLAKE OFFICE BUILDING**  
**DOWNTOWN COLUMBIA**  
**LAKEFRONT CORE NEIGHBORHOOD, PHASE I, PARCEL B**  
 A REVISION OF SECTION I, PARCEL B (PLAT No. XXXXX)

ELECTION DISTRICT No. 5

SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	NT	18046
DATE	TAX MAP - GRID	SHEET
JUNE, 2022	36 - 2	22 OF 46



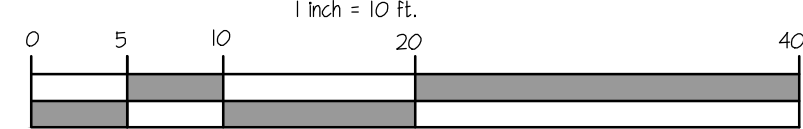
RETAINING WALLS #1 AND #2  
SCALE: 1"=10'

WALL TYPE CHART			
STRUCTURE	START STA	END STA	TYPE
WALL #1	SEE SHEET 24 & 25		
WALL #2	SEE SHEET 24 & 25		
WALL #4	0+00	0+28	SEE SHEET 26

WALL NOTES:  
 1. TW = TOP OF WALL ELEVATION.  
 TE = GROUND ELEVATION AT THE TOP OF WALL.  
 BE = GROUND ELEVATION AT THE BOTTOM OF WALL.  
 (XX.XX) ELEVATION DIFFERENCE BETWEEN THE TOP OF WALL AND THE GROUND ELEVATION AT THE BOTTOM OF WALL.

SOIL BORINGS BY ECS FROM GEOTECH REPORT, DATED 10/8/21

GRAPHIC SCALE  
1 inch = 10 ft.



APPROVED  
PLANNING BOARD OF HOWARD COUNTY

Date: \_\_\_\_\_

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director \_\_\_\_\_ Date \_\_\_\_\_

Chief, Division of Land Development \_\_\_\_\_ Date \_\_\_\_\_

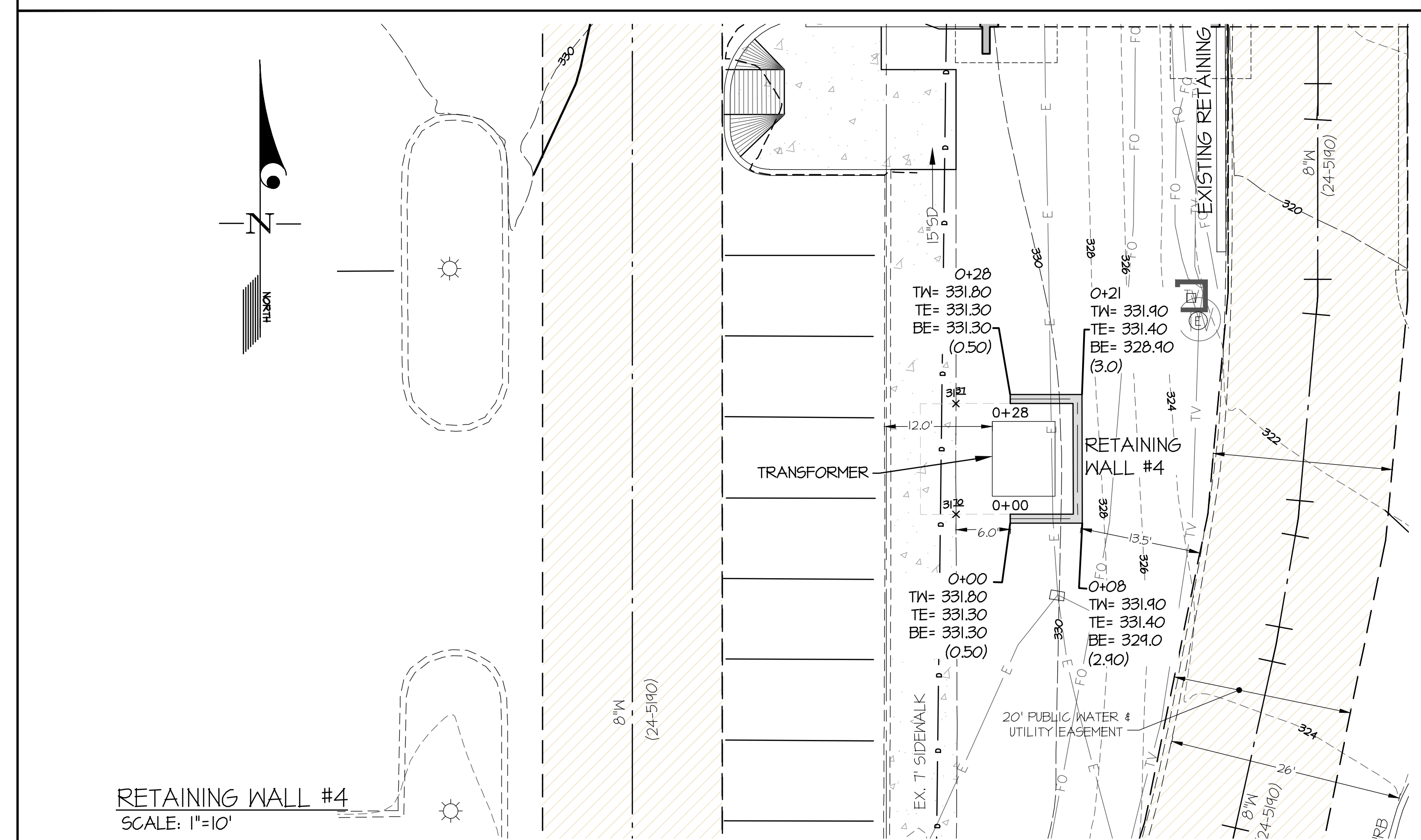
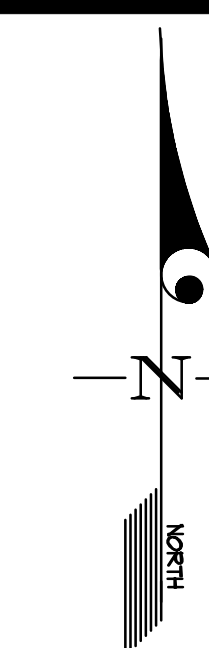
Chief, Development Engineering Division \_\_\_\_\_ Date \_\_\_\_\_

DESIGNED BY	CHECKED BY	DATE	REVISION	BY	APPR.
dds					
dds					

PREPARED FOR:  
 OWNER: CLOVER ACQUISITIONS LLC  
 C/O THE HOWARD HUGHES CORP.  
 PO BOX 131298  
 CARLSBAD CA 92013

DEVELOPER:  
 THE HOWARD RESEARCH AND DEVELOPMENT CORP.  
 10960 GRANTCHESTER WAY, SUITE 110  
 COLUMBIA, MD 21044  
 ATTN: GABRIEL CHUNG  
 410-964-4800

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 EXPIRATION DATE: MAY 26, 2024

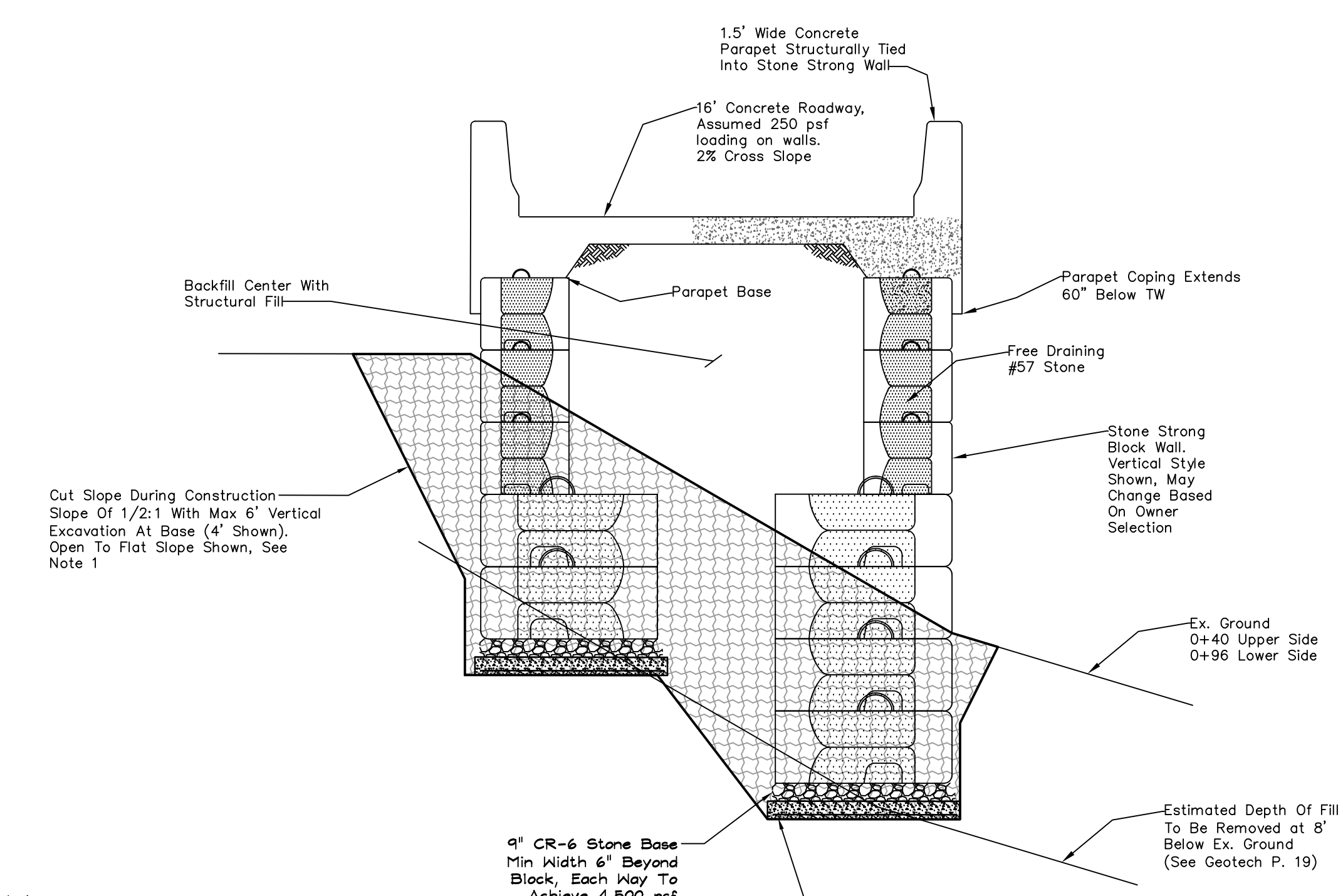


RETAINING WALL #4  
SCALE: 1"=10'

RETAINING WALL GRADING DETAILS  
**SOUTHLAKE OFFICE BUILDING**  
**DOWNTOWN COLUMBIA**  
**LAKEFRONT CORE NEIGHBORHOOD, PHASE I, PARCEL B**  
 A REVISION OF SECTION I, PARCEL B (PLAT No. XXXXX)  
 PN: \_\_\_\_\_

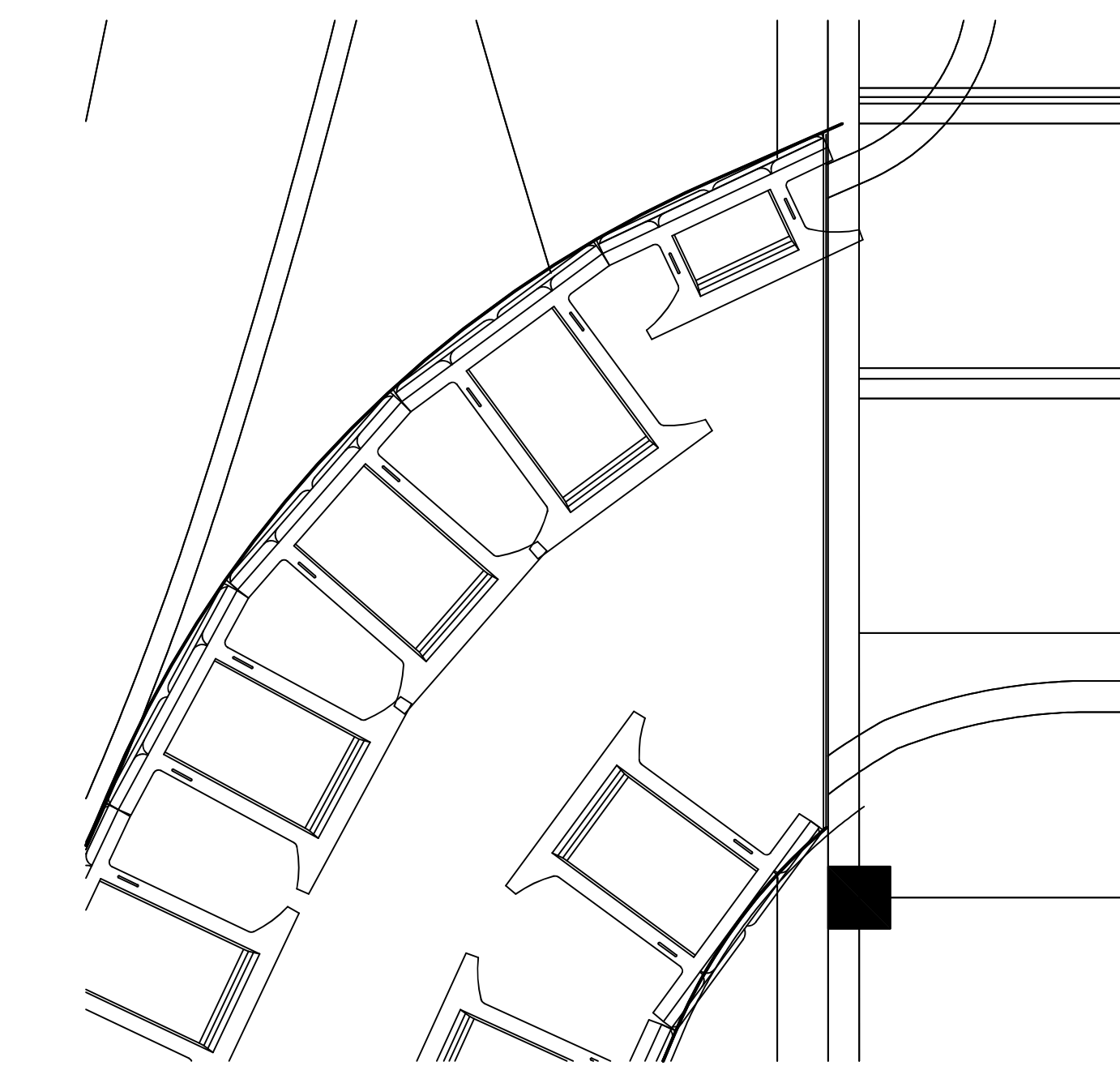
SCALE	ZONING	G. L. W. FILE No.
1" = 10'	NT	18046
DATE	TAX MAP - GRID	SHEET
JUNE, 2022	36 - 2	23 OF 52

L:\CAD\DRAWINGS\18046\PLANS BY GLW\SDP\18046 WALL LAYOUT.dwg, PLOTTED: 6/7/2022 4:58 PM, LAST SAVER: 6/7/2022 2:08 PM, PLOTTED BY: Don Sheehy



SECTION - RETAINING WALL TYPICAL  
SCALE: 1"=5'

Note 1:  
Actual Conditions Will Vary.  
Contractor Is Responsible To Classify  
Soil And Slope Requirement. See OSHA  
Excavation Standards, 29 CFR for  
Details



PLAN VIEW - RETAINING WALL 1 & 2  
BLOCK LAYOUT At Level 3  
SCALE: 1"=5'

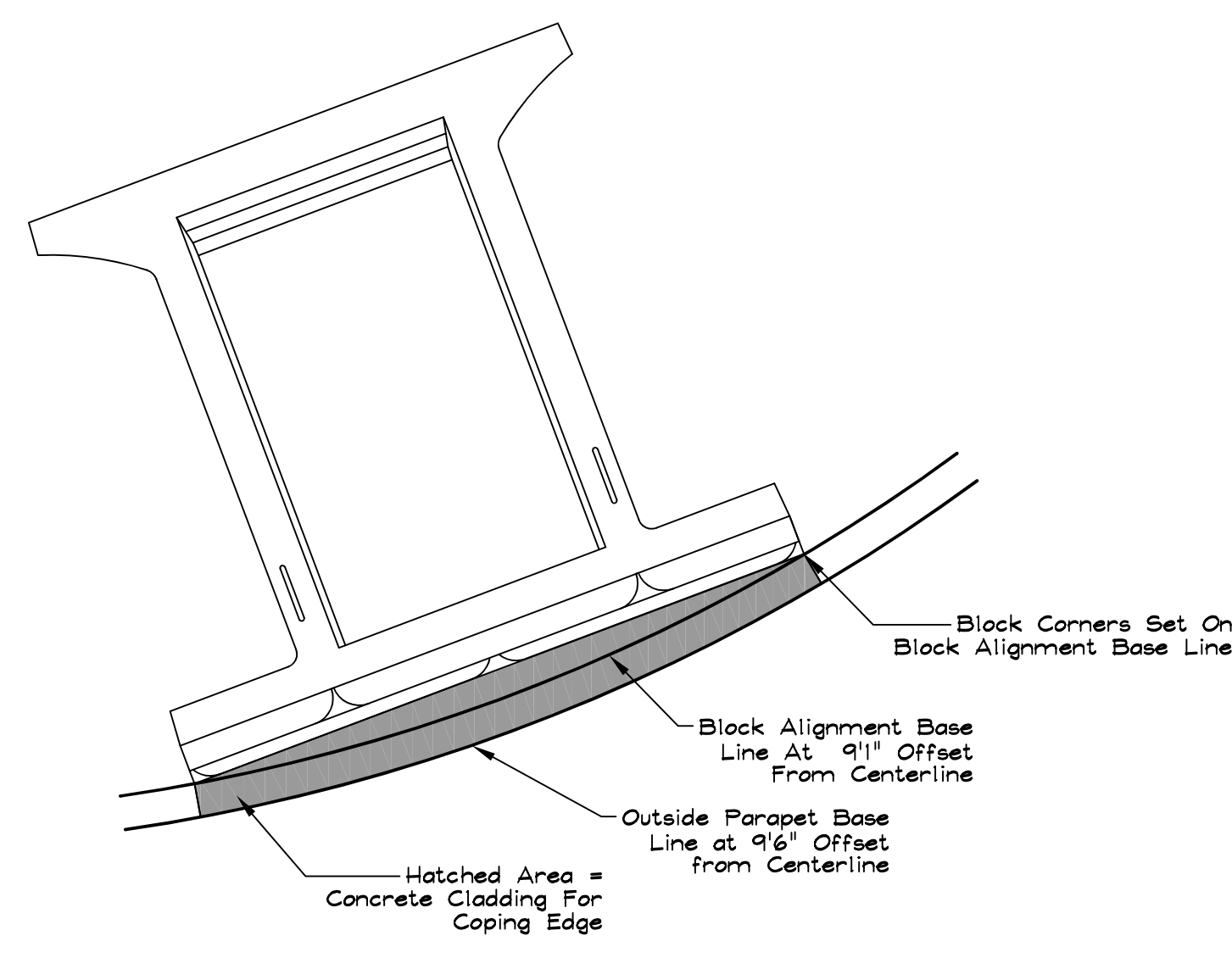
APPROVED  
PLANNING BOARD OF HOWARD COUNTY  
DATE: \_\_\_\_\_

APPROVED: DEPARTMENT OF PLANNING AND ZONING

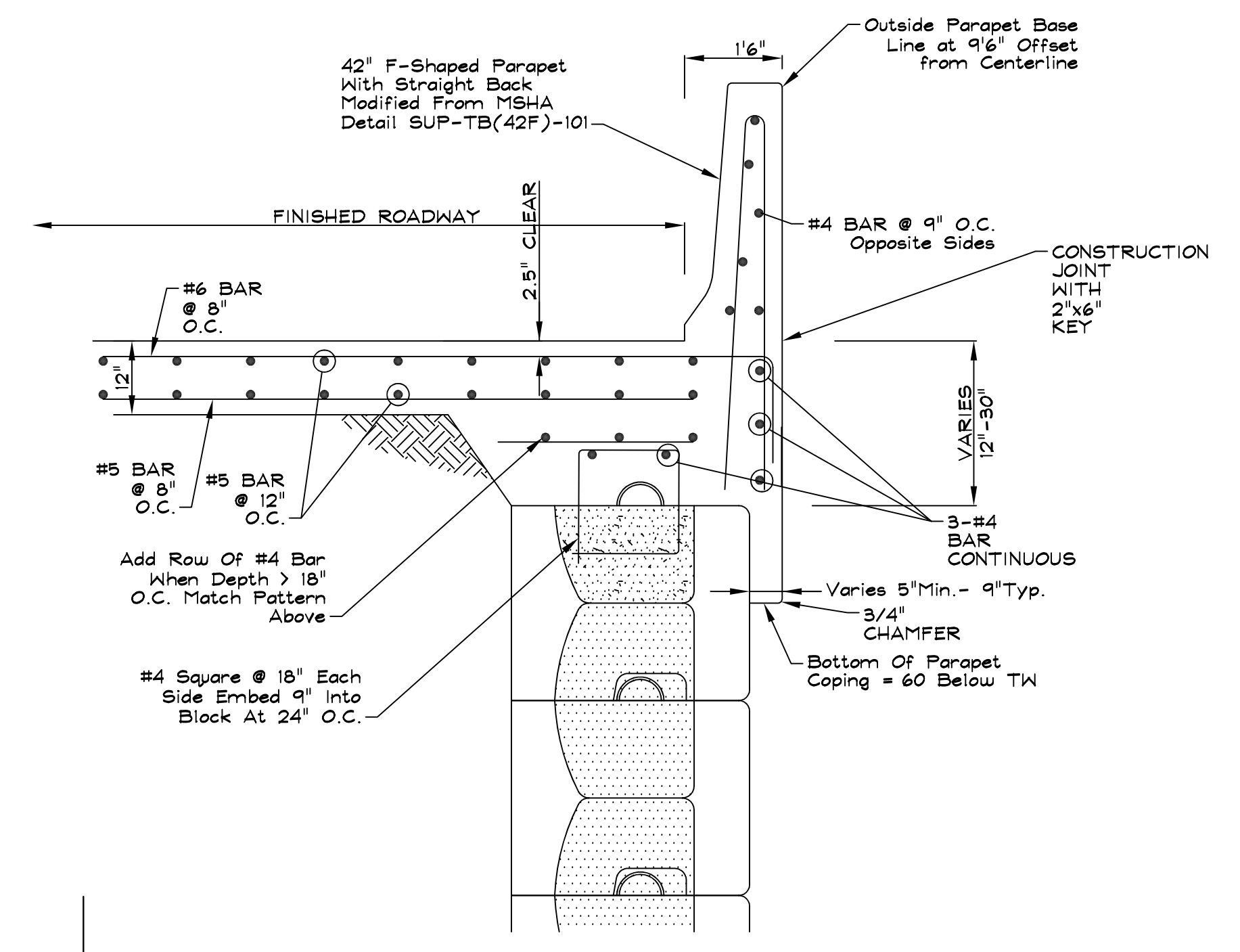
CHIEF, DEVELOPMENT ENGINEERING DIVISION \_\_\_\_\_ DATE \_\_\_\_\_

CHIEF, DIVISION OF LAND DEVELOPMENT \_\_\_\_\_ DATE \_\_\_\_\_

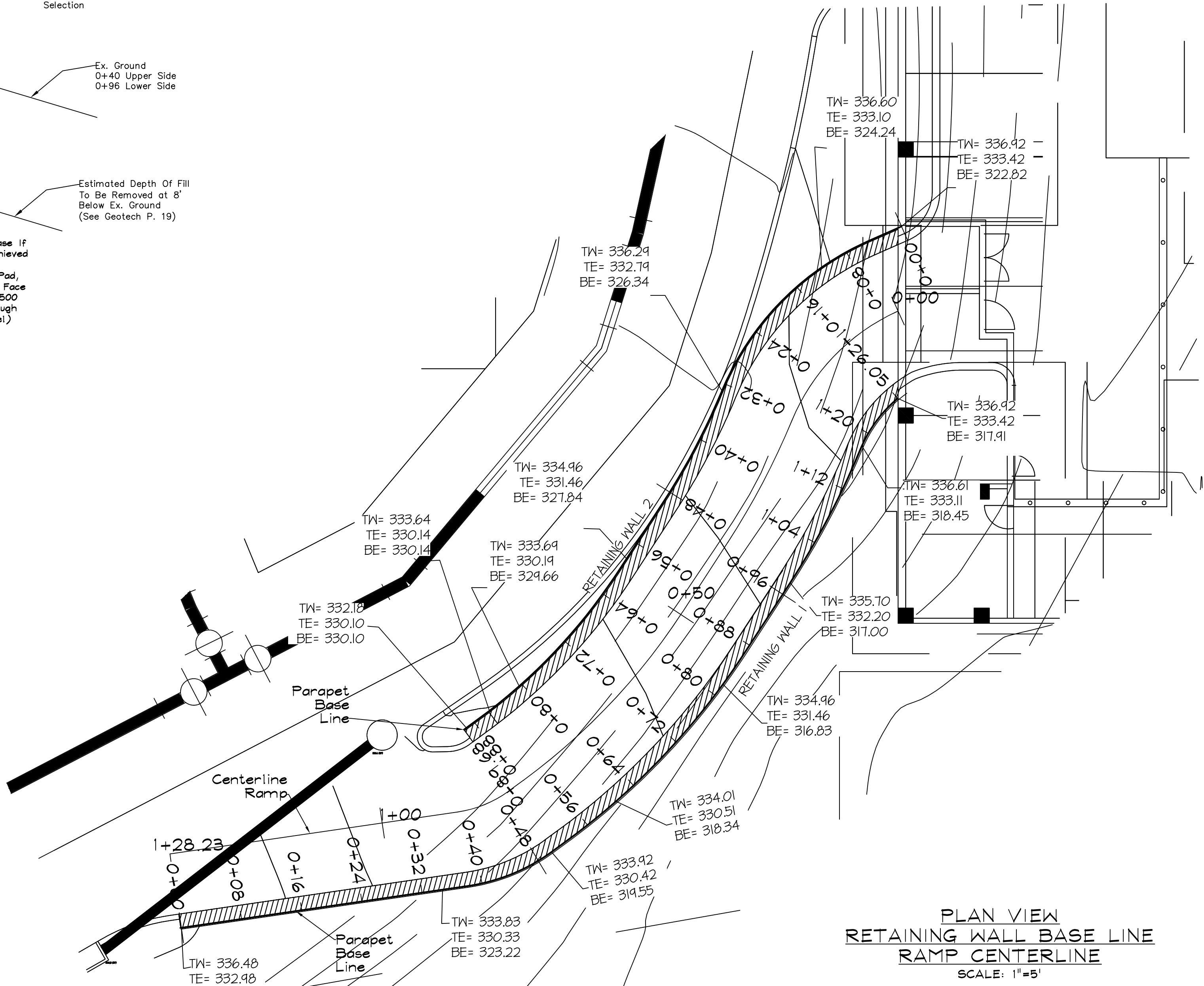
DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_



PLAN VIEW - BLOCK ALIGNMENT AND BASE LINES  
NTS



SECTION - PARAPET DETAIL  
SCALE: 1"=2'



PLAN VIEW - RETAINING WALL BASE LINE  
RAMP CENTERLINE  
SCALE: 1"=5'

DATA SOURCES:  
BASE INFORMATION PROVIDED VIA ELECTRONIC  
TRANSFER FROM ALKPA ON APRIL 1, 2022 FOR USE  
IN THE DESIGN OF RETAINING WALLS 1 & 2.  
GEOLOGICAL INFORMATION IS BASED ON EGS  
MID-ATLANTIC, LLC REPORT DATED 10/8/2021.

**DDC**  
Development Design Consultants

Planners  
Surveyors  
Engineers  
Landscape Architects

192 East Main Street  
Westminster, MD 21157  
410.386.0560  
410.386.0564 (Fax)  
DDC@DDCinc.us  
www.DDCinc.us

OWNER:  
Cover Acquisitions, LLC  
C/O The Howard Hughes Corp.  
PO Box 131298  
Carlsbad CA 92013

DEVELOPER:  
The Howard Research And  
Development Corporation  
10960 Grantchester Way, Suite 110  
Columbia, MD 21044

SITE ADDRESS:  
10275 Little Patuxent Parkway  
Columbia Town Center

SOUTHLAKE OFFICE BUILDING  
DOWNTOWN COLUMBIA

RETAINING WALLS  
PLAN & SECTIONS

5th ELECTION DISTRICT HOWARD COUNTY MD

REVISIONS

NO.	DESCRIPTION OF CHANGES	DRN.	REV.	DATE

PROFESSIONAL CERTIFICATION  
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE  
PREPARED OR APPROVED BY ME, AND THAT I AM A DULY  
LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS  
OF MARYLAND.

LICENSE NO. 21998 EXPIRATION DATE: JUNE 6, 2022

04/08/2022  
DATE

W. RICHARD DEMARIO  
PROFESSIONAL ENGINEER NO. 21998

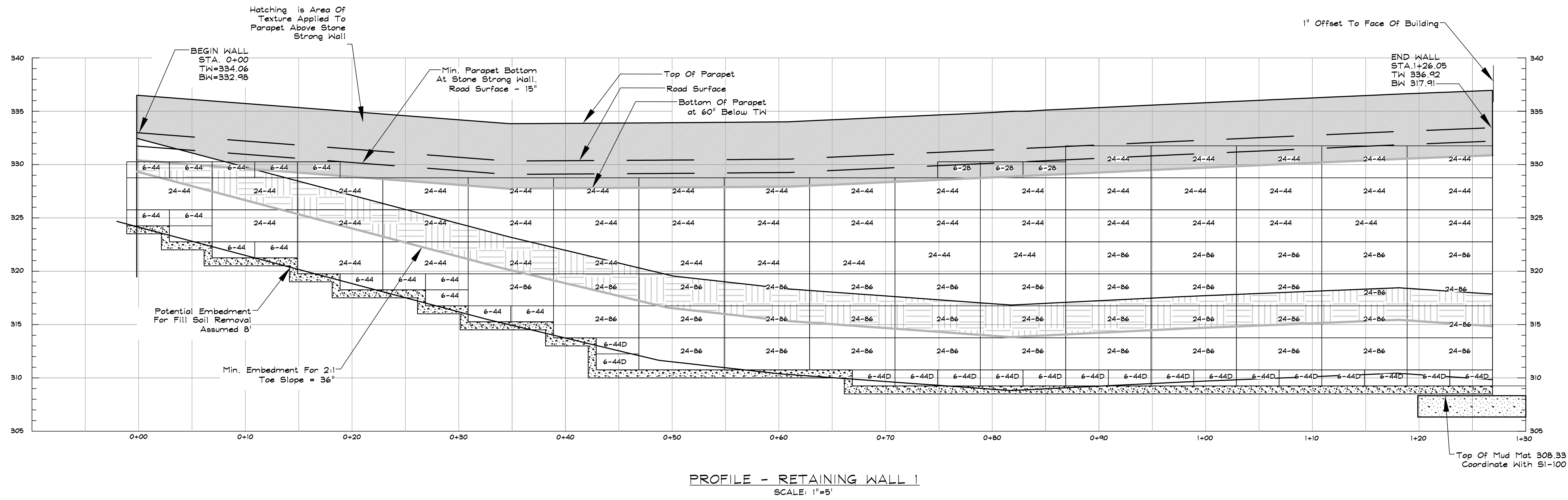
ADDRESS CHART

10275 Little Patuxent Parkway Columbia Town Center
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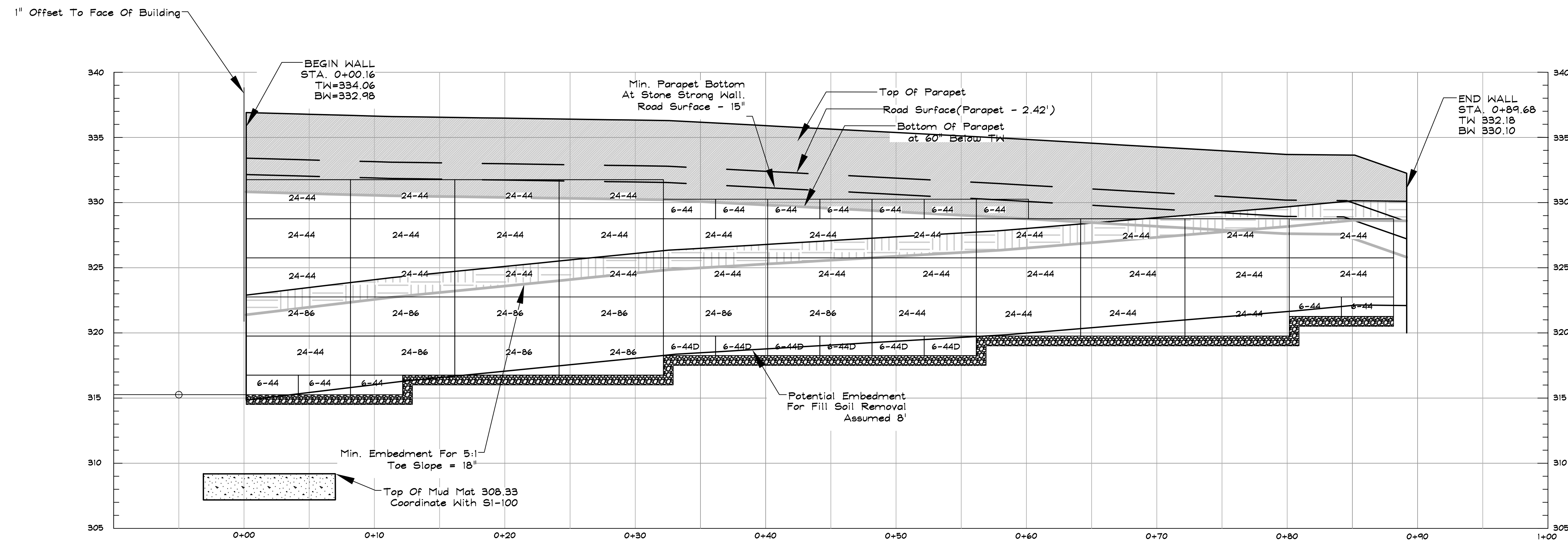
PERMIT INFORMATION CHART

SUBDIVISION NAME: Lakefront Core Neighborhood	SECTION/AREA Phase 1	LOT/PARCEL NO. 24
PLAT # OR L/F 23 86	BLOCK # 24	ZONING M-2
TAX MAP NO. 36	ELECT. DISTRICT 5th	CENSUS TRACT
WATER CODE	SEWER CODE	





PROFILE - RETAINING WALL 1  
SCALE: 1"=5'



PROFILE - RETAINING WALL 2  
SCALE: 1"=5'

DATA SOURCES:  
BASE INFORMATION PROVIDED VIA ELECTRONIC TRANSFER FROM GLNPA ON APRIL 1, 2022 FOR USE IN THE DESIGN OF RETAINING WALLS 1 & 2. GEOTECHNICAL INFORMATION IS BASED ON ECS MID-ATLANTIC, LLC REPORT DATED 10/8/2021.

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SITE ADDRESS:  
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Columbia Town Center

**SOUTHLAKE OFFICE BUILDING  
DOWNTOWN COLUMBIA**

**RETAINING WALLS  
PROFILES**

5th ELECTION DISTRICT HOWARD COUNTY MD

NO.	DESCRIPTION OF CHANGES	DRN.	REV.	DATE

DEED: \_\_\_\_\_ DES. BY: WRD  
TAX ACC. #: \_\_\_\_\_ DRN. BY: CRB  
TAX MAP: 36 \_\_\_\_\_ CHK. BY: WRD  
BLOCK / GRID: 2 \_\_\_\_\_ DATE: 4/8/2022  
PARCEL #: \_\_\_\_\_ DDC JOB#: 17041.92  
ZONE / USE: NT \_\_\_\_\_ SHEET NUMBER:  
DWG. SCALE: AS SHOWN **25 of 51**

PROFESSIONAL CERTIFICATION  
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE  
PREPARED OR APPROVED BY ME, AND THAT I AM A DULY  
LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS  
OF MARYLAND.

LICENSE NO. 21998 EXPIRATION DATE: JUNE 6, 2022

04/08/2022  
DATE

W. RICHARD DEMARIO  
PROFESSIONAL ENGINEER NO. 21998

ADDRESS CHART  
10275 Little Patuxent Parkway  
Columbia Town Center

PERMIT INFORMATION CHART

SUBDIVISION NAME: Lakefront Core Neighborhood	SECTION/AREA: Phase 1	LOT/PARCEL NO: 24
PLAT # OR L/F: 23 B6	BLOCK#: M-2	TAX MAP NO. 36
WATER CODE	ELECT. DISTRICT: 5th	CENSUS TRACT
	SEWER CODE	

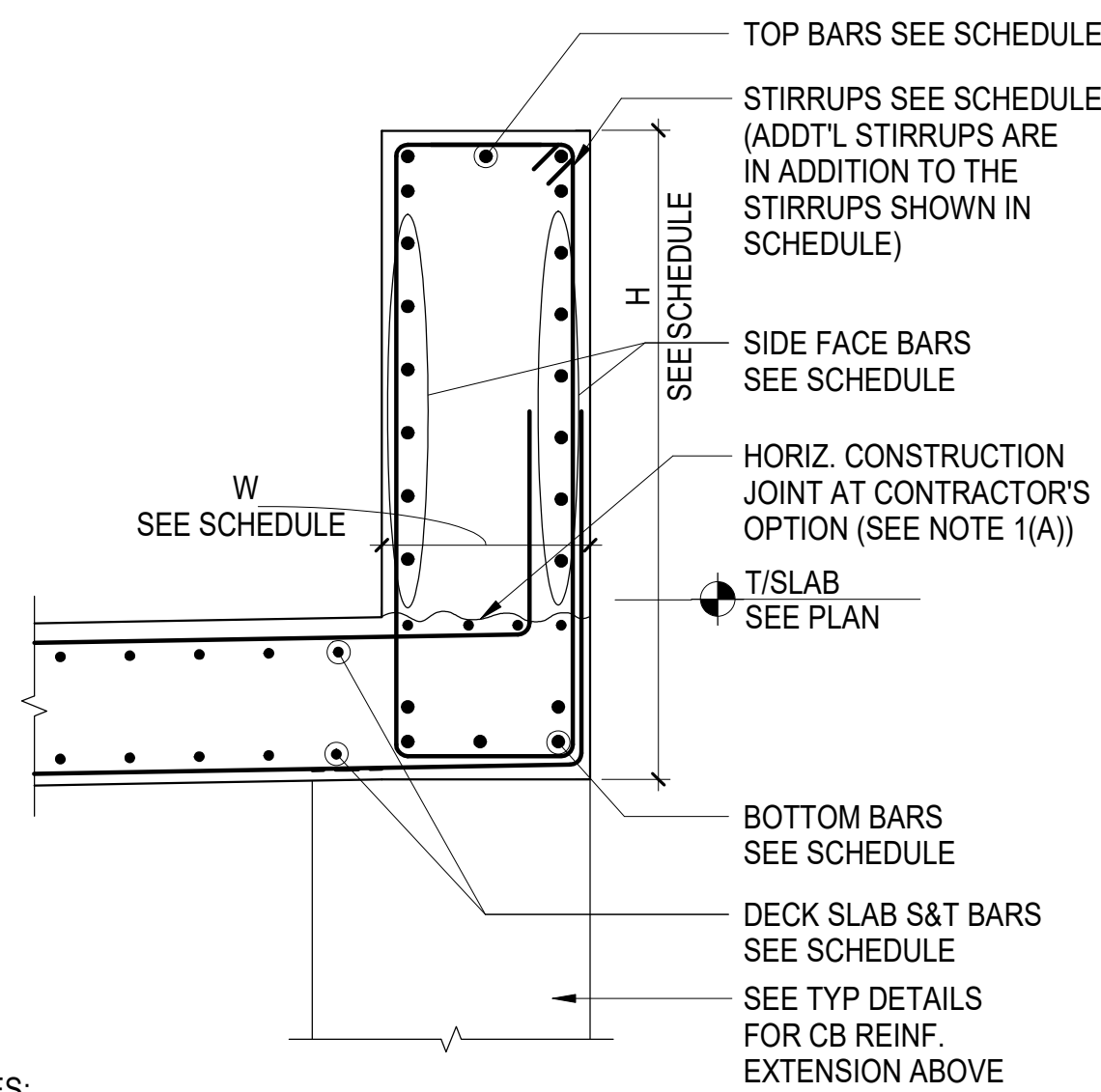
APPROVED  
PLANNING BOARD OF HOWARD COUNTY  
DATE: \_\_\_\_\_

APPROVED: DEPARTMENT OF PLANNING AND ZONING

CHIEF, DEVELOPMENT ENGINEERING DIVISION \_\_\_\_\_ DATE \_\_\_\_\_

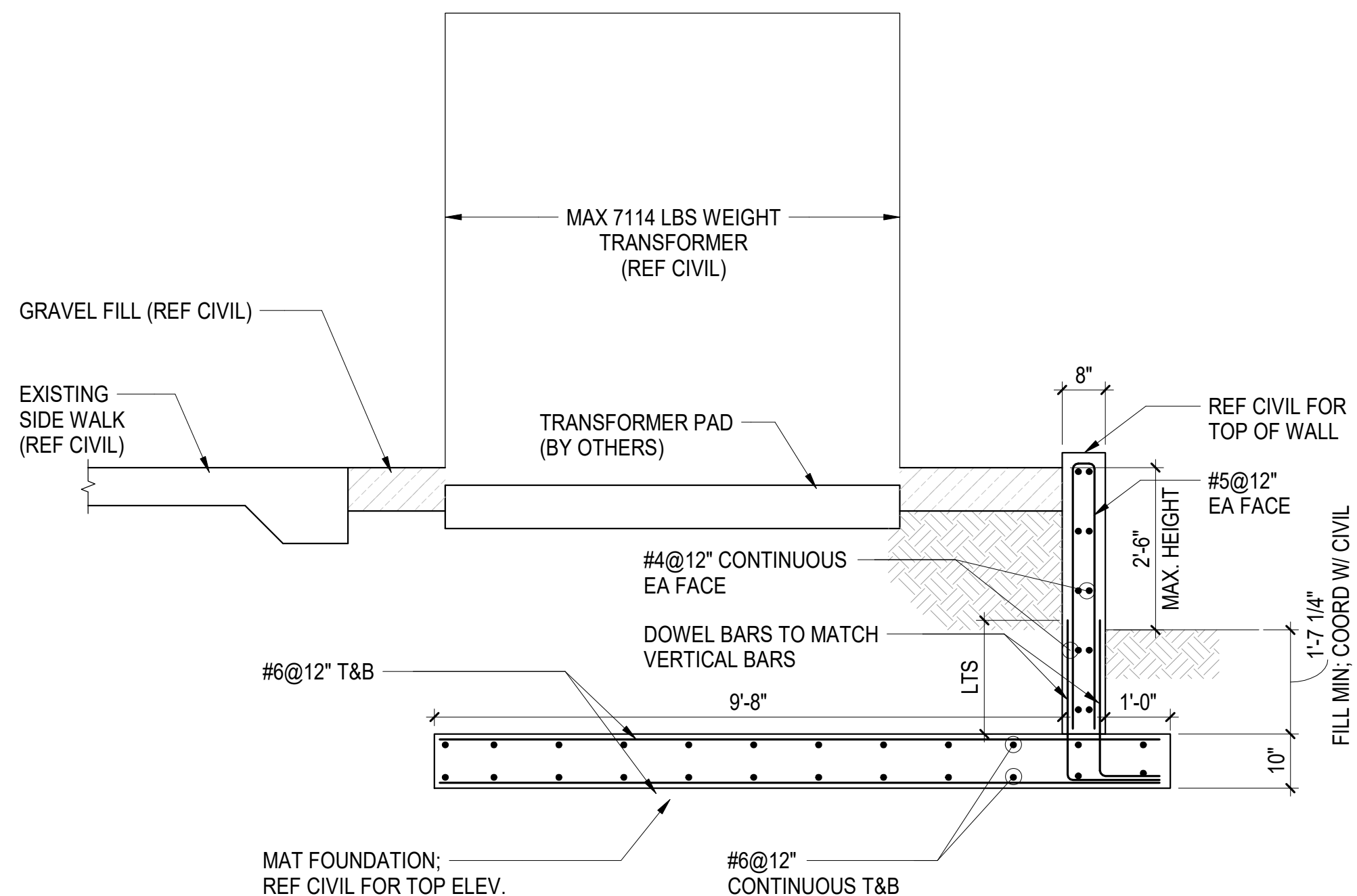
CHIEF, DIVISION OF LAND DEVELOPMENT \_\_\_\_\_ DATE \_\_\_\_\_

DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_



NOTES:

1. PROPOSED CONSTRUCTION SEQUENCE FOR DECK AND UPTURNED GIRDER BEAMS:
  - A. DECK ENTIRE THICKNESS AND GIRDER TO BE CAST MONOLITHIC WITH A HORIZONTAL CONSTRUCTION JOINT IN BEAMS AT THE TOP OF DECK;
  - B. REMAINDER OF CONCRETE TO-BE-CAST ABOVE THE CONSTRUCTION JOINT FOR UPTURNED BEAMS. NO JOINT PERMITTED OTHER LOCATIONS.
  - C. PT TENDONS STRESSING TO BE COMPLETED WHEN CONC. STRENGTH OBTAINED.
  - D. TEMPORARY SHORING PROVIDED AT ALL TIMES.
2. PT BEAM - TOP BARS CLEAR COVER: 2 1/2"  
 BOTTOM BARS CLEAR COVER: 2 1/2"  
 SIDE BARS CLEAR COVER: 2 1/2"



NOTE:

- 1- REF CIVIL FOR ALL ELEVATIONS DEFINING GEOMETRY
- 2- PRIOR TO CONSTRUCTION, CONTRACTOR TO COORDINATE ALL DIMENSIONS SHOWN WITH CIVIL, ARCH, LANDSCAPE ARCH, TRANSFORMER SUPPLIER, AND EXISTING UTILITIES ON SITE. TEMPORARY SHORING AT ALL TIMES DURING CONSTRUCTION PER SPECIFICATIONS.

**1 PT BEAM REINFORCEMENT DETAIL**

NOT TO SCALE

**2 SECTION AT TRANSFORMER LOCATION-SDP**

NOT TO SCALE

**APPROVED**  
**PLANNING BOARD OF HOWARD COUNTY**

Date: \_\_\_\_\_

---

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director \_\_\_\_\_ Date \_\_\_\_\_

Chief, Division of Land Development \_\_\_\_\_ Date \_\_\_\_\_

Chief, Development Engineering Division \_\_\_\_\_ Date \_\_\_\_\_

**Thornton Tomasetti**  
 Thornton Tomasetti, Inc.  
 2001 K Street NW, Suite 600 North  
 Washington, DC 20006  
 T:202.580.6300 F:202.580.6301

DESIGNED BY: XXX					
DRAWN BY: XXX					
CHECKED BY: XXX					
DATE	REVISION	BY	APPR.		

PREPARED FOR:

OWNER: CLOVER ACQUISITIONS LLC  
 C/O THE HOWARD HUGHES CORP.  
 PO BOX 131298  
 CARLSBAD CA 92013

DEVELOPER: THE HOWARD RESEARCH AND DEVELOPMENT CORP.  
 10960 GRANTCHESTER WAY, SUITE 110  
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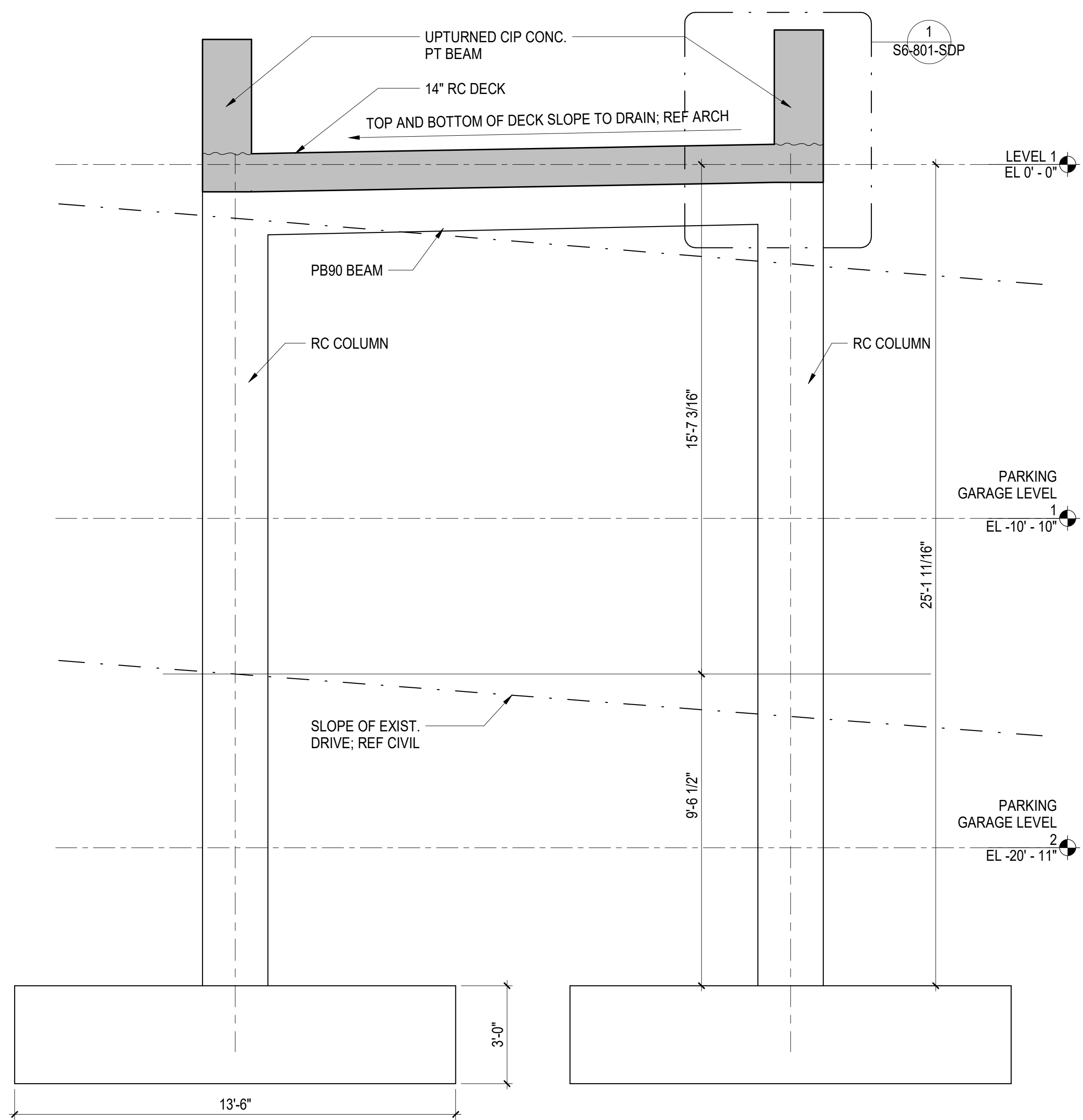
**S6-801-SDP**      **CONCRETE SECTIONS AND DETAILS**

**SOUTHLAKE OFFICE BUILDING**  
 DOWNTOWN COLUMBIA  
 LAKEFRONT CORE NEIGHBORHOOD, PHASE 1, PARCEL B  
 A RESUBDIVISION OF SECTION 1, LOT 29 (PLAT No. XXXXX)

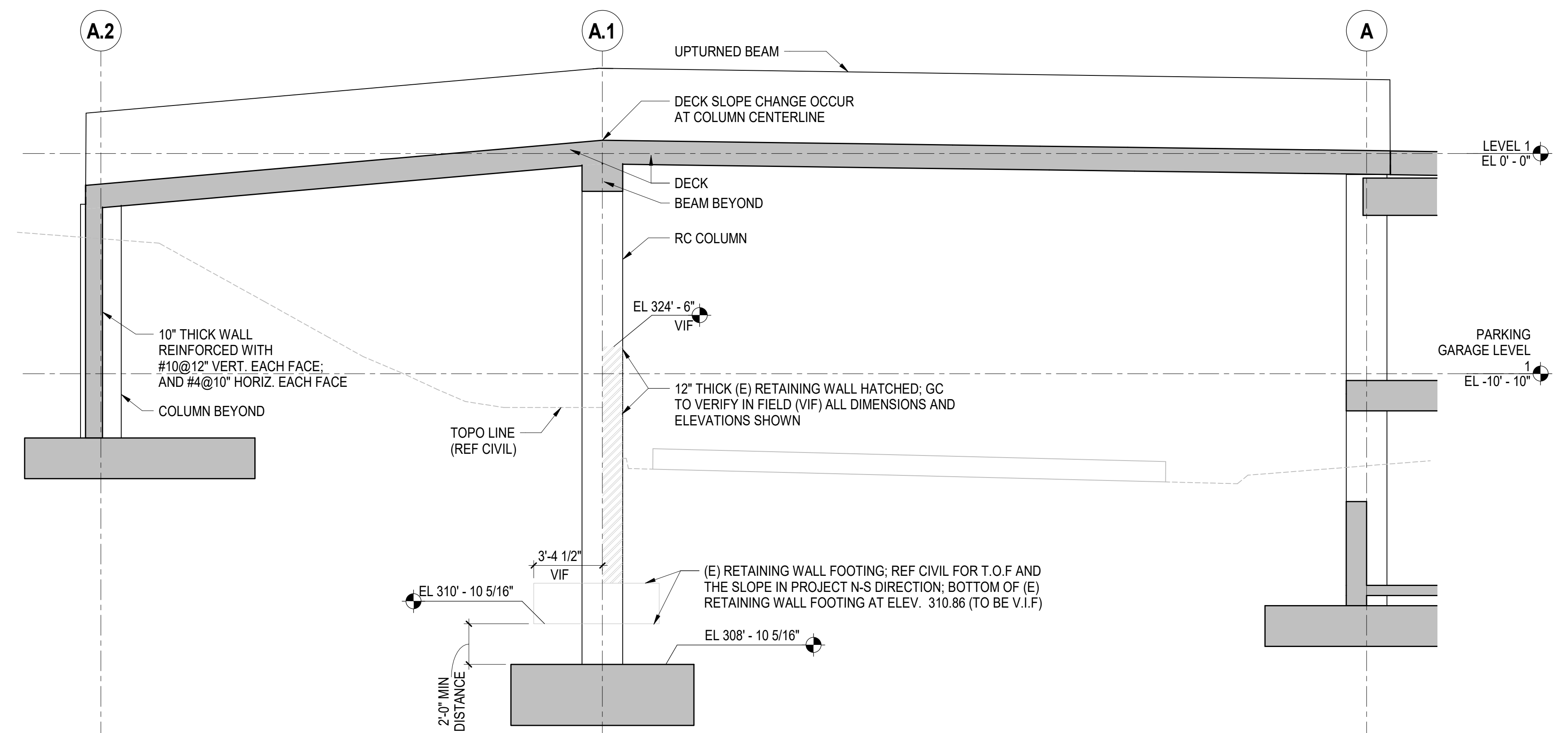
ELECTION DISTRICT No. 5      PN: \_\_\_\_\_      HOWARD COUNTY, MARYLAND

SCALE 1"=XX'	ZONING NT	JOB No. <b>M21883</b>
DATE DEC., 2021	TAX MAP - GRID 36 - 2	SHEET 26 OF 52

L:\CAD\DRAWINGS\B044\TRANSFER\OUT\STUDIO RED\2021-12-01 (SDP TITLE BLOCK)\SDP TITLE BLOCK.dwg, PLOTTED: 12/1/2021 1:35 PM, LAST SAVED: 12/1/2021 1:43 PM, PLOTTED BY: Don Swamy



**1 SECTION OF BRIDGE BENT**  
NOT TO SCALE



**NOTES:**

1. PROPOSED CONSTRUCTION SEQUENCE FOR BRIDGE COLUMNS ON GRID A.1 WHERE IT CONFLICTS WITH (E) RETAINING WALL:
  - (A) REMOVE REQUIRED AMOUNT OF FILL BEHIND THE (E) RETAINING WALL TO ALLOW INSTALLATION OF BRIDGE COLUMNS, ITS FOOTINGS AND SUB-GRADE SOIL PREPARATION USING RAP PER GEO-TECHNICAL REPORT (REF GEO-TECH REPORT FOR SOIL IMPROVEMENT USING RAMMED AGGREGATE PIERS (RAP));
  - (B) PROVIDE TEMPORARY SHORING TO RETAIN THE SOIL AND SUPPORT EXISTING ELEMENTS, THEN SAW CUT TO DEMO THE (E) RETAINING WALL AND ITS CONTINUOUS WALL FOOTING (VIF) AT THE (N) BRIDGE COLUMN AND ITS FOOTING LOCATIONS;
  - (C) UPON COMPLETION OF RAP, RECOMPACT TOP OF RAPs, PRIOR TO INSTALLATION OF FOOTING REBAR;
  - (D) CONSTRUCT THE (N) BRIDGE FOOTINGS AND COLUMNS;
  - (E) RE-CONSTRUCT THE DEMOLISHED PORTION OF THE (E) RETAINING WALL AND FOUNDATION; LEAVE A 1" GAP BETWEEN THE (E) RETAINING WALL AND (N) BRIDGE COLUMNS;
  - (F) PLACE THE ORIGINAL FILL BEHIND THE (E) RETAINING WALL, SO THE LOADING ON (E) RETAINING WALL REMAINS UNDISTURBED.
  - (G) GC TO VERIFY ALL OF THE EXISTING ELEMENTS PRIOR TO CONDUCT ANY DEMOLITION WORK, AND VERIFY IN FIELD (VIF) THE EXISTING DIMENSIONS AND ELEVATIONS.
  - (H) TEMPORARY SHORING TO BE PROVIDED PRIOR TO ANY DEMOLITION WORK, AND TO REMAIN IN PLACE, UNTIL THE FINAL STRUCTURE IS IN PLACE AND GAINED THE DESIGN STRENGTH PER CONTRACT DOCUMENTS.

**2 SECTION OF BRIDGE**  
NOT TO SCALE

L:\CAD\DRAWINGS\B044\TRANSFER\OUT\STUDIO RED\2021-12-01 (SDP TITLE BLOCK)\SDP TITLE BLOCK.dwg, PLOTTED: 12/1/2021 1:36 PM, LAST SAVED: 12/1/2021 1:43 PM, PLOTTED BY: Don Swannery

**APPROVED**  
**PLANNING BOARD OF HOWARD COUNTY**

Date: \_\_\_\_\_

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director: \_\_\_\_\_ Date: \_\_\_\_\_

Chief, Division of Land Development: \_\_\_\_\_ Date: \_\_\_\_\_

Chief, Development Engineering Division: \_\_\_\_\_ Date: \_\_\_\_\_

**Thornton Tomasetti**  
Thornton Tomasetti, Inc.  
2001 K Street NW, Suite 600 North  
Washington, DC 20006  
T: 202.580.6300 F: 202.580.6301

DESIGNED BY	DATE	REVISION	BY	APPR.
XXX				
DRAWN BY				
XXX				
CHECKED BY				
XXX				

PREPARED FOR:

OWNER: CLOVER ACQUISITIONS LLC  
C/O THE HOWARD HUGHES CORP.  
PO BOX 131298  
CARLSBAD CA 92013

DEVELOPER: THE HOWARD RESEARCH AND DEVELOPMENT CORP.  
10960 GRANTCHESTER WAY, SUITE 110  
COLUMBIA, MD 21044  
ATTN: GABRIEL CHUNG  
410-964-4800

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. \_\_\_\_\_ EXPIRATION DATE: \_\_\_\_\_

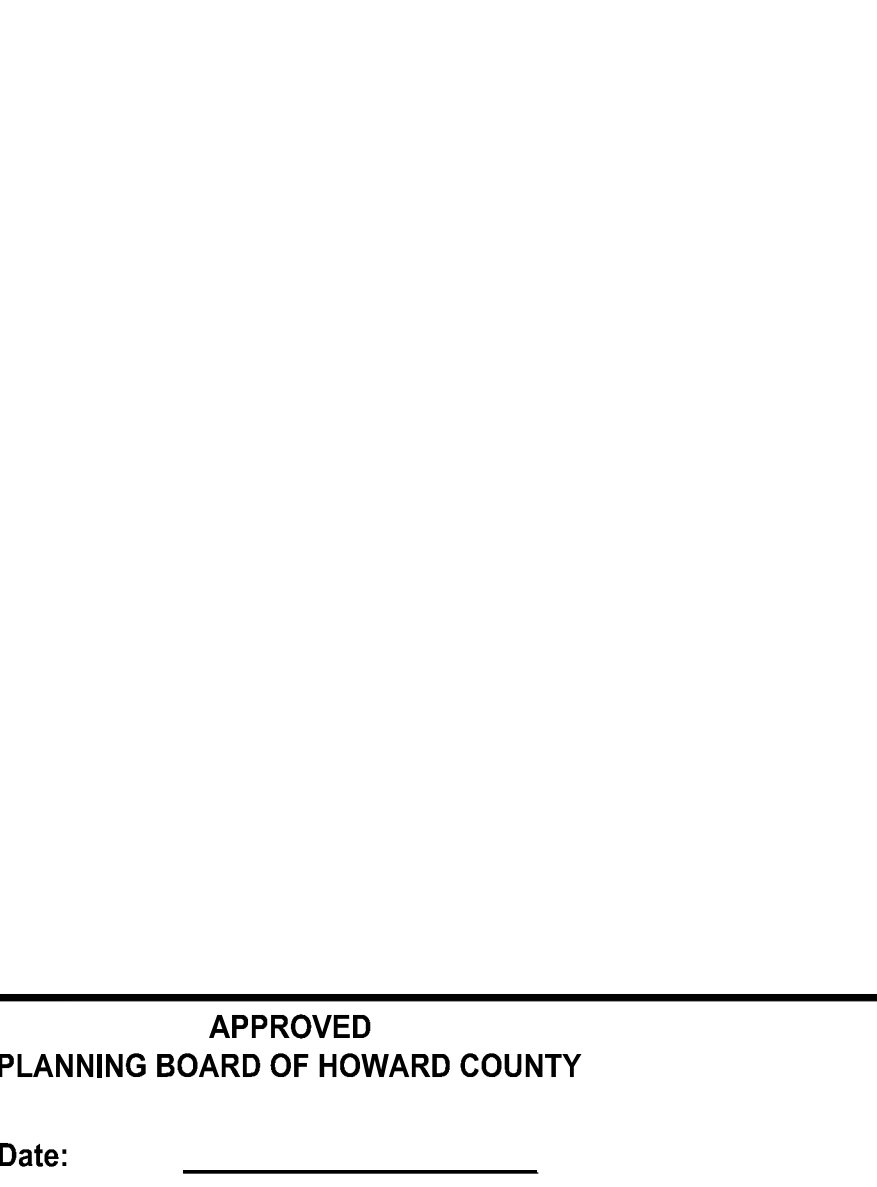
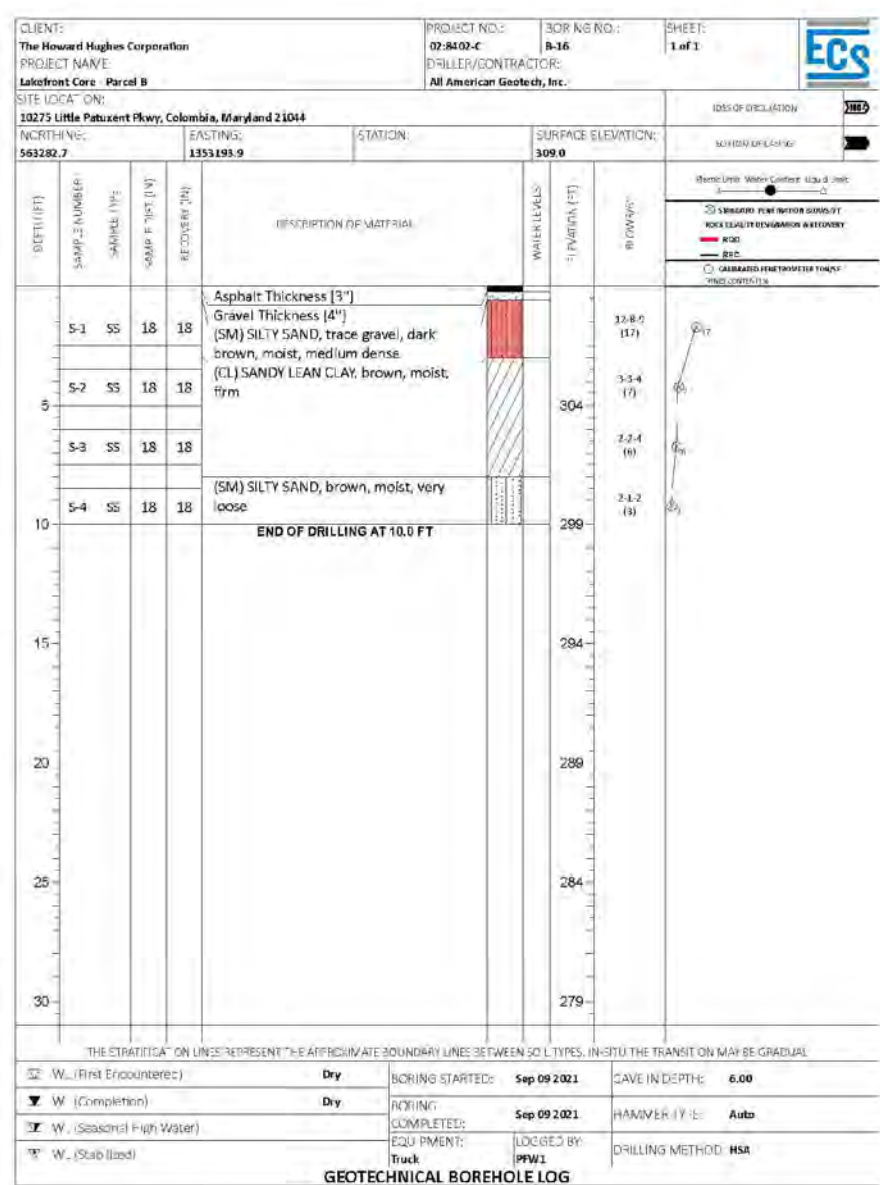
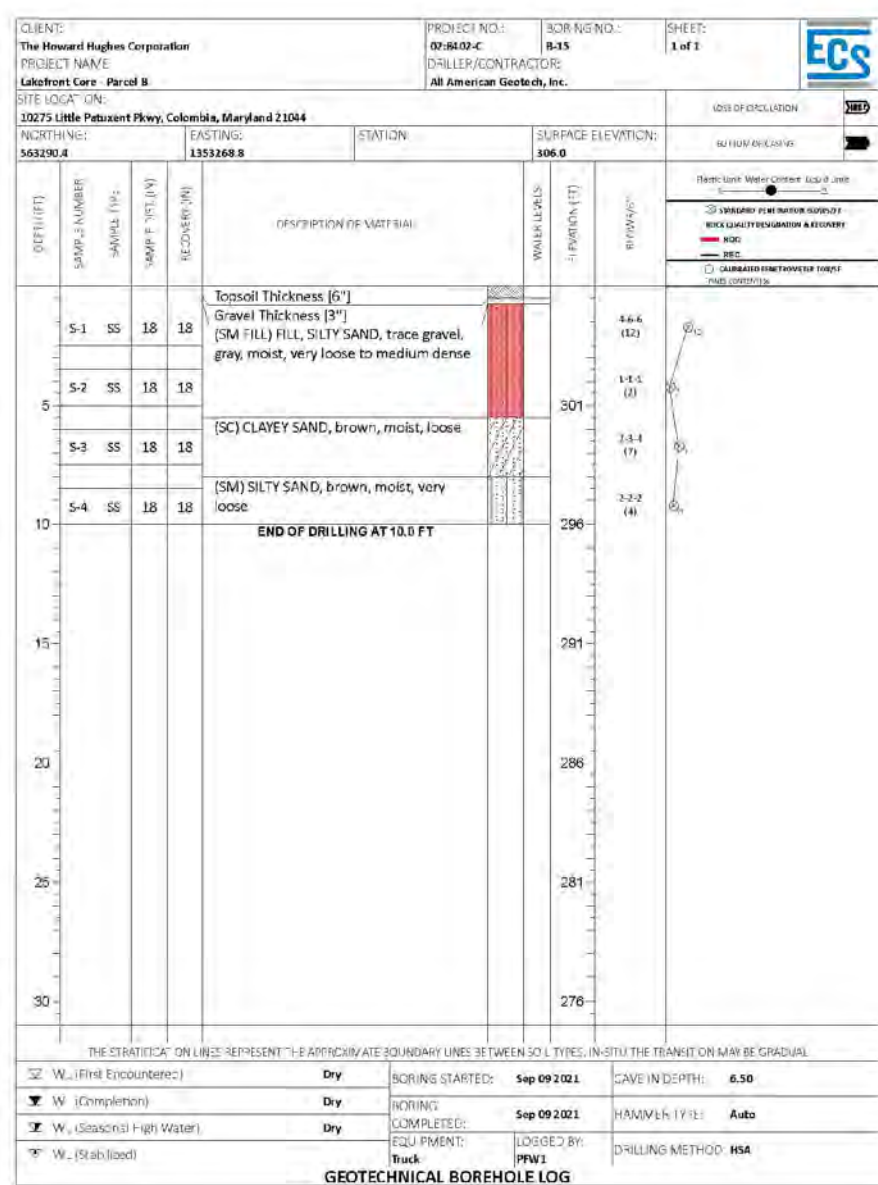
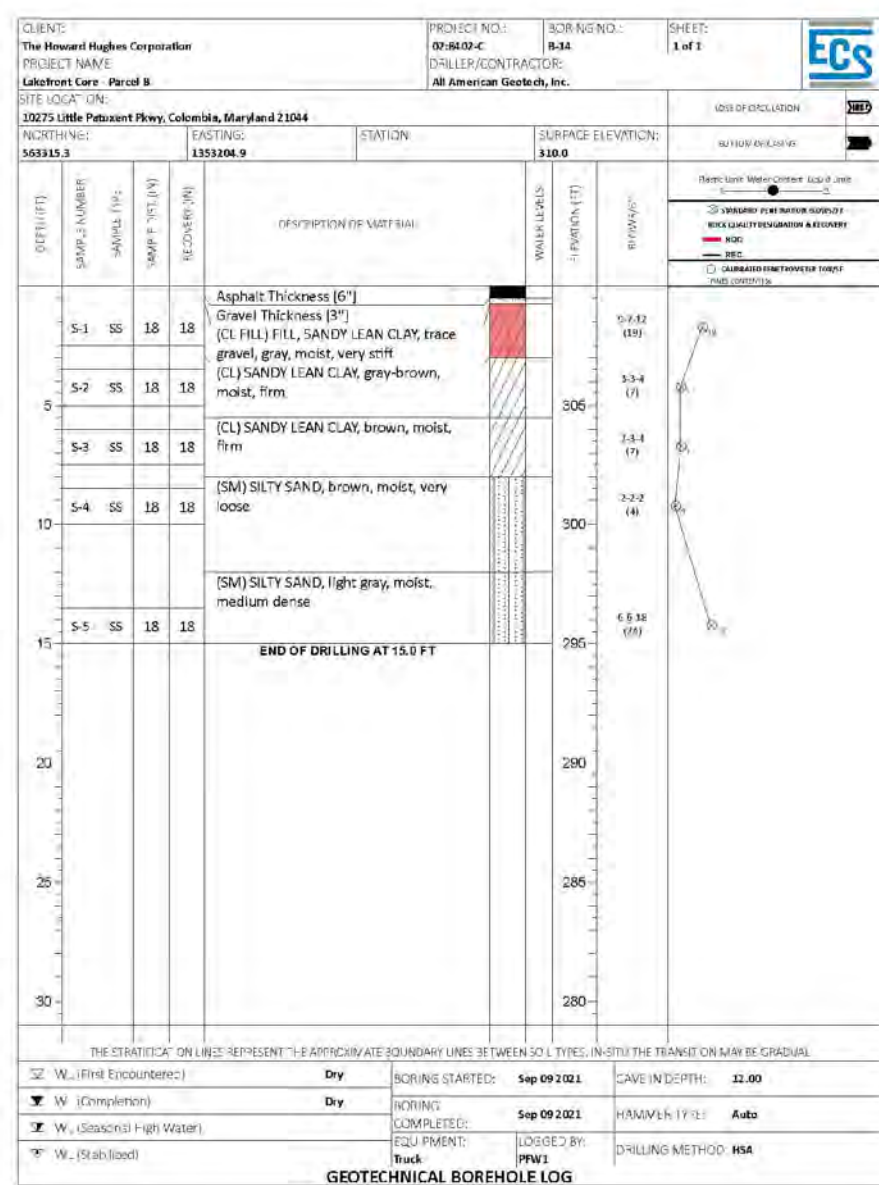
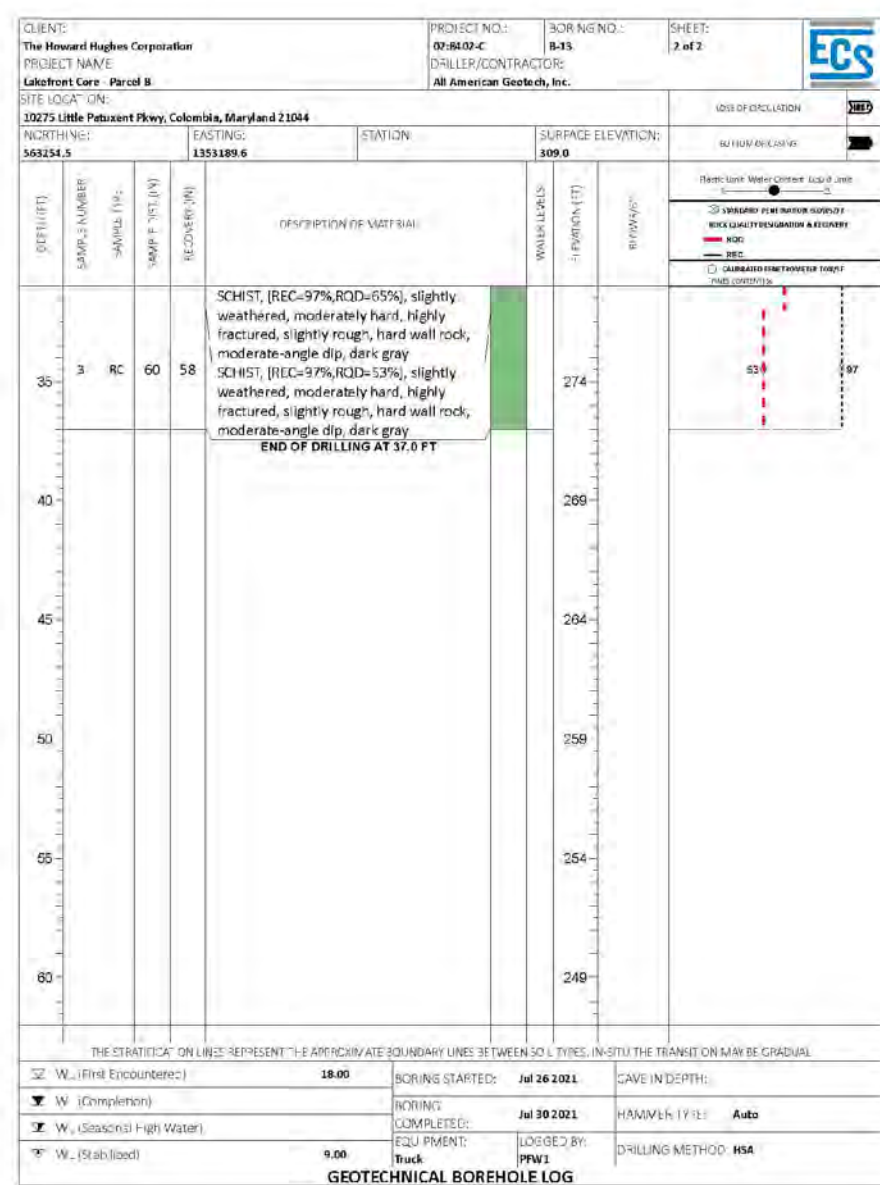
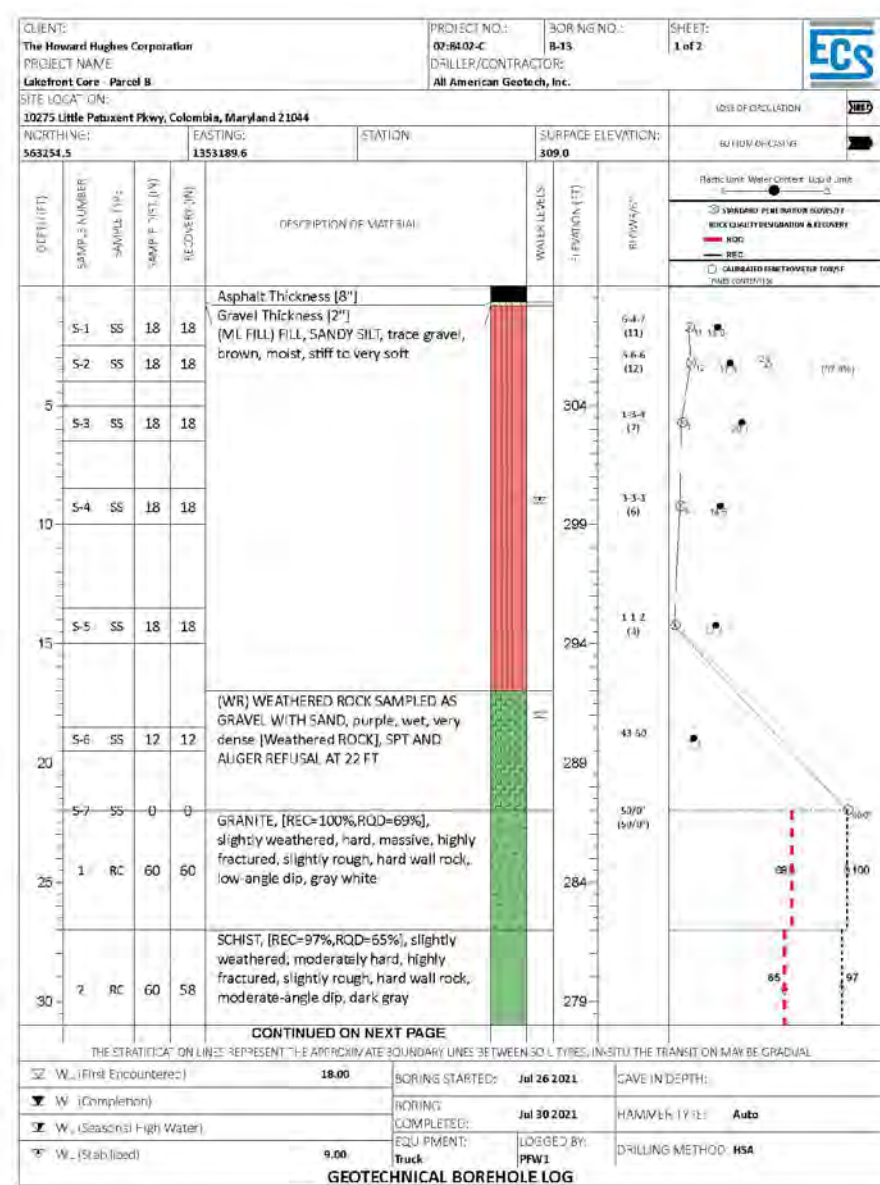
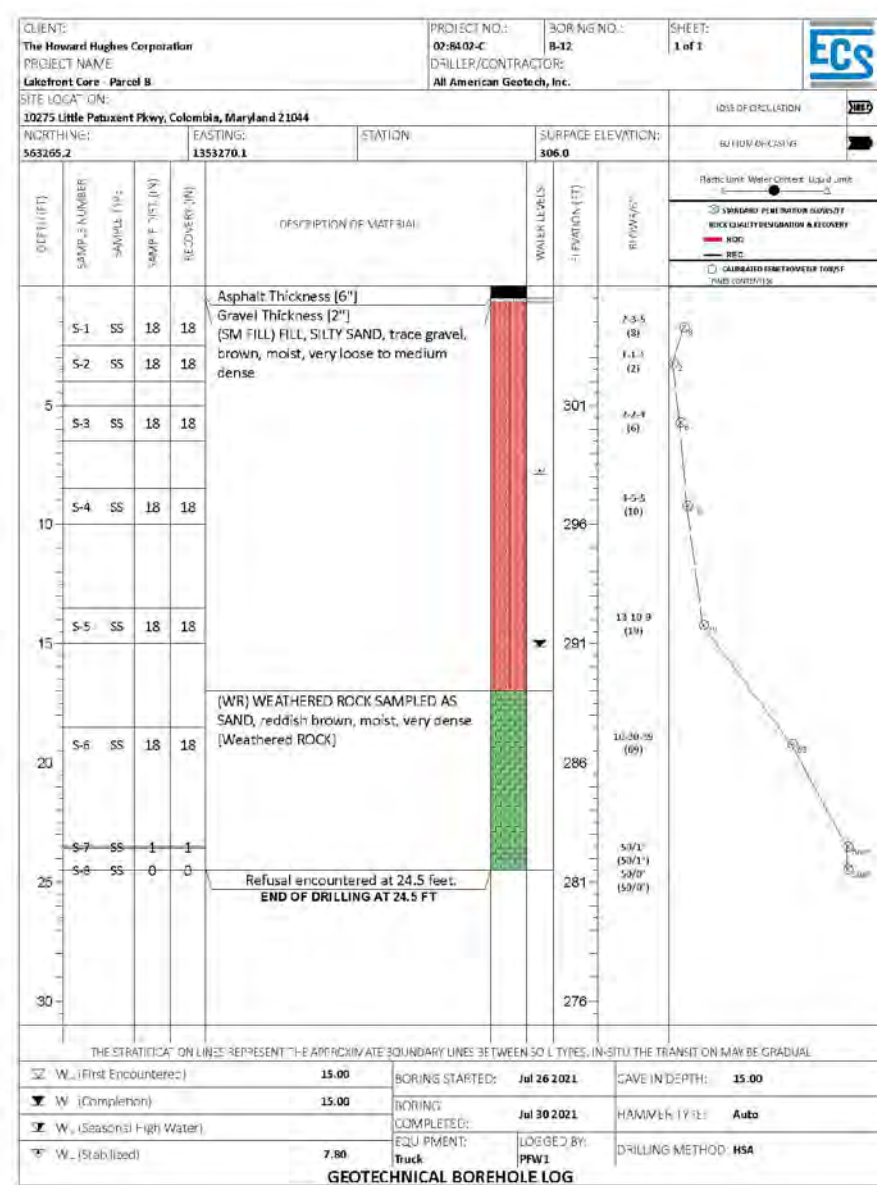
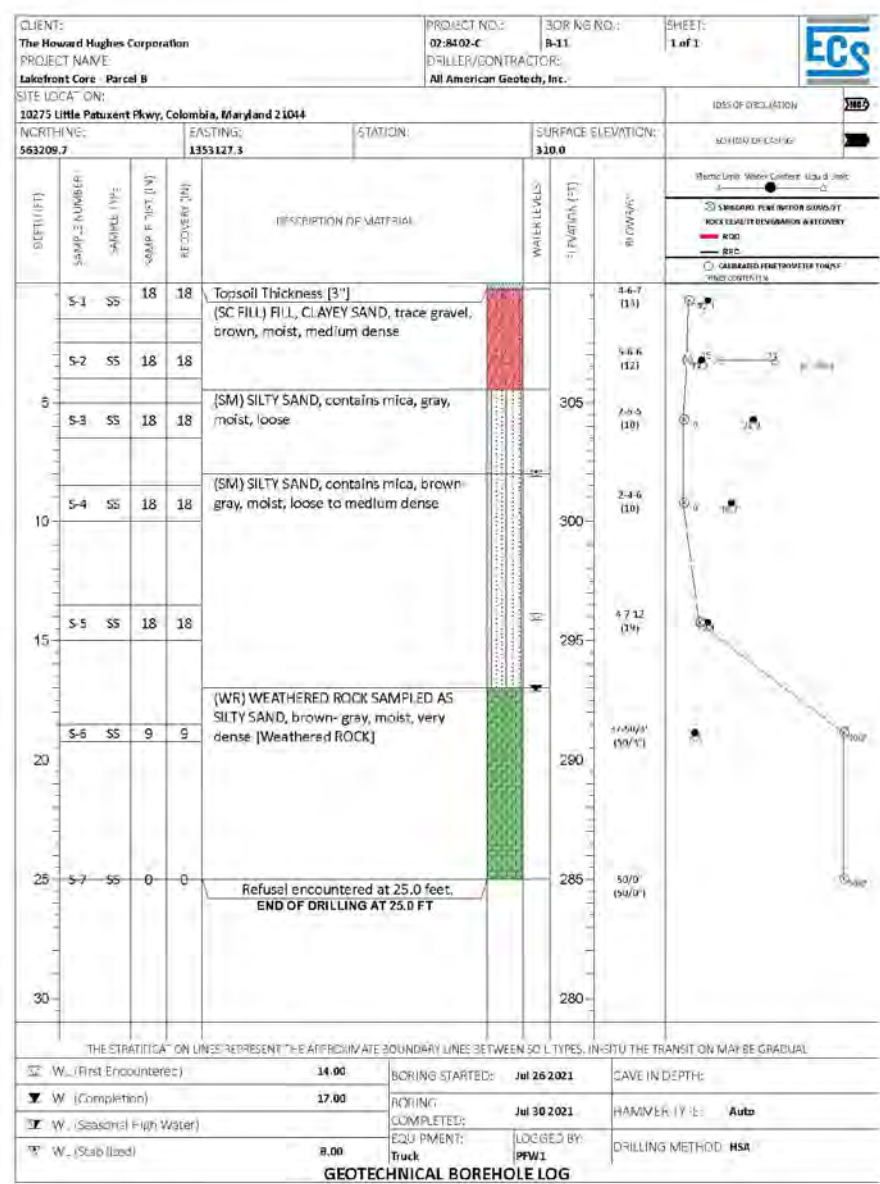
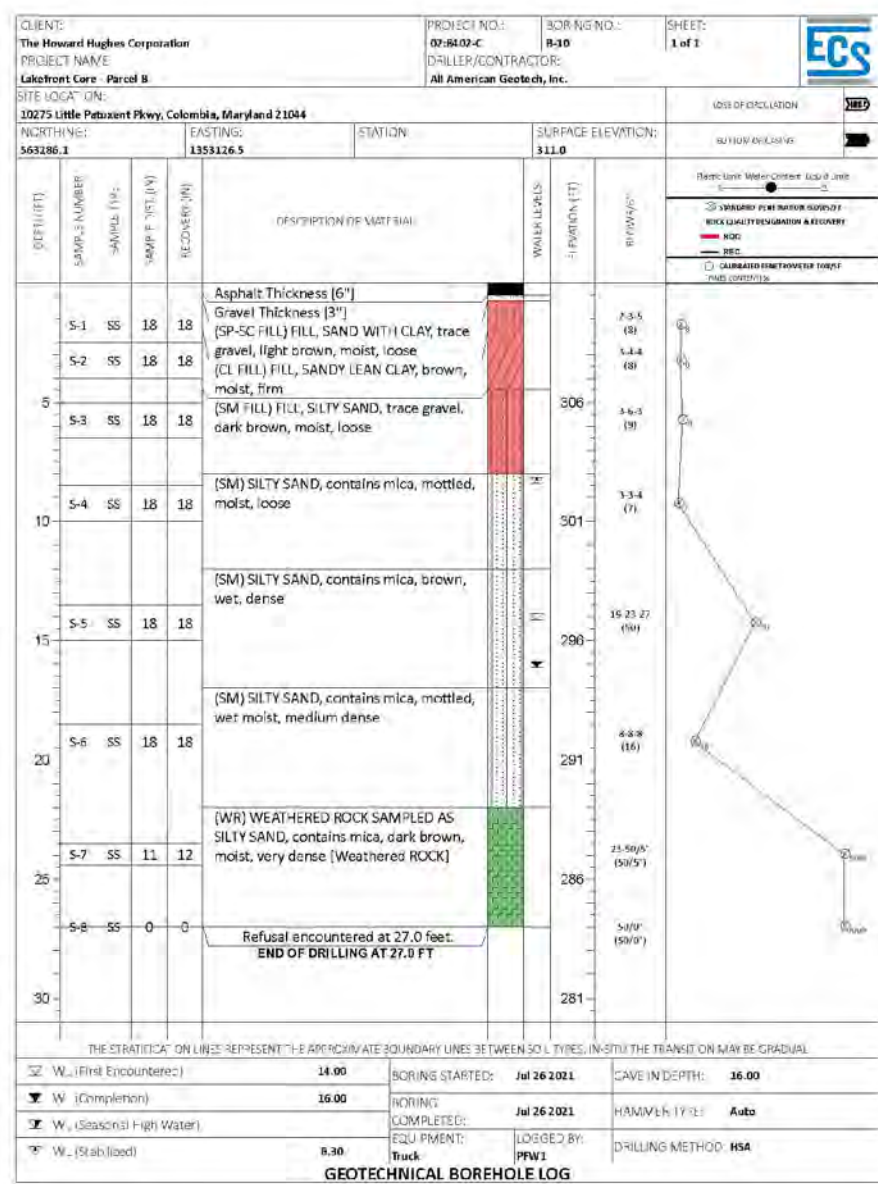
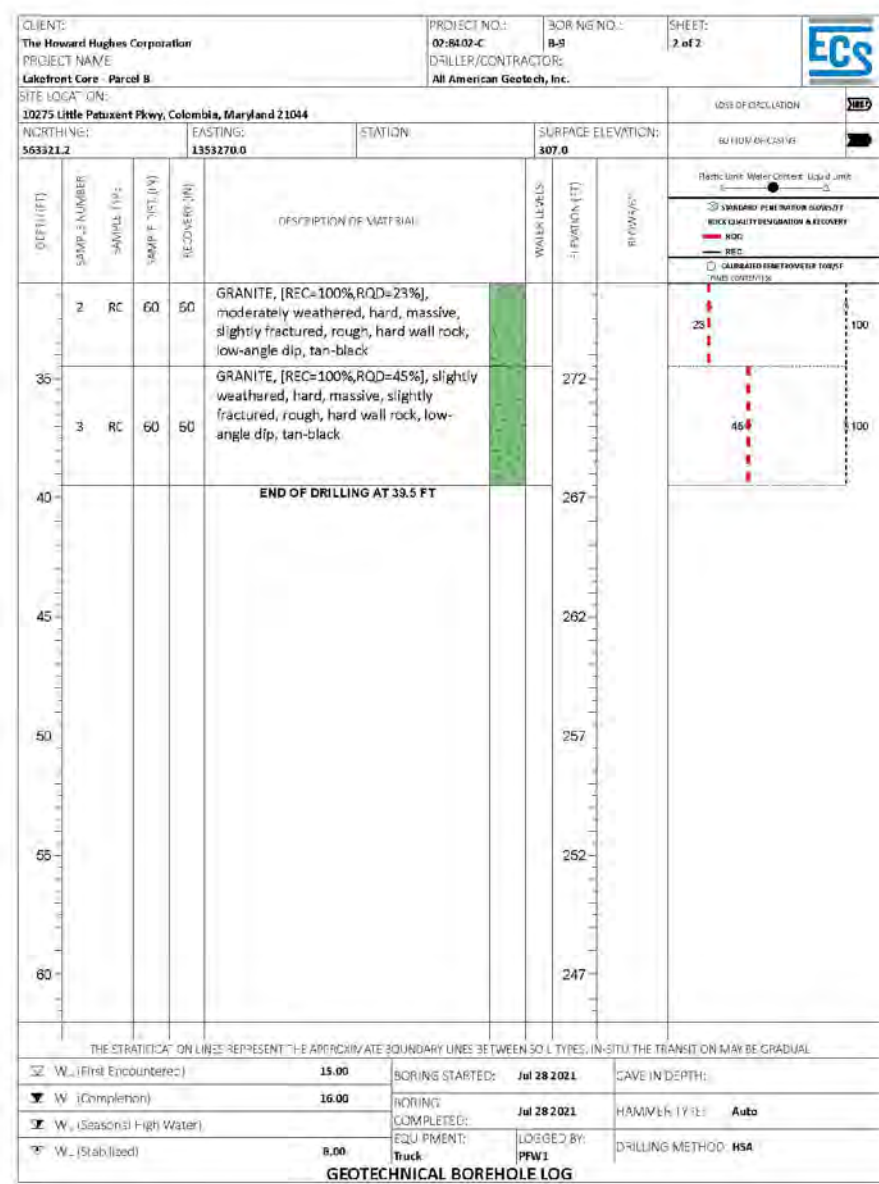
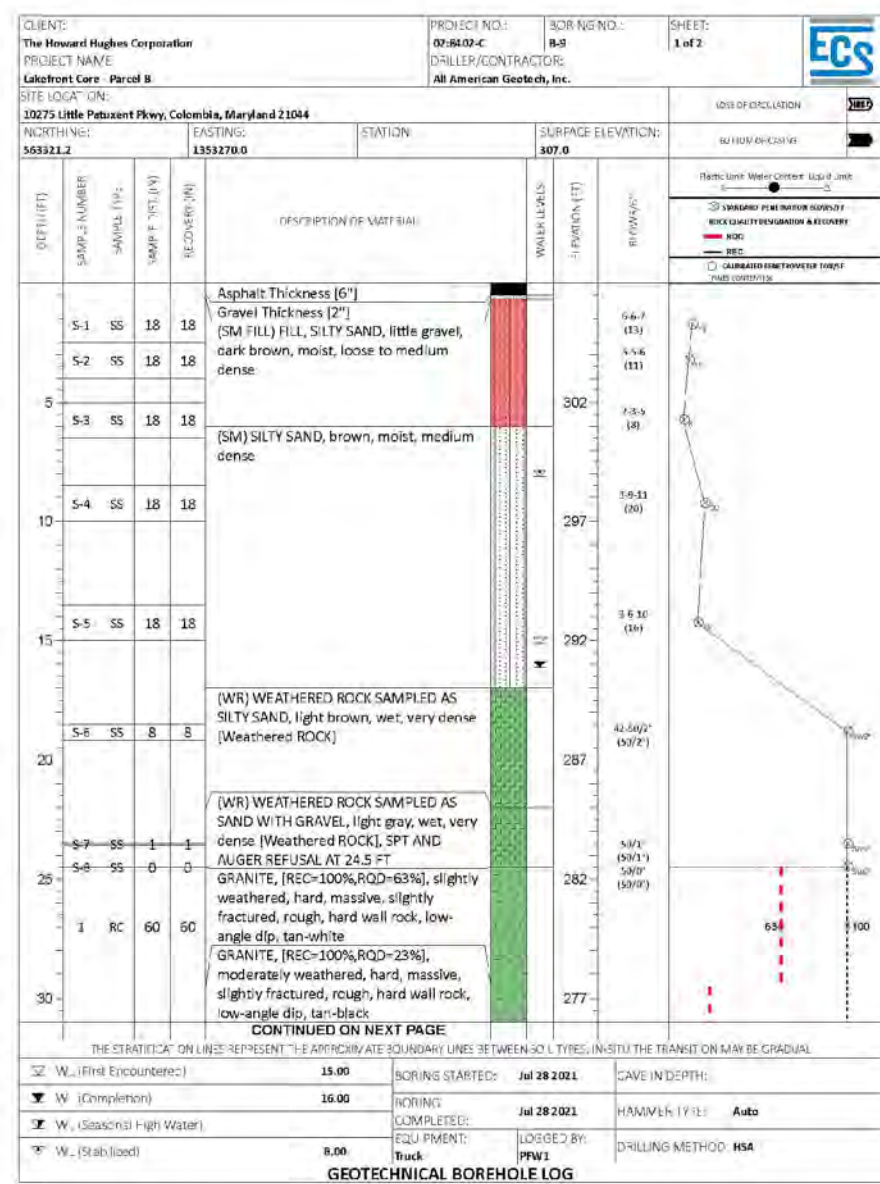
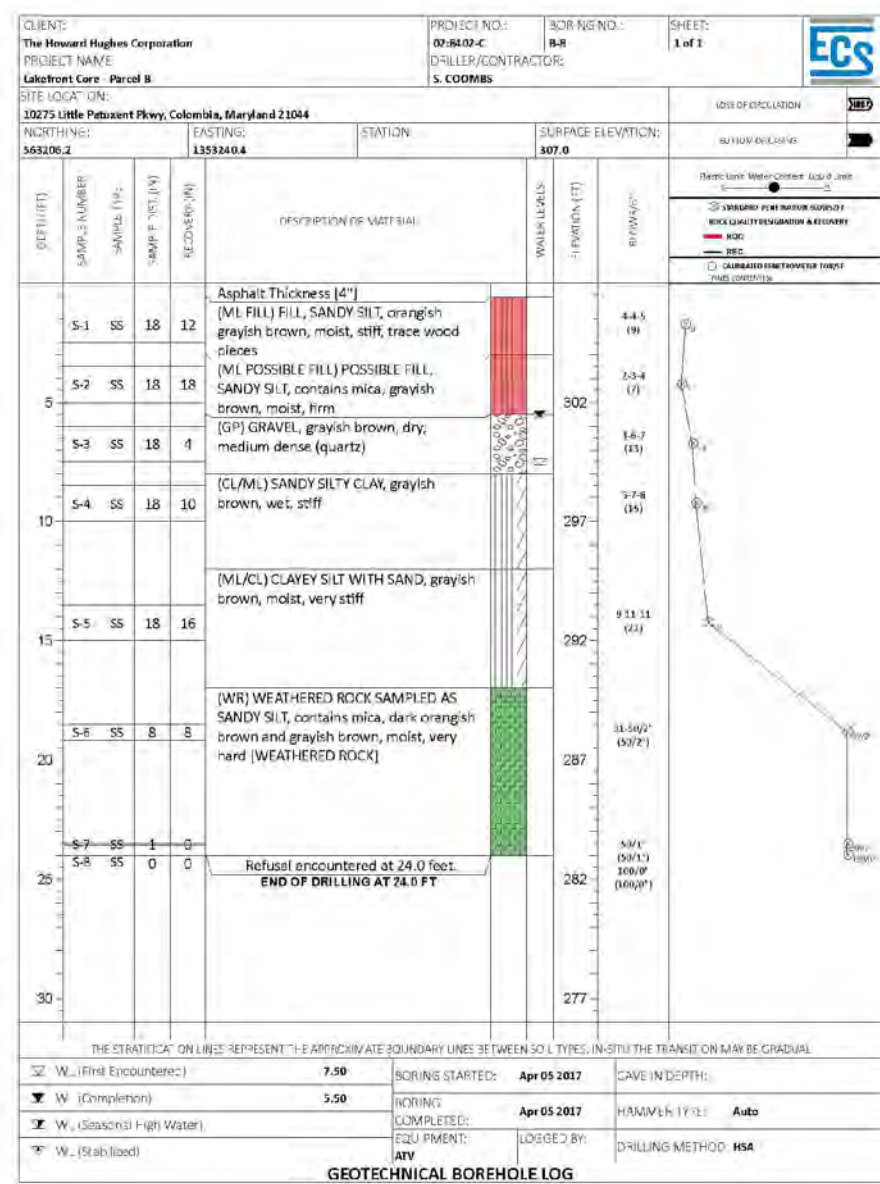
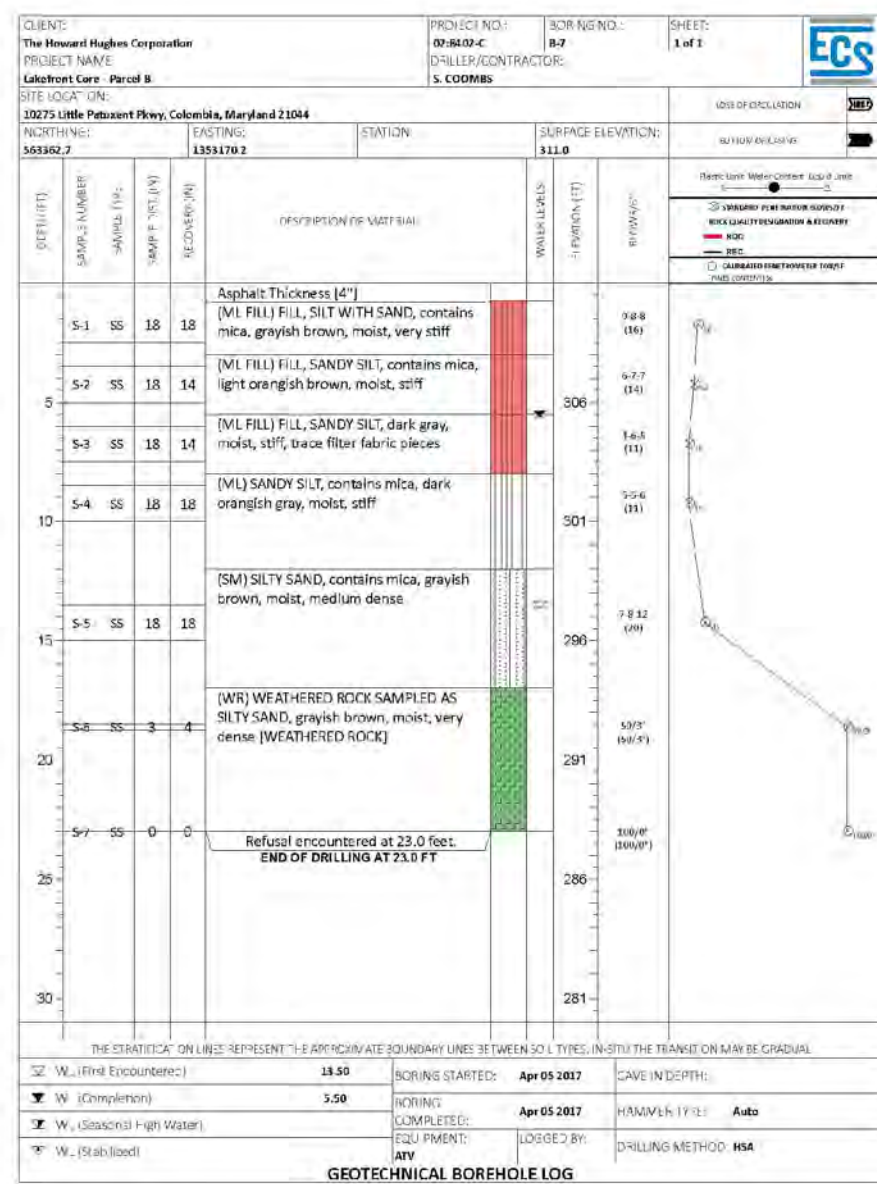
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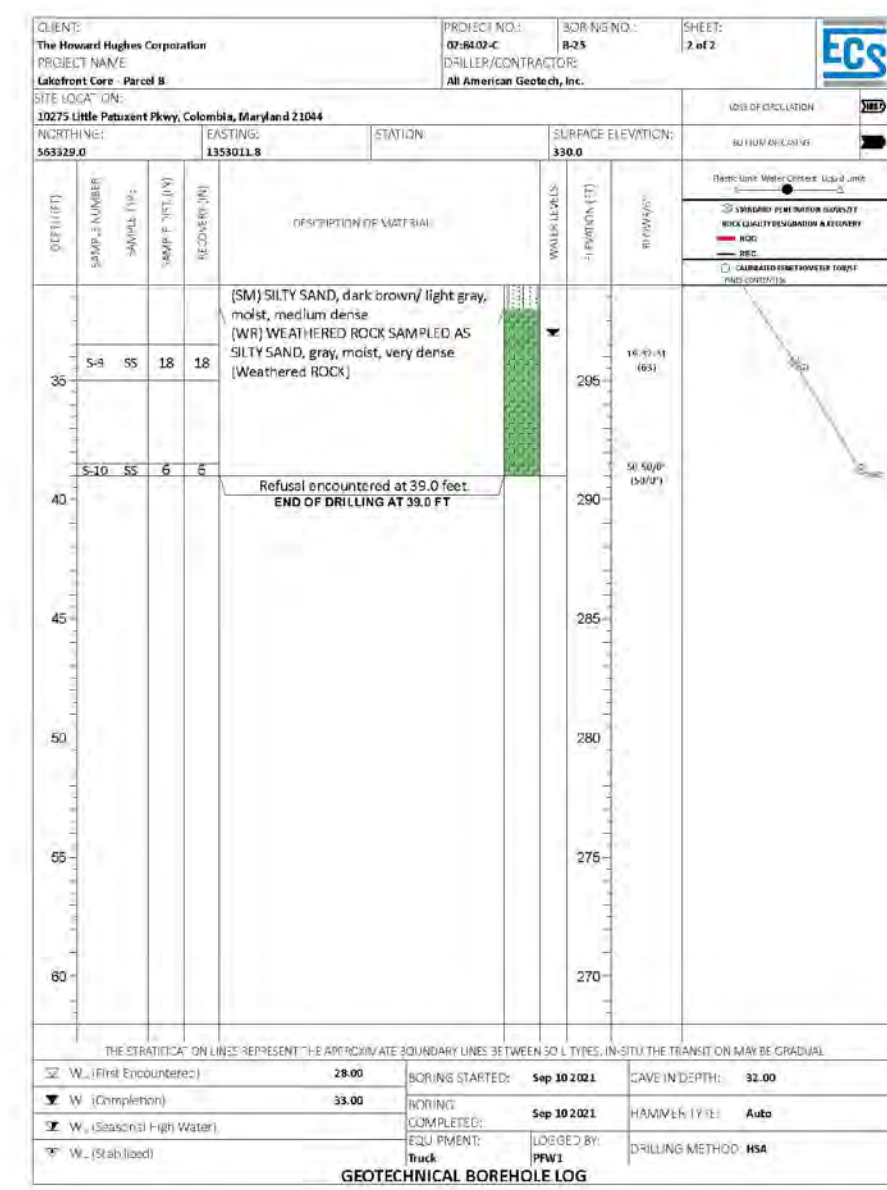
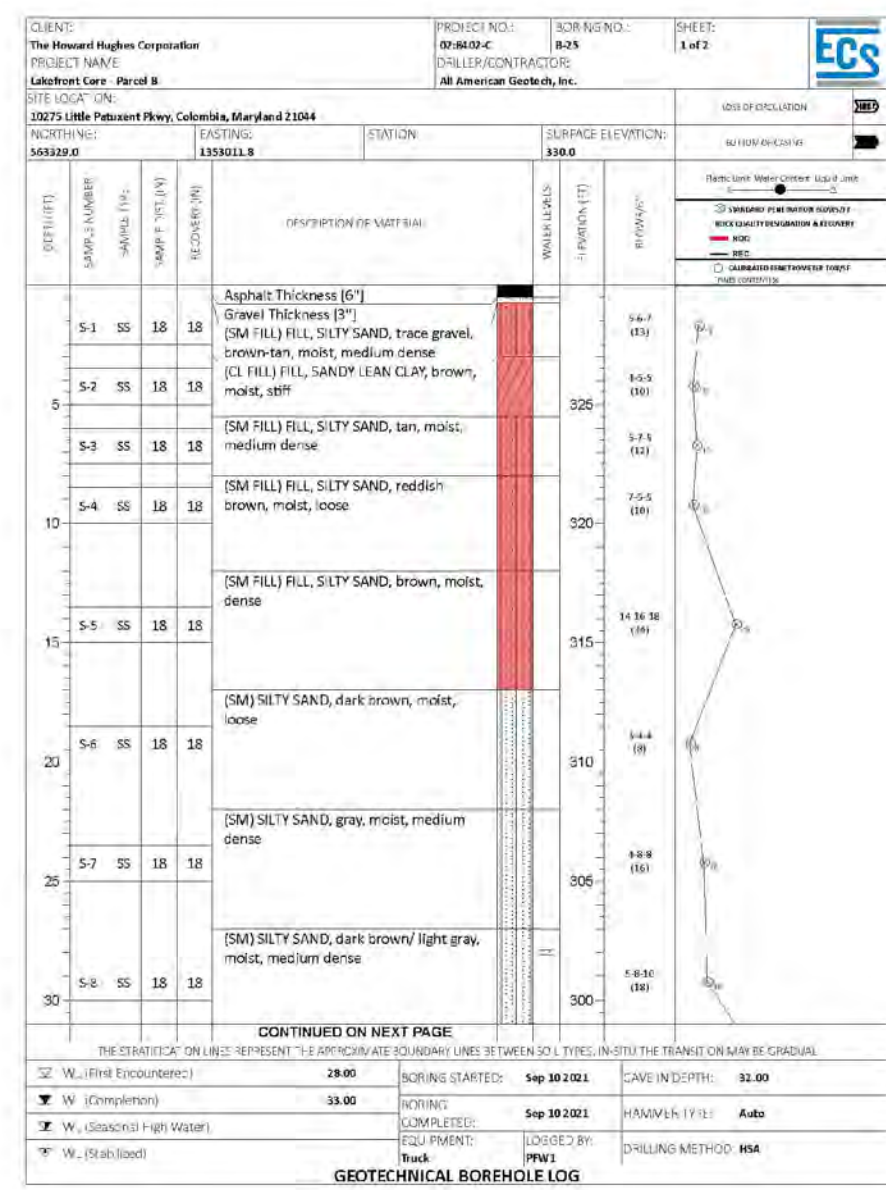
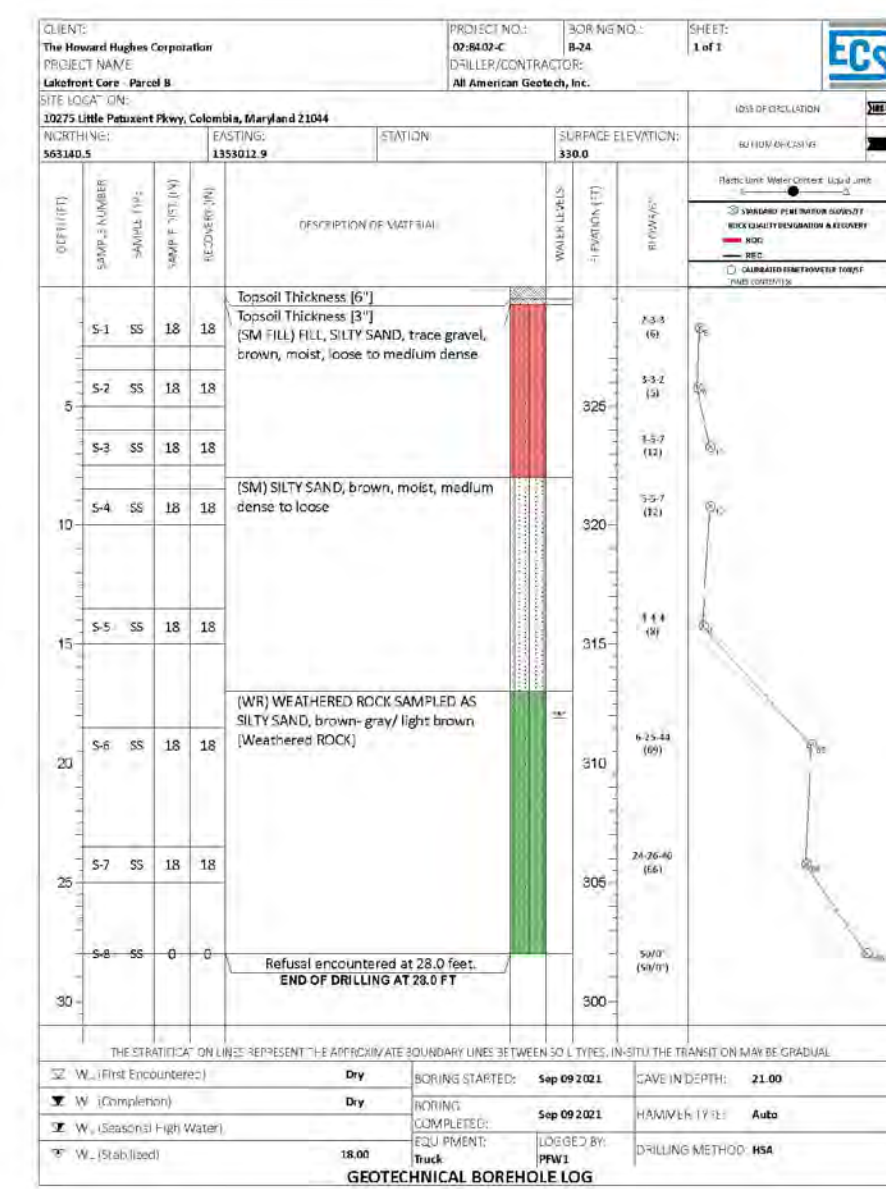
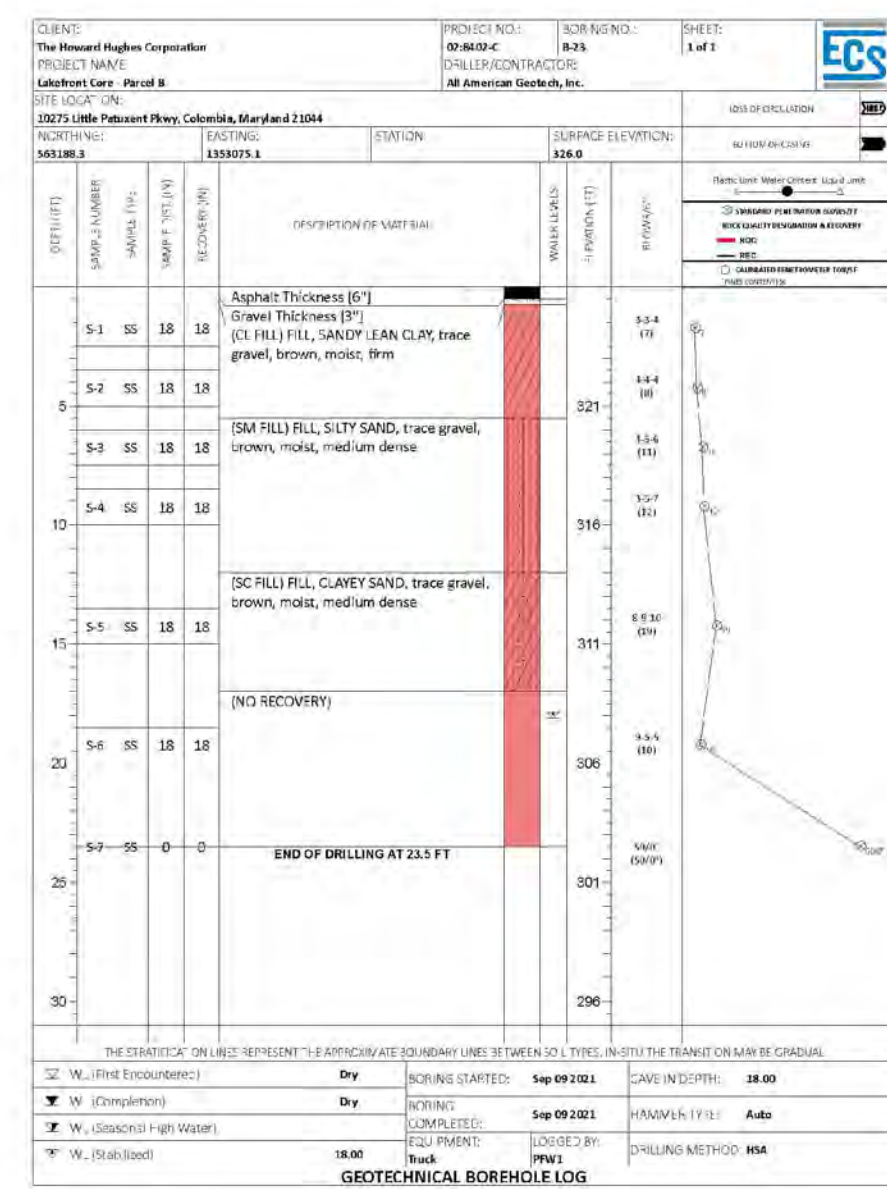
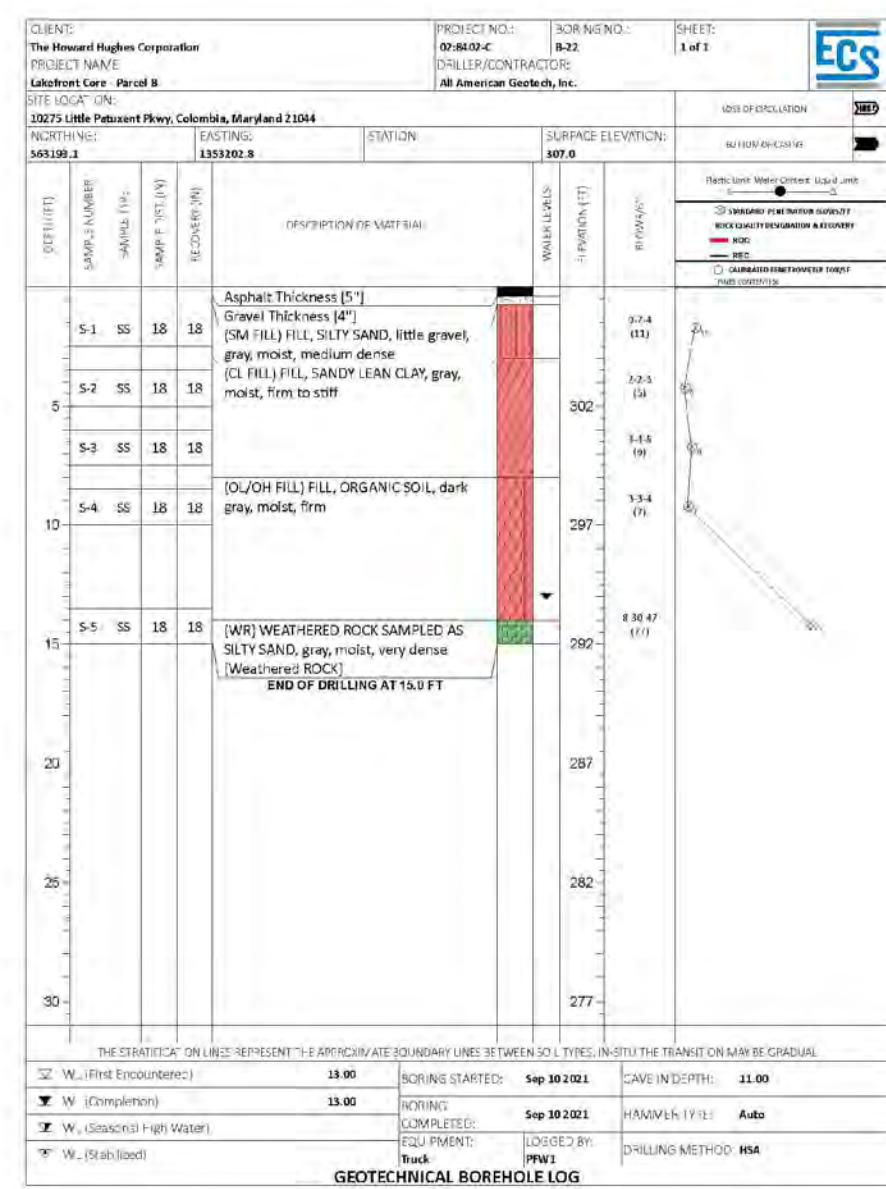
**BRIDGE SECTION AND DETAIL**

**SOUTHLAKE OFFICE BUILDING**  
DOWNTOWN COLUMBIA  
LAKEFRONT CORE NEIGHBORHOOD, PHASE 1, PARCEL B  
A RESUBDIVISION OF SECTION 1, LOT 29 (PLAT No. XXXXX)  
HOWARD COUNTY, MARYLAND

ELECTION DISTRICT No. 5

SCALE	ZONING	JOB No.
1"=XX'	NT	<b>M21883</b>
DATE	TAX MAP - GRID	SHEET
DEC., 2021	36 - 2	27 OF 52





**APPROVED**  
**PLANNING BOARD OF HOWARD COUNTY**

Date: \_\_\_\_\_

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director: \_\_\_\_\_ Date: \_\_\_\_\_

Chief, Division of Land Development: \_\_\_\_\_ Date: \_\_\_\_\_

Chief, Development Engineering Division: \_\_\_\_\_ Date: \_\_\_\_\_

3809 NATIONAL DRIVE | SUITE 250 | BURTONTVILLE, MD 20896 | GLW@PA.COM  
PHONE: 301-421-4024 | BALT. 410-880-1820 | DC&VA: 301-989-2524 | FAX: 301-421-4166

DESIGNED BY:	XXXX				
DRAWN BY:	XXXX				
CHECKED BY:	XXXX				
DATE		REVISION		BY	APPR.

PREPARED FOR:

OWNER:  
CLOVER ACQUISITIONS LLC  
C/O THE HOWARD HUGHES  
CORP.  
PO BOX 131298  
CARLSBAD CA 92013

DEVELOPER:  
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COLUMBIA, MD 21044  
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EXPIRATION DATE: \_\_\_\_\_

**BORING LOGS**

**SOUTHLAKE OFFICE BUILDING**  
**DOWNTOWN COLUMBIA**  
**LAKEFRONT CORE NEIGHBORHOOD, PHASE I, PARCEL B**  
**A RESUBDIVISION OF SECTION 1, LOT 29 (PLAT No. XXXXX)**

ELECTION DISTRICT No. 5

SCALE	ZONING	G. L. W. FILE NO.
AS SHOWN	NT	18046
DATE	TAX MAP - GRID	SHEET
APRIL, 2022	36 - 2	29 OF 52

HOWARD COUNTY, MARYLAND

L:\CAD\DRAWINGS\18046\PLANS BY GLW\SDP\18046 BORING LOGS.dwg - 8/20/22 4:19:23 PM, sheet 13

# SOUTHLAKE MEDICAL OFFICE BUILDING

## JUNE, 2022

### ABBREVIATIONS

<p>A ABV ABOVE A/C ASPHALT CONCRETE AD AREA DRAIN ADJ ADJUSTABLE/ADJACENT AFF ABOVE FINISHED FLOOR AGG AGGREGATE ALT ALTERNATE/ALTERATION APPROX APPROXIMATE ARCH ARCHITECT/ARCHITECTURAL AVG AVERAGE</p> <p>B BC BOTTOM OF CURB BL BREAK LINE BLDG BUILDING BLKG BLOCKING BOT/BTM BOTTOM BP BOTTOM OF POOL BR BREAK LINE BTWN BETWEEN BS BOTTOM OF STAIR BW BOTTOM OF WALL</p> <p>C CAP CAPACITY CBC CATCH BASIN CDF CONTROLLED DENSITY FILL CEM CEMENT CF CAST FACE CI CAST IRON CIP CAST IN PLACE CJ CONTROL JOINT CL CENTER LINE CLR CLEAR, CLEARANCE CO CLEAN OUT COL COLUMN COMP COMPOSITE/COMPOSITION CONC CONCRETE COND CONDITION CONT CONTINUOUS CTR CENTER CTSK COUNTERSUNK CU CUBIC CUFT CUBIC FOOT</p> <p>D (D) DEEP/DEPTH DBL DOUBLE DECID DECIDUOUS DETL DETAIL DIA DIAMETER DIM DIMENSION DN DOWN DR DRAIN DWG DRAWING</p> <p>E E EAST EA EACH EB EXPANSION BOLT EJ EXPANSION JOINT EL ELEVATION ELEC ELECTRICAL EQ EQUAL EQUIP EQUIPMENT ETR EXISTING TO REMAIN EW EAST WEST EXP EXPANSION EXT EXTERIOR</p>	<p>F FB FLAT BAR FDC FIRE DEPARTMENT CONNECTION FDG FACILITY DESIGN GUIDELINES FDN FOUNDATION FFE FINISH FLOOR ELEVATION FG FINISH GRADE FH FLAT HEAD FIN FINISH FL FLOOR FO FACE OF FOB FACE OF BRICK FOC FACE OF CONCRETE FOF FACE OF FINISH FOIC FURNISHED BY OWNER, INSTALLED BY CONTRACTOR FOIO FURNISHED BY OWNER, INSTALLED BY OWNER FOM FACE OF MASONRY FOS FACE OF STUDS FS FINISH SURFACE FT FOOT OR FEET FTG FOOTING FURN FURNISH(ED) FUT FUTURE</p> <p>G GA GAUGE GAL GALLON GC GENERAL CONTRACTOR GL GLASS/GLAZING/GLAZED</p> <p>H (H) HIGH/HEIGHT HB HOSE BIB HC HANDICAP HDWD HARDWOOD HDWR HARDWARE HORIZ HORIZONTAL HP HIGH POINT HR HANDRAIL HSS HOLLOW STRUCTURAL SECTION HT HEIGHT</p> <p>I ID INSIDE DIAMETER/INSIDE DIMENSION IE INVERT ELEVATION IN INCHES INSUL INSULATION INT INTERIOR J JST JOIST JT JOINT</p> <p>K KD KILN DRIED KO KNOCK OUT</p> <p>L (L) LENGTH LB POUND LF LINEAR FEET LOW LIMIT OF WORK LP LOW POINT LT LIGHT</p> <p>M MAINT MAINTENANCE MAINTAIN MAS MASONRY MAT MATERIAL MAX MAXIMUM</p>	<p>MECH MECHANICAL MEMB MEMBRANE MEP MECHANICAL, ELECTRICAL, AND PLUMBING MTL/MET METAL MFR MANUFACTURER/MANUFACTURING MH MANHOLE MIN MINIMUM/MINUTE MISC MISCELLANEOUS N N NORTH N/A NOT APPLICABLE NIC NOT IN CONTRACT No. NUMBER NOM NOMINAL NS NORTH SOUTH NTS NOT TO SCALE</p> <p>O OA OVERALL OC ON CENTER OD OUTSIDE DIAMETER OFD OVERFLOW DRAIN OH OVER HEAD OPP OPPOSITE</p> <p>P PA PLANTING AREA PC PRECAST PERF PERFORATED PERP PERPENDICULAR PL PLATE PLAS PLASTER PLYWD PLYWOOD PNL PANEL PNT PAINT POB POINT OF BEGINNING POT POINT OF TANGENCY PREFAB PREFABRICATE PSF POUND PER SQUARE FOOT PSI POUNDS PER SQUARE INCH PT PAVING TYPE PVC POLYVINYL CHLORIDE</p> <p>Q QTR QUARTER</p> <p>R (R) RISER HEIGHT R RISER/RELOCATE RAD RADIUS RD ROOF DRAIN REBAR REINFORCING BAR RECT RECTANGULAR REF REFERENCE REINF REINFORCED ROW RIGHT OF WAY RL RIDGE LINE</p> <p>S S SOUTH SCHD SCHEDULE SECT SECTION SHT SHEET SIM SIMILAR SLR SEALER SPEC SPECIFICATION SF SQUARE FEET SS STAINLESS STEEL ST STONE STA STATION</p>	<p>STD STANDARD STL STEEL STR STRUCTURE STRUCT STRUCTURE/STRUCTURAL SURF SURFACE SYM SYMMETRICAL T (T) TREAD DEPTH T TOP/TREAD/THICK T&amp;B TOP AND BOTTOM TB TOP OF BENCH TBD TO BE DETERMINED TC TOP OF CURB / TOP OF CONCRETE TEMP TEMPORARY / TEMPERATURE TRF TOP OF FOOTING THR THRESHOLD TOD TOP OF DECK TOL TOLERANCE TOP TOP OF PLATE / PAVEMENT TOS TOP OF STEEL TS TOP OF STAIR TW TOP OF WALL TYP TYPICAL</p> <p>U UC UNDERCUT UNO UNLESS NOTED OTHERWISE UTIL UTILITY</p> <p>V VAR VARIABLE / VARIES VIF VERIFY IN FIELD VERT VERTICAL VG VERTICAL GRAIN VOL VOLUME</p> <p>W (W) WIDE / WIDTH W WEST W/O WITHOUT W/ WITH WL WATER LEVEL WD WOOD WF WIDE FLANGE WG WIRE GAUGE WP WORK POINT / WATERPROOF WR WASTE RECEPTACLE WT WEIGHT WWF WELDED WIRE FABRIC WWM WELDED WIRE MESH</p> <p>Y YD YARD DRAIN / YARD</p> <p>SYMBOLS &amp; AND @ AT Ø DIAMETER # NUMBER / PER ± PLUS OR MINUS ℄ CENTER LINE ℄ PROPERTY LINE</p>
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### GENERAL NOTES

- THESE DRAWINGS ARE DIAGRAMMATIC IN NATURE. FIELD VERIFY ALL CONDITIONS, QUANTITIES, AND MATERIALS. REPORT DISCREPANCIES TO LANDSCAPE ARCHITECT FOR CLARIFICATION. DO NOT SCALE DRAWINGS. FOLLOW DIMENSIONS SHOWN ON DRAWINGS AND ACTUAL FIELD MEASUREMENTS.
- ALL DIMENSIONS ARE TO FINISH FACE OF CONCRETE AND MASONRY. FACE OF FRAMING OR CENTERLINE OF COLUMNS, UNLESS NOTED OTHERWISE.
- CONSTRUCTION SHALL COMPLY WITH IBC 2018, ADAAG 2010, THE MARYLAND BUILDING PERFORMANCE STANDARDS (MBPS), AND 2019 HOWARD COUNTY BUILDING CODE AMENDMENTS, ADOPTED AS THE CONSTRUCTION STANDARD, AS WELL AS CURRENT STATE AND MUNICIPAL AMENDMENTS, AND OTHER APPLICABLE CODES AND ORDINANCES. FOLLOW MANUFACTURER INSTRUCTIONS, EXCEPT WHERE MORE STRINGENT REQUIREMENTS ARE INDICATED OR REQUIRED BY CODE.
- CONTRACTOR TO EXAMINE DRAWINGS AND SPECIFICATIONS AND BRING DISCREPANCIES BETWEEN LANDSCAPE ARCHITECT AND CONSULTANT WORK TO THE ATTENTION OF THE LANDSCAPE ARCHITECT BY WRITTEN NOTICE FOR CLARIFICATION. WORK INSTALLED IN CONFLICT WITH CONSTRUCTION DOCUMENTS WILL BE CONSIDERED IN NON-CONFORMANCE AND CORRECTED AT CONTRACTOR'S TIME AND EXPENSE AND AT NO EXPENSE TO OWNER OR LANDSCAPE ARCHITECT.
- ELECTRICAL ITEMS ARE NOTED ON LANDSCAPE ARCHITECTURAL DRAWINGS FOR COORDINATION ONLY. SEE RELATED DRAWINGS FOR REQUIRED WORK.
- THE LOCATION OF ALL SURFACE AND UNDERGROUND UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR AT THE BEGINNING OF SITE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING STRUCTURES AND UTILITIES TO REMAIN FROM DAMAGE AS REQUIRED DURING CONSTRUCTION AND TO REPAIR ANY DAMAGE WHICH SHOULD OCCUR TO THE SATISFACTION OF THE CLIENT OR DAMAGED PARTY.
- SEE CIVIL DRAWINGS FOR PROPOSED SANITARY AND STORM SEWER LOCATIONS AND IMPROVEMENTS.
- THIS PROJECT IS TARGETING LEED BD+C v4.1 PLATINUM.

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L-102	MATERIALS PLAN	32
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L-106	PLANTING PLAN SOUTH	36
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L-501	PAVING DETAILS	40
L-502	RAILINGS DETAILS	47
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L-504	PLANTING DETAILS	49

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director \_\_\_\_\_ Date \_\_\_\_\_

Chief, Division of Land Development \_\_\_\_\_ Date \_\_\_\_\_

Chief, Development Engineering Division \_\_\_\_\_ Date \_\_\_\_\_

**BUILDER'S CERTIFICATE**

I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE, THE LANDSCAPE MANUAL FOR NEW TOWN ALTERNATIVE COMPLIANCE, AND THE LAKEFRONT CORE NEIGHBORHOOD DESIGN GUIDELINES, RECORDED AS BOOK XXXXX, PAGE XXX ADOPTED FOR THE SUBJECT PROPERTY. I/WE FURTHER CERTIFY THAT UPON COMPLETION A LETTER OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

NAME \_\_\_\_\_ DATE \_\_\_\_\_

**APPROVED**

**PLANNING BOARD OF HOWARD COUNTY**

Date: \_\_\_\_\_

**Unknown Studio**

2219 Saint Paul Street / Baltimore, MD 21218  
P: 410.246.2946

DESIGNED BY	DRAWN BY	CHECKED BY	DATE	REVISION	BY	APP'R.
BC	LD	ES				

PREPARED FOR:

OWNER:  
CLOVER ACQUISITIONS LLC  
C/O THE HOWARD HUGHES CORP.  
PO BOX 131298  
CARLSBAD CA 92013

DEVELOPER:  
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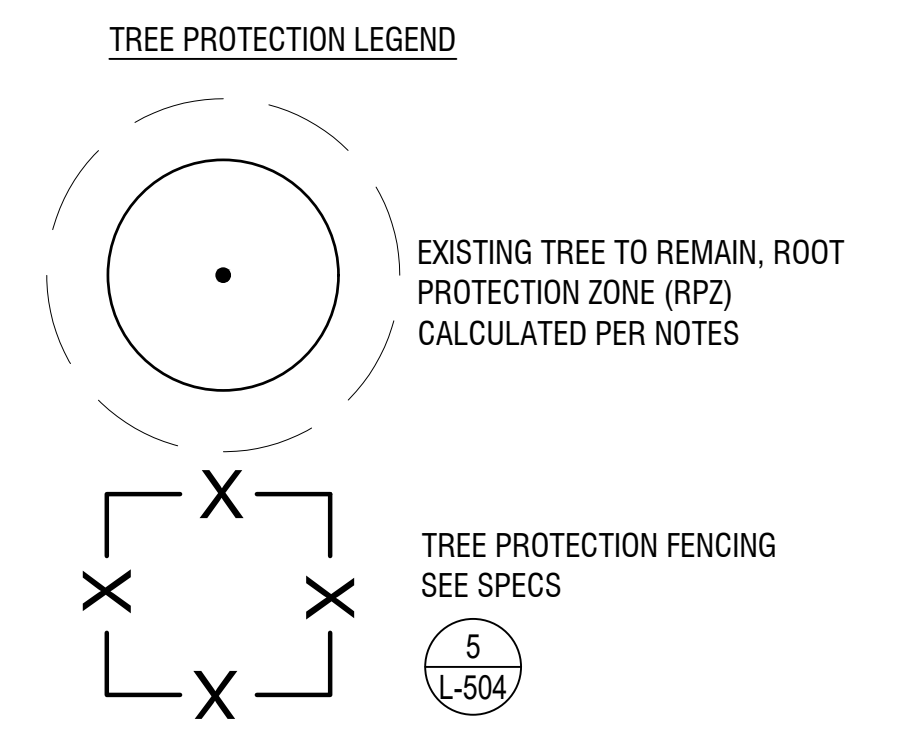
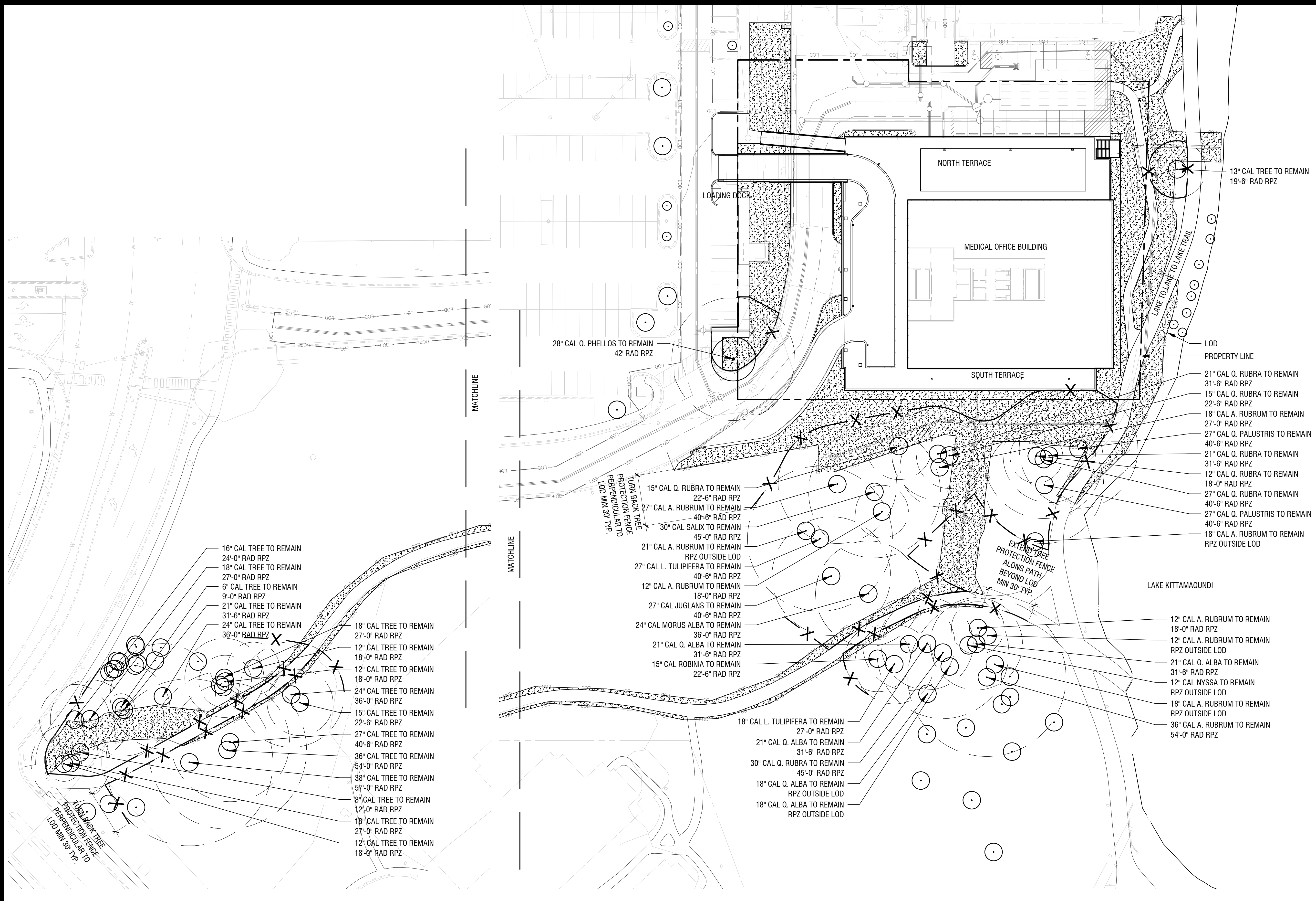
L-001 LANDSCAPE INDEX

**SOUTHLAKE OFFICE BUILDING**  
DOWNTOWN COLUMBIA  
LAKEFRONT CORE NEIGHBORHOOD, PHASE 1, PARCEL B  
A RESUBDIVISION OF SECTION 1, LOT 29 (PLAT No. XXXXX)

ELECTION DISTRICT No. 5

SCALE	ZONING	JOB No.
N/A	NT	2110
DATE	TAX MAP - GRID	SHEET
JUNE, 2022	36 - 2	30 OF 52

HOWARD COUNTY, MARYLAND



- TREE PROTECTION NOTES:**
- ALL TREE PROTECTION MEASURES SHALL BE SUBJECT TO APPROVAL AND SUPERVISION BY LANDSCAPE ARCHITECT AND/OR CERTIFIED ARBORIST. THE CONTRACTOR IS ADVISED TO CONFER WITH LANDSCAPE ARCHITECT AND ARBORIST BEFORE ANY CONSTRUCTION ACTIVITIES BEGIN, INCLUDING CONSTRUCTION OFFICE SETUP, DELIVERY OF MATERIALS TO SITE, AND ANY OTHER CONSTRUCTION PRESENCE RELATED TO THE SITE OR OFFSITE.
  - A ROOT PROTECTION ZONE WILL BE ESTABLISHED AROUND EACH TREE OR ANY VEGETATION TO BE PRESERVED. THE RPZ SHALL BE DETERMINED BY TREE SIZE AT THE TIME OF CONSTRUCTION: 15' RADIUS FROM TRUNK FOR EVERY 1" IN DIAMETER OF TRUNK AT 4.5' FROM GROUND, WITH A MINIMUM 5' DIAMETER FROM THE TRUNK. RPZ CALCULATIONS PROVIDED FOR CONVENIENCE ONLY; IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY TREE CAL SIZES AND CALCULATE RPZ PER EQUATION LISTED ABOVE.
  - NO WORK SHALL BEGIN WHERE TREE PROTECTION FENCING HAS NOT BEEN COMPLETED AND APPROVED. TREE PROTECTION FENCING SHALL BE INSTALLED, MAINTAINED AND REPAIRED BY THE CONTRACTOR UNTIL CONSTRUCTION IS COMPLETED. THE FENCING WILL BE ORANGE HEAVY DUTY PLASTIC BARRIER FENCE, A MINIMUM OF 6 FEET HEIGHT.
  - LANDSCAPE ARCHITECT AND CERTIFIED ARBORIST ARE REQUIRED TO BE PRESENT TO SUPERVISE TEMPORARY MOVING OF PROTECTION FENCING FOR ANY TRENCHING, DIGGING, OR EXCAVATION OF ANY KIND WITHIN A TREE'S RPZ. TUNNELING OR BORING UNDER ROOTS VIA AIR SPADE, RATHER THAN PRUNING, IS REQUIRED. FENCING MUST BE PUT BACK IN PLACE IMMEDIATELY FOLLOWING AND BETWEEN ANY WORK.
  - IF TREE ROOTS ARE EXPOSED DURING CONSTRUCTION, CONTRACTOR SHALL CONTACT LANDSCAPE ARCHITECT AND CERTIFIED ARBORIST. ROOTS SHALL BE CUT WITH A ROCK SAW OR BY HAND, NOT BY AN EXCAVATOR OR OTHER ROAD CONSTRUCTION EQUIPMENT. ANY ROOT 2 INCHES (2") OR LARGER THAT IS EXPOSED DURING CONSTRUCTION SHALL REQUIRE CONSULTATION WITH ARBORIST BEFORE CUTTING. EXPOSED ROOTS SHALL BE COVERED AT THE END OF THE WORK DAY USING TECHNIQUES SUCH AS COVERING WITH SOIL, MULCH OR WET BURLAP.
  - ROOTS OR BRANCHES IN CONFLICT WITH CONSTRUCTION SHALL BE REVIEWED WITH LANDSCAPE ARCHITECT AND ARBORIST. ANY DAMAGE DONE TO EXISTING TREE CROWNS OR ROOT SYSTEMS SHALL BE DISCUSSED IMMEDIATELY AFTER INJURY WITH LANDSCAPE ARCHITECT AND CERTIFIED ARBORIST BEFORE CUTTING CLEANLY. ROOTS EXPOSED DURING CONSTRUCTION OPERATIONS WILL BE CUT CLEANLY.
  - ALL ROOTS LARGER THAN ONE-INCH IN DIAMETER ARE TO BE CUT CLEANLY AND DISINFECTED WITHIN 30 MINUTES.
  - DURING CONSTRUCTION, NO EXCESS SOIL, ADDITIONAL FILL MATERIAL, EQUIPMENT, LIQUIDS, OR CONSTRUCTION DEBRIS SHALL BE PLACED INSIDE THE RPZ, NOR SHALL ANY SOIL BE REMOVED FROM WITHIN THE PROTECTIVE BARRIER.
  - NO EQUIPMENT, VEHICLES OR MATERIALS SHALL BE STORED WITHIN THE ROOT PROTECTION ZONE OR TREE PROTECTION FENCES. NO CLEAN-OUT AREAS SHALL BE CONSTRUCTED SO THAT THE MATERIAL WILL BE ALLOWED TO MIGRATE TO THE ROOT PROTECTION ZONE.
  - WHERE CONSTRUCTION TRAFFIC MUST OCCUR WITHIN THE ROOT PROTECTION ZONE, PROVIDE METAL PLATES OR AN 8" MINIMUM LAYER OF SHREDDED WOOD SCRAPS (HOG FUEL).
  - NO GRADE CHANGE MORE THAN 3 INCHES IS ALLOWED WITHIN THE ROOT PROTECTION ZONE.
  - TREES WHICH ARE DAMAGED OR LOST DUE TO THE CONTRACTOR'S NEGLIGENCE DURING CONSTRUCTION SHALL BE MITIGATED BY PROVIDING REPLACEMENT TREES PER LOCAL STANDARDS.
  - TREES MUST BE MAINTAINED IN GOOD HEALTH THROUGHOUT THE CONSTRUCTION PROCESS. MAINTENANCE MAY INCLUDE, BUT IS NOT LIMITED TO: WATERING THE ROOT PROTECTION ZONE, WASHING FOLIAGE, FERTILIZATION, PRUNING, ADDITIONAL MULCH APPLICATIONS, AND OTHER MAINTENANCE AS NEEDED ON THE PROJECT.
  - NO WIRES, NAILS OR OTHER MATERIALS MAY BE ATTACHED TO PROTECTED TREES.
  - PERFORM CLEARING, GRUBBING, STUMP REMOVAL, TOPSOIL STOCKPILE IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. REMOVE TREES, SHRUBS, STUMPS, AND ROOT SYSTEMS AS NOTED TO A MINIMUM DEPTH OF 42".

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director \_\_\_\_\_ Date \_\_\_\_\_

Chief, Division of Land Development \_\_\_\_\_ Date \_\_\_\_\_

Chief, Development Engineering Division \_\_\_\_\_ Date \_\_\_\_\_

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NAME \_\_\_\_\_ DATE \_\_\_\_\_

**APPROVED**

**PLANNING BOARD OF HOWARD COUNTY**

Date: \_\_\_\_\_

**Unknown Studio**

2219 Saint Paul Street / Baltimore, MD 21218  
P: 410.246.2946

DESIGNED BY	DATE	REVISION	BY	APP'R.
BC				
LD				
ES				

**PREPARED FOR:**

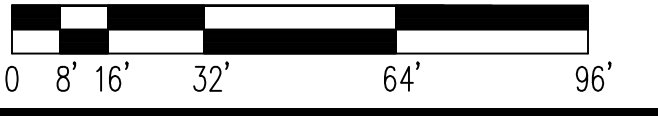
**OWNER:**  
CLOVER ACQUISITIONS LLC  
C/O THE HOWARD HUGHES CORP  
PO BOX 131298  
CARLSBAD CA 92013

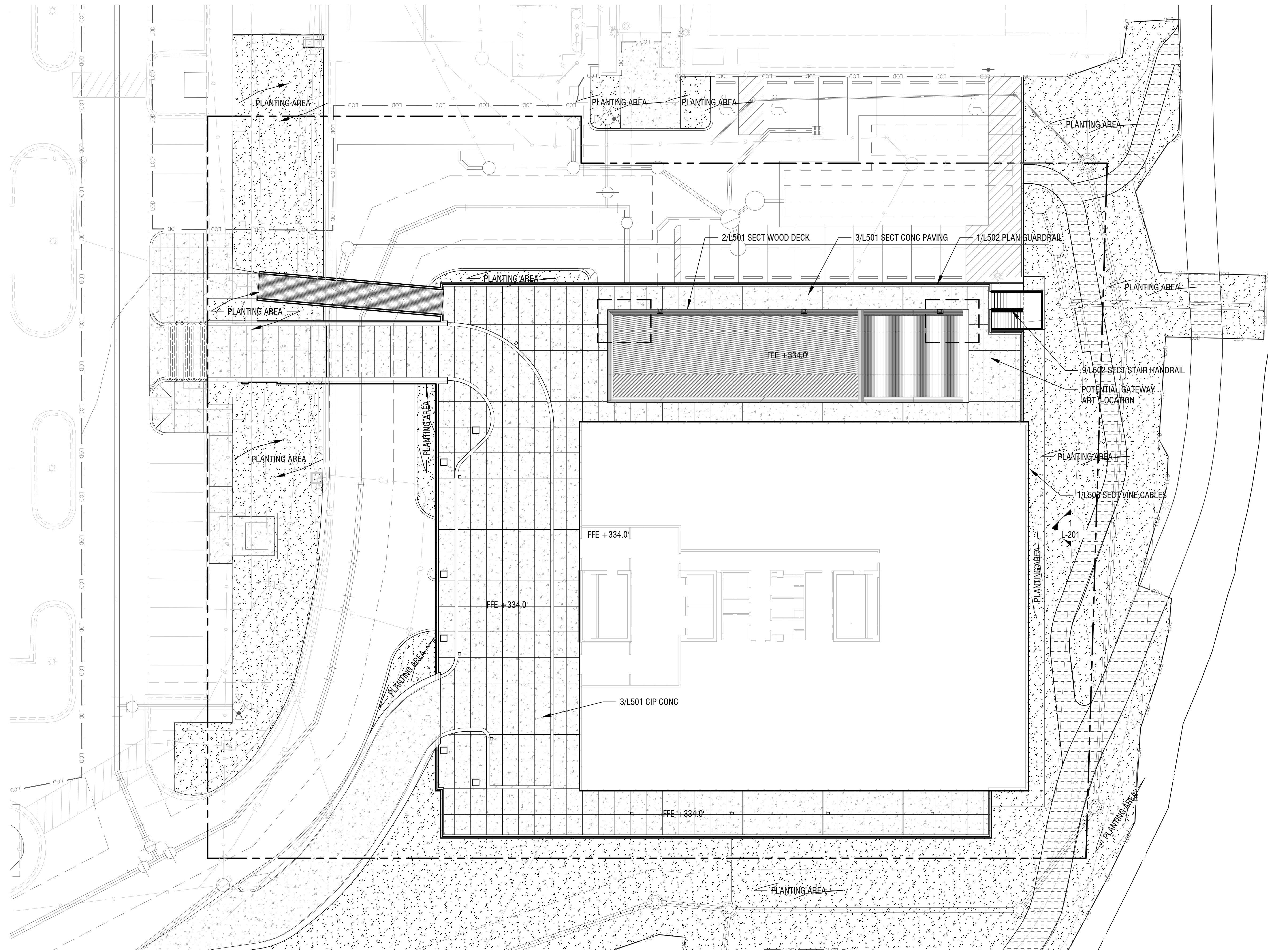
**DEVELOPER:**  
THE HOWARD RESEARCH AND DEVELOPMENT CORP.  
10960 GRANTCHESTER WAY, SUITE 110  
COLUMBIA, MD 21044  
ATTN: GABRIEL CHUNG  
410-964-4800

**SOUTHLAKE OFFICE BUILDING**  
DOWNTOWN COLUMBIA  
LAKEFRONT CORE NEIGHBORHOOD, PHASE 1, PARCEL B  
A RESUBDIVISION OF SECTION 1, LOT 29 (PLAT No. XXXXX)  
ELECTION DISTRICT No. 5

SCALE	ZONING	JOB No.
1/32" = 1'-0"	NT	2110
DATE	TAX MAP - GRID	SHEET
JUNE, 2022	36 - 2	31 OF 52

HOWARD COUNTY, MARYLAND





**LANDSCAPE MATERIALS SCHEDULE**

- PAVING TYPE 3 - WOOD DECK ON ALUM FRAMING ON PEDESTALS, BOD PRODUCT: THERMORY BENCHMARK WHITE ASH, 5/4" x 4" NOMINAL BOARD WIDTH
- PAVING TYPE 4 - CIP CONCRETE, SURFACE RETARDANT, BROOM FINISH, CUSTOM CONTROL JOINT PATTERN
- PAVING TYPE 5 - ASPHALT TRAIL, SEE CIVIL DRAWINGS
- PAVING TYPE 6 - CLASS 1 RIPRAP UNDER PEDESTRIAN BRIDGE AND EXTERIOR STAIR: 6" TO 12" LARGE STONE, WHITE OR LIGHT GREY
- PAVING TYPE 7 - BITUMINOUS ASPHALT SETTING BED WITH POLYMERIC SAND SWEPT JOINTS, CONC UNIT PAVERS, BOD PRODUCT: HANOVER TRUNCATED DOME PAVER, 12"x12"x2" THK. PEDESTRIAN RATED
- PAVING TYPE 8 - BITUMINOUS ASPHALT SETTING BED WITH POLYMERIC SAND SWEPT JOINTS, CONC UNIT PAVERS, BOD PRODUCT: HANOVER TRUNCATED DOME PAVER, 12"x12"x3" THK. VEHICULAR RATED
- PLANTING AREA

**NOTES:**

1. PAVING TYPES 1 AND 2 NOT IN USE
2. SEE L-103 FOR LANDSCAPE LAYOUT PLANS.
3. SEE L-104 FOR LANDSCAPE PLANTING PLANS.
4. SEE L-401 FOR PAVING ENLARGEMENTS
5. SEE CIVIL DRAWINGS FOR GRADING WORK.
6. SEE CIVIL DRAWINGS FOR CIP CONCRETE TYPE AND LAYOUT
7. SEE CIVIL DRAWINGS FOR CIP CURB TYPE AND LAYOUT.
8. SEE ARCH DRAWINGS FOR WATERPROOFING.
9. SEE ARCH DRAWINGS FOR BOLLARD TYPE AND LAYOUT.
10. SEE ARCH AND MEP DRAWINGS FOR DRAINAGE TYPE AND LAYOUT.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director \_\_\_\_\_ Date \_\_\_\_\_

Chief, Division of Land Development \_\_\_\_\_ Date \_\_\_\_\_

Chief, Development Engineering Division \_\_\_\_\_ Date \_\_\_\_\_

**BUILDER'S CERTIFICATE**

I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE, THE LANDSCAPE MANUAL FOR NEW TOWN ALTERNATIVE COMPLIANCE, AND THE LAKEFRONT CORE NEIGHBORHOOD DESIGN GUIDELINES, RECORDED AS BOOK XXXXX, PAGE XXX ADOPTED FOR THE SUBJECT PROPERTY. I/WE FURTHER CERTIFY THAT UPON COMPLETION A LETTER OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

NAME \_\_\_\_\_ DATE \_\_\_\_\_

**APPROVED**

**PLANNING BOARD OF HOWARD COUNTY**

Date: \_\_\_\_\_

**Unknown Studio**

2219 Saint Paul Street / Baltimore, MD 21218  
P: 410.246.2946

DESIGNED BY	DATE	REVISION	BY	APPR.
BG				
DRAWN BY	LD			
CHECKED BY	ES			

**PREPARED FOR:**

**OWNER:**  
CLOVER ACQUISITIONS LLC  
C/O THE HOWARD HUGHES CORP.  
PO BOX 131298  
CARLSBAD CA 92013

**DEVELOPER:**  
THE HOWARD RESEARCH AND DEVELOPMENT CORP.  
10960 GRANTCHESTER WAY, SUITE 110  
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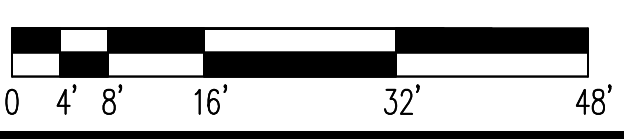
**L-102 LANDSCAPE MATERIALS PLAN**

**SOUTHLAKE OFFICE BUILDING**  
DOWNTOWN COLUMBIA  
LAKEFRONT CORE NEIGHBORHOOD, PHASE 1, PARCEL B  
A RESUBDIVISION OF SECTION 1, LOT 29 (PLAT No. XXXXX)  
ELECTION DISTRICT No. 5

SCALE: 1/16" = 1'-0"

DATE: JUNE, 2022

HOWARD COUNTY, MARYLAND

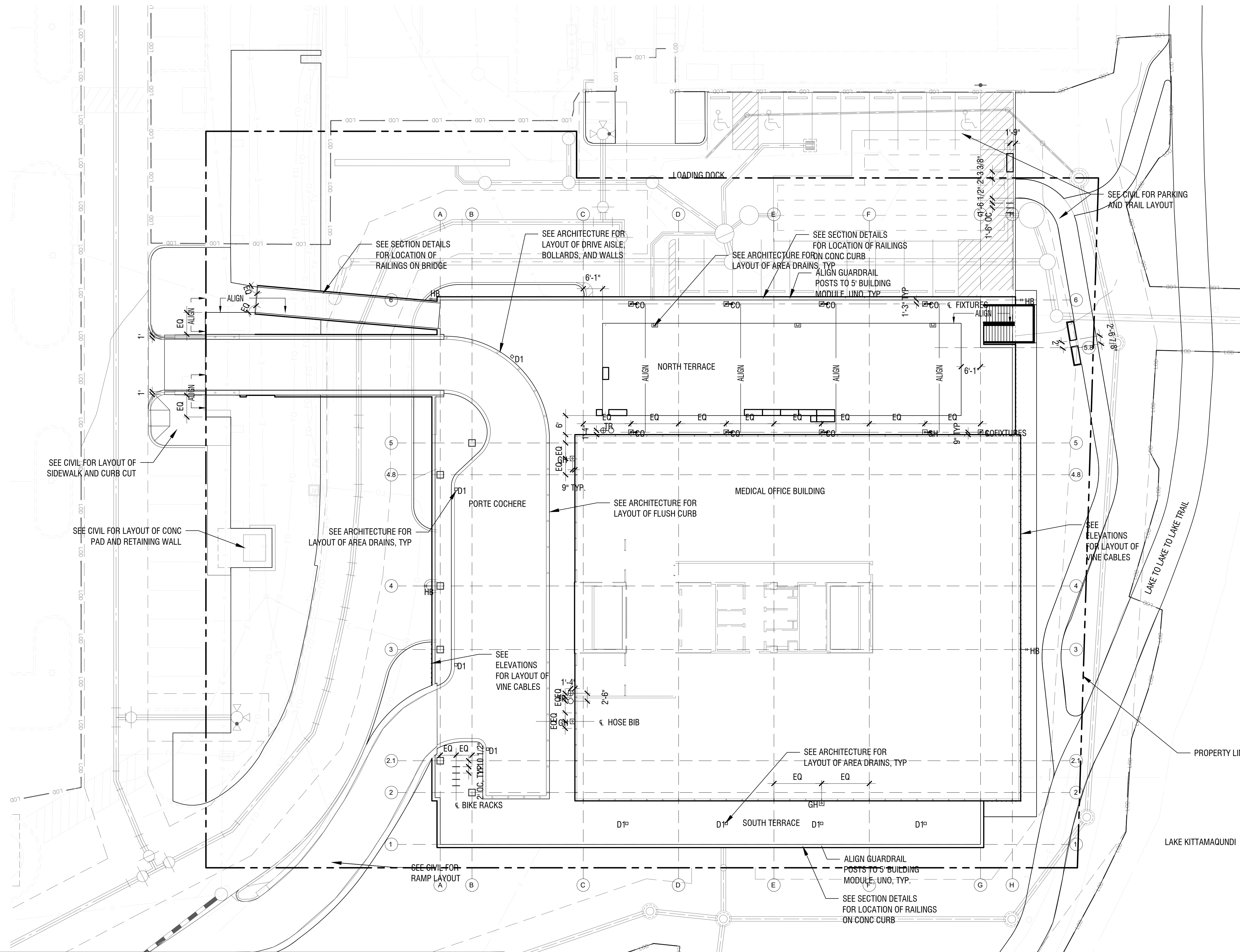


SCALE	ZONING	JOB No.
1/16" = 1'-0"	NT	2110
DATE	TAX MAP - GRID	SHEET
JUNE, 2022	36 - 2	32 OF 52



LAYOUT NOTES:

1. SEE ENLARGEMENTS FOR PAVING PATTERN LAYOUTS
2. SEE CIVIL FOR ALL UTILITY LAYOUT
3. SEE ARCHITECTURE FOR BRIDGE WALL, PORTE COCHERE DRIVE AISLE, AND BOLLARD LAYOUT
4. DIMENSIONS ARE FROM OUTSIDE FACE OF WALLS UNO
5. ANGLES ARE 90 OR 45 UNO.
6. ALL DIMENSIONS OF PAVING TO  $\epsilon$  OF JOINT UNO
7. FORMS AND ALIGNMENT OF PAVING SHALL BE REVIEWED AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO POURING.
8. CONTRACTOR TO CHECK DIMENSIONS, FRAMING CONDITIONS, AND SITE CONDITIONS BEFORE STARTING WORK. ANY DISCREPANCIES OR POSSIBLE DEFICIENCIES BETWEEN THE DRAWINGS AND THE SPECIFICATIONS WITH FIELD CONDITIONS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE LANDSCAPE ARCHITECT AND THE OWNER.
9. CONTRACTOR TO VERIFY AND BE RESPONSIBLE FOR DIMENSIONS AND CONDITIONS AT THE JOB SITE. REPORT DISCREPANCIES TO THE IMMEDIATE ATTENTION OF THE OWNER AND THE LANDSCAPE ARCHITECT.



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director \_\_\_\_\_ Date \_\_\_\_\_

Chief, Division of Land Development \_\_\_\_\_ Date \_\_\_\_\_

Chief, Development Engineering Division \_\_\_\_\_ Date \_\_\_\_\_

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NAME \_\_\_\_\_ DATE \_\_\_\_\_

**APPROVED**

**PLANNING BOARD OF HOWARD COUNTY**

Date: \_\_\_\_\_

**Unknown Studio**

2219 Saint Paul Street / Baltimore, MD 21218  
P: 410.246.2946

DESIGNED BY	DATE	REVISION	BY	APP'R.
BG				
LD				
ES				

PREPARED FOR:

OWNER: CLOVER ACQUISITIONS LLC  
C/O THE HOWARD HUGHES CORP  
PO BOX 131298  
CARLSBAD CA 92013

DEVELOPER: THE HOWARD RESEARCH AND DEVELOPMENT CORP.  
10960 GRANTCHESTER WAY, SUITE 110  
COLUMBIA, MD 21044  
ATTN: GABRIEL CHUNG  
410-964-4800

L-103 LANDSCAPE LAYOUT PLAN

**SOUTHLAKE OFFICE BUILDING**

DOWNTOWN COLUMBIA

LAKEFRONT CORE NEIGHBORHOOD, PHASE 1, PARCEL B

A RESUBDIVISION OF SECTION 1, LOT 29 (PLAT No. XXXXX)

ELECTION DISTRICT No. 5

SCALE: 1/16" = 1'-0"

ZONING: NT

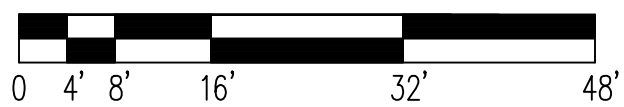
DATE: JUNE, 2022

TAX MAP - GRID: 36 - 2

JOB No.: 2110

SHEET: 33 OF 52

HOWARD COUNTY, MARYLAND



**B&B TREE SCHEDULE**

SYMBOL	BOTANICAL NAME	COMMON NAME	QTY	SIZE	NOTES
	EXISTING TREE TO BE PROTECTED QUERCUS PHELLOS	WILLOW OAK	1	VF	SEE SPEC 015639
	ACER CAMPESTRE	HEDGE MAPLE	1	3" CAL	-
	ACER PENSYLVANICUM	SNAKEBARK MAPLE	2	4" CAL	-
	AMELANCHIER CANADENSIS	SERVICEBERRY	11	12'-14' HT	MULTISTEM, MIN 3 STEMS, MIN 2" CAL EA STEM, MIN 12' HT
	CERCIS CANADENSIS 'ALBA'	WHITE REDBUD	8	10' - 12' HT	MULTISTEM, MIN 3 STEMS, 2" CAL EA STEM, MIN 10' HT
	SASSAFRAS ALBIDUM	SASSAFRAS	5	2" CAL	-

**SHRUB AND GROUND COVER SCHEDULE**

SYMBOL	BOTANICAL NAME	COMMON NAME	QTY	SIZE	SPACING
	CLETHRA ALNIFOLIA HUMMINGBIRD	HUMMINGBIRD SUMMERSWEET	269	3 GAL	30" OC
	CORNUS STOLONIFERA	RED TWIG DOGWOOD	92	5 GAL	3' OC
	DIERVILLA LONICERA 'COPPER'	COPPER BUSH HONEYSUCKLE	171	3 GAL	2' OC
	HAMMELIS VIRGINIANA	WITCHHAZEL	23	10 GAL	AS SHOWN
	RHUS AROMATICA 'GRO LOW'	GRO LOW FRAGRANT SUMAC	154	5 GAL	2' OC
	RHUS GLABRA	SMOOTH SUMAC	27	5 GAL	AS SHOWN
	SEE PLANTING SPEC	TURFGRASS SEEDED LAWN	14,598 SF	HYDROSEED	N/A
	SEE PLANTING SPEC	FOREST RESTORATION SEED MIX	11,066 SF	HYDROSEED	N/A

**VINE SCHEDULE**

SYMBOL	BOTANICAL NAME	COMMON NAME	QTY	SIZE	SPACING
	BIGNONIA CAPREOLATA	CROSSVINE	51	5 GAL	3' OC
	CLEMATIS VIRGINIANA	VIRGIN'S BOWER	28	5 GAL	3' OC
	LONICERA SEMPERVIRENS	CORAL HONEYSUCKLE	27	5 GAL	3' OC

**ORNAMENTAL GRASS SCHEDULE**

SYMBOL	BOTANICAL NAME	COMMON NAME	QTY	SIZE	SPACING
	CALAMAGROSTIS BRACHYTRICHA	KOREAN FEATHER REED GRASS	11	3 GAL	AS SHOWN
	CHASMANTHA LATIFOLIUM	RIVER OATS	8	3 GAL	AS SHOWN
	DESCHAMPSIA CESPITOSA	TUFTED HAIR GRASS	8	1 GAL	AS SHOWN
	MUHLENBERGIA CAPILLARIS	PINK MILLY GRASS	13	1 GAL	AS SHOWN

**BARE ROOT TREE WHIP SCHEDULE**

SYMBOL	BOTANICAL NAME	COMMON NAME	QTY	SIZE	SPACING
	CORNUS FLORIDA	FLOWERING DOGWOOD	2	1" - 1.5" WHIP	AS SHOWN OR 10' OC
	GYMNOCLADUS DIOICUS	KENTUCKY COFFEETREE	3	1" - 1.5" WHIP	AS SHOWN OR 10' OC

LANDSCAPE SURETY CALCULATION			
PLANTING TYPE	QTY	BOND RATE	BONDING CALCULATION
SHADE TREES	1	\$300	\$300
ORNAMENTAL TREES	26	\$150	\$3900
RESTORATION TREE WHIPS	5	\$75	\$375
SHRUBS	736	\$30	\$22080
ORNAMENTAL GRASSES	40	\$30	\$1200
VINES	106	\$30	\$3180
<b>TOTAL BOND</b>			<b>\$31035</b>

**NOTES:**

1. THE LANDSCAPING PROVIDED IS IN ACCORDANCE WITH THE ALTERNATIVE COMPLIANCE SECTION OF THE LANDSCAPE MANUAL. THE POSTED SURETY OF \$31,035.00 AND RELEASE OF THE SURETY IS TIED TO THE PLANTS AS SPECIFIED ON THESE PLANS TO INCLUDE 1 SHADE TREE, 26 ORNAMENTAL TREES, 5 RESTORATION TREE WHIPS, 736 SHRUBS, 40 ORNAMENTAL GRASSES, AND 106 VINES. ALL PLANTS SHALL BE THRIVING AND MEET SPECS TO PASS INSPECTION (INCLUDING VINES SHALL BE MIN. 3'-5' TALL WITH NEW GROWTH VISIBLE). IF THE VINES FAIL TO ESTABLISH AFTER THREE INSPECTIONS, A REDLINE REVISION WILL BE REQUIRED TO ADD OR MODIFY PLANTINGS TO THE EAST FACE OF THE PARKING GARAGE FOR REQUIRED SCREENING.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director \_\_\_\_\_ Date \_\_\_\_\_  
 Chief, Division of Land Development \_\_\_\_\_ Date \_\_\_\_\_  
 Chief, Development Engineering Division \_\_\_\_\_ Date \_\_\_\_\_

**BUILDER'S CERTIFICATE**  
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NAME \_\_\_\_\_ DATE \_\_\_\_\_

**APPROVED**  
**PLANNING BOARD OF HOWARD COUNTY**

Date: \_\_\_\_\_

**Unknown Studio**

2219 Saint Paul Street / Baltimore, MD 21218  
 P: 410.246.2946

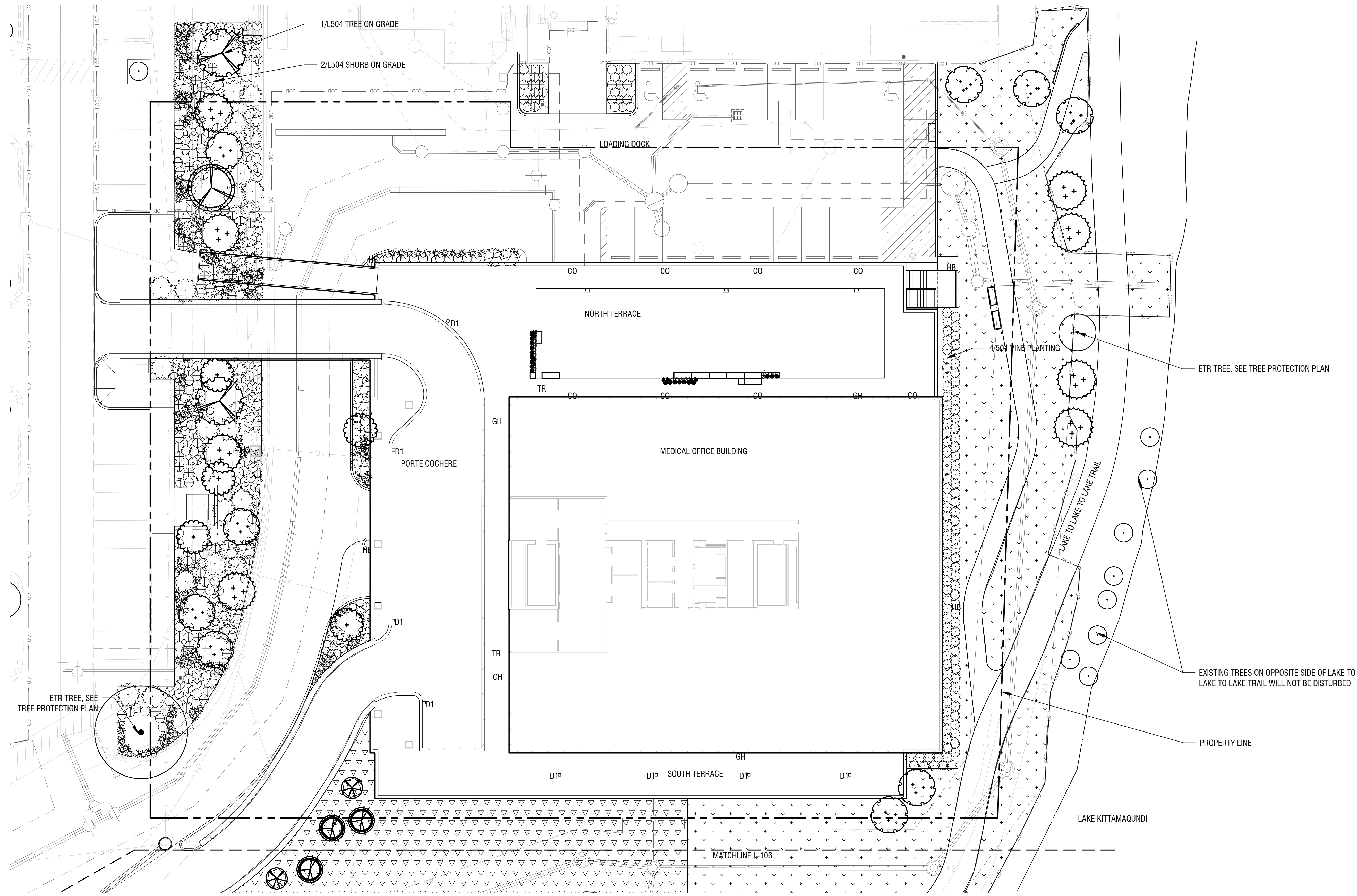
DESIGNED BY	DRAWN BY	CHECKED BY	DATE	REVISION	BY	APP'R.
BC	LD	ES				

PREPARED FOR:

OWNER:  
 CLOVER ACQUISITIONS LLC  
 C/O THE HOWARD HUGHES  
 CORP.  
 PO BOX 131298  
 CARLSBAD CA 92013

DEVELOPER:  
 THE HOWARD RESEARCH  
 AND DEVELOPMENT CORP.  
 10950 GRANTCHESTER  
 WAY, SUITE 110  
 COLUMBIA, MD 21044  
 ATTN: GABRIEL CHUNG  
 410-964-4800

L-104 PLANTING SCHEDULES		
SOUTHLAKE OFFICE BUILDING DOWNTOWN COLUMBIA LAKEFRONT CORE NEIGHBORHOOD, PHASE 1, PARCEL B A RESUBDIVISION OF SECTION 1, LOT 29 (PLAT No. XXXXX)		
SCALE N/A	ZONING NT	JOB No. 2110
DATE JUNE, 2022	TAX MAP - GRID 36 - 2	SHEET 34 OF 52
ELECTION DISTRICT No. 5		PN: _____
HOWARD COUNTY, MARYLAND		



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director \_\_\_\_\_ Date \_\_\_\_\_  
 Chief, Division of Land Development \_\_\_\_\_ Date \_\_\_\_\_  
 Chief, Development Engineering Division \_\_\_\_\_ Date \_\_\_\_\_

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NAME \_\_\_\_\_ DATE \_\_\_\_\_

APPROVED  
 PLANNING BOARD OF HOWARD COUNTY

Date: \_\_\_\_\_

**Unknown Studio**  
 2219 Saint Paul Street / Baltimore, MD 21218  
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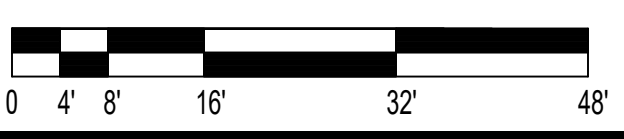
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BG				
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PREPARED FOR:  
 OWNER: CLOVER ACQUISITIONS LLC  
 C/O THE HOWARD HUGHES CORP.  
 PO BOX 131298  
 CARLSBAD CA 92013

DEVELOPER: THE HOWARD RESEARCH AND DEVELOPMENT CORP.  
 10960 GRANTCHESTER WAY, SUITE 110  
 COLUMBIA, MD 21044  
 ATTN: GABRIEL CHUNG  
 410-964-4800

L-105 PLANTING PLAN NORTH  
 SOUTHLAKE OFFICE BUILDING  
 DOWNTOWN COLUMBIA  
 LAKEFRONT CORE NEIGHBORHOOD, PHASE 1, PARCEL B  
 A RESUBDIVISION OF SECTION 1, LOT 29 (PLAT No. XXXXX)  
 PN: \_\_\_\_\_

ELECTION DISTRICT No. 5  
 HOWARD COUNTY, MARYLAND



SCALE	ZONING	JOB No.
1/16" = 1'-0"	NT	2110
DATE	TAX MAP - GRID	SHEET
JUNE, 2022	36 - 2	35 OF 52



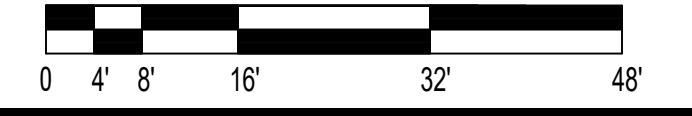
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director \_\_\_\_\_ Date \_\_\_\_\_  
 Chief, Division of Land Development \_\_\_\_\_ Date \_\_\_\_\_  
 Chief, Development Engineering Division \_\_\_\_\_ Date \_\_\_\_\_

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NAME \_\_\_\_\_ DATE \_\_\_\_\_

**APPROVED**  
**PLANNING BOARD OF HOWARD COUNTY**  
 Date: \_\_\_\_\_



**Unknown Studio**  
 2219 Saint Paul Street / Baltimore, MD 21218  
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DESIGNED BY	DATE	REVISION	BY	APP'R.
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**PREPARED FOR:**

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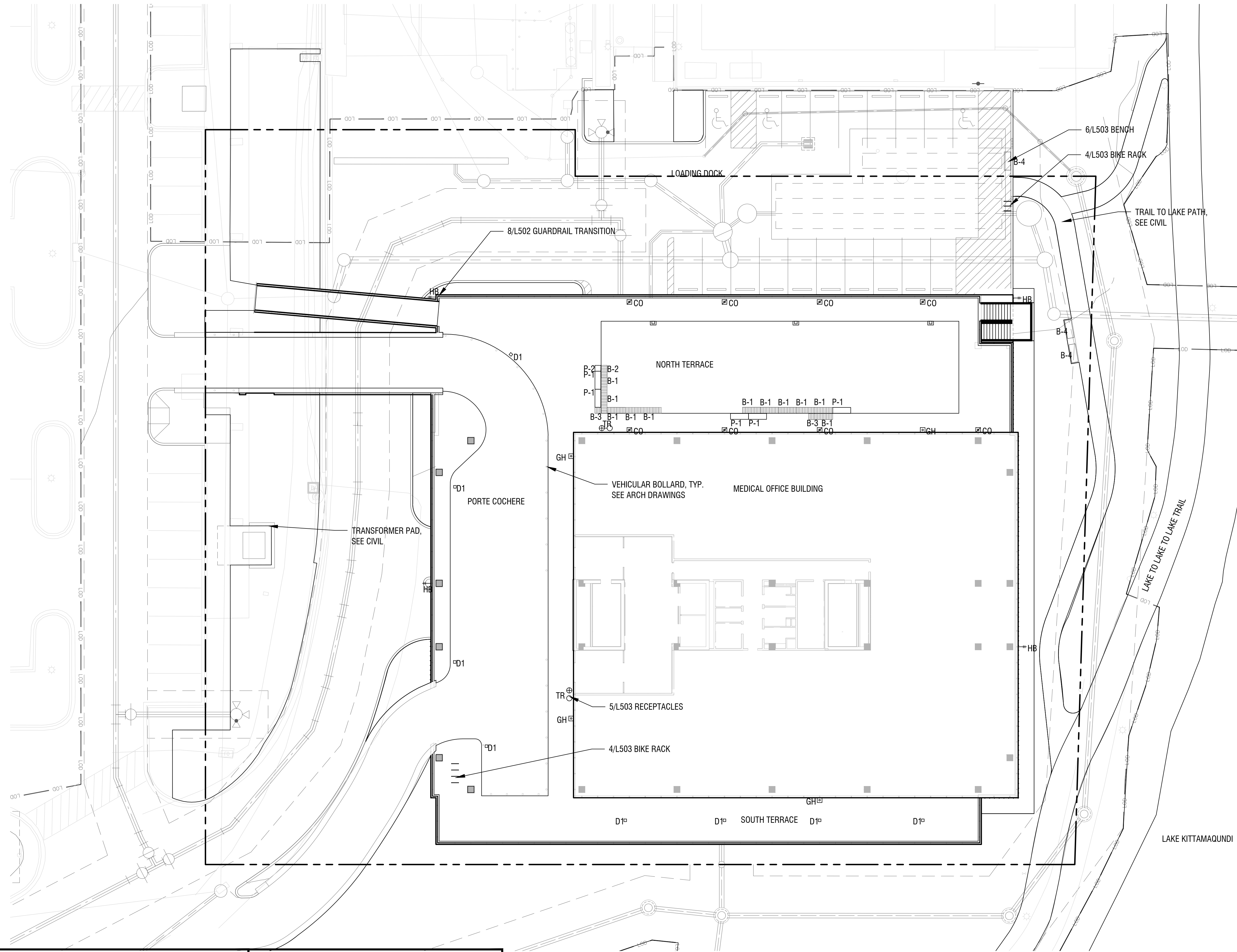
**DEVELOPER:**  
 THE HOWARD RESEARCH AND DEVELOPMENT CORP.  
 10960 GRANTCHESTER WAY, SUITE 110  
 COLUMBIA, MD 21044  
 ATTN: GABRIEL CHUNG  
 410-964-4800

**L-106 PLANTING PLAN SOUTH**  
**SOUTHLAKE OFFICE BUILDING**  
 DOWNTOWN COLUMBIA  
 LAKEFRONT CORE NEIGHBORHOOD, PHASE 1, PARCEL B  
 A RESUBDIVISION OF SECTION 1, LOT 29 (PLAT No. XXXXX)  
 PN: \_\_\_\_\_

ELECTION DISTRICT No. 5  
 HOWARD COUNTY, MARYLAND

SCALE	ZONING	JOB No.
1/16" = 1'-0"	NT	2110
DATE	TAX MAP - GRID	SHEET
JUNE, 2022	36 - 2	36 OF 52

P:\2110-Southlake\04-Drawings\AutoCAD\Streets\LANDSCAPE PLANTING PLAN.dwg, PLOT: 6/22/2022 11:20 AM, LAST SAVED: 6/19/2022 4:22 PM, PLOTTED BY: Unknown.studio



**LANDSCAPE FURNISHINGS SCHEDULE**

- B-1** BENCH TYPE B-1, FOIO, BOD PRODUCT OR EQUIVALENT: MOVEABLE GREEN THEORY 'JOIN' SEAT #JS-FB-6875, THERMALLY MODIFIED WOOD AND POWDERCOATED ALUM
- B-2** BENCH TYPE B-2, FOIO, BOD PRODUCT OR EQUIVALENT: MOVEABLE GREEN THEORY 'JOIN' SEAT #JS-FB-4475, THERMALLY MODIFIED WOOD AND POWDERCOATED ALUM
- B-3** BENCH TYPE B-3, FOIO, BOD PRODUCT OR EQUIVALENT: MOVEABLE GREEN THEORY 'JOIN' SEAT #JS-FB-2275, THERMALLY MODIFIED WOOD AND POWDERCOATED ALUM
- B-4** BENCH TYPE B-4, BOD PRODUCT: LANDSCAPE FORMS NEOLIVIANO BENCH, WITH BACK, WOOD WITH ALUM FRAME 69" LENGTH.
- P-1** PLANTER TYPE P-1, FOIO, BOD PRODUCT OR EQUIVALENT: MOVEABLE GREEN THEORY 'JOIN' PLANTER, POWDERCOATED ALUM
- P-2** PLANTER TYPE P-2, FOIO, BOD PRODUCT OR EQUIVALENT: MOVEABLE GREEN THEORY 'JOIN' PLANTER, POWDERCOATED ALUM
- TR** TRASH RECEPTACLE, BOD PRODUCT: LANDSCAPE FORMS 'STEELY CAN', SSTL, SIDE OPENING
- GH** RECYCLING RECEPTACLE, BOD PRODUCT: LANDSCAPE FORMS 'STEELY CAN', SSTL, SIDE OPENING
- CO** IN GROUND HYDRANT, BRONZE.
- HR** HOSE BIB ON PEDESTAL, TYP.
- CONV** CONVENIENCE GFCI OUTLET, TYP.
- D1** VEHICULAR BOLLARDS, TYP. PER ARCH

**NOTES**

1. SEE LAYOUT PLAN FOR PERMANENT LOCATION FURNISHINGS.
2. SEE ARCH DRAWINGS FOR BOLLARD LAYOUT.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director \_\_\_\_\_ Date \_\_\_\_\_  
 Chief, Division of Land Development \_\_\_\_\_ Date \_\_\_\_\_  
 Chief, Development Engineering Division \_\_\_\_\_ Date \_\_\_\_\_

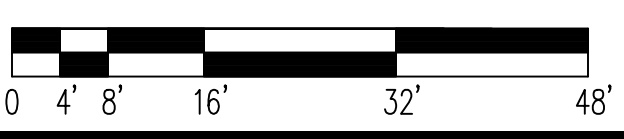
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**APPROVED**  
**PLANNING BOARD OF HOWARD COUNTY**  
 Date: \_\_\_\_\_

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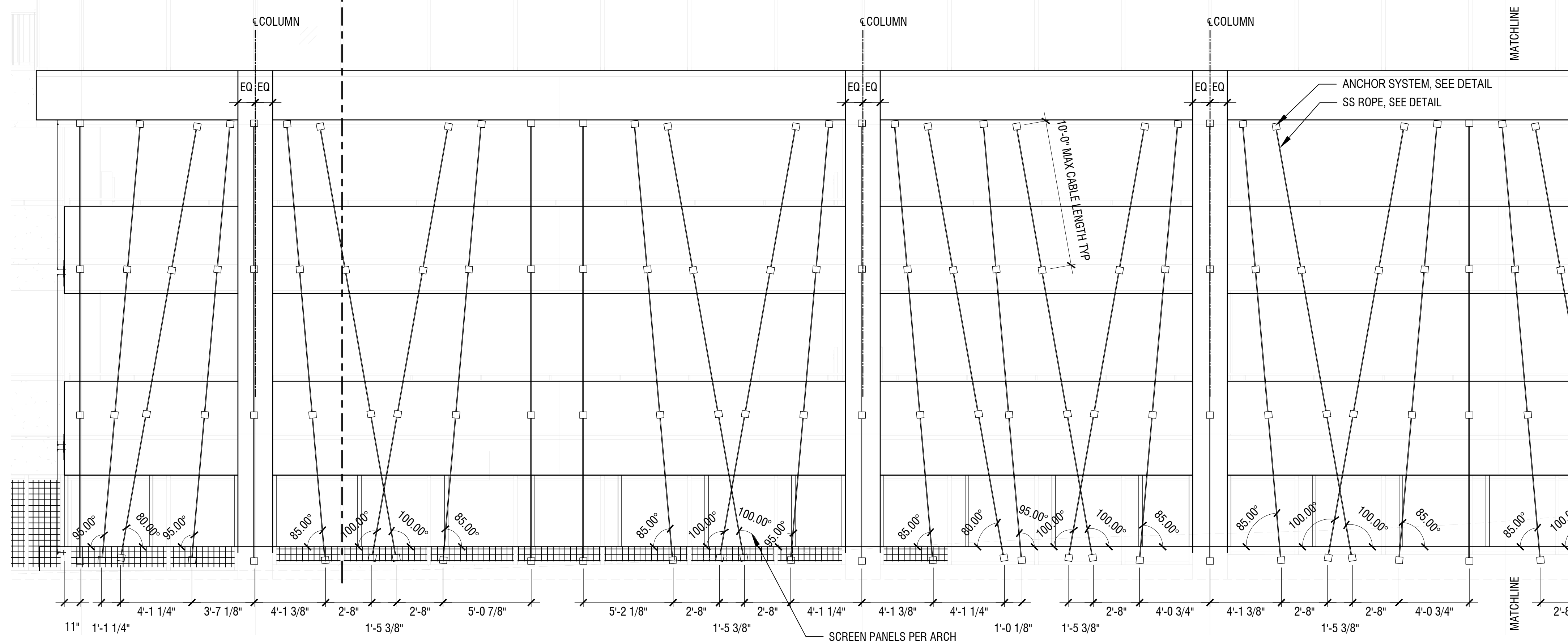
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 10960 GRANTCHESTER WAY, SUITE 110  
 COLUMBIA, MD 21044  
 ATTN: GABRIEL CHUNG  
 410-964-4800

**L-107 LANDSCAPE FURNISHINGS PLAN**  
**SOUTHLAKE OFFICE BUILDING**  
 DOWNTOWN COLUMBIA  
 LAKEFRONT CORE NEIGHBORHOOD, PHASE 1, PARCEL B  
 A RESUBDIVISION OF SECTION 1, LOT 29 (PLAT No. XXXXX)  
 ELECTION DISTRICT No. 5  
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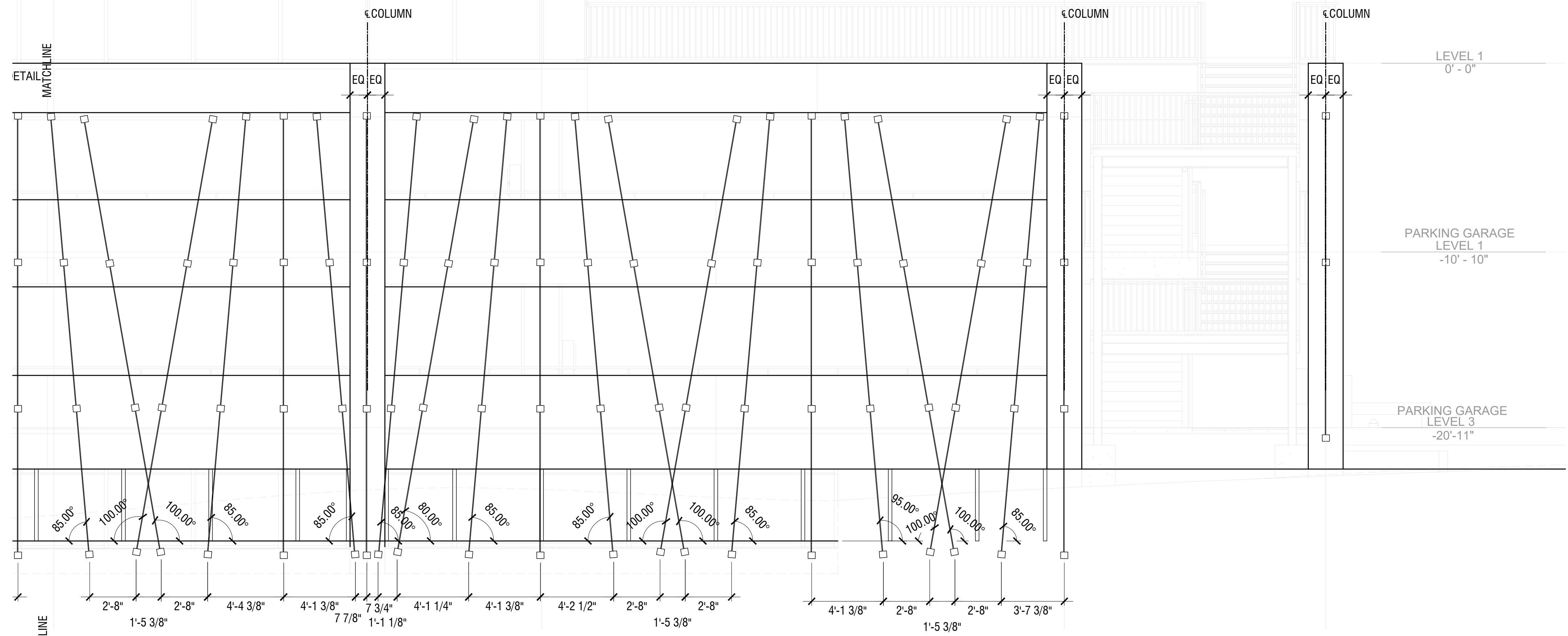


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DATE	TAX MAP - GRID	SHEET
JUNE, 2022	36 - 2	37 OF 52

**Unknown Studio**  
 2219 Saint Paul Street / Baltimore, MD 21218  
 P: 410.246.2946



1 ELEV EAST VINE CABLES  
SCALE : 1/4" = 1'-0"



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director \_\_\_\_\_ Date \_\_\_\_\_  
 Chief, Division of Land Development \_\_\_\_\_ Date \_\_\_\_\_  
 Chief, Development Engineering Division \_\_\_\_\_ Date \_\_\_\_\_

BUILDER'S CERTIFICATE  
 I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE, THE LANDSCAPE MANUAL FOR NEW TOWN ALTERNATIVE COMPLIANCE, AND THE LAKEFRONT CORE NEIGHBORHOOD DESIGN GUIDELINES, RECORDED AS BOOK XXXXX, PAGE XXX ADOPTED FOR THE SUBJECT PROPERTY. I/WE FURTHER CERTIFY THAT UPON COMPLETION A LETTER OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

NAME \_\_\_\_\_ DATE \_\_\_\_\_

APPROVED  
 PLANNING BOARD OF HOWARD COUNTY

Date: \_\_\_\_\_

**Unknown Studio**  
 2219 Saint Paul Street / Baltimore, MD 21218  
 P: 410.246.2946

DESIGNED BY	DATE	REVISION	BY	APP'R.
BG				
DRAWN BY				
LD				
CHECKED BY				
ES				

PREPARED FOR:

OWNER: CLOVER ACQUISITIONS LLC  
 C/O THE HOWARD HUGHES CORP.  
 PO BOX 131298  
 CARLSBAD CA 92013

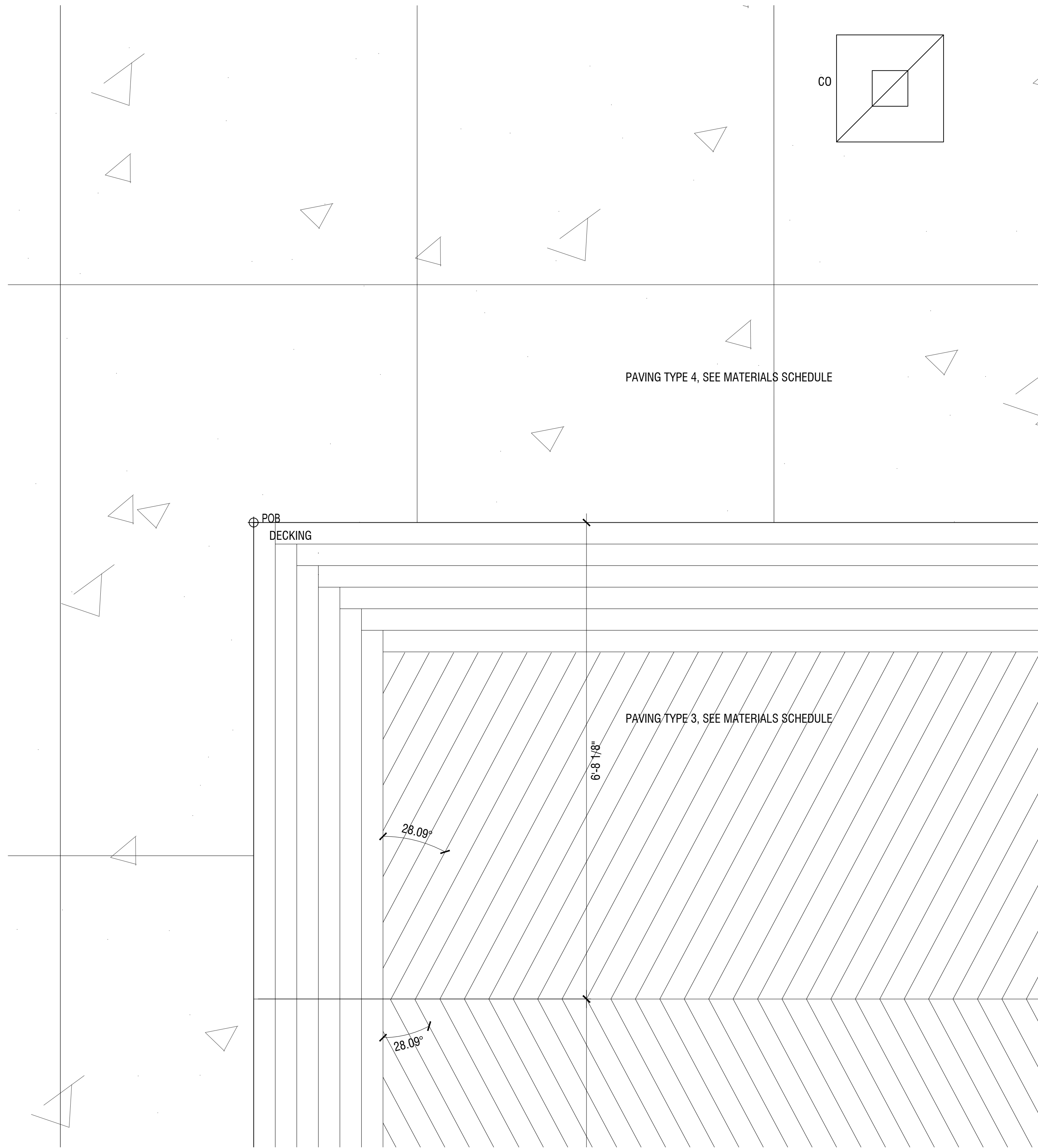
DEVELOPER: THE HOWARD RESEARCH AND DEVELOPMENT CORP.  
 10960 GRANTCHESTER WAY, SUITE 110  
 COLUMBIA, MD 21044  
 ATTN: GABRIEL CHUNG  
 410-964-4800

L-201 VINE CABLE ELEVATIONS

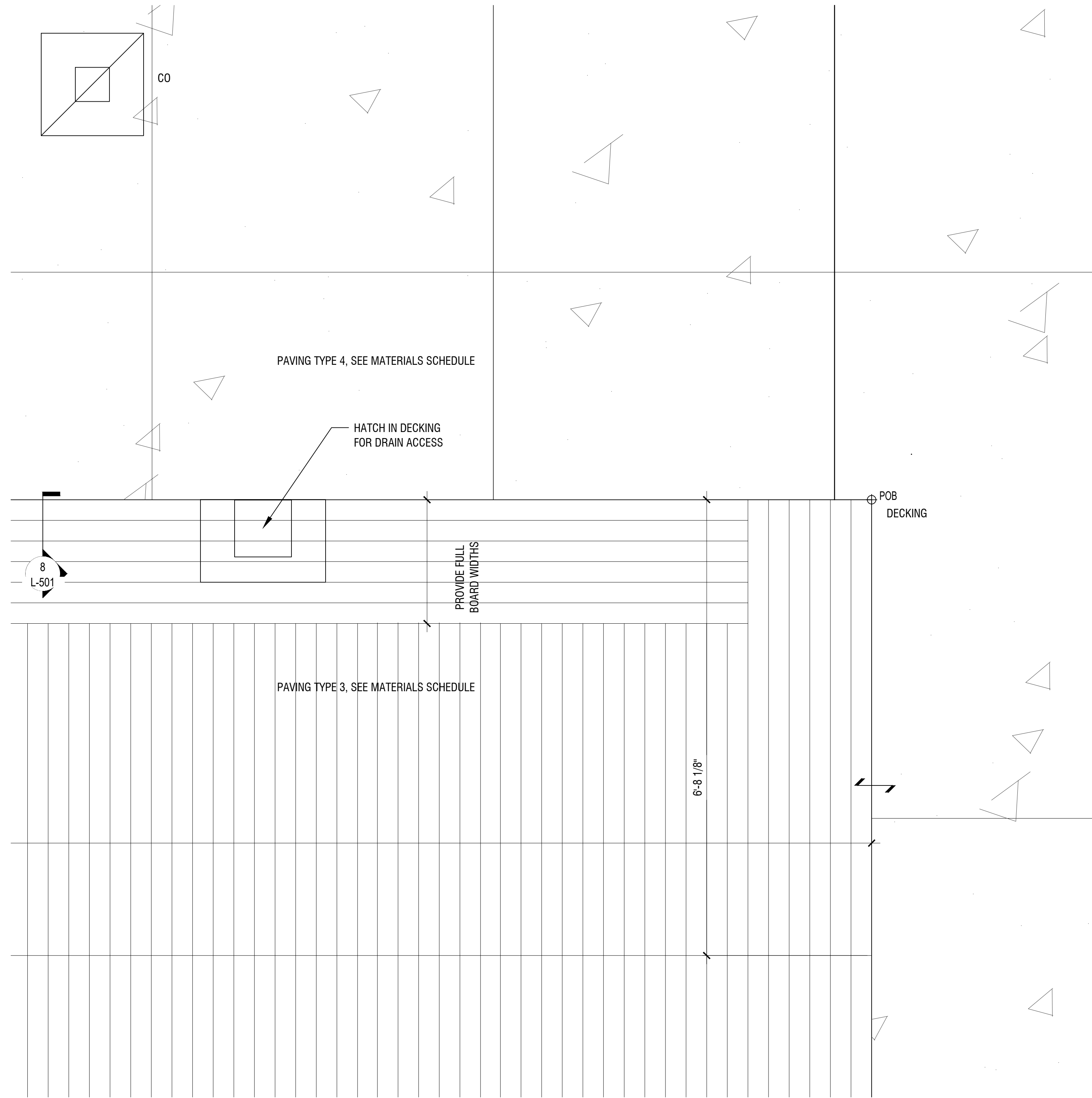
**SOUTHLAKE OFFICE BUILDING**  
 DOWNTOWN COLUMBIA  
 LAKEFRONT CORE NEIGHBORHOOD, PHASE 1, PARCEL B  
 A RESUBDIVISION OF SECTION 1, LOT 29 (PLAT No. XXXXX)  
 ELECTION DISTRICT No. 5

SCALE	ZONING	JOB No.
AS NOTED	NT	2110
DATE	TAX MAP - GRID	SHEET
JUNE, 2022	36 - 2	38 OF 52

HOWARD COUNTY, MARYLAND



**1** NLRG PAVING PATTERN  
SCALE: 1"=1'-0"



**2** NLRG PAVING PATTERN  
SCALE: 1"=1'-0"

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director \_\_\_\_\_ Date \_\_\_\_\_  
 Chief, Division of Land Development \_\_\_\_\_ Date \_\_\_\_\_  
 Chief, Development Engineering Division \_\_\_\_\_ Date \_\_\_\_\_

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NAME \_\_\_\_\_ DATE \_\_\_\_\_

**APPROVED**  
**PLANNING BOARD OF HOWARD COUNTY**

Date: \_\_\_\_\_

**Unknown Studio**  
 2219 Saint Paul Street / Baltimore, MD 21218  
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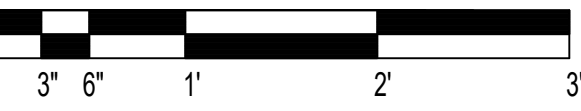
PREPARED FOR:

OWNER: CLOVER ACQUISITIONS LLC  
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 PO BOX 131298  
 CARLSBAD CA 92013

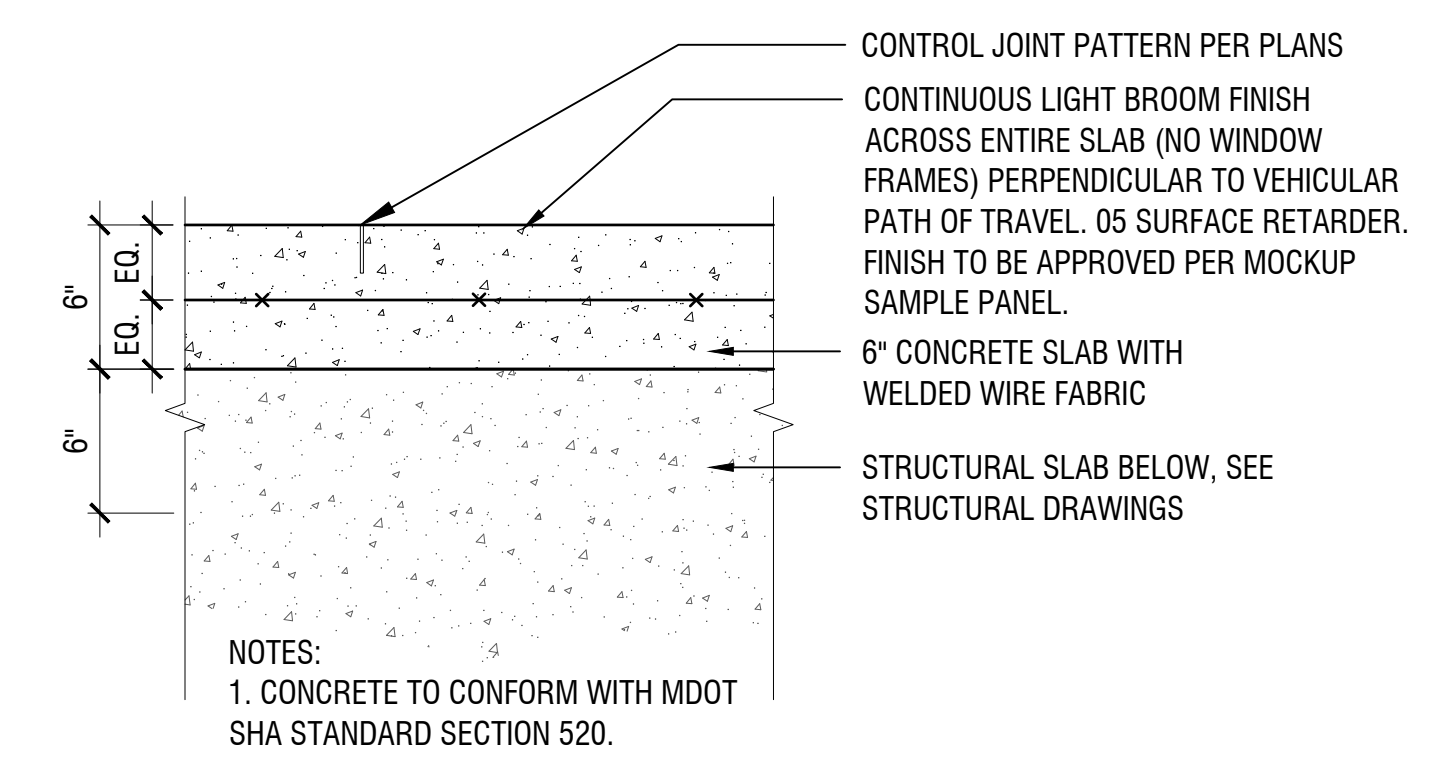
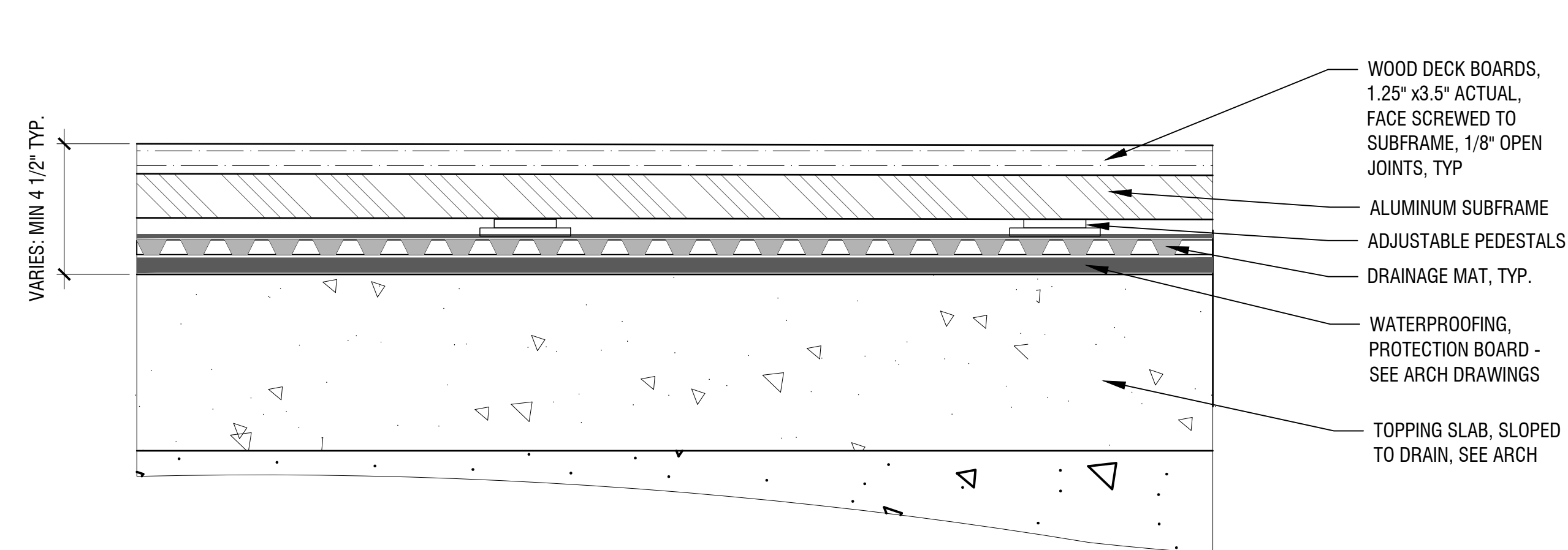
DEVELOPER: THE HOWARD RESEARCH AND DEVELOPMENT CORP.  
 10960 GRANTCHESTER WAY, SUITE 110  
 COLUMBIA, MD 21044  
 ATTN: GABRIEL CHUNG  
 410-964-4800

**L-401 PAVING ENLARGEMENTS**  
**SOUTHLAKE OFFICE BUILDING**  
 DOWNTOWN COLUMBIA  
 LAKEFRONT CORE NEIGHBORHOOD, PHASE 1, PARCEL B  
 A RESUBDIVISION OF SECTION 1, LOT 29 (PLAT No. XXXXX)  
 ELECTION DISTRICT No. 5

PN: \_\_\_\_\_  
 HOWARD COUNTY, MARYLAND



SCALE	ZONING	JOB No.
1" = 1'-0"	NT	2110
DATE	TAX MAP - GRID	SHEET
JUNE, 2022	36 - 2	39 OF 52



1 NOT IN USE  
SCALE : --

2 SECT WOOD DECKING  
SCALE : 3" = 1'-0"

3 SECT CONC PAVING  
SCALE : 1 1/2" = 1'-0"

P:\2110-Southlake\04-Drawings\AutoCAD\Sheets\LANDSCAPE DETAILS.dwg, 11:53 AM, LAST SAVED: 6/22/2022 11:02 AM, PLOTTED BY: Unknown Studio

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING		BUILDER'S CERTIFICATE	
Director _____	Date _____	I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE, THE LANDSCAPE MANUAL FOR NEW TOWN ALTERNATIVE COMPLIANCE, AND THE LAKEFRONT CORE NEIGHBORHOOD DESIGN GUIDELINES, RECORDED AS BOOK XXXXX, PAGE XXX ADOPTED FOR THE SUBJECT PROPERTY. I/WE FURTHER CERTIFY THAT UPON COMPLETION A LETTER OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.	
Chief, Division of Land Development _____	Date _____	<p style="text-align: center;"><b>APPROVED</b></p> <p style="text-align: center;"><b>PLANNING BOARD OF HOWARD COUNTY</b></p> <p>Date: _____</p>	
Chief, Development Engineering Division _____	Date _____		
NAME _____	DATE _____		

<b>Unknown Studio</b> 2219 Saint Paul Street / Baltimore, MD 21218 P: 410.246.2946	DESIGNED BY:	BG																		
	DRAWN BY:	LD																		
	CHECKED BY:	ES																		
	DATE		REVISION		BY	APP'R.														

PREPARED FOR:

OWNER:  
CLOVER ACQUISITIONS LLC  
C/O THE HOWARD HUGHES CORP.  
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ATTN: GABRIEL CHUNG  
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**L-501 PAVING DETAILS**

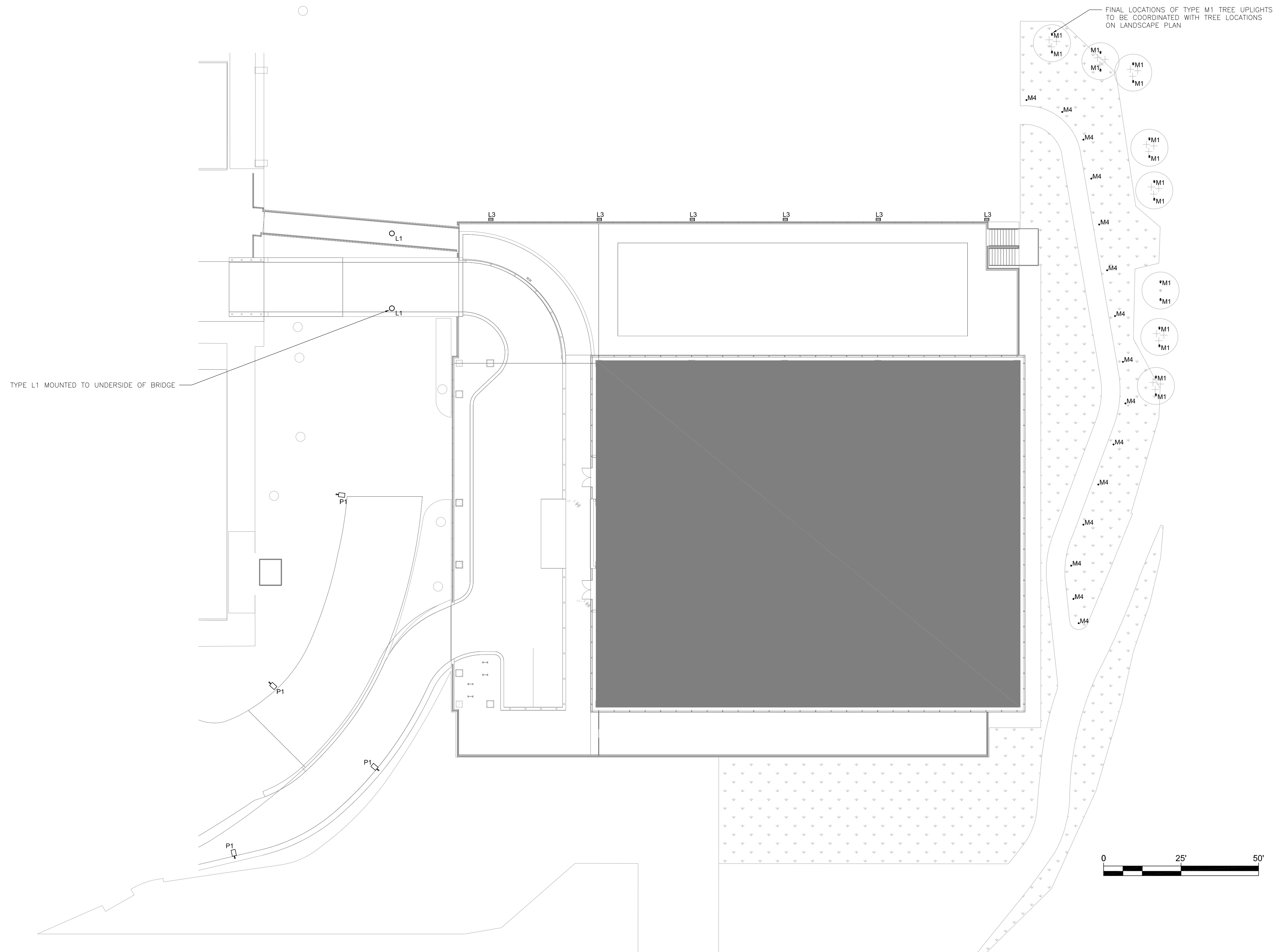
**SOUTHLAKE OFFICE BUILDING**  
DOWNTOWN COLUMBIA  
LAKEFRONT CORE NEIGHBORHOOD, PHASE 1, PARCEL B  
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ELECTION DISTRICT No. 5

SCALE	ZONING	JOB No.
AS NOTED	NT	2110
DATE	TAX MAP - GRID	SHEET
JUNE, 2022	36 - 2	40 OF 52

HOWARD COUNTY, MARYLAND





**APPROVED**  
**PLANNING BOARD OF HOWARD COUNTY**

Date: \_\_\_\_\_

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director \_\_\_\_\_ Date \_\_\_\_\_

Chief, Division of Land Development \_\_\_\_\_ Date \_\_\_\_\_

Chief, Development Engineering Division \_\_\_\_\_ Date \_\_\_\_\_

**the lighting practice**  
 public ledger building  
 600 chestnut street, suite 772  
 philadelphia, pa 19106  
 t 215 238 1644  
 www.thelightingpractice.com

DESIGNED BY:	DATE	REVISION	BY	APP'R.
TLS				
DRAWN BY:				
ARB				
CHECKED BY:				
JEW				

PREPARED FOR:

OWNER:  
 CLOVER ACQUISITIONS LLC  
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 CORP.  
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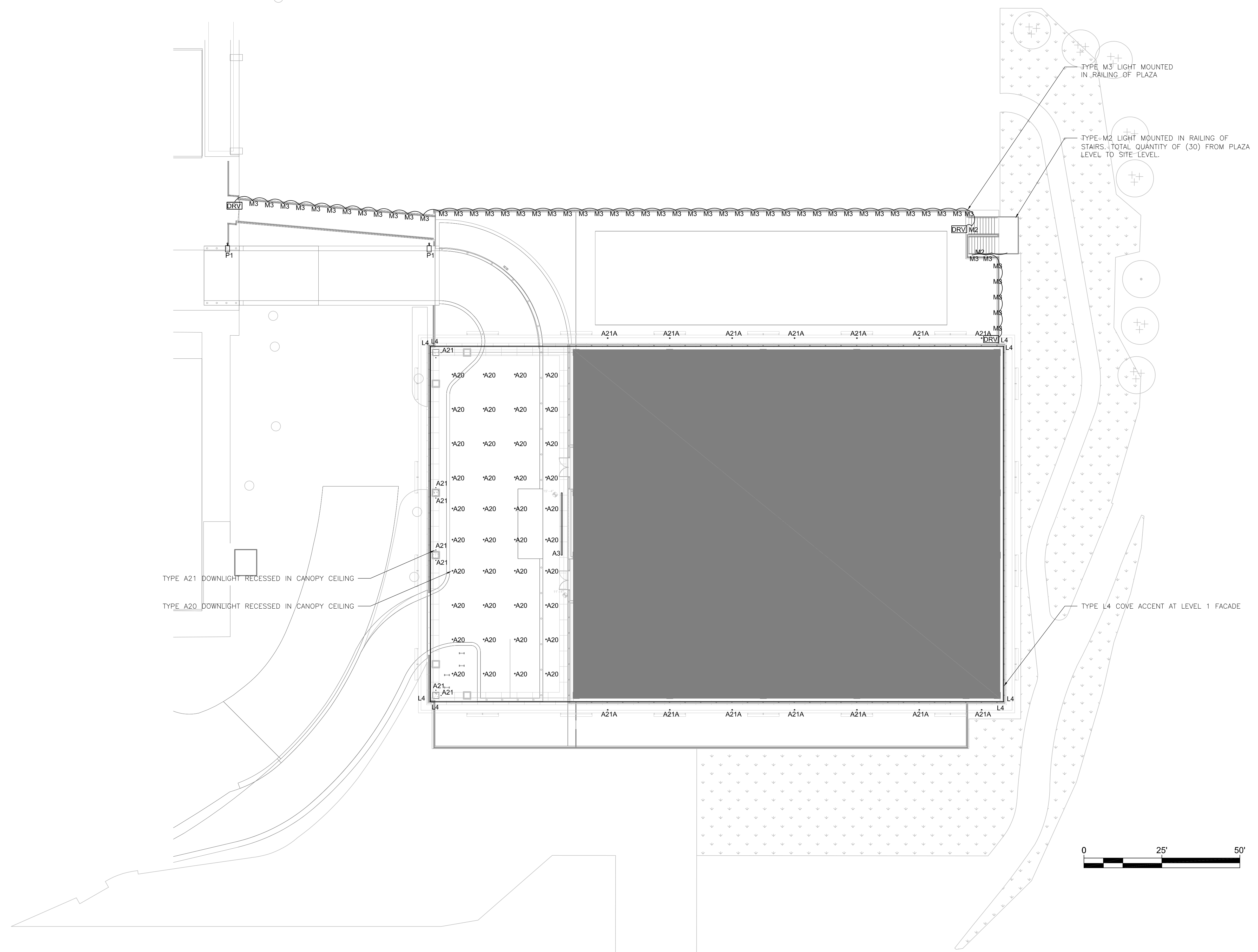
ELECTION DISTRICT No. 5

**LIGHTING - SITE**

**SOUTHLAKE OFFICE BUILDING**  
 DOWNTOWN COLUMBIA  
 LAKEFRONT CORE NEIGHBORHOOD, PHASE 1, PARCEL B  
 A RESUBDIVISION OF SECTION 1, LOT 29 (PLAT No. XXXXX)  
 PN: \_\_\_\_\_

HOWARD COUNTY, MARYLAND

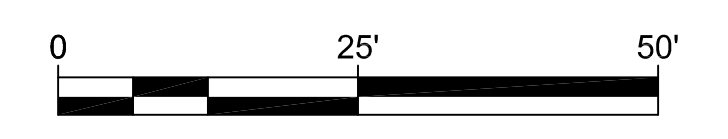
SCALE	ZONING	JOB No.
1/16"=1'-0"	NT	21083.00
DATE	TAX MAP - GRID	SHEET
DEC., 2021	36 - 2	41 OF 45



TYPE A21 DOWNLIGHT RECESSED IN CANOPY CEILING  
 TYPE A20 DOWNLIGHT RECESSED IN CANOPY CEILING

TYPE M3 LIGHT MOUNTED IN RAILING OF PLAZA  
 TYPE M2 LIGHT MOUNTED IN RAILING OF STAIRS. TOTAL QUANTITY OF (30) FROM PLAZA LEVEL TO SITE LEVEL.

TYPE L4 COVE ACCENT AT LEVEL 1 FACADE



**APPROVED**  
**PLANNING BOARD OF HOWARD COUNTY**  
 Date: \_\_\_\_\_  
 APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
 Director \_\_\_\_\_ Date \_\_\_\_\_  
 Chief, Division of Land Development \_\_\_\_\_ Date \_\_\_\_\_  
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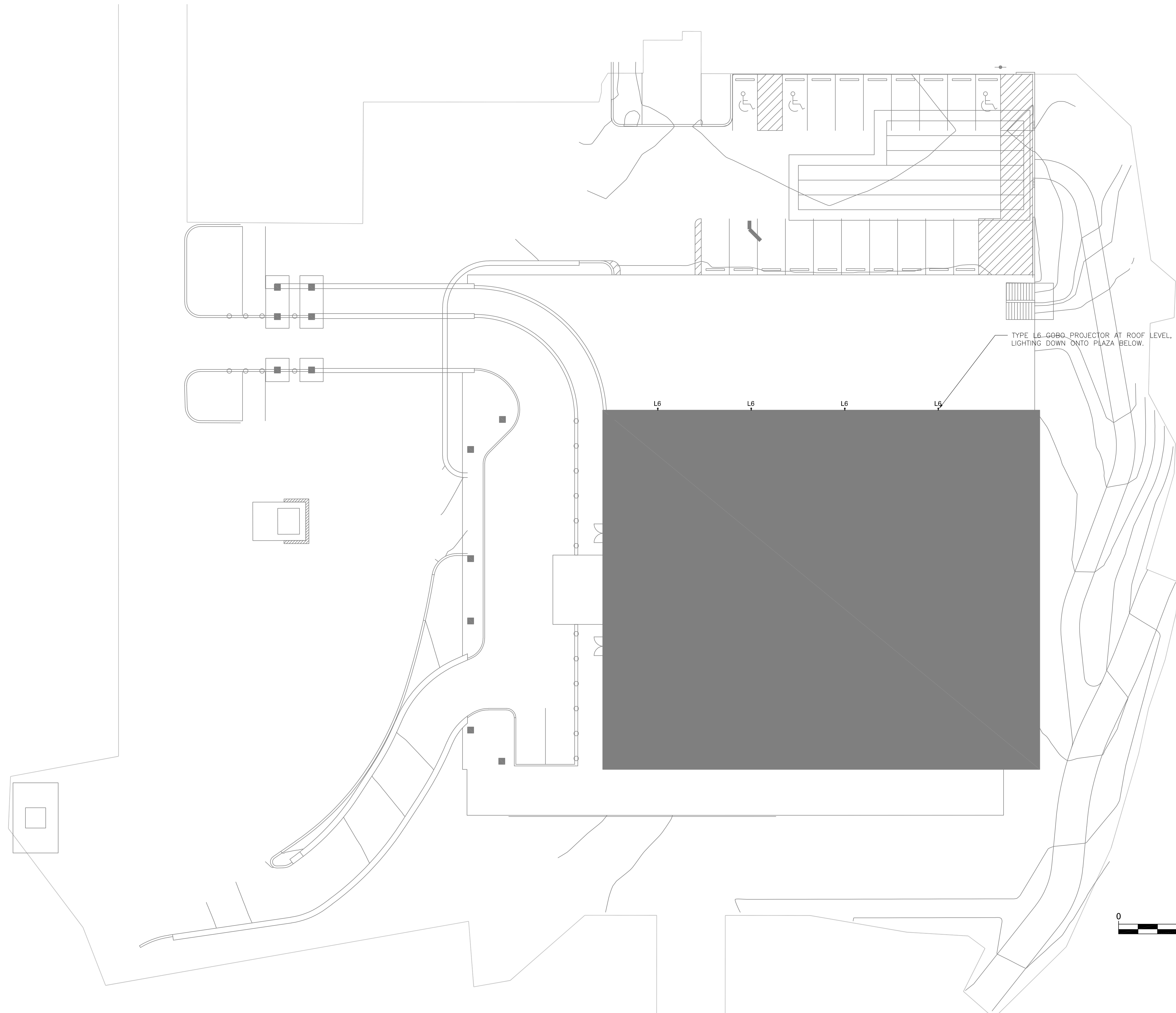
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PREPARED FOR:  
 OWNER: CLOVER ACQUISITIONS LLC  
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 COLUMBIA, MD 21044  
 ATTN: GABRIEL CHUNG  
 410-964-4800

ELECTION DISTRICT No. 5

**LIGHTING – PLAZA LEVEL**  
**SOUTHLAKE OFFICE BUILDING**  
 DOWNTOWN COLUMBIA  
 LAKEFRONT CORE NEIGHBORHOOD, PHASE 1, PARCEL B  
 A RESUBDIVISION OF SECTION 1, LOT 29 (PLAT No. XXXXX)  
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 HOWARD COUNTY, MARYLAND

SCALE	ZONING	JOB No.
1/16"=1'-0"	NT	21083.00
DATE	TAX MAP – GRID	SHEET
DEC., 2021	36 – 2	42 OF 45



**APPROVED**  
**PLANNING BOARD OF HOWARD COUNTY**  
 Date: \_\_\_\_\_  
 APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
 Director \_\_\_\_\_ Date \_\_\_\_\_  
 Chief, Division of Land Development \_\_\_\_\_ Date \_\_\_\_\_  
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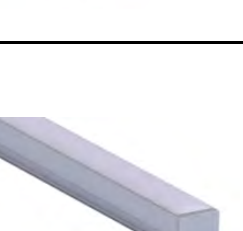

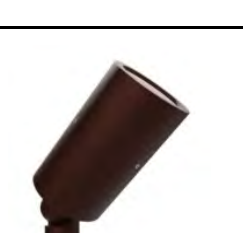
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 COLUMBIA, MD 21044  
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ELECTION DISTRICT No. 5

**LIGHTING – ROOF LEVEL**  
 SOUTHLAKE OFFICE BUILDING  
 DOWNTOWN COLUMBIA  
 LAKEFRONT CORE NEIGHBORHOOD, PHASE 1, PARCEL B  
 A RESUBDIVISION OF SECTION 1, LOT 29 (PLAT No. XXXXX)  
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 HOWARD COUNTY, MARYLAND

SCALE	ZONING	JOB No.
1/16"=1'-0"	NT	21083.00
DATE	TAX MAP – GRID	SHEET
DEC., 2021	36 – 2	43 OF 45

SOUTHLAKE MOB COLUMBIA, MD LIGHTING FIXTURE SCHEDULE				TLP PROJECT NUMBER: 21083 TLP OFFICE: PHILADELPHIA								
SYMBOL	FIXTURE IMAGE	TYPE	MTG.	DESCRIPTION	LIGHT SOURCE			WATTAGE (W)	VOLTS	DIMMING PROTOCOL/RANGE	MANUFACTURER	CATALOG NUMBER
					DELIVERED LUMENS OR LAMP NO. DESIGNATION	COLOR/CCT	OPTICS					
		A3	REC	LINEAR LED SEALED ARCHITECTURAL SLOT, NOMINAL 2-1/2 INCH WIDE X 3-1/2 INCH TALL X 20 FOOT LONG EXTRUDED ALUMINUM HOUSING, WALL WASHER OPTIC SATINE LENS, GASKETED FOR EXTERIOR INSTALLATION, OVERALL FINISH TO BE SELECTED BY DESIGN PROFESSIONAL, INTEGRAL DIMMING DRIVER, U.L. WET LOCATION RATES, MOUNTING TO BE CONFIRMED WITH APPROVED CEILING SYSTEM.	500 LMS/FT	3500K	WALLWASH	100	277	0-10V/1%	SELUX	L60WR1-1C20-835-A2-[MOUNTING]-20FT-[FINISH]-2-U-DIM
		A20	REC	DOWNLIGHT FOR EXTERIOR APPLICATION, NOMINAL 4 INCH DIAMETER APERTURE X MAXIMUM 7 INCH DEEP STEEL HOUSING, SEMI-SPECULAR CLEAR ALZAK REFLECTOR WITH MATCHING RETURN FLANGE, INTEGRAL DIMMING DRIVER, U.L. WET RATED FOR COVERED CEILING.	1000 LMS	3500K	40°	12	277	0-10V/1%	ACUITY - GOTHAM	IC04-35/10-AR-LSS-40D-277-GZ1
		A21	REC	PINHOLE DOWNLIGHT, NOMINAL 2 INCH DIAMETER X 7 INCH DEEP STEEL HOUSING, SEMI-SPECULAR CLEAR ALZAK REFLECTOR WITH MATCHING RETURN FLANGE, INTEGRAL DIMMING DRIVER.	500 LMS	3500K	15°	10	MVOLT	0-10V/1%	ACUITY - GOTHAM	IC02-35/05-AR-LSS-15D-MVOLT-UGZ-NCH
		A21A	REC	PINHOLE DOWNLIGHT, NOMINAL 2 INCH DIAMETER X 7 INCH DEEP STEEL HOUSING, SEMI-SPECULAR CLEAR ALZAK REFLECTOR WITH MATCHING RETURN FLANGE, INTEGRAL DIMMING DRIVER.	500 LMS	3500K	40°	10	MVOLT	0-10V/1%	ACUITY - GOTHAM	IC02-35/05-AR-LSS-40D-MVOLT-UGZ-NCH
		L1	SURF	SOFTVIEW LUMINOUS DIRECT/INDIRECT DISK GARAGE LUMINAIRE, NOMINAL 18 INCH DIAMETER X 5 INCH TALL CAST ALUMINUM HOUSING, FROSTED ACRYLIC LENS, WIDE DISTRIBUTION GARAGE OPTICS, INTEGRAL SENSOR PROVIDES DAYLIGHT AND OCCUPANCY SENSING, INTEGRAL DIMMING DRIVER, PROVIDE BACKBOX ACCESSORY THAT ACCEPTS DIRECT CONDUIT FEED, OVERALL FINISH TO BE SELECTED BY DESIGN PROFESSIONAL. U.L. WET LISTED.	4300 LMS	3500K	WIDE	38	MVOLT	0-10V/25%	COOPER - MCGRAW EDISON	TT-D1-735-U-WQ-STM-[LEAD LENGTH]-[FINISH]-UPL-MS/DIM-L08
		L3	WALL	FULL-CUTOFF WALLPACK, NOMINAL 17 INCH WIDE X 10 INCH DEEP X 8-1/2 INCH HIGH CAST ALUMINUM HOUSING, GASKETED DOOR FRAME WITH TEMPERED GLASS LENS, WIDE THROW OPTICS WITH COMFORT SHIELD, INTEGRAL DRIVER, PROVIDE BACKBOX ACCESSORY THAT ACCEPTS DIRECT CONDUIT FEED, OVERALL FINISH TO BE SELECTED BY DESIGN PROFESSIONAL. U.L. WET LISTED.	3000 LMS	3000K	WIDE	25	MVOLT	0-10V/1%	LITHONIA	WST LED-P2-30K-VW-MVOLT-BBW-[FINISH]
		L4	SURF	LINEAR ACCENT AT FAÇADE, NOMINAL 1/2 INCH WIDE X 1/4 INCH TALL X CONTINUOUS LENGTHS AS SHOWN ON DRAWINGS, SURFACE-MOUNTED EXTRUDED ALUMINUM HOUSING, FROSTED LENS, PROVIDE MOUNTING ACCESSORIES AS REQUIRED PER THE MANUFACTURER'S RECOMMENDATIONS, REMOTE LED POWER SUPPLY TO BE MOUNTED IN CONCEALED, ACCESSIBLE, AND VENTILATED LOCATION, PROVIDE POWER LEADS AND CONNECTING LEADS AS REQUIRED FOR CODE-COMPLIANT INSTALLATION. U.L. WET LISTED. REFER TO ARCHITECTURAL DRAWINGS FOR MOUNTING DETAILS.	163 LMS/FT	3000K	-	4FT	277	NONDIM	QTRAN	FIXTURE: ATOM-03-SW-4.0-30-ENC-TL-SZ/P2-COM6 [WIRE COLOR]-[WIRE TYPE]-SST-[FINISH]-[LENGTH] DRIVER: QOM-ELED-[SIZE]-UNV-24VDC-NIA-BK
		L6	SURF	EXTERIOR PROJECTOR, NOMINAL 4-1/2 INCH DIAMETER X 14-1/2 INCH LONG CAST ALUMINUM HOUSING, CLEAR GASKETED TEMPERED GLASS LENS, ADJUSTABLE YOKE WITH BASE PLATE, INTEGRAL DIMMING DRIVER, LUMINAIRE HOLDS INTEGRAL GOBO AND ACCESSORIES, PROVIDE IRIS ACCESSORY AND TWO STEEL GOBOS. GOBO PATTERNS TO BE SELECTED DURING SUBMITTAL REVIEW, PROVIDE POLE MOUNTING ACCESSORY. U.L. WET LISTED. REFER TO MOUNTING DETAILS IN ARCHITECTURAL DRAWINGS FOR INSTALLATION OF LUMINAIRE.	1380 LMS	3000K	26°	28	MVOLT	0-10V/1%	IGUZZINI	IPLCIO-M830-FR-UNV-[FINISH]-D10+MSQ1+X417+ 2GOBOS
		M1	GRND	ADJUSTABLE TREE UPLIGHT, NOMINAL 2-1/4 INCH DIAMETER X 4 INCH LONG MACHINED ALUMINUM HOUSING, TEMPERED GLASS LENS WITH SOFT FOCUS LENS ACCESSORY, KNUCKLE MOUNTING PROVIDE FULL TILT AND ROTATION, GROUND STAKE IS NOMINAL 18 INCHES LONG WITH INTEGRAL DRIVER AND ACCEPTS DIRECT CONDUIT FEED, OVERALL FINISH TO BE SELECTED BY DESIGN PROFESSIONAL. U.L. WET LISTED.	350 LMS	3000K	30°	10	MVOLT	NONDIM	BK LIGHTING	NSII-LED-E65-WFL-A9-[FINISH]-12-360SL + PP-J18-TrE20-[FINISH]-B-SF

**GENERAL NOTES:**

- ALL LIGHTING FIXTURES, LAMPS AND RELATED DEVICES FURNISHED UNDER THIS CONTRACT SHALL CARRY THE APPROVAL LABEL OF UL OR ETL FOR THE SPECIFIC APPLICATION IN WHICH THEY ARE USED.
- THE STATEMENT "FINISH TO BE SELECTED BY DESIGN PROFESSIONAL" SHALL BE INTERPRETED TO MEAN THAT THE FINISH OF THE LUMINAIRE SHALL MATCH THE APPEARANCE OF A PAINT CHIP, COLOR NUMBER, OR METAL SWATCH FURNISHED BY THE DESIGN PROFESSIONAL DURING THE SUBMITTAL REVIEW PROCESS.
- CONTRACTOR SHALL CONFIRM FIXTURE VOLTAGES, CEILING TRIMS, AND MOUNTING HARDWARE ARE COMPATIBLE WITH THEIR APPLICATION AS DETERMINED BY THE DESIGN PROFESSIONAL PRIOR TO ORDERING FIXTURES.
- CONTRACTOR SHALL PROVIDE ALL MOUNTING HARDWARE AS REQUIRED FOR FIXTURE INSTALLATION.
- CONTRACTOR SHALL VERIFY ALL FINAL RUN LENGTHS FOR INTEGRATED MILLWORK LIGHTING EQUIPMENT WITH APPROVED MILLWORK SHOP DRAWINGS.
- DIMMING RANGES IDENTIFIED IN THE LIGHTING FIXTURES INDICATE THE REQUIRED LOW END DIMMING. ALL LIGHTING EQUIPMENT IDENTIFIED AS DIMMABLE SHALL PROVIDE SMOOTH, CONTINUOUS DIMMING FROM 100% POWER OUTPUT TO THE LOW-END PERCENTAGE OF POWER OUTPUT IDENTIFIED IN THE FIXTURE SCHEDULE.
- ALL DIMMABLE FLUORESCENT AND LED LAMPS SHALL BE BURNED CONTINUOUSLY FOR 100 HOURS AT FULL OUTPUT PRIOR TO FOCUSING OF FIXTURES AND COMMISSIONING OF CONTROL SYSTEMS.
- LED CHROMATICITY AND COLOR RENDERING INDEX (CRI):**  
WHITE LEDS SHALL MEET, AT A MINIMUM, CHROMATICITY STANDARDS SET BY ANSINEMA/ANSI/IEC C78.377-2015.  
- EXTERIOR LUMINAIRES > 70 CRI  
- INTERIOR LUMINAIRES > 80 CRI  
UNLESS OTHERWISE NOTED, THE COLOR RENDERING INDEX (CRI) FOR LED EQUIPMENT SHALL MEET THE FOLLOWING MINIMUM REQUIREMENTS:
- LED LUMEN MAINTENANCE (L70):**  
LED LUMEN MAINTENANCE SHALL BE MEASURED IN ACCORDANCE WITH IESNA LM-80 STANDARDS. PHOTOMETRIC TESTING FOR SOLID STATE LUMINAIRES SHALL BE IN ACCORDANCE WITH IESNA LM-79 STANDARDS.  
UNLESS OTHERWISE NOTED, THE LUMEN MAINTENANCE (L70) RATED LIFETIME FOR LED EQUIPMENT SHALL MEET THE FOLLOWING MINIMUM REQUIREMENTS:  
- INTEGRATED LED CHIP-BASED LUMINAIRES > 50,000 HOURS  
- LINEAR FLUORESCENT LED TUBES > 35,000 HOURS  
- SCREW-BASE, GU10 BASE & PIN BASE LED LAMPS > 25,000 HOURS  
- WEDGE-BASE LED LAMPS > 8,000 HOURS
- LED WARRANTY:**  
UNLESS OTHERWISE INDICATED, ALL LIGHTING EQUIPMENT WITH INTEGRATED LED LIGHT ENGINES SHALL PROVIDE A MINIMUM 5-YEAR MANUFACTURER WARRANTY ON THE LED LIGHT ENGINE AND ASSOCIATED DRIVER(S). ALL SELF-CONTAINED LED LAMPS (SCREW-BASE, PIN-BASE) SHALL PROVIDE A MINIMUM 3-YEAR WARRANTY ON THE LAMP MODULE.
- CONTRACTOR SHALL SELECT, FURNISH AND INSTALL THE CORRECT SIZE OF SECONDARY WIRING FROM REMOTE TRANSFORMERS AND/OR REMOTE BALLASTS AS REQUIRED TO KEEP VOLTAGE DROP IN THE SECONDARY WIRING BELOW 3% OF RATED VOLTAGE.
- CONTRACTOR SHALL PROVIDE LABOR AND EQUIPMENT FOR FOCUSING OF ADJUSTABLE FIXTURES AND PRESETTING OF LIGHTING CONTROL SYSTEMS. FOCUSING AND PRESETTING SHALL BE DONE IN THE PRESENCE OF THE DESIGN PROFESSIONAL. CONTRACTOR SHALL FOCUS LIGHTING AFTER DARK IF DIRECTED BY THE OWNER'S REPRESENTATIVE. UNLESS OTHERWISE NOTED, CONTRACTOR SHALL PROVIDE AT LEAST ONE DAY OF A FACTORY-TRAINED AND CERTIFIED TECHNICIAN TO PROVIDE WARRANTY START UP AND PROGRAMMING FOR ALL LIGHTING CONTROL SYSTEMS AND PROGRAMMABLE LIGHTING FIXTURES.
- CONTRACTOR SHALL PROVIDE THE FOLLOWING WITH THEIR BID:
  - THE UNIT PRICE, WITHOUT LAMP, FOR EACH LIGHTING FIXTURE TYPE LISTED WITHIN THE LIGHTING FIXTURE SCHEDULE. THE UNIT PRICE SHALL BE FOR ONE OF THE LISTED MANUFACTURERS FOR THAT PARTICULAR FIXTURE. THE MANUFACTURER SHALL BE IDENTIFIED. SUBSTITUTIONS FOR FIXTURES PROVIDED BY MANUFACTURERS NOT LISTED IN THE SCHEDULE ARE NOT ACCEPTABLE. SEE BELOW FOR REQUIREMENTS ASSOCIATED WITH SUBMITTING LIGHTING FIXTURE SUBSTITUTIONS.
  - THE TOTAL QUANTITY OF EACH FIXTURE TYPE WITH THE EXTENDED COST FOR THAT QUANTITY
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  - FIXTURE TYPE, DIMENSIONS AND FINISHES
  - FIXTURE PHOTOMETRIC TEST DATA FROM AN INDEPENDENT TEST LABORATORY
  - FIXTURE ACCESSORIES, COMPONENTS, AND HARDWARE WHEN SPECIFIED
  - LAMP TYPE, QUANTITY, WATTAGE, LUMEN OUTPUT, RATED LIFE, COLOR TEMPERATURE, COLOR RENDERING INDEX AND BEAM SPREAD AS APPLICABLE
  - BALLAST TYPE AND FIXTURE VOLTAGE
 SUBMITTALS FOR LIGHTING FIXTURES MOUNTED WITHIN ARCHITECTURAL COVES OR CASEWORK, VARIABLE LENGTH FIXTURES, AND FOR NON-STANDARD, OR CUSTOM FIXTURES, SHALL ALSO INCLUDE SCALED DRAWINGS SHOWING THE LAYOUT AND DIMENSIONS OF ALL FIXTURE COMPONENTS AND ACCESSORIES, THE METHOD OF INSTALLATION, AND A COMPLETE BILL OF MATERIALS.
- LIGHTING FIXTURE SUBSTITUTION REQUESTS MUST BE SENT TO AND RECEIVED BY THE LIGHTING DESIGNER FOR REVIEW 14 DAYS PRIOR TO BID DATE. FAILURE TO SUBMIT WITHIN THIS DEADLINE SHALL CONSTITUTE A GUARANTEE THAT THE SPECIFIED FIXTURES WILL BE SUPPLIED. THE SUBMITTAL SHALL INCLUDE THE FOLLOWING:
  - SIX HARD COPIES OF THE SUBMITTALS REQUIRED ABOVE FOR BOTH THE SPECIFIED FIXTURE AND THE PROPOSED SUBSTITUTION
  - ONE NON-RETURNABLE WORKING SAMPLE OF THE PROPOSED SUBSTITUTE FIXTURE WITH CORD & PLUG CONNECTION FOR 120 VOLT OPERATION, AND SPECIFIED LAMP(S)
  - CONTRACTOR'S STATEMENT INDICATING THE EFFECT OF THE SUBSTITUTION ON THE CONSTRUCTION SCHEDULE COMPARED TO THE SCHEDULE WITHOUT THE APPROVAL OF THE PROPOSED SUBSTITUTION
  - CONTRACTOR'S CERTIFICATION STATING THAT THE PROPOSED SUBSTITUTION CONFORMS TO THE REQUIREMENTS OF THE CONTRACT DOCUMENTS IN EVERY RESPECT AND IS APPROPRIATE FOR THE APPLICATIONS INDICATED IN THE DOCUMENTS.
  - CONTRACTOR'S CERTIFICATION STATING THAT ANY MODIFICATIONS TO ANY BUILDING SYSTEM OR EQUIPMENT THAT MAY RESULT FROM THE PROPOSED LIGHTING FIXTURE SUBSTITUTION WILL BE DESIGNED AND CONSTRUCTED AT THE CONTRACTOR'S EXPENSE.
  - CONTRACTOR'S WAIVER OF RIGHTS TO ADDITIONAL PAYMENT OR TIME THAT MAY BECOME NECESSARY SHOULD THE PROPOSED SUBSTITUTION FAIL TO PERFORM IN A MANNER THAT MATCHES THE SPECIFIED FIXTURE
  - CONTRACTOR-NET UNIT PRICE FOR THE SPECIFIED FIXTURE AND FOR THE PROPOSED SUBSTITUTE FIXTURE.
 THE LIGHTING DESIGNER SHALL BE REIMBURSED BY THE CONTRACTOR FOR ALL OF THE DESIGNER'S TIME ASSOCIATED WITH THE REVIEW OF THE PROPOSED FIXTURE SUBSTITUTION(S). PAYMENT SHALL BE MADE IN ADVANCE OF THE REVIEW, BASED ON THE DESIGNER'S ESTIMATE OF THE REQUIRED TIME. THE PAYMENT SHALL BE BASED ON THE DESIGNER'S STANDARD HOURLY RATES FOR THE PERSONNEL INVOLVED IN THE REVIEW.

**DEFINITIONS:**

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- TRANSFORMER: ELECTROMAGNETIC OR ELECTRONIC DEVICE THAT STEPS DOWN PRIMARY VOLTAGE TO A LOWER SECONDARY VOLTAGE. GENERALLY SECONDARY VOLTAGE WILL BE 12V OR 24V.
- DIMMING: THE REDUCTION OF LIGHT INTENSITY OF A LIGHT SOURCE. ALL SOURCES SHALL HAVE A SMOOTH, FLICKER-FREE AND CONTINUOUS DIMMING CURVE. LED SOURCES MAY BE DIMMED BY EITHER CONSTANT CURRENT REDUCTION (CCR) OR BY PULSE WIDTH MODULATION (PWM) DIMMING FOR CONSTANT CURRENT DRIVERS.
- RATED LUMEN MAINTENANCE LIFE: THE ELAPSED OPERATING TIME OVER WHICH AN LED LIGHT SOURCE WILL MAINTAIN THE PERCENTAGE OF ITS INITIAL LUMEN OUTPUT.  
L70: TIME, IN HOURS, TO 70% LUMEN MAINTENANCE  
L50: TIME, IN HOURS, TO 50% LUMEN MAINTENANCE

**APPROVED**  
**PLANNING BOARD OF HOWARD COUNTY**

Date: \_\_\_\_\_

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director \_\_\_\_\_ Date \_\_\_\_\_

Chief, Division of Land Development \_\_\_\_\_ Date \_\_\_\_\_

Chief, Development Engineering Division \_\_\_\_\_ Date \_\_\_\_\_

DESIGNED BY: TLS

DRAWN BY: ARB

CHECKED BY: JEW

DATE \_\_\_\_\_

REVISION \_\_\_\_\_

BY \_\_\_\_\_





APP'R \_\_\_\_\_

PREPARED FOR:

OWNER: CLOVER ACQUISITIONS LLC  
C/O THE HOWARD HUGHES CORP.  
PO BOX 131298  
CARLSBAD CA 92013

DEVELOPER: THE HOWARD RESEARCH AND DEVELOPMENT CORP.  
10960 GRANTCHESTER WAY, SUITE 110  
COLUMBIA, MD 21044  
ATTN: GABRIEL CHUNG  
410-964-4800

LIGHTING FIXTURE SCHEDULE				SCALE	ZONING	JOB No.
SOUTHLAKE OFFICE BUILDING DOWNTOWN COLUMBIA LAKEFRONT CORE NEIGHBORHOOD, PHASE 1, PARCEL B A RESUBDIVISION OF SECTION 1, LOT 29 (PLAT No. XXXXX) PN: _____				N/A	NT	21083.00
ELECTION DISTRICT No. 5				DATE	TAX MAP - GRID	SHEET
HOWARD COUNTY, MARYLAND				DEC., 2021	36 - 2	44 OF 45

SOUTHLAKE MOB COLUMBIA, MD LIGHTING FIXTURE SCHEDULE				TLP PROJECT NUMBER: 21083 TLP OFFICE: PHILADELPHIA								
SYMBOL	FIXTURE IMAGE	TYPE	MTG.	DESCRIPTION	LIGHT SOURCE			WATTAGE (W)	VOLTS	DIMMING PROTOCOL/RANGE	MANUFACTURER	CATALOG NUMBER
					DELIVERED LUMENS OR LAMP NO. DESIGNATION	COLOR/CCT	OPTICS					
○		M2	RAIL	LOW-VOLTAGE PUCK MODULE FOR INSTALLATION IN THIRD PARTY RAILING SYSTEM, NOMINAL 1 INCH DIAMETER X 1 INCH DEEP ALUMINUM HOUSING, CLEAR GLASS LENS, ASYMMETRIC OPTICS. U.L. WET LISTED. MODULES SHALL BE MOUNTED NOMINAL XXFT ON-CENTER.  FINAL SPECIFICATIONS FOR MODULES SHALL BE VERIFIED BY CONTRACTOR BASED ON APPROVED RAIL SHOP DRAWINGS.  REMOTE NON-DIM POWER SUPPLIES SHALL BE MOUNTED AT UNDERSIDE OF GARAGE DECK CEILING. CONTRACTOR SHALL PROVIDE SECONDARY WIRING SIZED PER MANUFACTURER RECOMMENDATIONS. MOUNTED POWER SUPPLIES IN CONTRACTOR-PROVIDED NEMA 3R ENCLOSURES.  CONTRACTOR SHALL RUN LOW-VOLTAGE WIRING THROUGH RAIL SYSTEM AND FIELD CUT OPENINGS IN UNDERSIDE OF RAIL FOR INSTALLATION OF MODULES. ASYMMETRIC OPTICS SHALL BE ORIENTED TO DECK.	145 LMS	3000K	ASYMMETRIC	2	MVOLT	NONDIM	KLIK	FIXTURE: LP-RAIL SIZE-30K-A-[RAIL WALL]-CLEAR LENS DRIVER: LP100WPTRNDIM
○		M3	RAIL	LOW-VOLTAGE PUCK MODULE FOR INSTALLATION IN THIRD PARTY RAILING SYSTEM, NOMINAL 1 -1/2 INCH SQUARE ALUMINUM HOUSING, CLEAR GLASS LENS, ASYMMETRIC OPTICS. U.L. WET LISTED. MODULES SHALL BE MOUNTED NOMINAL XXFT ON-CENTER.  FINAL SPECIFICATIONS FOR MODULES SHALL BE VERIFIED BY CONTRACTOR BASED ON APPROVED RAIL SHOP DRAWINGS.  REMOTE NON-DIM POWER SUPPLIES SHALL BE MOUNTED AT UNDERSIDE OF GARAGE DECK CEILING. CONTRACTOR SHALL PROVIDE SECONDARY WIRING SIZED PER MANUFACTURER RECOMMENDATIONS. MOUNTED POWER SUPPLIES IN CONTRACTOR-PROVIDED NEMA 3R ENCLOSURES.  CONTRACTOR SHALL RUN LOW-VOLTAGE WIRING THROUGH RAIL SYSTEM AND FIELD CUT OPENINGS IN UNDERSIDE OF RAIL FOR INSTALLATION OF MODULES. ASYMMETRIC OPTICS SHALL BE ORIENTED TO DECK.	145 LMS	3000K	ASYMMETRIC	2	MVOLT	NONDIM	KLIK	FIXTURE: LP-SQ-30K-A-12-CLEARLENS DRIVER: LP100WPTRNDIM
⊕		M4	GRND 32 IN	FULL CUTOFF PEDESTRIAN BOLLARD, NOMINAL 5 INCH SQUARE X 31 INCH HIGH ALUMINUM HOUSING, REGRESSED TEMPERED GLASS LENS, PROVIDE MOUNTING ACCESSORIES FOR GROUND INSTALLATION, INTEGRAL DIMMING DRIVER, OVERALL FINISH TO BE SELECTED BY DESIGN PROFESSIONAL, U.L. WET LISTED.	300 LMS	3000K	ASYMMETRIC	17	MVOLT	0-10V/25%	SISTEMALUX BEGA	S.6090-W-UNV-[FINISH]+S.6309  84412 SERIES
□		P1	POLE 20 FT	POLE WITH ARM-MOUNTED CUTOFF LUMINAIRE.  LUMINAIRE: NOMINAL 24 INCH DIAMETER X 4 INCH HIGH CAST ALUMINUM HOUSING, GASKETED EDGE-LIT ACRYLIC LENS, 6 INCH ARMATURE, INTEGRAL DRIVER, INTEGRAL BUTTON PHOTOCELL. U.L. WET LISTED.  POLE: NOMINAL 4 INCH DIAMETER X 20 FOOT TALL STRAIGHT ROUND STEEL ASSEMBLY, HANDHOLE, POLE CAP, DECORATIVE CLAMSHELL BASE. POLE SHALL BE CAPABLE OF WITHSTANDING 90MPH WINDS WITH A 1.3 GUST FACTOR. OVERALL FINISH TO BE SELECTED BY DESIGN PROFESSIONAL.	7000 LMS	3000K	ASYMMETRIC TYPE IV	50	MVOLT	-	ACUITY - LITHONIA  COOPER - INVUE SIGNIFY - GARDCO HUBBELL - KIM	HEAD: RAD1LED-P3-30K-ASY-MVOLT-RPA-PE-[FINISH] + RADCS  POLE: RSS-20FT-4B-DM19RAD-[OPTIONS]-[FINISH]  LXS SERIES PUREFORM SERIES UR20 SERIES

**GENERAL NOTES:**

- ALL LIGHTING FIXTURES, LAMPS AND RELATED DEVICES FURNISHED UNDER THIS CONTRACT SHALL CARRY THE APPROVAL LABEL OF UL OR ETL FOR THE SPECIFIC APPLICATION IN WHICH THEY ARE USED.
- THE STATEMENT "FINISH TO BE SELECTED BY DESIGN PROFESSIONAL" SHALL BE INTERPRETED TO MEAN THAT THE FINISH OF THE LUMINAIRE SHALL MATCH THE APPEARANCE OF A PAINT CHIP, COLOR NUMBER, OR METAL SWATCH FURNISHED BY THE DESIGN PROFESSIONAL DURING THE SUBMITTAL REVIEW PROCESS.
- CONTRACTOR SHALL CONFIRM FIXTURE VOLTAGES, CEILING TRIMS, AND MOUNTING HARDWARE ARE COMPATIBLE WITH THEIR APPLICATION AS DETERMINED BY THE DESIGN PROFESSIONAL PRIOR TO ORDERING FIXTURES.
- CONTRACTOR SHALL PROVIDE ALL MOUNTING HARDWARE AS REQUIRED FOR FIXTURE INSTALLATION.
- CONTRACTOR SHALL VERIFY ALL FINAL RUN LENGTHS FOR INTEGRATED MILLWORK LIGHTING EQUIPMENT WITH APPROVED MILLWORK SHOP DRAWINGS.
- DIMMING RANGES IDENTIFIED IN THE LIGHTING FIXTURES INDICATE THE REQUIRED LOW END DIMMING. ALL LIGHTING EQUIPMENT IDENTIFIED AS DIMMABLE SHALL PROVIDE SMOOTH, CONTINUOUS DIMMING FROM 100% POWER OUTPUT TO THE LOW-END PERCENTAGE OF POWER OUTPUT IDENTIFIED IN THE FIXTURE SCHEDULE.
- ALL DIMMABLE FLUORESCENT AND LED LAMPS SHALL BE BURNED CONTINUOUSLY FOR 100 HOURS AT FULL OUTPUT PRIOR TO FOCUSING OF FIXTURES AND COMMISSIONING OF CONTROL SYSTEMS.
- LED CHROMATICITY AND COLOR RENDERING INDEX (CRI):**  
WHITE LEDS SHALL MEET, AT A MINIMUM, CHROMATICITY STANDARDS SET BY ANSINEMA/ANSI LG C78.377-2015.  
UNLESS OTHERWISE NOTED, THE COLOR RENDERING INDEX (CRI) FOR LED EQUIPMENT SHALL MEET THE FOLLOWING MINIMUM REQUIREMENTS:  
- EXTERIOR LUMINAIRES >= 70 CRI  
- INTERIOR LUMINAIRES >= 80 CRI
- LED LUMEN MAINTENANCE (L70):**  
LED LUMEN MAINTENANCE SHALL BE MEASURED IN ACCORDANCE WITH IESNA LM-80 STANDARDS. PHOTOMETRIC TESTING FOR SOLID STATE LUMINAIRES SHALL BE IN ACCORDANCE WITH IESNA LM-79 STANDARDS.  
UNLESS OTHERWISE NOTED, THE LUMEN MAINTENANCE (L70) RATED LIFETIME FOR LED EQUIPMENT SHALL MEET THE FOLLOWING MINIMUM REQUIREMENTS:  
- INTEGRATED LED CHIP-BASED LUMINAIRES >= 50,000 HOURS  
- LINEAR FLUORESCENT LED TUBES >= 35,000 HOURS  
- SCREW-BASE, GU10 BASE & PIN BASE LED LAMPS >= 25,000 HOURS  
- WEDGE-BASE LED LAMPS >= 8,000 HOURS
- LED WARRANTY:**  
UNLESS OTHERWISE INDICATED, ALL LIGHTING EQUIPMENT WITH INTEGRATED LED LIGHT ENGINES SHALL PROVIDE A MINIMUM 5-YEAR MANUFACTURER WARRANTY ON THE LED LIGHT ENGINE AND ASSOCIATED DRIVER(S). ALL SELF-CONTAINED LED LAMPS (SCREW-BASE, PIN-BASE) SHALL PROVIDE A MINIMUM 3-YEAR WARRANTY ON THE LAMP MODULE.
- CONTRACTOR SHALL SELECT, FURNISH AND INSTALL THE CORRECT SIZE OF SECONDARY WIRING FROM REMOTE TRANSFORMERS AND/OR REMOTE BALLASTS AS REQUIRED TO KEEP VOLTAGE DROP IN THE SECONDARY WIRING BELOW 3% OF RATED VOLTAGE.
- CONTRACTOR SHALL PROVIDE LABOR AND EQUIPMENT FOR FOCUSING OF ADJUSTABLE FIXTURES AND PRESETTING OF LIGHTING CONTROL SYSTEMS. FOCUSING AND PRESETTING SHALL BE DONE IN THE PRESENCE OF THE DESIGN PROFESSIONAL. CONTRACTOR SHALL FOCUS LIGHTING AFTER DARK IF DIRECTED BY THE OWNER'S REPRESENTATIVE. UNLESS OTHERWISE NOTED, CONTRACTOR SHALL PROVIDE AT LEAST ONE DAY OF A FACTORY-TRAINED AND CERTIFIED TECHNICIAN TO PROVIDE WARRANTY START UP AND PROGRAMMING FOR ALL LIGHTING CONTROL SYSTEMS AND PROGRAMMABLE LIGHTING FIXTURES.
- CONTRACTOR SHALL PROVIDE THE FOLLOWING WITH THEIR BID:
  - THE UNIT PRICE, WITHOUT LAMP, FOR EACH LIGHTING FIXTURE TYPE LISTED WITHIN THE LIGHTING FIXTURE SCHEDULE. THE UNIT PRICE SHALL BE FOR ONE OF THE LISTED MANUFACTURERS FOR THAT PARTICULAR FIXTURE. THE MANUFACTURER SHALL BE IDENTIFIED. SUBSTITUTIONS FOR FIXTURES PROVIDED BY MANUFACTURERS NOT LISTED IN THE SCHEDULE ARE NOT ACCEPTABLE. SEE BELOW FOR REQUIREMENTS ASSOCIATED WITH SUBMITTING LIGHTING FIXTURE SUBSTITUTIONS.
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L70: TIME, IN HOURS, TO 70% LUMEN MAINTENANCE  
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**APPROVED  
PLANNING BOARD OF HOWARD COUNTY**


Date: \_\_\_\_\_

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director \_\_\_\_\_ Date \_\_\_\_\_

Chief, Division of Land Development \_\_\_\_\_ Date \_\_\_\_\_

Chief, Development Engineering Division \_\_\_\_\_ Date \_\_\_\_\_


 public ledger building  
 600 chestnut street, suite 772  
 philadelphia, pa 19106  
 t 215 238 1644  
 www.thelightingpractice.com

DESIGNED BY:	TLS								
DRAWN BY:	ARB								
CHECKED BY:	JEW								
	DATE		REVISION			BY	APP'R		

PREPARED FOR:

OWNER:  
CLOVER ACQUISITIONS LLC  
C/O THE HOWARD HUGHES  
CORP.  
PO BOX 131298  
CARLSBAD CA 92013

DEVELOPER:  
THE HOWARD RESEARCH  
AND DEVELOPMENT CORP.  
10660 GRANTCHESTER  
WAY, SUITE 110  
COLUMBIA, MD 21044  
ATTN: GABRIEL CHUNG  
410-964-4800

ELECTION DISTRICT No. 5

**LIGHTING FIXTURE SCHEDULE**

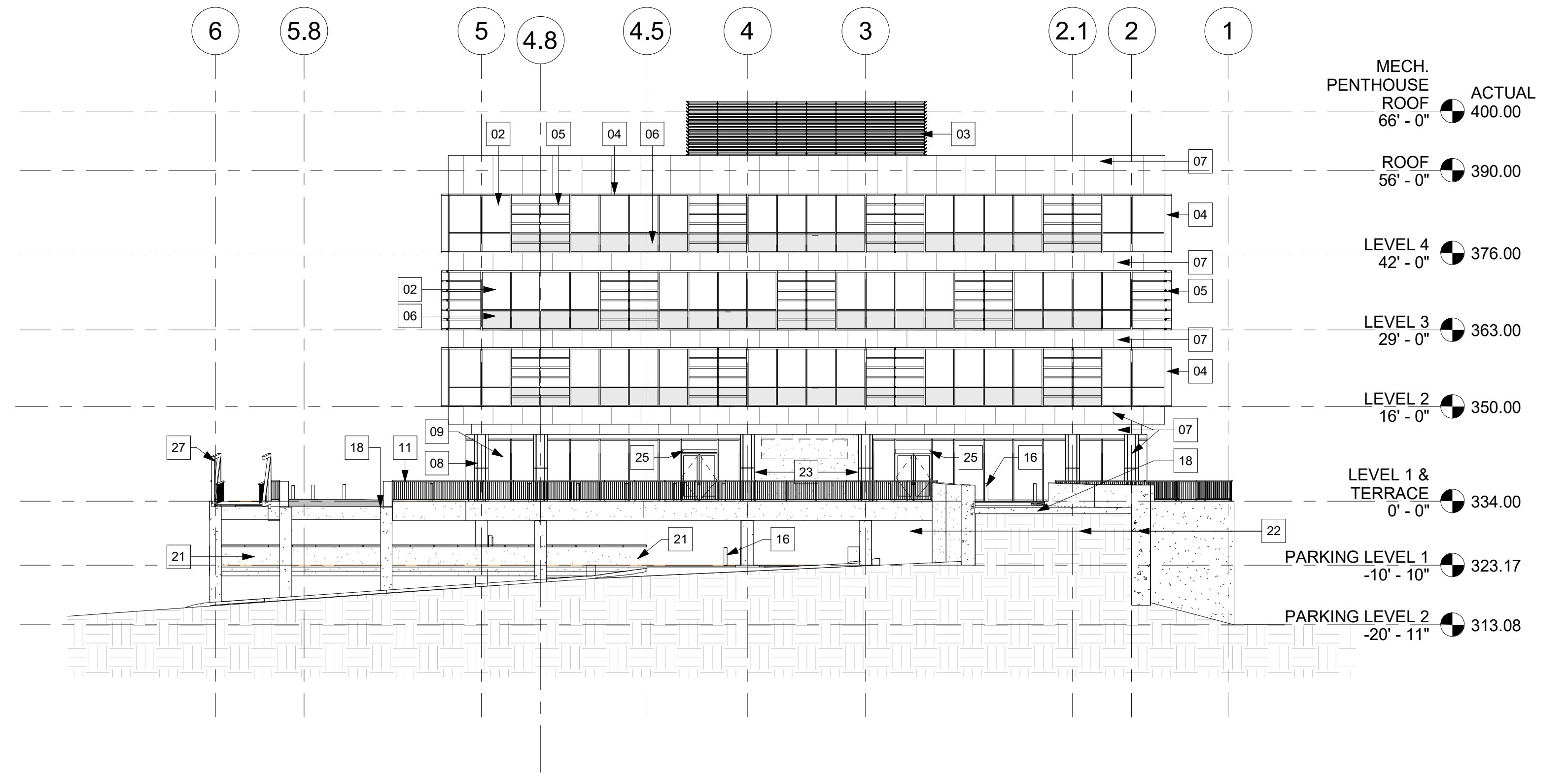
SOUTHLAKE OFFICE BUILDING  
DOWNTOWN COLUMBIA  
LAKEFRONT CORE NEIGHBORHOOD, PHASE 1, PARCEL B  
A RESUBDIVISION OF SECTION 1, LOT 29 (PLAT No. XXXXX)  
PN: \_\_\_\_\_

HOWARD COUNTY, MARYLAND

SCALE	ZONING	JOB No.
N/A	NT	21083.00
DATE	TAX MAP - GRID	SHEET
DEC., 2021	36 - 2	45 OF 45

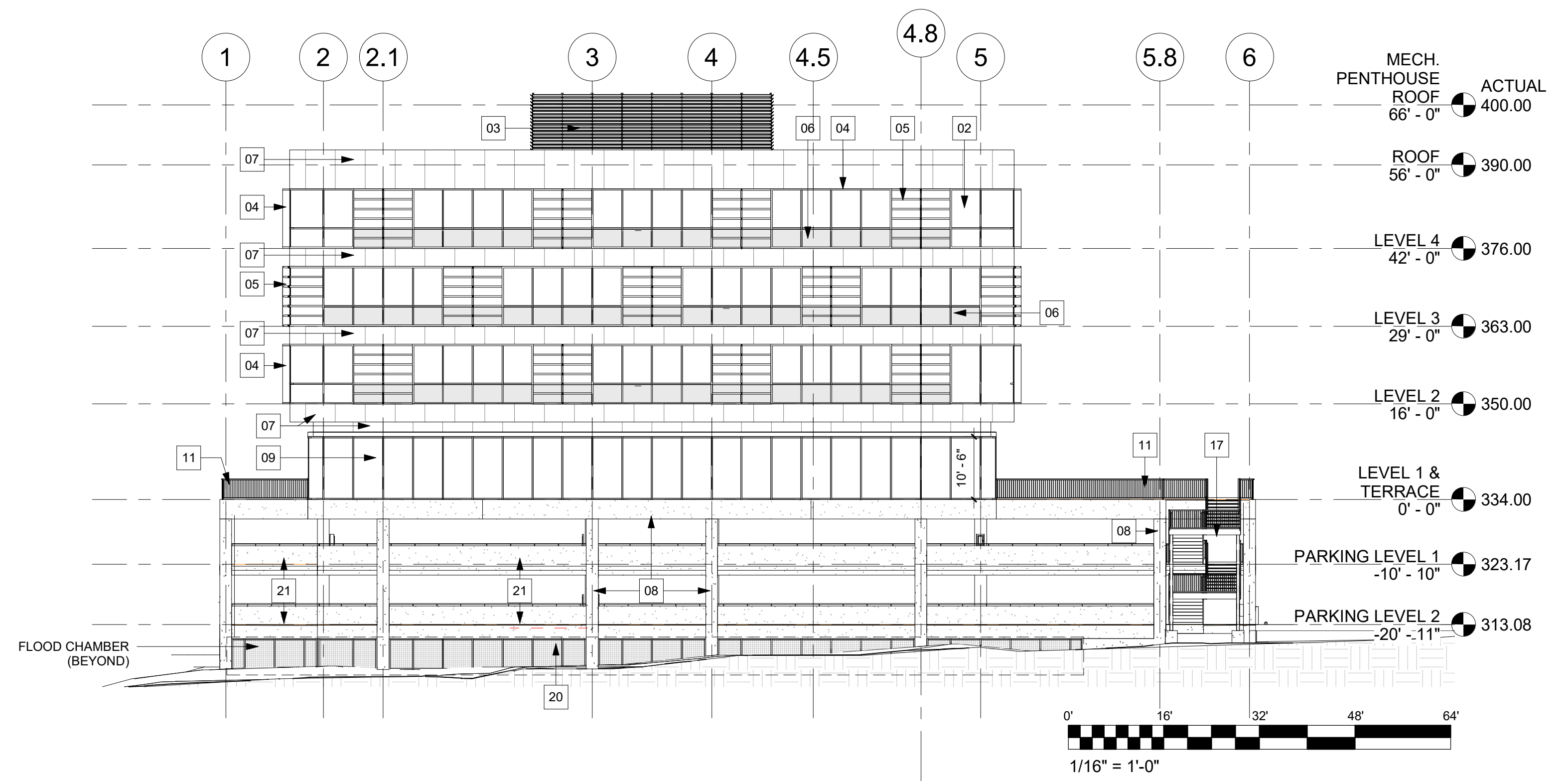
- 01 GALVANIZED STEEL BARRIER SYSTEM, 42" AFF
- 02 SCHED. ALUMINUM WINDOW WALL SYSTEM  
RE: WINDOW SCHEDULE
- 03 ROOFTOP LOUVERS MOUNTED TO STEEL STRUCTURE, RE: STRUCTURAL.
- 04 PREFINISHED EXTRUDED ALUMINUM FRAME MOUNTED  
TO WINDOW WALL SYSTEM (4 SIDED)
- 05 PREFINISHED EXTRUDED ALUMINUM SUNSHADE BLADE WITH  
PRE-ENGINEERED MOUNTING SYSTEM
- 06 GALVANIZED STEEL BARRIER CABLE SYSTEM
- 07 VERTICAL REVEAL IN PREFINISHED WALL PANEL,  
ALIGN WITH C.L. OF WINDOW MULLIONS
- 08 CAST-IN-PLACE CONCRETE STRUCTURE, RE: STRUCT.
- 09 SCHED. ALUMINUM STOREFRONT WINDOW SYSTEM  
RE: WINDOW SCHEDULE
- 10 CONCRETE CONTROL JOINT, RE: STRUCTURAL
- 11 GUARDRAIL, RE: LANDSCAPE

- 12 PREMANUFACTURED STEEL TRUSS PEDESTRIAN BRIDGE
- 13 EXISTING TRELLIS
- 16 6" DIA. STEEL W/ CONCRETE BOLLARD WITH STAINLESS STEEL COVER
- 17 CONCRETE FILLED METAL PAN SYSTEM STAIR, GALVANIZED, PRIMED, PAINTED.  
GUARDRAILS AND HANDRAILS, RE: LANDSCAPING
- 18 CAST-IN-PLACE CONCRETE RAMP W/ CONCRETE TRAFFIC BARRIERS, RE: STRUCT.
- 19 STAINLESS STEEL CABLE TRELLIS BOLTED TO STRUCTURE, RE: LANDSCAPE
- 20 GALVANIZED 4" W/M & ANGLE FRAMES MOUNTED TO CONCRETE STRUCTURE AT  
FLOOD CHAMBER W/ 1 PANEL BOLTED FOR ACCESS. RE: 11/A-401
- 21 REINFORCED CONCRETE VEHICULAR BUMPER GUARD W/ GALVANIZED PAINTED  
HANDRAIL @ 42" ABOVE FFL
- 22 CAST IN PLACE RETAINING WALL RE: STRUCTURE
- 23 SCHED. STONE VENEER WALL BETWEEN ENTRY DOORS
- 24 PAINTED EIFS ON RIGID INSULATION BOARD, RE: FINISH SCHEDULE
- 25 ACM ENCLOSURE FOR AUTOMATIC SWING DOOR OPENER WITH SENSOR
- 26 INTERNALLY ILLUMINATED SIGNAGE, PIN MOUNTED, RE: ELECT.
- 27 PREMANUFACTURED STEEL TRUSS PEDESTRIAN BRIDGE
- 28 EXISTING ASPHALT TRAIL W/ NEW TIE-IN



ELEVATION KEYNOTES

WEST ELEVATION 1/16" = 1'-0" 02



EAST ELEVATION 1/16" = 1'-0" 01

APPROVED  
PLANNING BOARD OF HOWARD COUNTY

Date: \_\_\_\_\_

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director \_\_\_\_\_ Date \_\_\_\_\_

Chief, Division of Land Development \_\_\_\_\_ Date \_\_\_\_\_

Chief, Development Engineering Division \_\_\_\_\_ Date \_\_\_\_\_

**STUDIO RED ARCHITECTS**  
1320 McGowen st  
Houston, TX 77004  
StudioREDarchitects.com

DESIGNED BY:	DATE	REVISION	BY	APPR.
CB				
DRAWN BY:				
CH				
CHECKED BY:				
PK				

PREPARED FOR:

OWNER:  
CLOVER ACQUISITIONS LLC  
C/O THE HOWARD-HUGHES  
CORP.  
PO BOX 131298  
CARLSBAD CA 92013

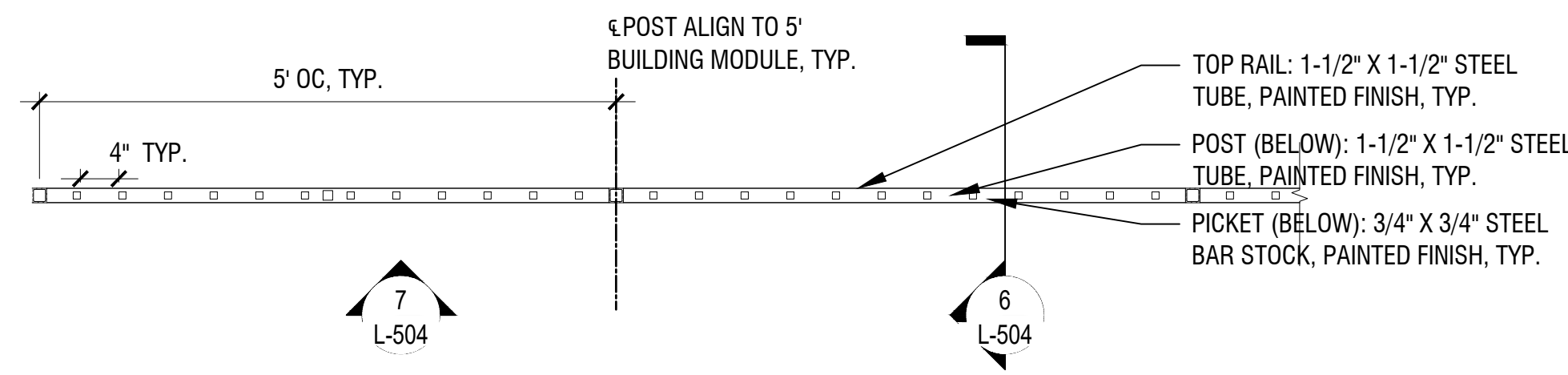
DEVELOPER:  
THE HOWARD RESEARCH  
AND DEVELOPMENT CORP.  
10360 GRANTCHESTER  
WAY, SUITE 110  
COLUMBIA MD 21044  
ATTN: GABRIEL CHUNG  
410-964-4800

**BUILDING ELEVATIONS**  
**SOUTHLAKE OFFICE BUILDING**  
DOWNTOWN COLUMBIA  
LAKEFRONT CORE NEIGHBORHOOD, PHASE 1, PARCEL B  
A RESUBDIVISION OF SECTION 1, LOT 29 (PLAT No. XXXXX)  
PN: \_\_\_\_\_

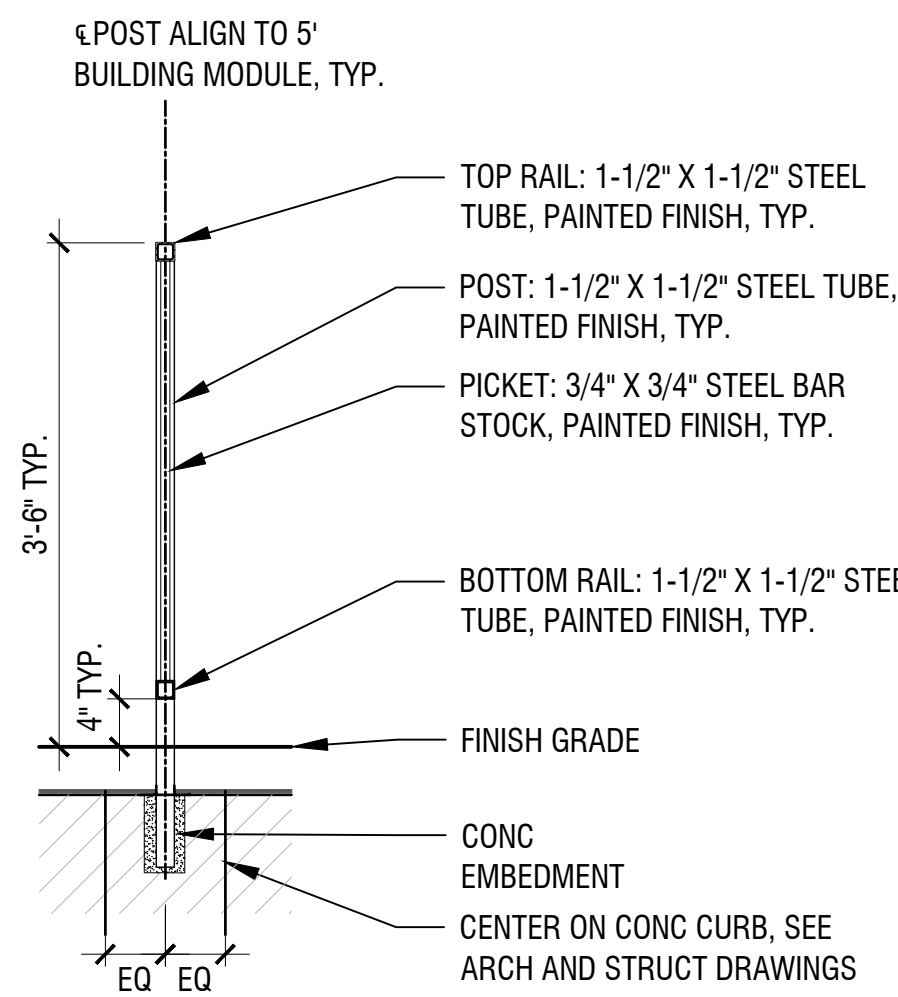
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1/16" = 1'	NT	2108
DATE		SHEET
DEC.13, 2021	36 - 2	46 OF 52

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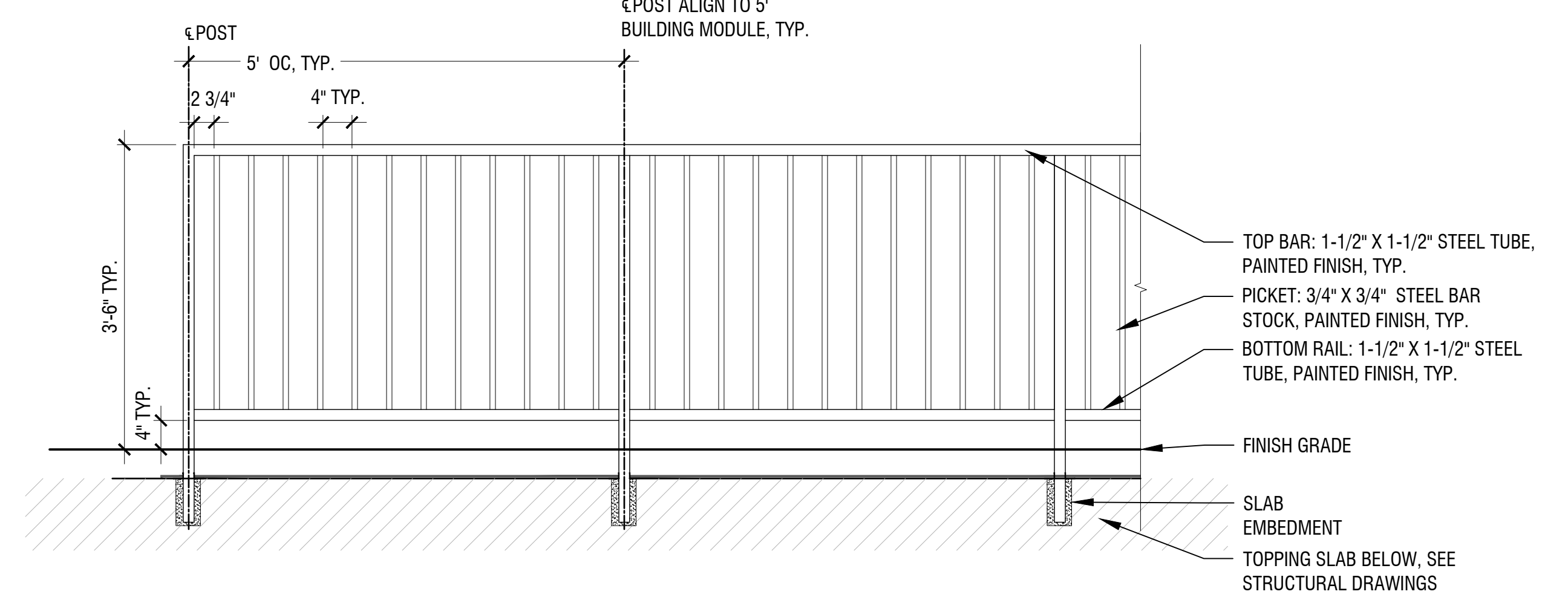
- GENERAL RAILING NOTES:
1. CONTRACTOR TO PROVIDE SIGNED AND SEALED ENGINEER'S DRAWINGS FOR ALL RAILS.
  2. COORDINATE RAIL FABRICATION WITH BUILT CONDITIONS.
  3. GUARDRAIL TO ACCOMMODATE INTEGRAL LIGHT FIXTURE, SEE LIGHTING DRAWINGS.



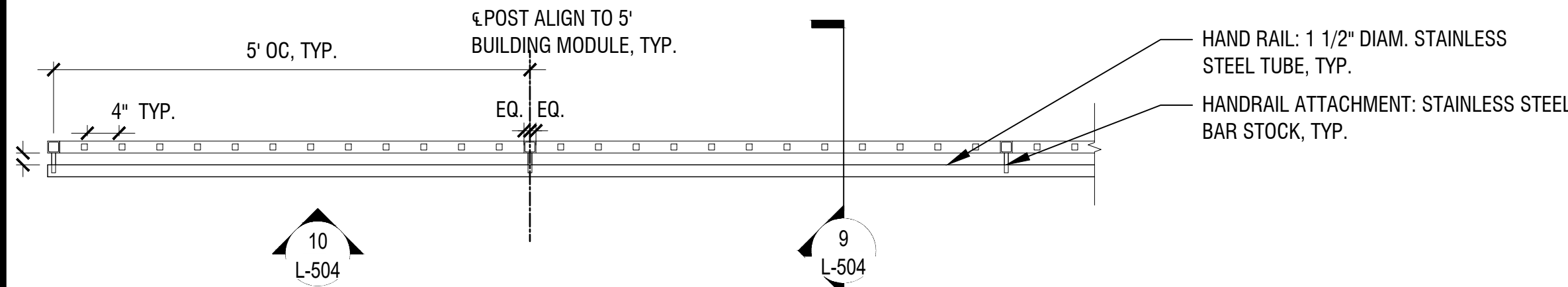
1 PLAN METAL GUARDRAIL  
SCALE : 3/4" = 1'-0"



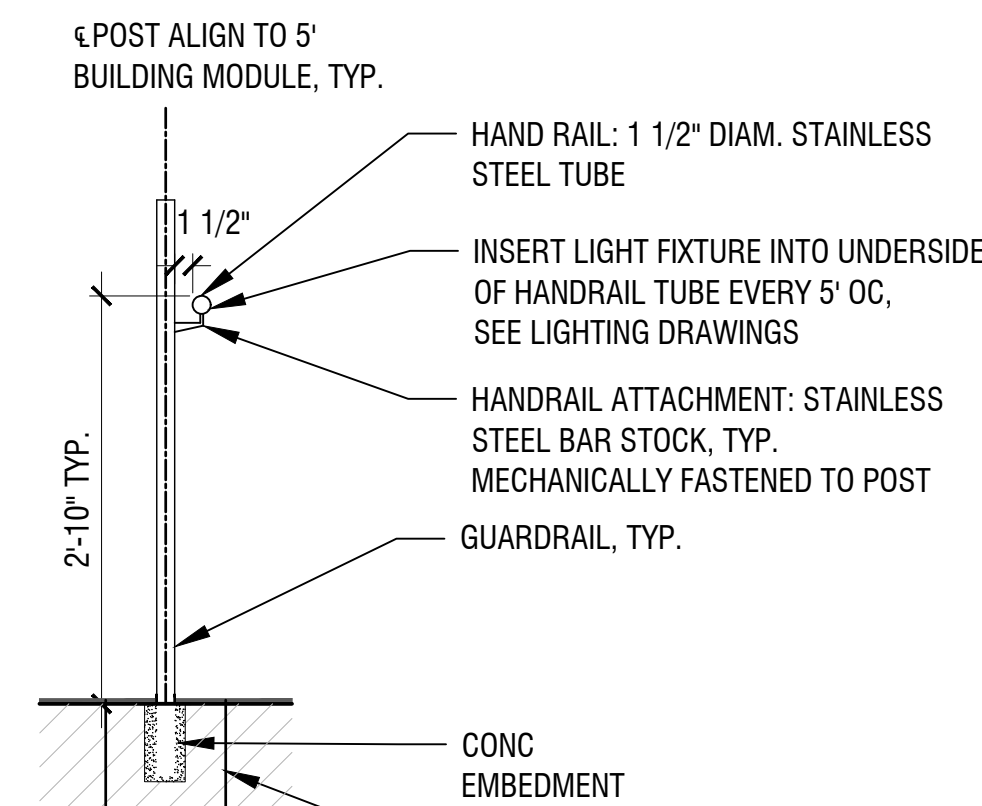
2 SECT METAL GUARDRAIL  
SCALE : 3/4" = 1'-0"



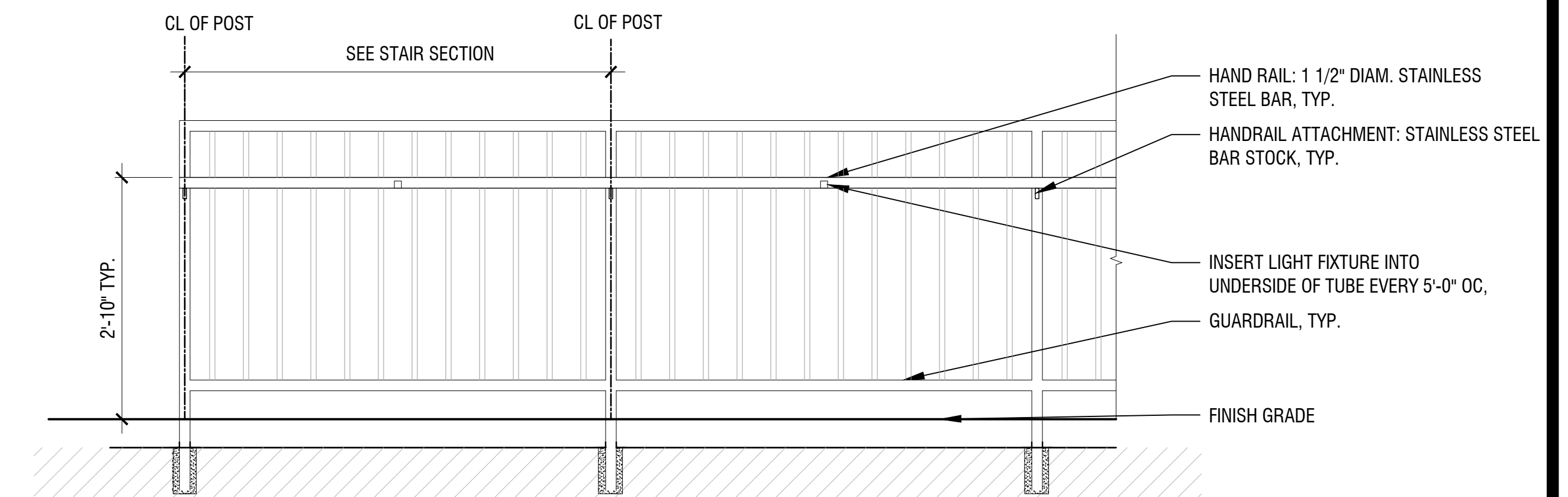
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SCALE : 3/4" = 1'-0"



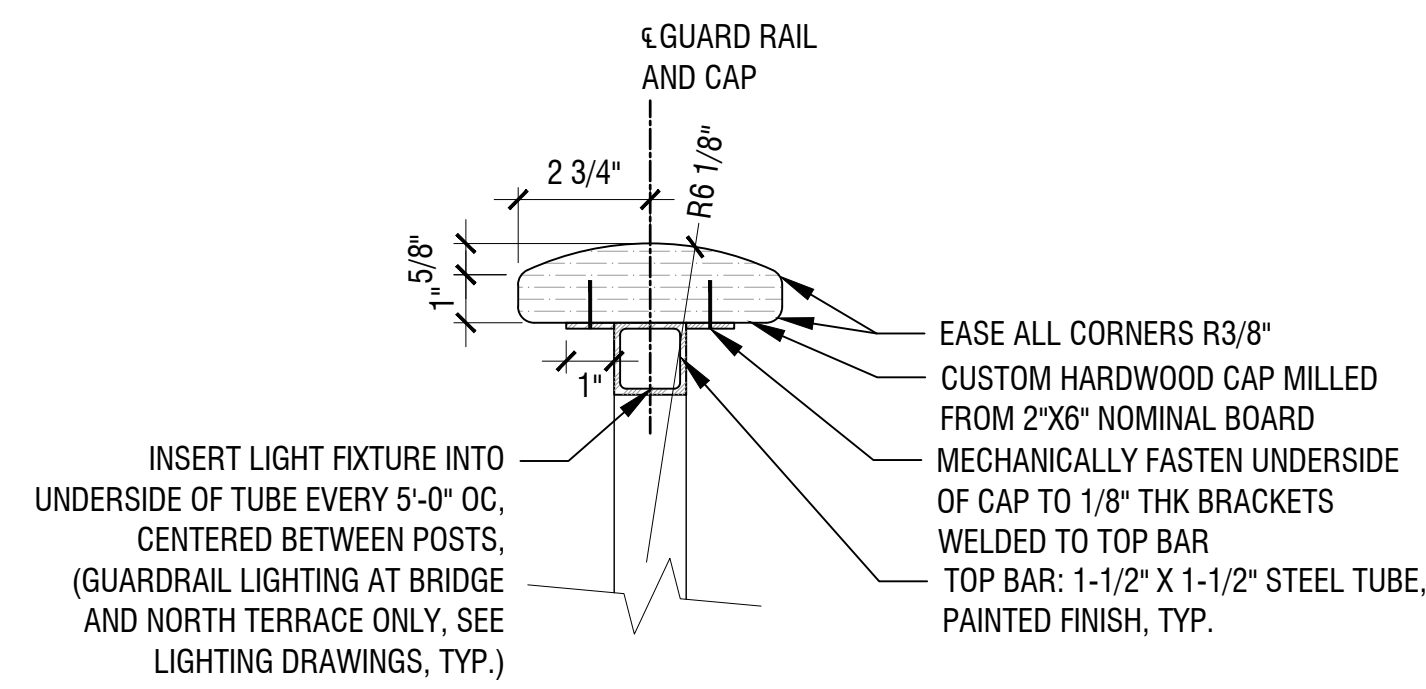
4 PLAN METAL GUARDRAIL WITH HANDRAIL  
SCALE : 3/4" = 1'-0"



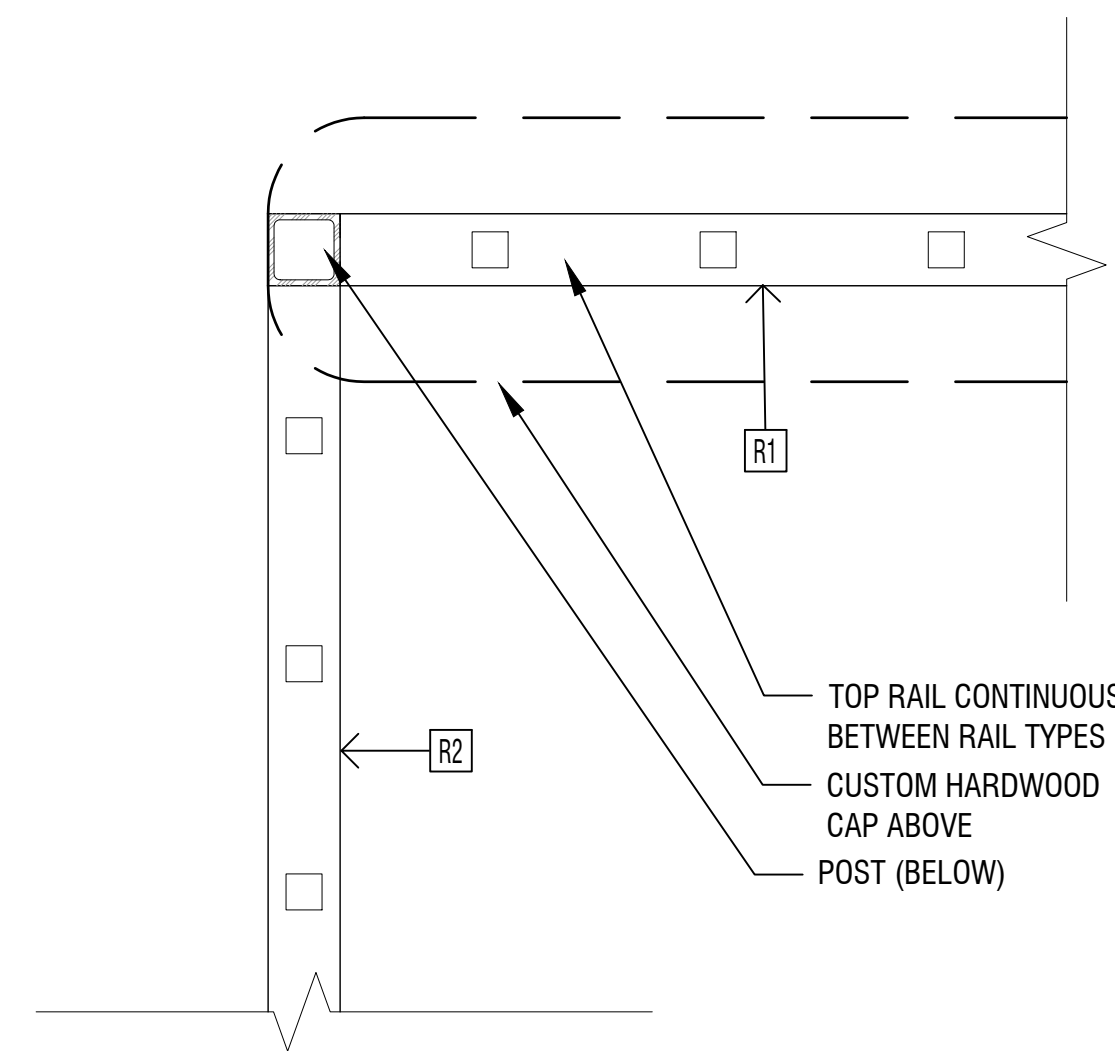
5 SECT METAL GUARDRAIL WITH HANDRAIL  
SCALE : 3/4" = 1'-0"



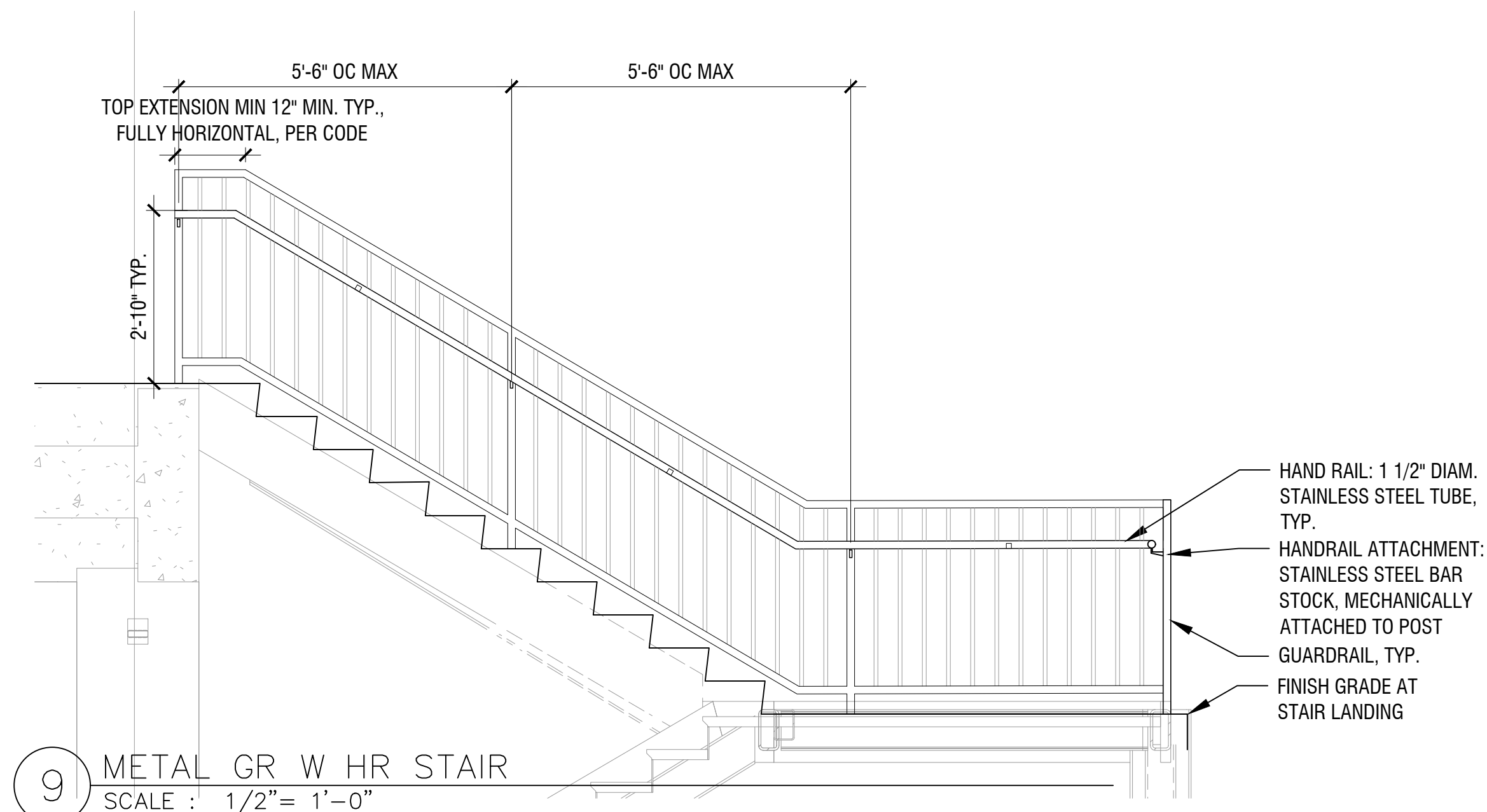
6 ELEV METAL GUARDRAIL WITH HANDRAIL  
SCALE : 3/4" = 1'-0"



7 DETL METAL GUARDRAIL WITH CAP  
SCALE : 3" = 1'-0"



8 PLAN GUARDRAIL TRANSITION  
SCALE : 3" = 1'-0"



9 METAL GR W HR STAIR  
SCALE : 1/2" = 1'-0"

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director	Date
Chief, Division of Land Development	Date
Chief, Development Engineering Division	Date

BUILDER'S CERTIFICATE

I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE, THE LANDSCAPE MANUAL FOR NEW TOWN ALTERNATIVE COMPLIANCE, AND THE LAKEFRONT CORE NEIGHBORHOOD DESIGN GUIDELINES, RECORDED AS BOOK XXXXX, PAGE XXX ADOPTED FOR THE SUBJECT PROPERTY. I/WE FURTHER CERTIFY THAT UPON COMPLETION A LETTER OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

NAME	DATE
------	------

APPROVED  
PLANNING BOARD OF HOWARD COUNTY

Date: \_\_\_\_\_

**Unknown Studio**

2219 Saint Paul Street / Baltimore, MD 21218  
P: 410.246.2946

DESIGNED BY	BG
DRAWN BY	LD
CHECKED BY	ES
DATE	
REVISION	
BY	APPR.

PREPARED FOR:

OWNER: CLOVER ACQUISITIONS LLC  
C/O THE HOWARD HUGHES CORP.  
PO BOX 131298  
CARLSBAD CA 92013

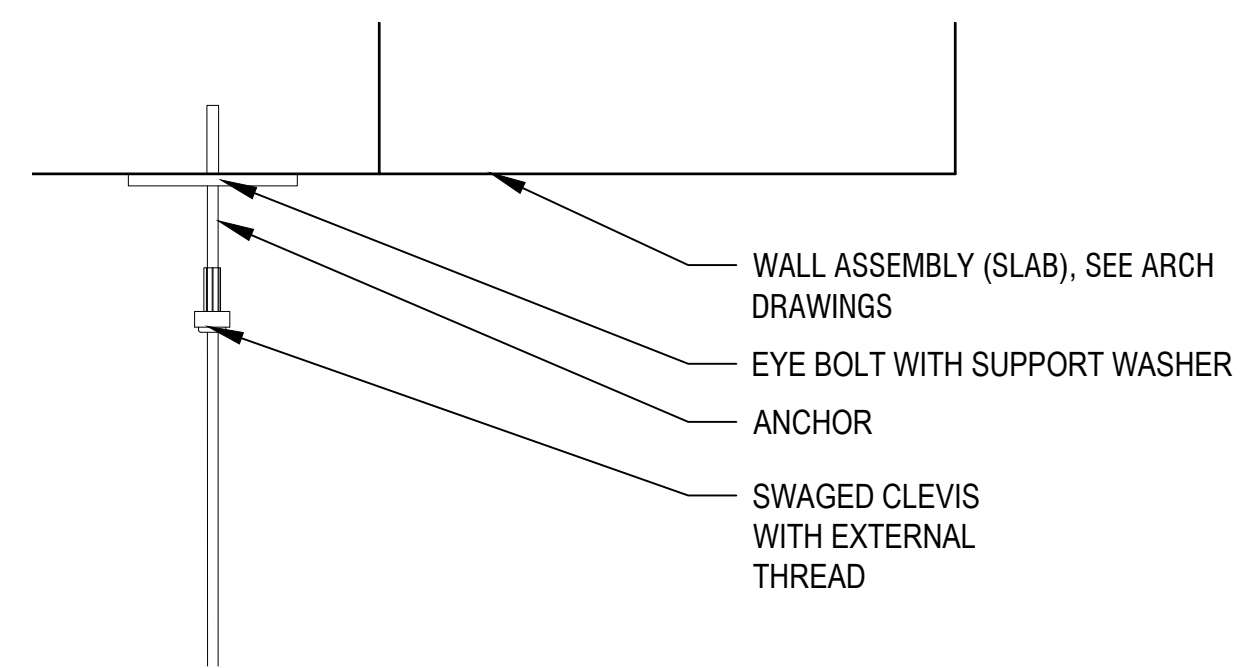
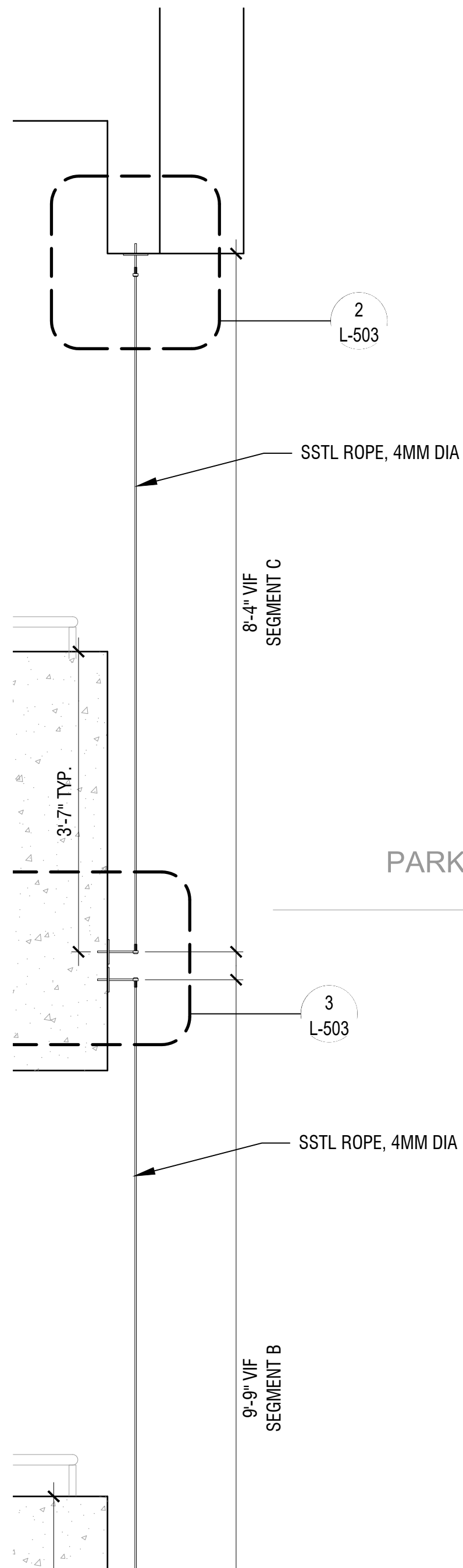
DEVELOPER: THE HOWARD RESEARCH AND DEVELOPMENT CORP.  
10960 GRANTCHESTER WAY, SUITE 110  
COLUMBIA, MD 21044  
ATTN: GABRIEL CHUNG  
410-964-4800

L-502 RAILING DETAILS

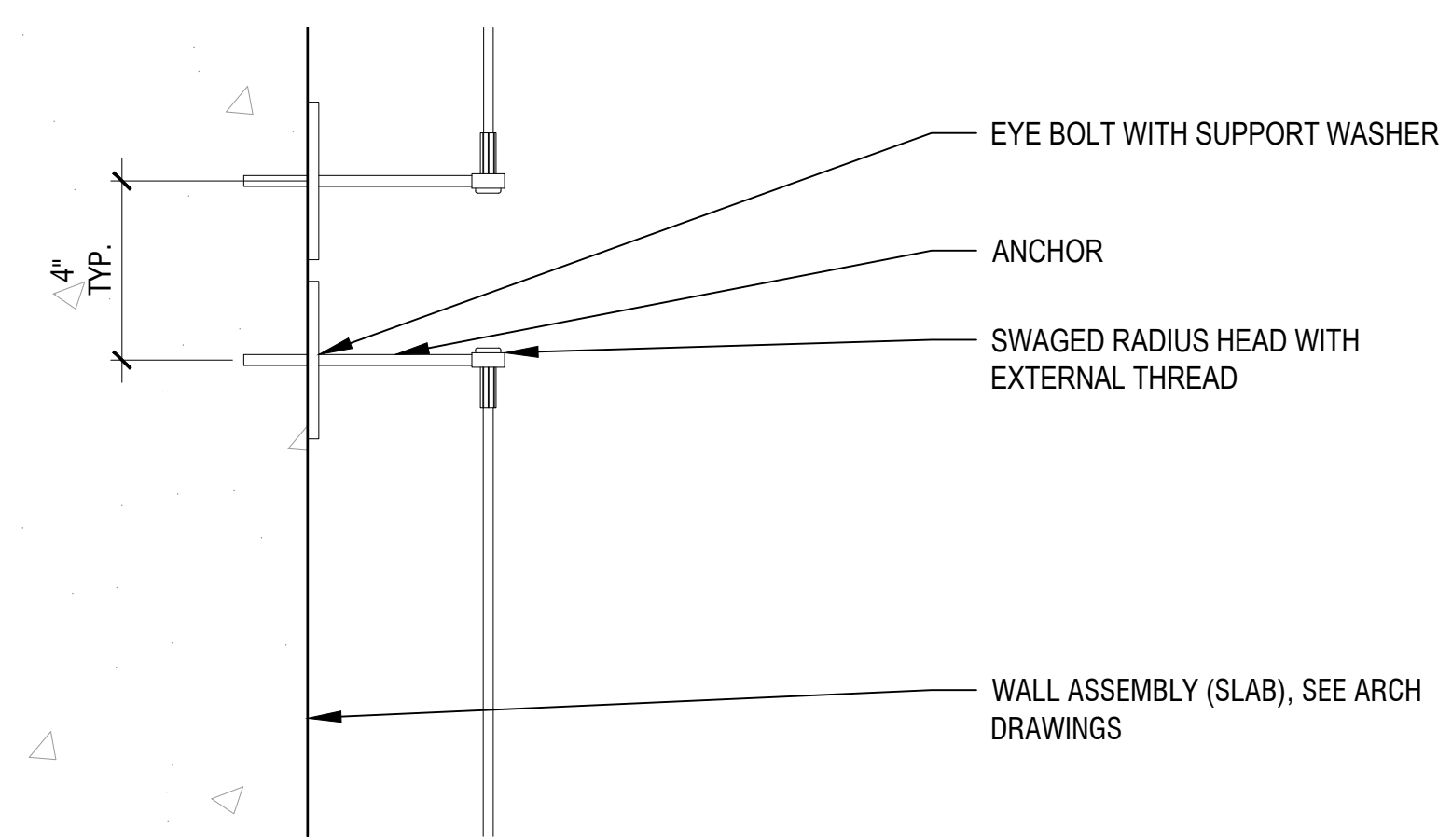
**SOUTHLAKE OFFICE BUILDING**  
DOWNTOWN COLUMBIA  
LAKEFRONT CORE NEIGHBORHOOD, PHASE 1, PARCEL B  
A RESUBDIVISION OF SECTION 1, LOT 29 (PLAT No. XXXXX)  
ELECTION DISTRICT No. 5

SCALE	ZONING	JOB No.
AS NOTED	NT	2110
DATE	TAX MAP - GRID	SHEET
JUNE, 2022	36 - 2	47 OF 52

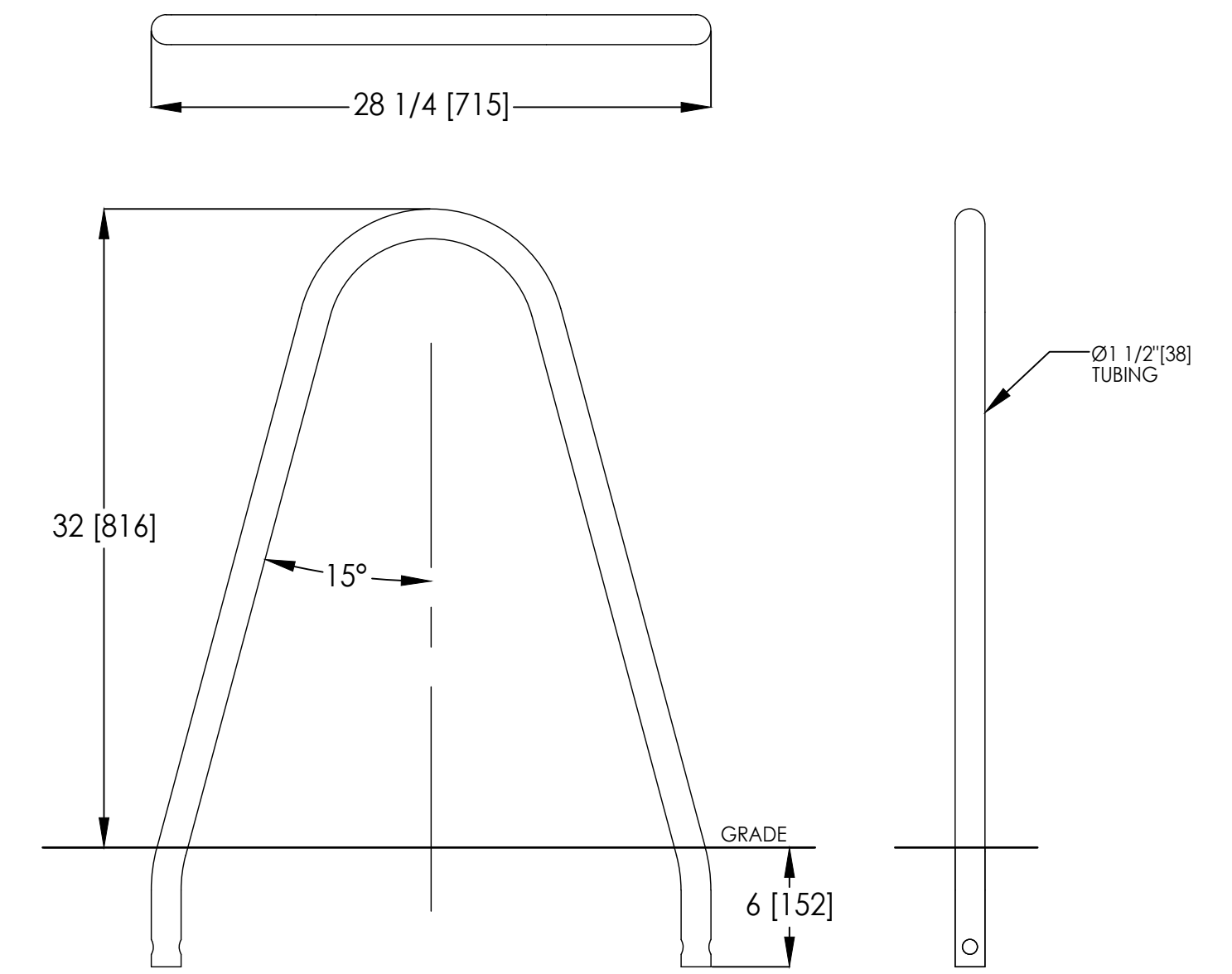
HOWARD COUNTY, MARYLAND



2 DETL VINE CABLE HORIZONTAL ATTACHMENT  
SCALE : 3" = 1'-0"

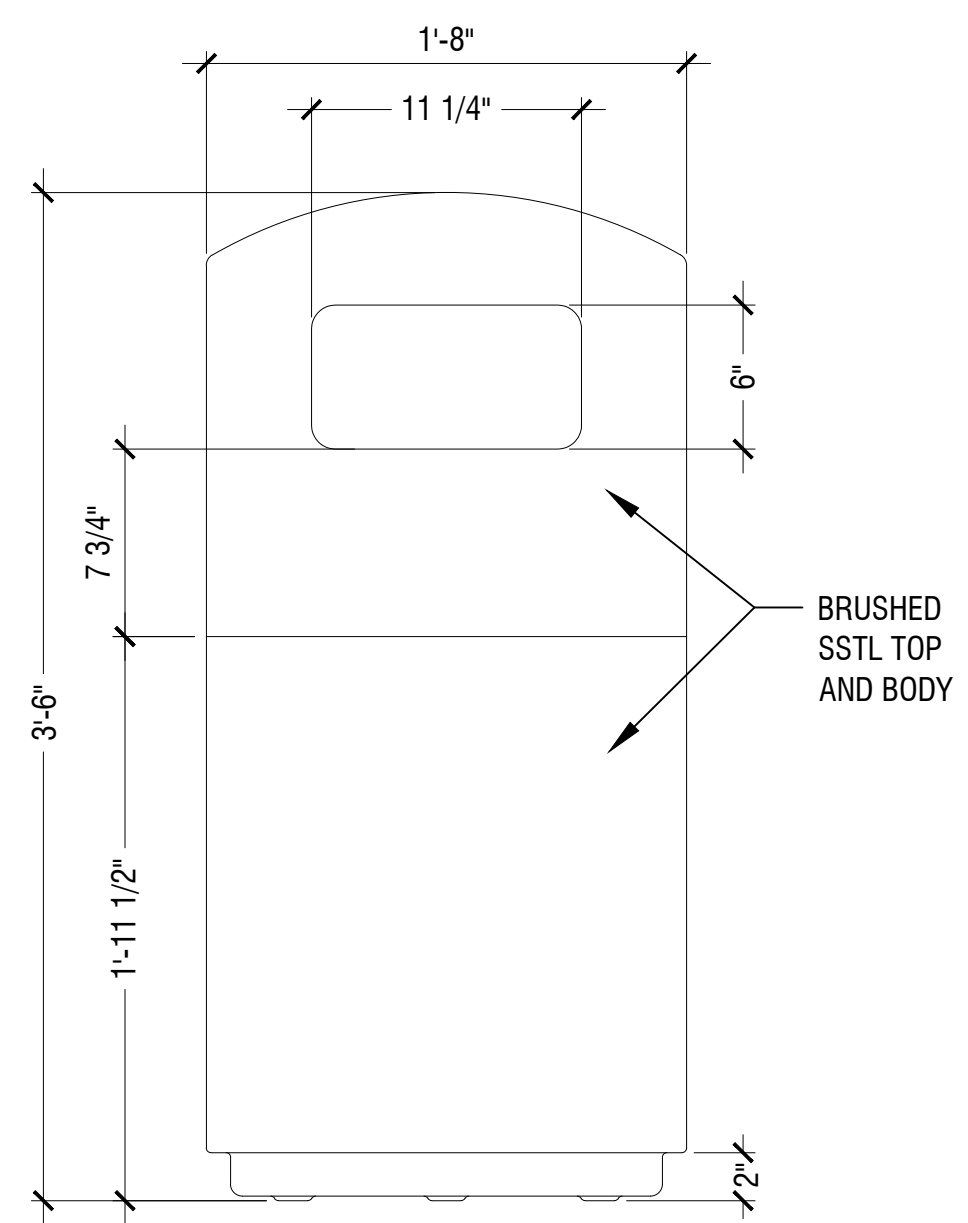


3 DETL VINE CABLE VERTICAL ATTACHMENT  
SCALE : 3" = 1'-0"

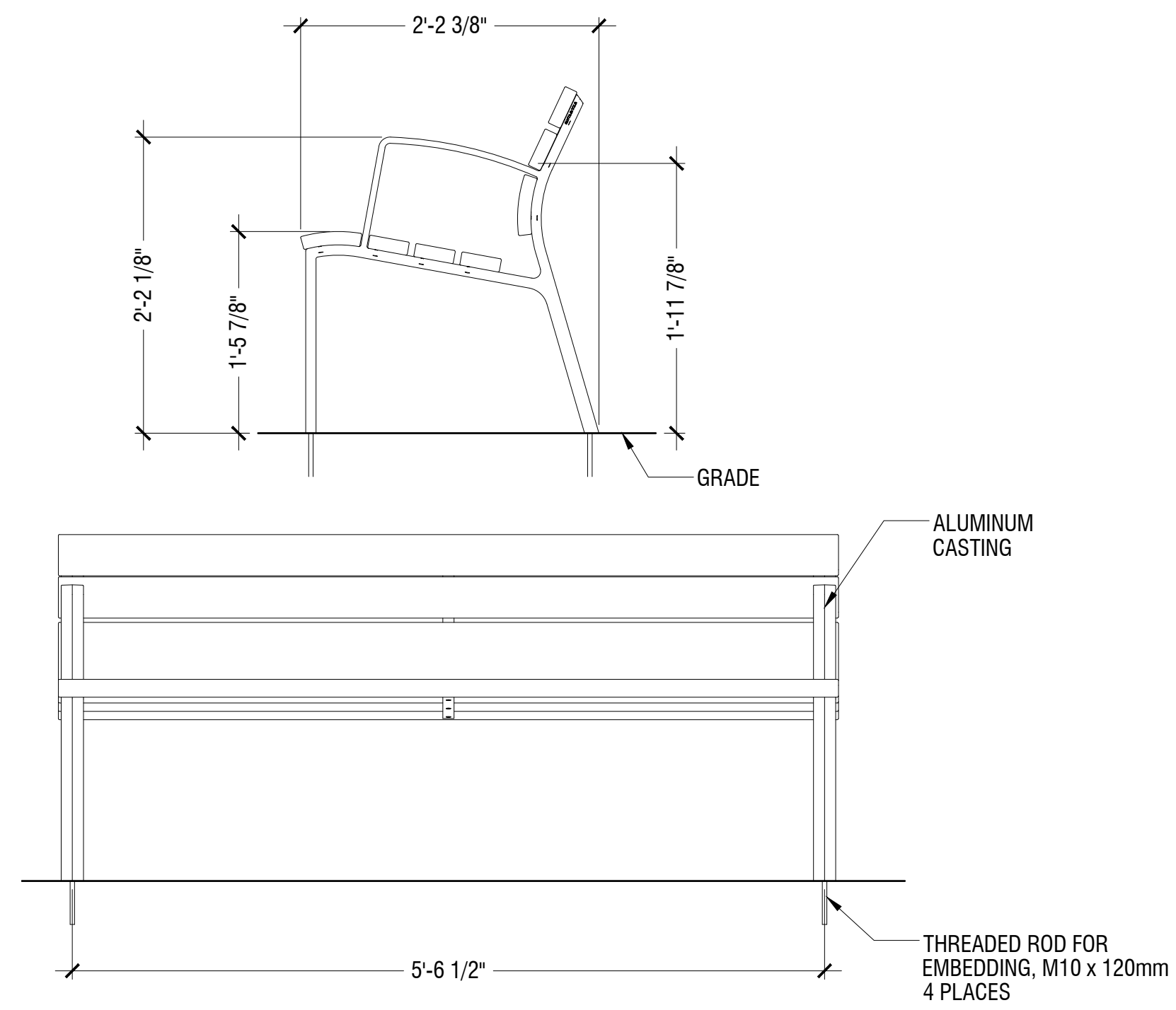


4 DETL BIKE RACK  
SCALE : 1 1/2" = 1'-0"

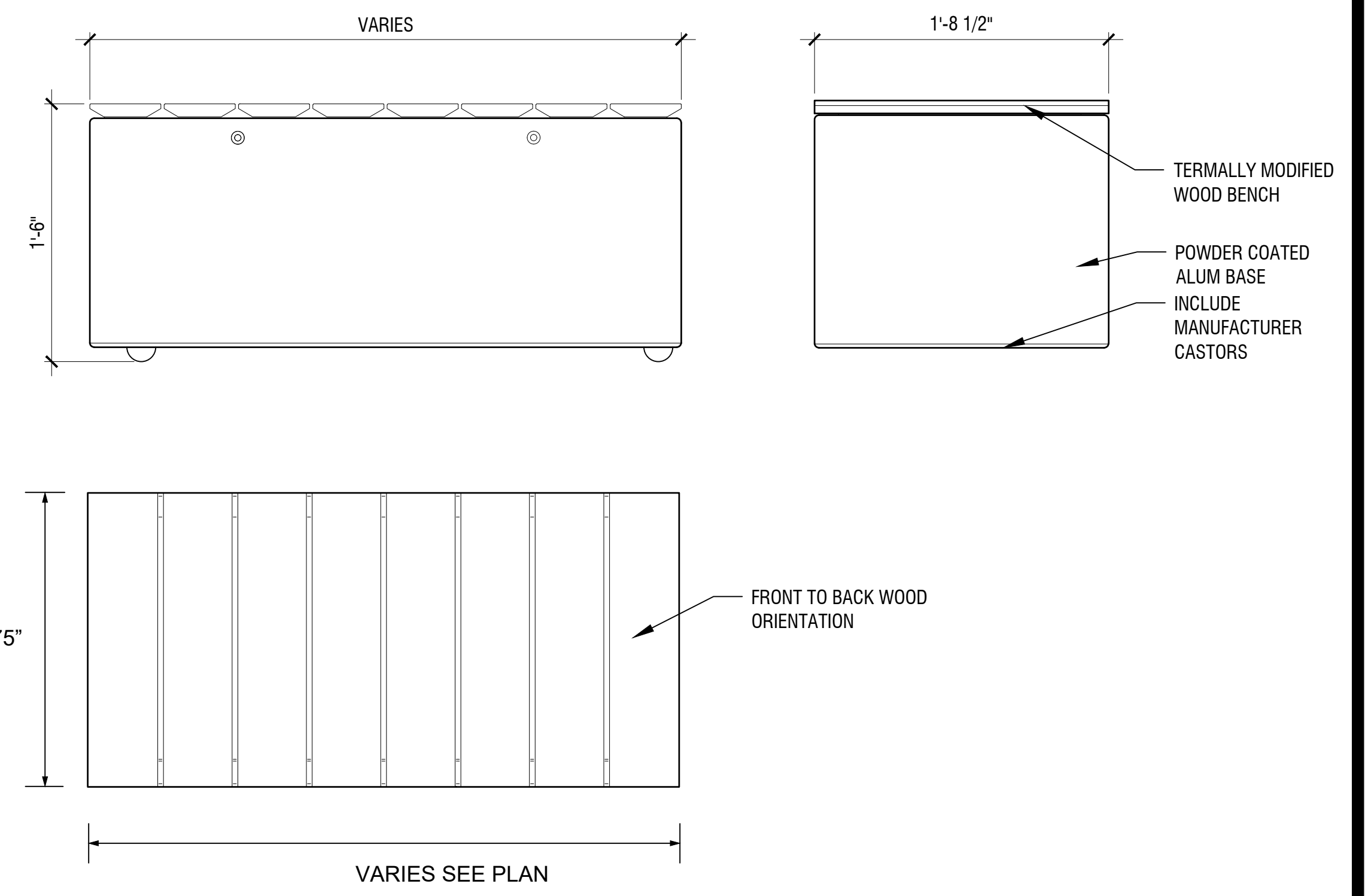
1 SECT VINE CABLE  
SCALE : 3/4" = 1'-0"



5 DETL TRASH AND RECYCLING RECEPTACLES  
SCALE : 1 1/2" = 1'-0"



6 DETL BENCH TYPE 4  
SCALE : 1" = 1'-0"



7 DETL MOVEABLE BENCHES TYPES 1 THROUGH 3  
SCALE : 1 1/2" = 1'-0"

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director \_\_\_\_\_ Date \_\_\_\_\_

Chief, Division of Land Development \_\_\_\_\_ Date \_\_\_\_\_

Chief, Development Engineering Division \_\_\_\_\_ Date \_\_\_\_\_

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NAME \_\_\_\_\_ DATE \_\_\_\_\_

APPROVED

PLANNING BOARD OF HOWARD COUNTY

Date: \_\_\_\_\_

**Unknown Studio**

2219 Saint Paul Street / Baltimore, MD 21218  
P: 410.246.2946

DESIGNED BY	DRAWN BY	CHECKED BY	DATE	REVISION	BY	APP'R.
BC	LD	ES				

PREPARED FOR:

OWNER: CLOVER ACQUISITIONS LLC  
C/O THE HOWARD HUGHES CORP  
PO BOX 131298  
CARLSBAD CA 92013

DEVELOPER: THE HOWARD RESEARCH AND DEVELOPMENT CORP.  
10960 GRANTCHESTER WAY, SUITE 110  
COLUMBIA, MD 21044  
ATTN: GABRIEL CHUNG  
410-964-4800

L-503 FURNISHING DETAILS

**SOUTHLAKE OFFICE BUILDING**  
DOWNTOWN COLUMBIA  
LAKEFRONT CORE NEIGHBORHOOD, PHASE 1, PARCEL B  
A RESUBDIVISION OF SECTION 1, LOT 29 (PLAT No. XXXXX)  
PN: \_\_\_\_\_

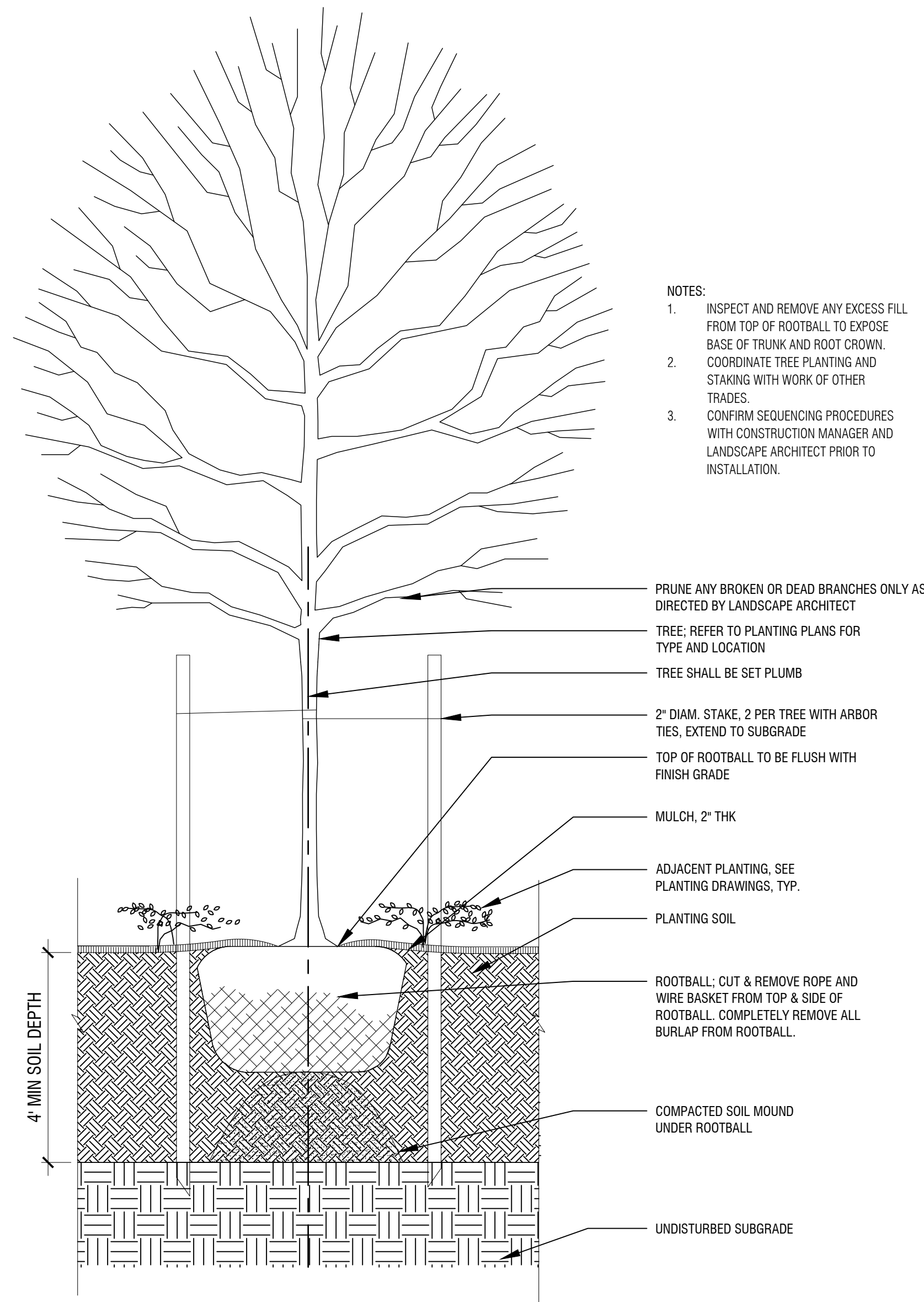
SCALE	ZONING	JOB No.
AS NOTED	NT	2110
DATE	TAX MAP - GRID	SHEET
JUNE, 2022	36 - 2	48 OF 52

ELECTION DISTRICT No. 5

HOWARD COUNTY, MARYLAND

P:\2110-Southlake\04-Drawings\AutoCAD\Sheets\Site Furnishings Details.dwg, PLOT: 6/22/2022 11:24 AM, LAST SAVED: 6/22/2022 11:11 AM, PLOTTED BY: Unknown Studio





- NOTES:
- INSPECT AND REMOVE ANY EXCESS FILL FROM TOP OF ROOTBALL TO EXPOSE BASE OF TRUNK AND ROOT CROWN.
  - COORDINATE TREE PLANTING AND STAKING WITH WORK OF OTHER TRADES.
  - CONFIRM SEQUENCING PROCEDURES WITH CONSTRUCTION MANAGER AND LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.

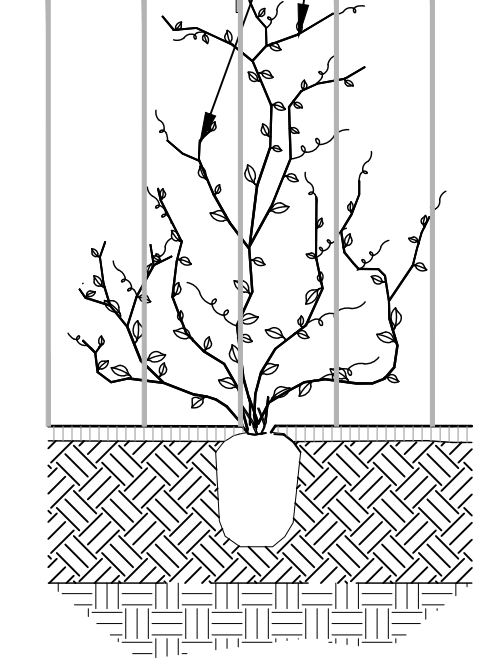
- MULCH, 2" THK
- ADJACENT PLANTING, SEE PLANTING DRAWINGS, TYP.
- PLANTING SOIL
- ROOTBALL: CUT & REMOVE ROPE AND WIRE BASKET FROM TOP & SIDE OF ROOTBALL. COMPLETELY REMOVE ALL BURLAP FROM ROOTBALL.
- COMPACTED SOIL MOUND UNDER ROOTBALL
- UNDISTURBED SUBGRADE

1 SECT TREE ON GRADE  
SCALE : 3/4" = 1'-0"

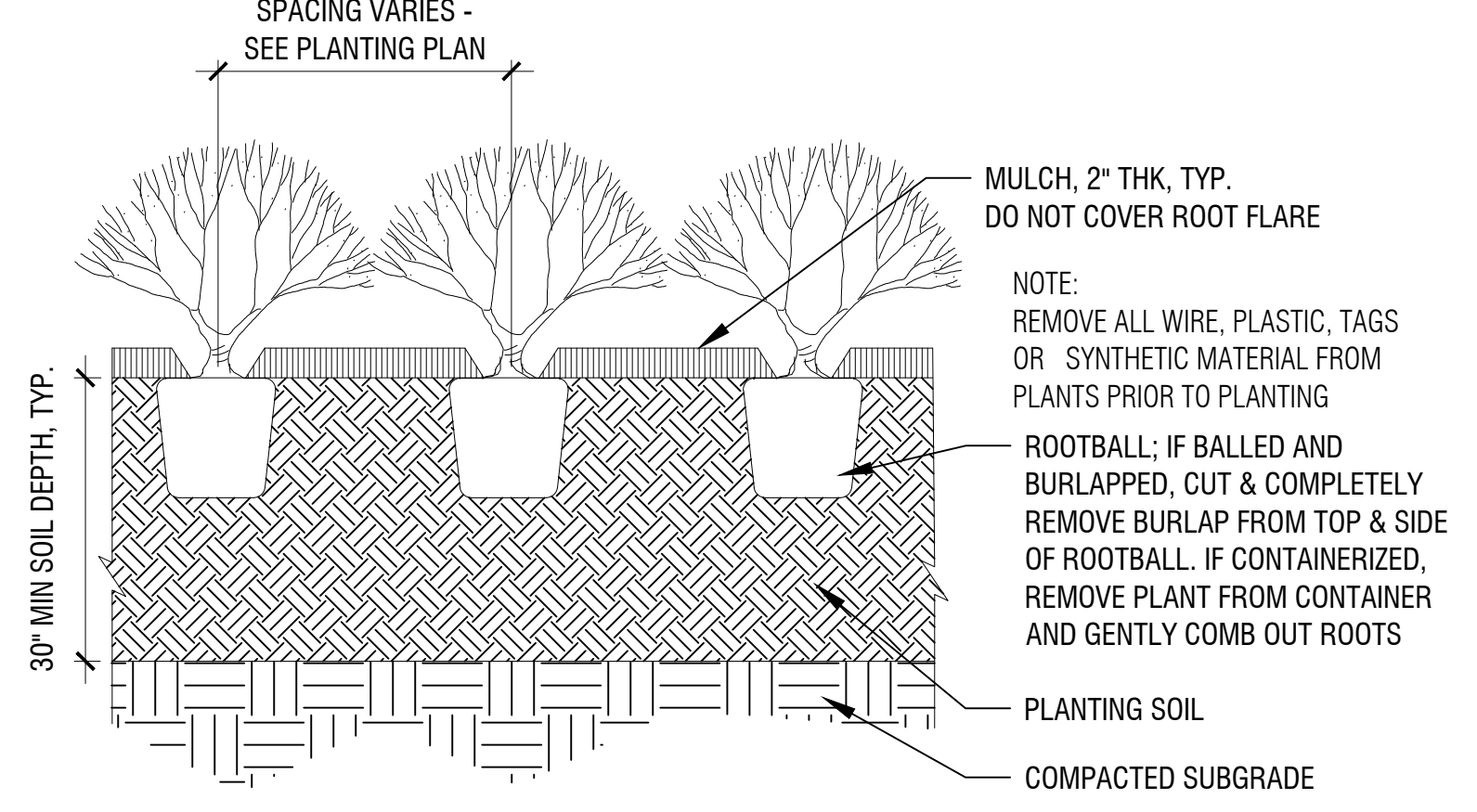
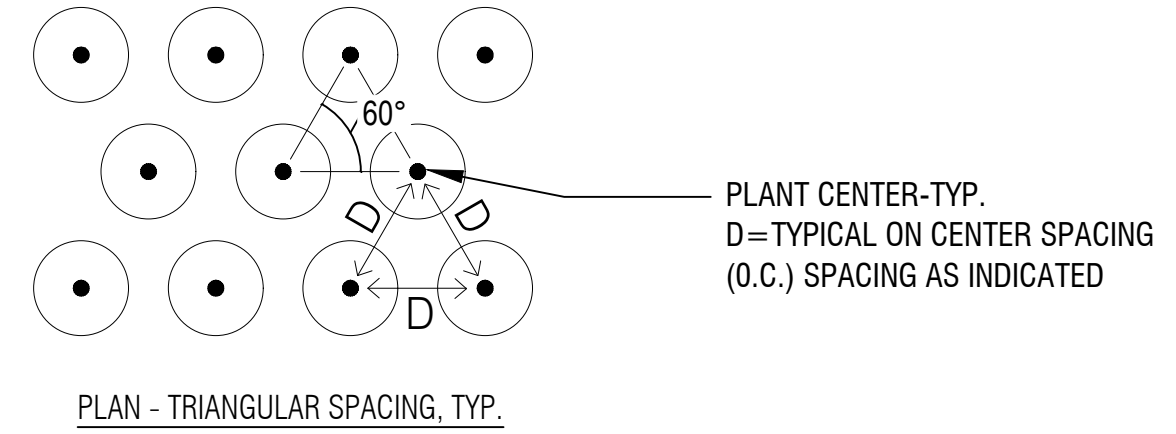
NOTE:  
REMOVE ALL WIRE, PLASTIC, TAGS OR SYNTHETIC MATERIAL FROM PLANTS PRIOR TO PLANTING

WEAVE VINE BRANCHES INTO CABLE TRELLIS, STARTING AT BOTTOM. TIE LARGER BRANCHES LOOSELY TO CABLES, IF NECESSARY, WITH BIO-DEGRADABLE TIES.

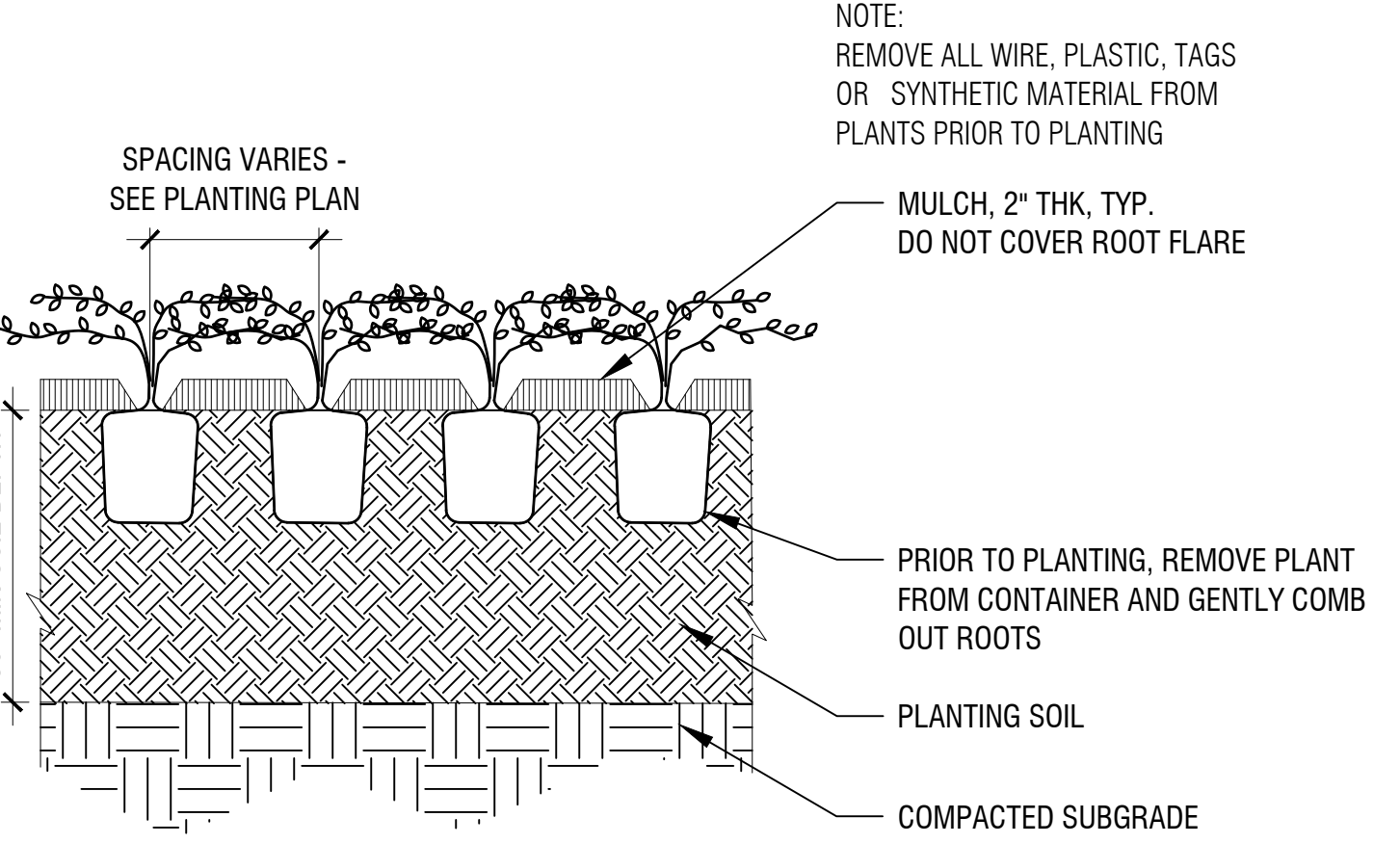
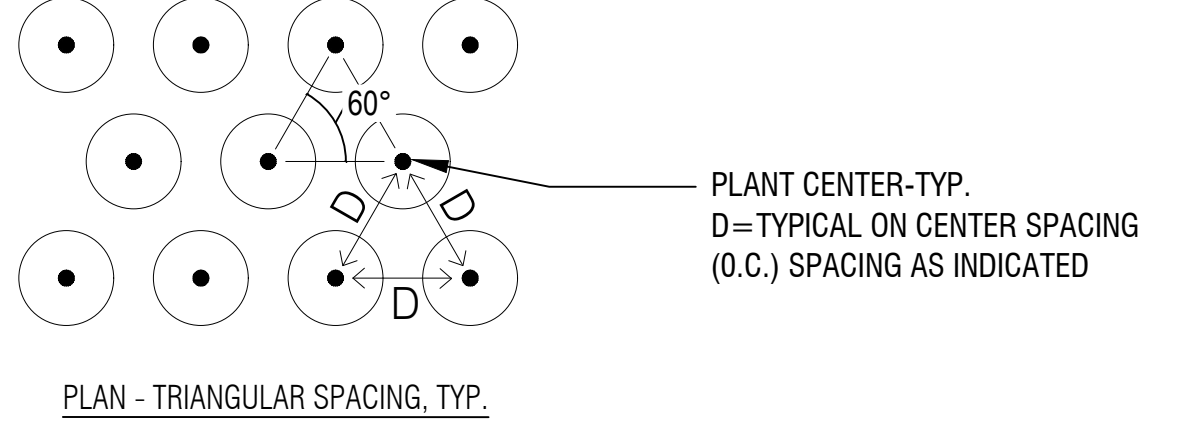
- REMOVE ANY STAKE OR TEMPORARY TRELLIS DEVICE.
- VINE: SEE PLANTING PLANS FOR TYPE AND LOCATION
- PLANT FLUSH WITH FINISH GRADE, DO NOT COVER ROOT FLARE
- PRIOR TO PLANTING, REMOVE PLANT FROM CONTAINER AND GENTLY COMB OUT ROOTS
- MULCH: 2" DEPTH MIN.



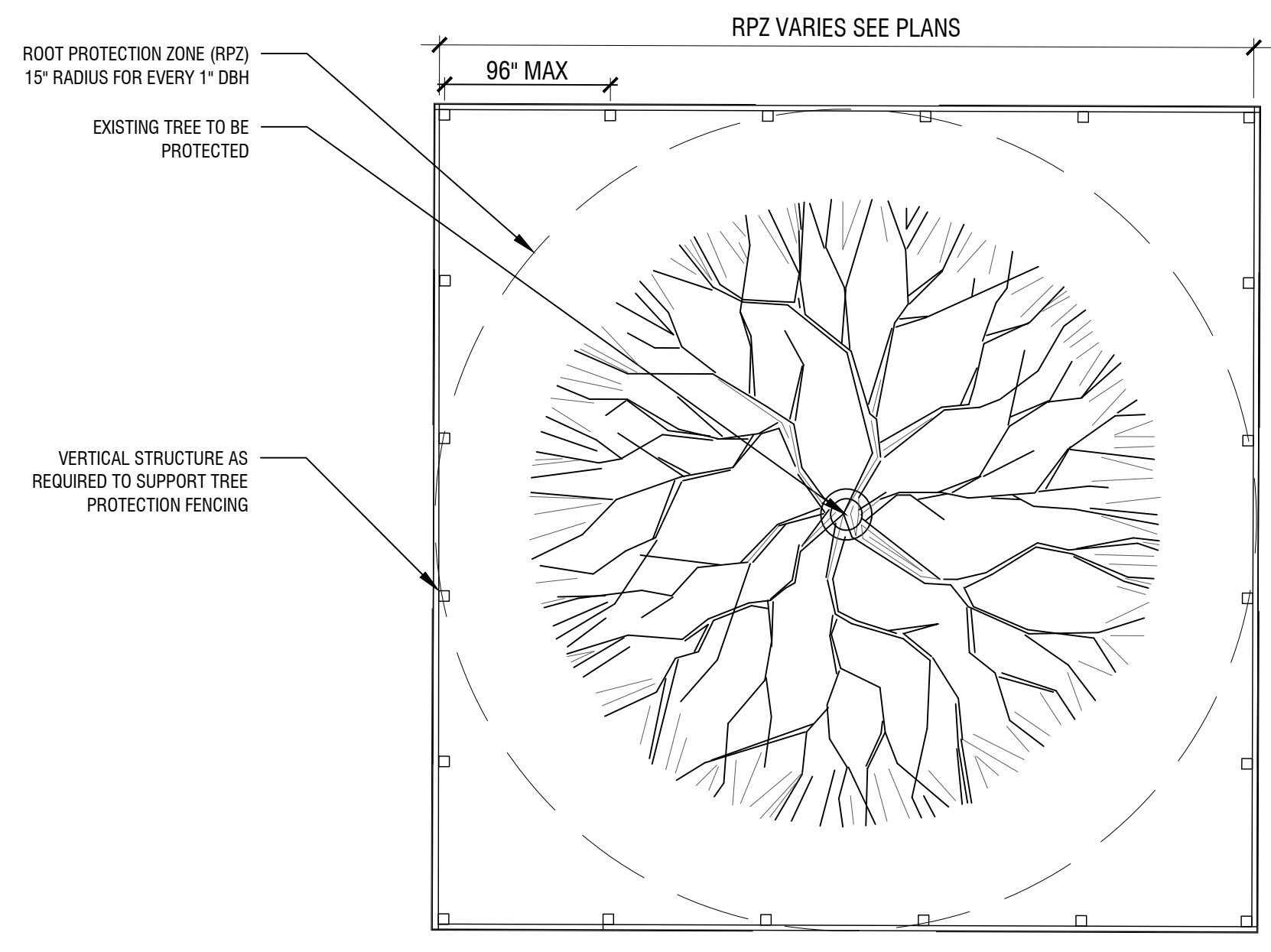
4 DETL VINE PLANTING  
SCALE : 1/2" = 1'-0"



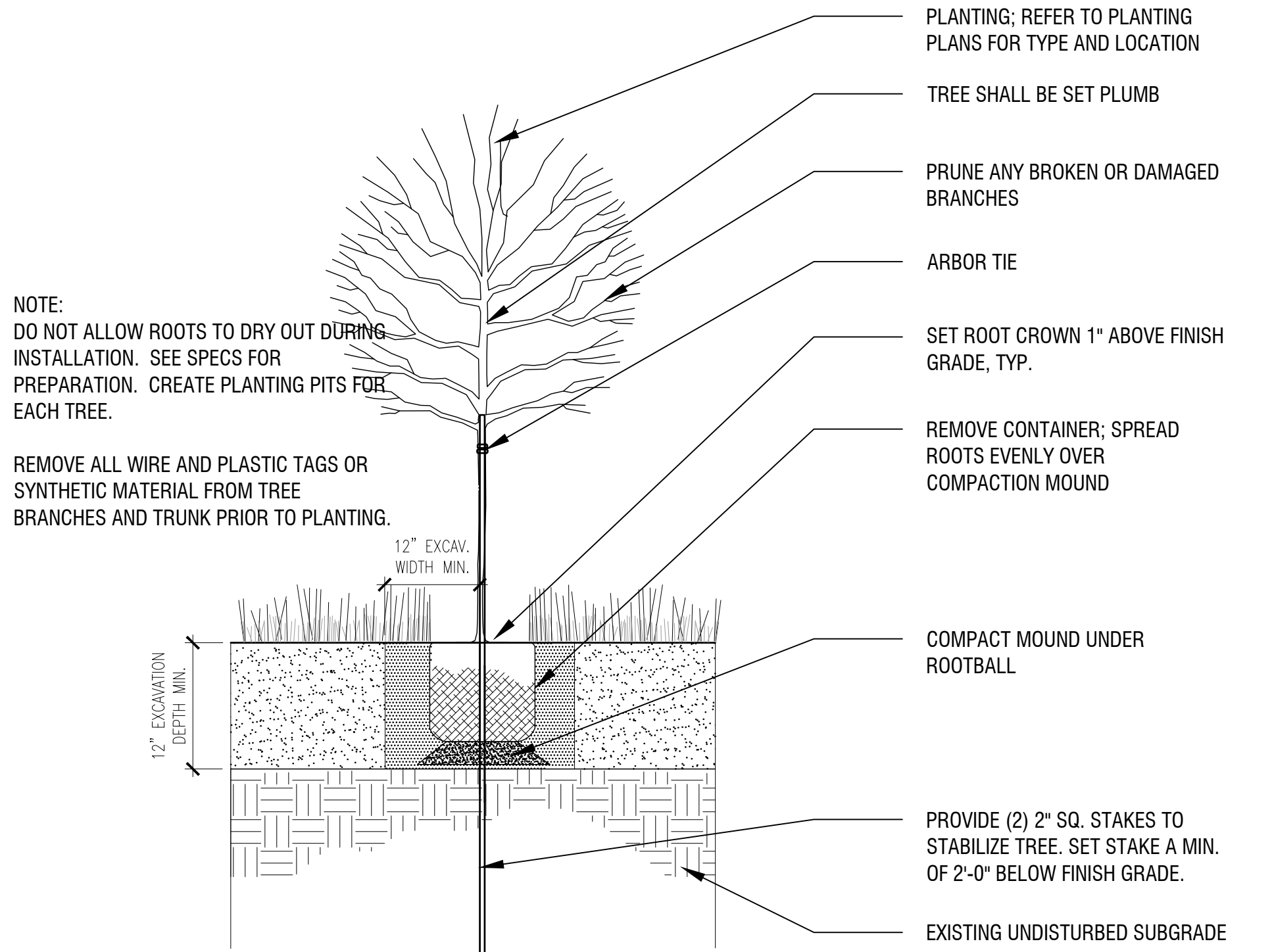
2 SECT SHRUB ON GRADE  
SCALE : 1" = 1'-0"



3 SECT GRASS AND PERENNIAL ON GRADE  
SCALE : 1" = 1'-0"



5 PLAN TREE PROTECTION  
SCALE : 3/16" = 1'-0"



6 DETL WHIP PLANTING  
SCALE : 1/2" = 1'-0"

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director	Date
Chief, Division of Land Development	Date
Chief, Development Engineering Division	Date

BUILDER'S CERTIFICATE  
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NAME \_\_\_\_\_ DATE \_\_\_\_\_

APPROVED  
PLANNING BOARD OF HOWARD COUNTY

Date: \_\_\_\_\_

**Unknown Studio**  
2219 Saint Paul Street / Baltimore, MD 21218  
P: 410.246.2946

DESIGNED BY	DRAWN BY	CHECKED BY	DATE	REVISION	BY	APP'R.
BG	LD	ES				

PREPARED FOR:  
OWNER: CLOVER ACQUISITIONS LLC  
C/O THE HOWARD HUGHES CORP.  
PO BOX 131298  
CARLSBAD CA 92013

DEVELOPER: THE HOWARD RESEARCH AND DEVELOPMENT CORP.  
10960 GRANTCHESTER WAY, SUITE 110  
COLUMBIA, MD 21044  
ATTN: GABRIEL CHUNG  
410-964-4800

L-504 PLANTING DETAILS  
SOUTHLAKE OFFICE BUILDING  
DOWNTOWN COLUMBIA  
LAKEFRONT CORE NEIGHBORHOOD, PHASE 1, PARCEL B  
A RESUBDIVISION OF SECTION 1, LOT 29 (PLAT No. XXXXX)  
PN: \_\_\_\_\_

SCALE	ZONING	JOB No.
AS NOTED	NT	2110
DATE	TAX MAP - GRID	SHEET
JUNE, 2022	36 - 2	49 OF 52

ELECTION DISTRICT No. 5  
HOWARD COUNTY, MARYLAND

# MAINTENANCE OF TRAFFIC PLAN

## GENERAL NOTES

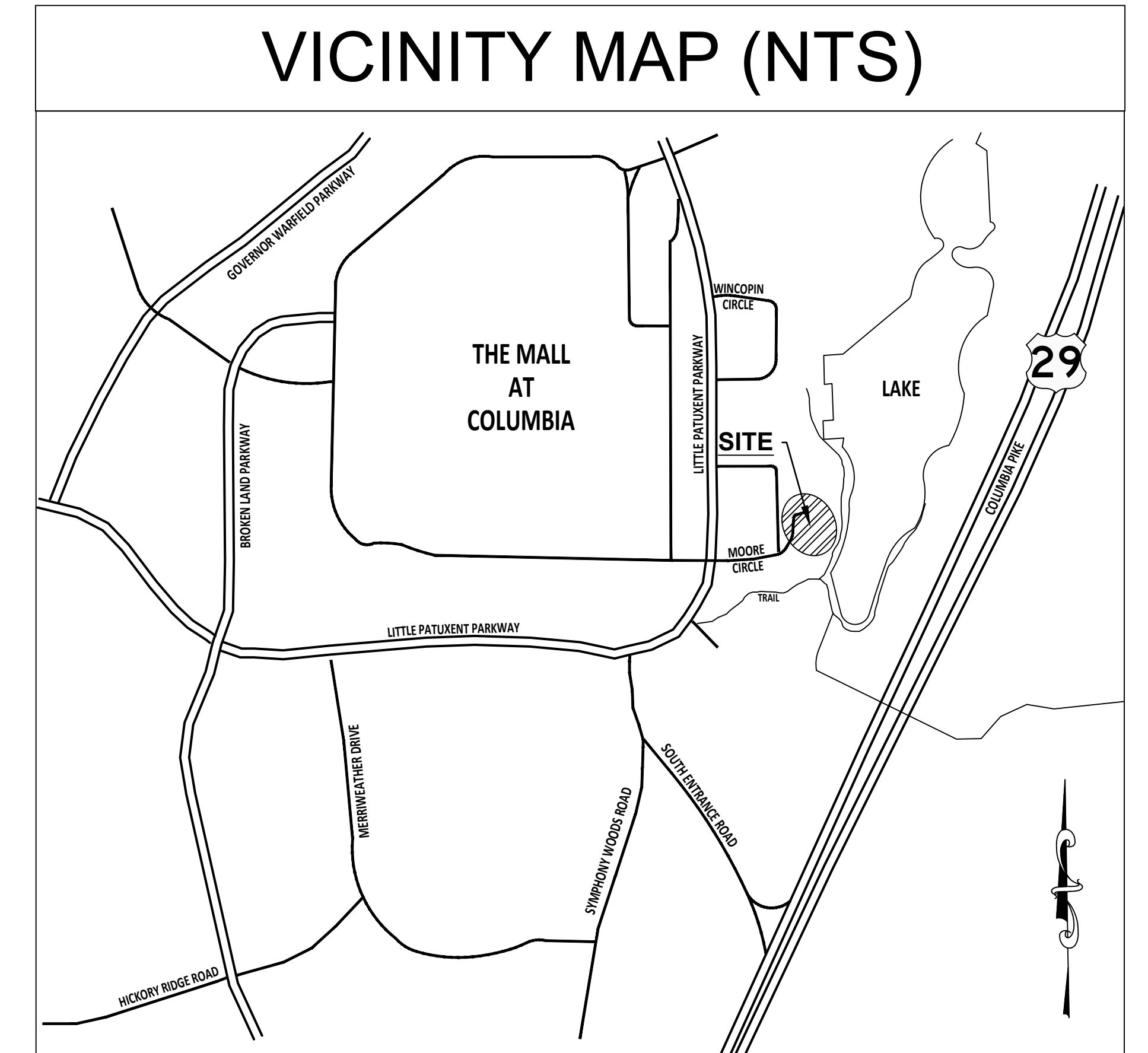
### TRAFFIC CONTROL NOTES

1. ALL TEMPORARY TRAFFIC SIGNS, BARRICADES AND OTHER TRAFFIC CONTROL DEVICES USED FOR MAINTENANCE OF TRAFFIC SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MARYLAND MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, AND THE MARYLAND STATE HIGHWAY ADMINISTRATION (MDSHA) BOOK OF STANDARDS AND SPECIFICATIONS.
2. ALL TEMPORARY TRAFFIC SIGNS SHALL BE INSTALLED IN ACCORDANCE TO MARYLAND DEPARTMENT OF TRANSPORTATION STATE HIGHWAY ADMINISTRATION STANDARD SPECIFICATIONS FOR CONSTRUCTION ON MATERIALS.
3. WARNING SIGNS SHALL BE PLACED SO THAT THEY DO NOT OBSTRUCT EXISTING TRAFFIC CONTROL DEVICES.
4. ANY CORRECTIONS, MODIFICATIONS, OR ADDITIONS TO THE PLAN SHALL BE APPROVED BY HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS, TRAFFIC DIVISION.
5. MISS UTILITY SHALL BE NOTIFIED PRIOR TO PLACEMENT OF SIGNING, IF MOUNTING ON POSTS.
6. HOWARD COUNTY TRAFFIC ENGINEERING (410-313-2430) SHALL BE NOTIFIED 2 WEEKS PRIOR TO ANY WORK.
7. THE HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS TRAFFIC DIVISION RESERVES THE RIGHT TO MODIFY OR ADJUST THE PLAN TO FIT SITE CONDITIONS AT ANY TIME.
8. SIGN INSTALLATION SHALL NOT LAST ANY LONGER THAN 15 MINUTES PER LOCATION. IF LONGER THAN 15 MINUTES APPROPRIATE TRAFFIC CONTROL AND PERMITS SHALL BE USED.
9. ALL SIGNS SHALL CONFORM TO CURRENT MDSHA MATERIAL AND REFLECTIVITY REQUIREMENTS.
10. ACCESS SHALL BE MAINTAINED TO ALL DRIVEWAYS UNLESS PERMISSION FOR CLOSURE IS GRANTED BY THE PROPERTY OWNER/MANAGER. HOWEVER, ACCESSIBILITY FOR EMERGENCY VEHICLES SHALL BE MAINTAINED AT ALL TIMES.
11. ALL FLAGGERS SHALL BE CERTIFIED BY THE AMERICAN TRAFFIC SAFETY SERVICES ASSOCIATION.
12. ALL TRAFFIC CONTROL DEVICES SHALL BE REMOVED FROM VIEW TO ONCOMING TRAFFIC WHEN NOT IN USE.
13. NO HAZARDOUS MATERIALS SHALL BE STORED WITHIN THE PUBLIC RIGHT-OF-WAY.
14. ANY TEMPORARY TRAFFIC SIGNING AND MARKINGS THAT MAY CONFLICT WITH NORMAL TRAFFIC FLOW SHALL BE REMOVED OR COVERED AT THE END OF EACH DAY DURING CONSTRUCTION ON THIS PROJECT.
15. ALL EXISTING TRAFFIC CONTROL DEVICES THAT MUST BE REMOVED SHALL BE REPLACED IN THEIR PROPER LOCATION PRIOR TO THE COMPLETION OF THE PROJECT. COST FOR THE REPLACEMENT AND/OR REPAIR OF DEVICES DAMAGED AS A RESULT OF THE PROJECT SHALL BE ASSESSED TO THE CONTRACTOR.
16. AT THE COMPLETION OF THE PERMITTED WORK ACTIVITY, CONDITIONS WITHIN THE PUBLIC SPACE SHALL BE FULLY RESTORED TO THOSE WHICH EXISTED PRIOR TO THE WORK ACTIVITY.
17. WHEN PAVEMENT MARKINGS HAVE BEEN OBLITERATED BY THE WORK ACTIVITY, THE CONTRACTOR SHALL INSTALL ANY CRITICAL INTERIM PAVEMENT MARKING PRIOR TO THE END OF THE WORK DAY.

18. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL TRAFFIC CONTROL DEVICES. AT ANYTIME THE CONTRACTOR DOES NOT MAKE NECESSARY REPAIRS WITHIN 24 HOURS OF NOTIFICATION.
19. ALL WORK WITHIN PUBLIC RIGHT OF WAY AND/OR LANE CLOSURE MUST ONLY BE PERFORMED DURING THE HOURS OF 9AM TO 3PM, OR AS DIRECTED BY HOWARD COUNTY TRAFFIC DIVISION.
20. NO LANE CLOSURES PERMITTED DURING SPECIAL EVENTS AND CONCERTS AND MAJOR HOLIDAYS.
21. THE TERMINAL ENDS OF THE CONCRETE JERSEY BARRIER SHALL BE PROTECTED BY A HOWARD COUNTY APPROVED IMPACT ATTENUATOR.
22. ALL PROJECT OUTREACH AND COORDINATION (I.E. COLUMBIA MALL OPERATIONS, WHOLE FOODS, ETC.) WILL BE THE CONTRACTOR'S RESPONSIBILITY.
23. ANY ADDITIONAL SIGNING AND/OR PAVEMENT MARKINGS NOT SHOWN WILL BE THE CONTRACTOR'S RESPONSIBILITY TO FURNISH AND INSTALL.
24. AFTER CONSTRUCTION, ALL SIGNING AND PAVEMENT MARKINGS WILL BE RETURNED TO THEIR ORIGINAL CONDITION.
25. THREE WEEKS PRIOR TO CONSTRUCTION, THE CONTRACTOR WILL BE REQUIRED TO SCHEDULE AN ON-SITE MEETING WITH HOWARD COUNTY - TRAFFIC TO COORDINATE.

### FLAGGING OPERATION

1. FLAGGING OPERATIONS SHALL BE UTILIZED TO CONTROL ACCESS TO DRIVEWAYS LOCATED IN THE WORK ZONES.
2. FLAGGING OPERATIONS SHALL BE UTILIZED IN ACCORDANCE WITH MARYLAND DEPARTMENT OF TRANSPORTATION STATE HIGHWAY ADMINISTRATION STANDARD SPECIFICATIONS AND MATERIALS, SECTION MD 104.04-02 (SHOULDER WORK); MD 104.04-04 (LEFT LANE CLOSURE) AND MD 104.04-06 (RIGHT LANE CLOSURE).



<b>APPROVED</b>	
<b>PLANNING BOARD OF HOWARD COUNTY</b>	
Date: _____	
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING	
Director _____	Date _____
Chief, Division of Land Development _____	Date _____
Chief, Development Engineering Division _____	Date _____

**WELLS + ASSOCIATES, INC**

TRANSPORTATION, TRAFFIC AND PARKING CONSULTANTS

1420 Spring Hill Road, Suite 610, Tysons, Virginia 22102  
Phone: 703/917-8620 Facsimile: 703/917-0739

DES. LES	DRN. HMP	CHK. LES	DATE	REVISION	BY	APPR.

PREPARED FOR:

OWNER: CLOVER ACQUISITIONS LLC  
C/O THE HOWARD HUGHES CORP.  
PO BOX 131298  
CARLSBAD CA 92013

DEVELOPER: THE HOWARD RESEARCH AND DEVELOPMENT CORP.  
10960 GRANTCHESTER WAY, SUITE 110  
COLUMBIA, MD 21044  
ATTN: GABRIEL CHUNG  
410-964-4800

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. \_\_\_\_\_ EXPIRATION DATE: \_\_\_\_\_

MAINTENANCE OF TRAFFIC PLAN	
SOUTHLAKE OFFICE BUILDING	
DOWNTOWN COLUMBIA	
LAKEFRONT CORE NEIGHBORHOOD, PHASE 1, PARCEL B	
A RESUBDIVISION OF SECTION 1, LOT 29 (PLAT No. XXXXX)	
PN: _____	
HOWARD COUNTY, MARYLAND	
ELECTION DISTRICT No. 5	

SCALE	ZONING	G. L. W. FILE No.
N/A	NT	18046
DATE	TAX MAP - GRID	SHEET
JUNE, 2022	36 - 2	50 OF 52

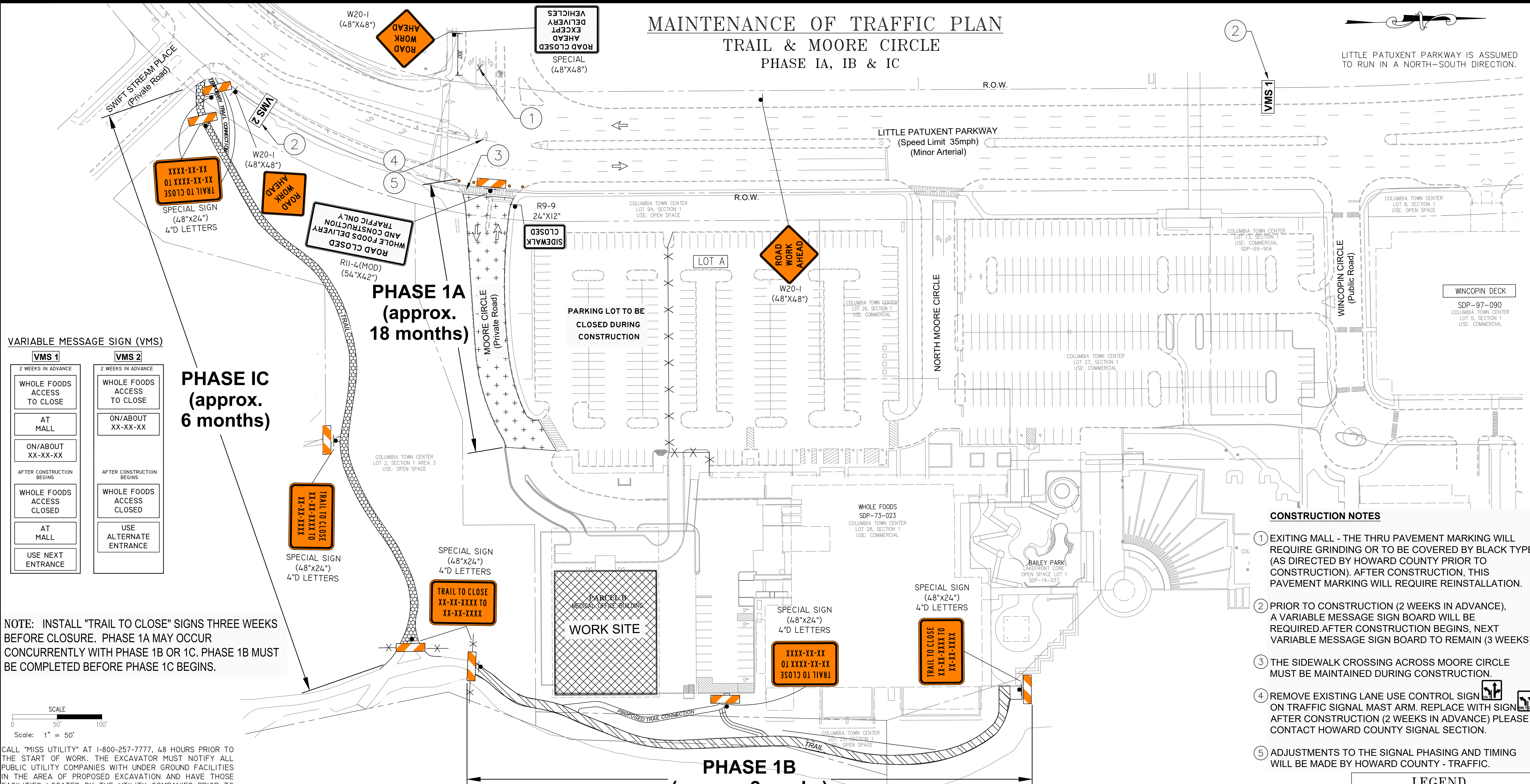
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# MAINTENANCE OF TRAFFIC PLAN

## TRAIL & MOORE CIRCLE

### PHASE IA, IB & IC

LITTLE PATUXENT PARKWAY IS ASSUMED TO RUN IN A NORTH-SOUTH DIRECTION.



**VARIABLE MESSAGE SIGN (VMS)**

VMS 1	VMS 2
2 WEEKS IN ADVANCE	2 WEEKS IN ADVANCE
WHOLE FOODS ACCESS TO CLOSE	WHOLE FOODS ACCESS TO CLOSE
AT MALL	ON/ABOUT XX-XX-XX
ON/ABOUT XX-XX-XX	AFTER CONSTRUCTION BEGINS
AFTER CONSTRUCTION BEGINS	WHOLE FOODS ACCESS CLOSED
WHOLE FOODS ACCESS CLOSED	AT MALL
AT MALL	USE ALTERNATE ENTRANCE
USE NEXT ENTRANCE	

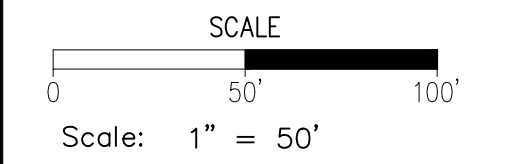
**PHASE IC (approx. 6 months)**

**PHASE 1A (approx. 18 months)**

**PHASE 1B (approx. 2 weeks)**

- CONSTRUCTION NOTES**
- EXITING MALL - THE THRU PAVEMENT MARKING WILL REQUIRE GRINDING OR TO BE COVERED BY BLACK TYPE (AS DIRECTED BY HOWARD COUNTY PRIOR TO CONSTRUCTION). AFTER CONSTRUCTION, THIS PAVEMENT MARKING WILL REQUIRE REINSTALLATION.
  - PRIOR TO CONSTRUCTION (2 WEEKS IN ADVANCE), A VARIABLE MESSAGE SIGN BOARD WILL BE REQUIRED. AFTER CONSTRUCTION BEGINS, NEXT VARIABLE MESSAGE SIGN BOARD TO REMAIN (3 WEEKS).
  - THE SIDEWALK CROSSING ACROSS MOORE CIRCLE MUST BE MAINTAINED DURING CONSTRUCTION.
  - REMOVE EXISTING LANE USE CONTROL SIGN ON TRAFFIC SIGNAL MAST ARM. REPLACE WITH SIGN AFTER CONSTRUCTION (2 WEEKS IN ADVANCE) PLEASE CONTACT HOWARD COUNTY SIGNAL SECTION.
  - ADJUSTMENTS TO THE SIGNAL PHASING AND TIMING WILL BE MADE BY HOWARD COUNTY - TRAFFIC.

**NOTE:** INSTALL "TRAIL TO CLOSE" SIGNS THREE WEEKS BEFORE CLOSURE. PHASE 1A MAY OCCUR CONCURRENTLY WITH PHASE 1B OR 1C. PHASE 1B MUST BE COMPLETED BEFORE PHASE 1C BEGINS.



CALL "MISS UTILITY" AT 1-800-257-7777, 48 HOURS PRIOR TO THE START OF WORK. THE EXCAVATOR MUST NOTIFY ALL PUBLIC UTILITY COMPANIES WITH UNDER GROUND FACILITIES IN THE AREA OF PROPOSED EXCAVATION AND HAVE THOSE FACILITIES LOCATED BY THE UTILITY COMPANIES PRIOR TO COMMENCING EXCAVATION. THE EXCAVATOR IS RESPONSIBLE FOR COMPLIANCE WITH REQUIREMENTS OF THE HOWARD COUNTY CODE.

**APPROVED PLANNING BOARD OF HOWARD COUNTY**

Date: \_\_\_\_\_

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director \_\_\_\_\_ Date \_\_\_\_\_

Chief, Division of Land Development \_\_\_\_\_ Date \_\_\_\_\_

Chief, Development Engineering Division \_\_\_\_\_ Date \_\_\_\_\_

48 Hours Before You Dig Call

"MISS UTILITY" Service Protection Center

MEMBER

UTILITY SYSTEM INTERNATIONAL

CALL TOLL FREE 1-800-257-7777

**PHASE IA (APPROX. 18 MONTHS)**

CLOSURE OF MOORE CIRCLE (OPEN TO DELIVERY VEHICLE).

**SEQUENCE OF CONSTRUCTION:**

- INSTALL TRAFFIC CONTROL DEVICES AS SHOWN ON PLAN AND IN ACCORDANCE WITH HOWARD COUNTY SPECIFICATIONS AND REQUIREMENTS, OR AS DIRECTED BY THE COUNTY ENGINEER IN FIELD.
- BEGIN CONSTRUCTION.

**PHASE IB (APPROX. 2 WEEKS)**

CLOSURE OF LAKE TRAIL (EAST SIDE) TO INSTALL UTILITIES.

**SEQUENCE OF CONSTRUCTION:**

- INSTALL TRAFFIC CONTROL DEVICES AS SHOWN ON PLAN AND IN ACCORDANCE WITH HOWARD COUNTY SPECIFICATIONS AND REQUIREMENTS, OR AS DIRECTED BY THE COUNTY ENGINEER IN FIELD.
- CONSTRUCT UTILITY IMPROVEMENTS ON EAST SIDE OF PROPOSED BUILDING.

**PHASE IC (APPROX. 6 MONTHS)**

CLOSURE OF APARTMENT TRAIL (SOUTH SIDE)

**SEQUENCE OF CONSTRUCTION:**

- INSTALL TRAFFIC CONTROL DEVICES AS SHOWN ON PLAN AND IN ACCORDANCE WITH HOWARD COUNTY SPECIFICATIONS AND REQUIREMENTS, OR AS DIRECTED BY THE COUNTY ENGINEER IN FIELD.
- BEGIN CONSTRUCTION.

**LEGEND**

- SIGN
- DIRECTION OF TRAFFIC
- WORK ZONE
- TYPE III BARRICADE
- CHANNELIZED DRUM
- CONSTRUCTION FENCE

**WELLS + ASSOCIATES, INC.**

TRANSPORTATION, TRAFFIC AND PARKING CONSULTANTS

1420 Spring Hill Road, Suite 610, Tysons, Virginia 22102

Phone: 703/917-8620 Facsimile: 703/917-0739

DES. LES	DRN. HMP	CHK. LES	DATE	REVISION	BY	APP'R

PREPARED FOR:

OWNER: CLOVER ACQUISITIONS LLC  
C/O THE HOWARD HUGHES CORP.  
PO BOX 131298  
CARLSBAD CA 92013

DEVELOPER: THE HOWARD RESEARCH AND DEVELOPMENT CORP.  
10960 GRANTCHESTER WAY, SUITE 110  
COLUMBIA, MD 21044  
ATtn: GABRIEL CHUNG  
410-964-4800

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. \_\_\_\_\_ EXPIRATION DATE: \_\_\_\_\_

MAINTENANCE OF TRAFFIC PLAN - PHASE IA, IB & IC

**SOUTHLAKE OFFICE BUILDING**

DOWNTOWN COLUMBIA

LAKEFRONT CORE NEIGHBORHOOD, PHASE 1, PARCEL B

A RESUBDIVISION OF SECTION 1, LOT 29 (PLAT NO. XXXXX)

ELECTION DISTRICT No. 5

PN: \_\_\_\_\_

HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
1"=50'	NT	18046
DATE	TAX MAP - GRID	SHEET
JUNE, 2022	36 - 2	51 OF 52

C:\Projects\2021-2022\2022-3-17 PM - LAST SAVED: 6/16/2022 3:14 PM, PLOTTED BY: Hannah M. Pogorza

**B.4.1 STANDARDS AND SPECIFICATIONS**

**FOR**

**INCREMENTAL STABILIZATION**

**Definition**

Establishment of vegetative cover on cut and fill slopes.

**Purpose**

To provide timely vegetative cover on cut and fill slopes as work progresses.

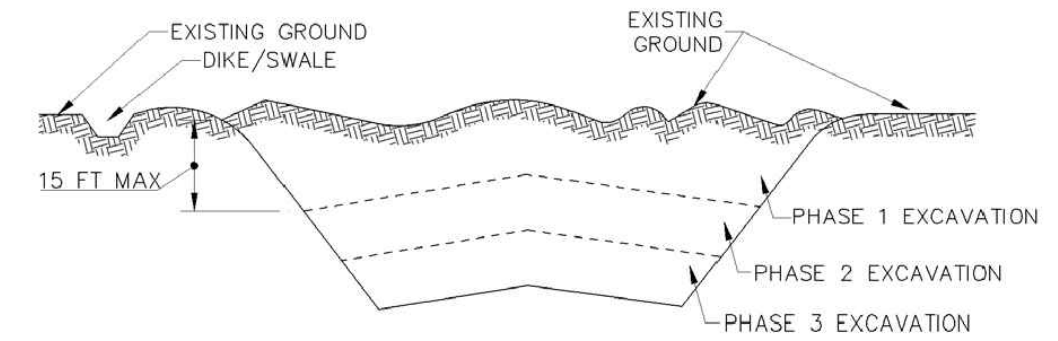
**Conditions Where Practice Applies**

Any cut or fill slope greater than 15 feet in height. This practice also applies to stockpiles.

**Criteria**

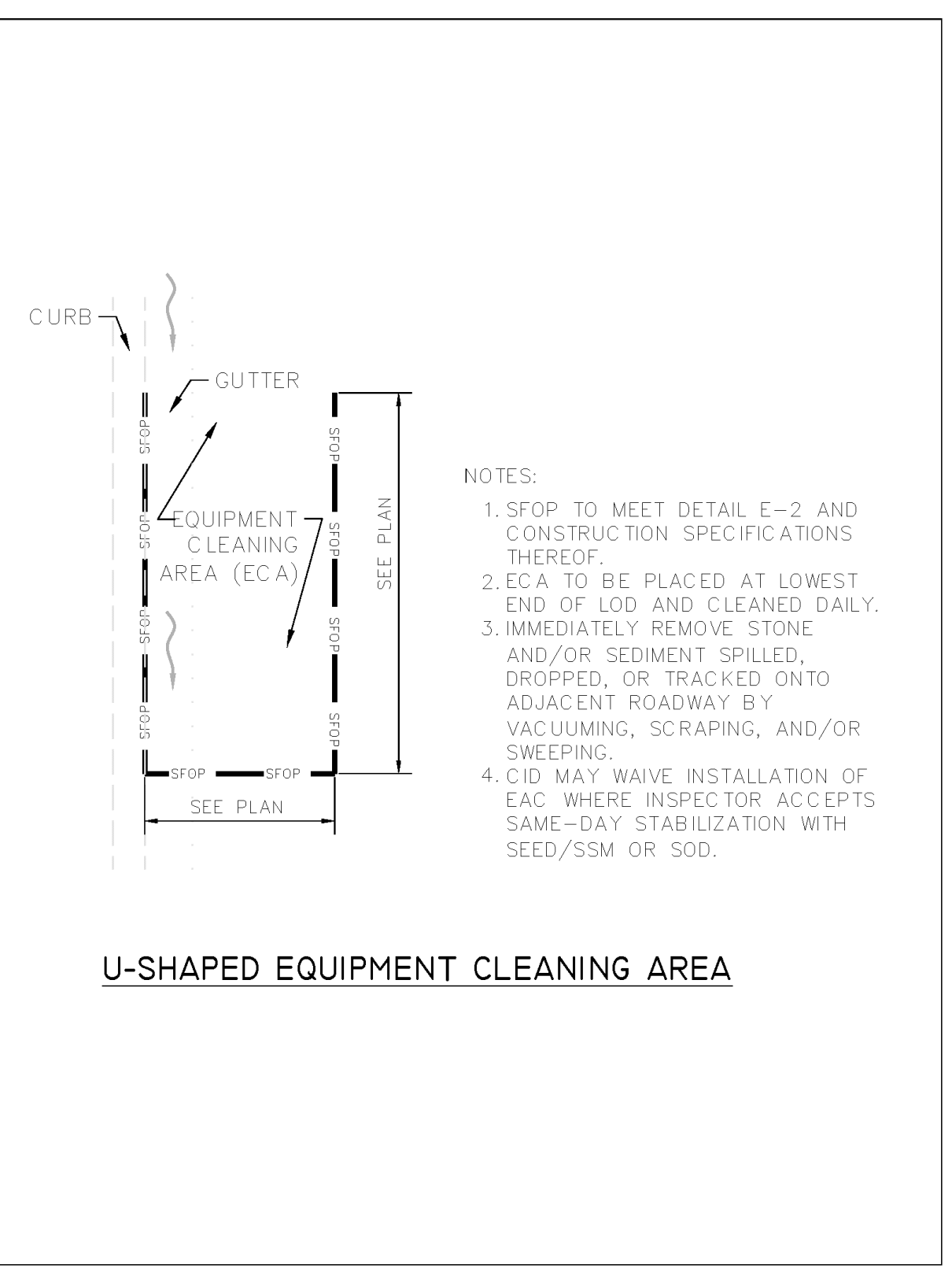
- A. Incremental Stabilization - Cut Slopes**
- Excavate and stabilize cut slopes in increments not to exceed 15 feet in height. Prepare seedbed and apply seed and mulch on all cut slopes as the work progresses.
  - Construction sequence example (Refer to Figure B.1):
    - Construct and stabilize all temporary swales or dikes that will be used to convey runoff around the excavation.
    - Perform Phase 1 excavation, prepare seedbed, and stabilize.
    - Perform Phase 2 excavation, prepare seedbed, and stabilize. Overseed Phase 1 areas as necessary.
    - Perform final phase excavation, prepare seedbed, and stabilize. Overseed previously seeded areas as necessary.

**Note:** Once excavation has begun the operation should be continuous from grubbing through the completion of grading and placement of topsoil (if required) and permanent seed and mulch. Any interruptions in the operation or completing the operation out of the seeding season will necessitate the application of temporary stabilization.



**Figure B.1: Incremental Stabilization - Cut**

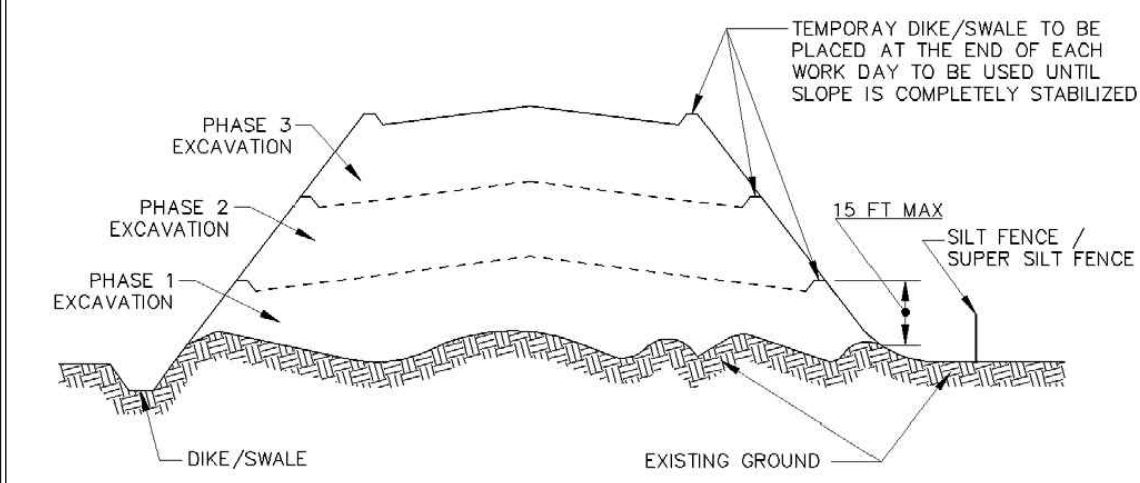
B.10



**U-SHAPED EQUIPMENT CLEANING AREA**

- B. Incremental Stabilization - Fill Slopes**
- Construct and stabilize fill slopes in increments not to exceed 15 feet in height. Prepare seedbed and apply seed and mulch on all slopes as the work progresses.
  - Stabilize slopes immediately when the vertical height of a lift reaches 15 feet, or when the grading operation ceases as prescribed in the plans.
  - At the end of each day, install temporary water conveyance practice(s), as necessary, to intercept surface runoff and convey it down the slope in a non-erosive manner.
  - Construction sequence example (Refer to Figure B.2):
    - Construct and stabilize all temporary swales or dikes that will be used to divert runoff around the fill. Construct silt fence on low side of fill unless other methods shown on the plans address this area.
    - At the end of each day, install temporary water conveyance practice(s), as necessary, to intercept surface runoff and convey it down the slope in a non-erosive manner.
    - Place Phase 1 fill, prepare seedbed, and stabilize.
    - Place Phase 2 fill, prepare seedbed, and stabilize.
    - Place final phase fill, prepare seedbed, and stabilize. Overseed previously seeded areas as necessary.

**Note:** Once the placement of fill has begun the operation should be continuous from grubbing through the completion of grading and placement of topsoil (if required) and permanent seed and mulch. Any interruptions in the operation or completing the operation out of the seeding season will necessitate the application of temporary stabilization.



**Figure B.2: Incremental Stabilization - Fill**

B.11

**APPROVED**  
**PLANNING BOARD OF HOWARD COUNTY**

Date: \_\_\_\_\_

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director: \_\_\_\_\_ Date: \_\_\_\_\_

Chief, Division of Land Development: \_\_\_\_\_ Date: \_\_\_\_\_

Chief, Development Engineering Division: \_\_\_\_\_ Date: \_\_\_\_\_

**DEVELOPER'S/BUILDER'S CERTIFICATE**

"I/WE HEREBY CERTIFY THAT ANY CLEARING, GRADING, CONSTRUCTION OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS APPROVED EROSION AND SEDIMENT CONTROL PLAN, INCLUDING RESPECTING AND MAINTAINING CONTROLS, AND THAT THE RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF TRAINING AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT (MDE) APPROVED TRAINING PROGRAM FOR THE CONTROL ON EROSION AND SEDIMENT PRIOR TO BEGINNING THE PROJECT. I CERTIFY 'RIGHT-OF-ENTRY' FOR PERIODIC ON-SITE EVALUATION BY HOWARD COUNTY, THE HOWARD SOIL CONSERVATION DISTRICT AND/OR MDE."

\_\_\_\_\_  
SIGNATURE OF DEVELOPER/BUILDER

\_\_\_\_\_  
DATE

\_\_\_\_\_  
PRINTED NAME & TITLE

**ENGINEER'S CERTIFICATE**

"I HEREBY CERTIFY THAT THIS PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH CURRENT MARYLAND EROSION AND SEDIMENT CONTROL LAWS, REGULATIONS, AND STANDARDS, THAT IT REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE, AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."

\_\_\_\_\_  
ENGINEER'S SIGNATURE

\_\_\_\_\_  
DATE

CARL GUTSCHICK (2475 (P.E.)  
PRINTED NAME MD REGISTRATION NO.

\_\_\_\_\_  
HOWARD SOIL CONSERVATION DISTRICT

\_\_\_\_\_  
DATE

THIS PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

**THIS PLAN IS FOR SEDIMENT CONTROL PURPOSES ONLY**

**GLW**  
PLANNING | ENGINEERING | SURVEYING

3808 NATIONAL DRIVE | SUITE 250 | BURTONSVILLE, MD 20866 | GLW@PA.COM  
PHONE: 301-421-4024 | BALT: 410-880-1820 | DC&VA: 301-989-2524 | FAX: 301-421-4168

DESIGNED BY:	CHECKED BY:	DATE	REVISION	BY	APPR.
dds	dds				

**PREPARED FOR:**

**OWNER:**  
CLOVER ACQUISITIONS LLC  
C/O THE HOWARD HUGHES CORP.  
PO BOX 131298  
CARLSBAD CA 92013

**DEVELOPER:**  
THE HOWARD RESEARCH AND DEVELOPMENT CORP.  
10960 GRANTCHESTER WAY, SUITE 110  
COLUMBIA, MD 21044  
ATTN: GABRIEL CHUNG  
410-964-4800

**PROFESSIONAL CERTIFICATION**

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975  
EXPIRATION DATE: MAY 26, 2024

**SEDIMENT CONTROL NOTES AND DETAILS**

**SOUTHLAKE OFFICE BUILDING**  
**DOWNTOWN COLUMBIA**  
**LAKEFRONT CORE NEIGHBORHOOD, PHASE I, PARCEL B**  
A REVISION OF SECTION I, PARCEL B (PLAT No. XXXXX)

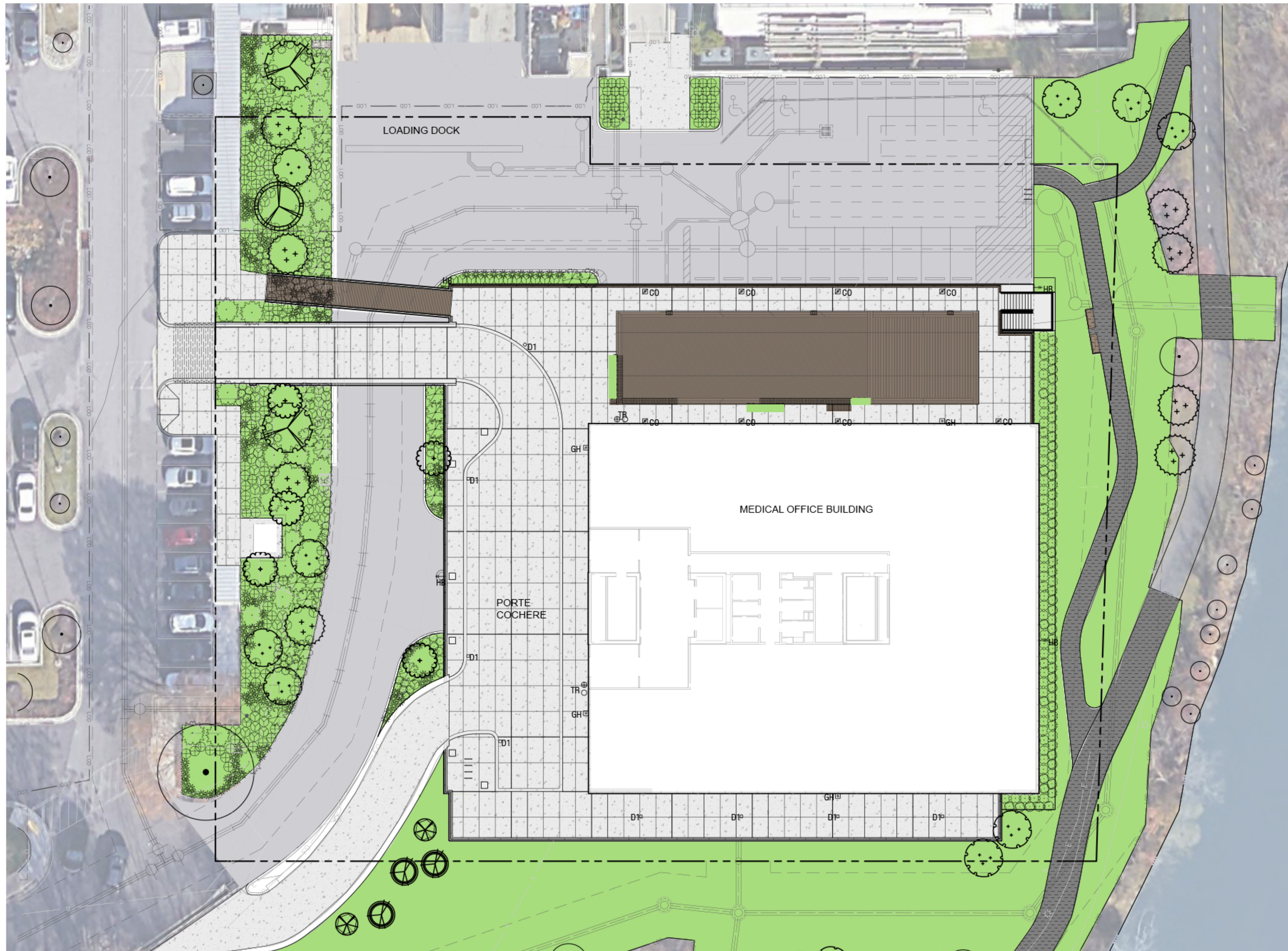
ELECTION DISTRICT No. 5

PN: \_\_\_\_\_

HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	NT	18046
DATE	TAX MAP - GRID	SHEET
JUNE, 2022	36 - 2	52 OF 52

L:\CADD\DRAWINGS\18046\PLANS BY GLW\SDP\18046\_SNE.dwg, PLOTTED: 7/2/2022 8:39 PM, LAST SAVE: 4/20/2022 2:20 PM, PLOTTED BY: Don Seewer



- LANDSCAPE MATERIALS SCHEDULE**
- PAVING TYPE 3 - WOOD DECK WITH ALUM FRAMING ON PEDESTALS, BOD PRODUCT: THERMORY BENCHMARK WHITE ASH, 5/4" x 4" NOMINAL BOARD WIDTH
  - PAVING TYPE 4 - CIP CONCRETE, SURFACE RETARDANT, BROOM FINISH
  - PAVING TYPE 5 - ASPHALT TRAIL, SEE CIVIL DRAWINGS
  - VEHICULAR ASPHALT
  - CONCRETE PAVEMENT
  - PAVING TYPE 7 - BITUMINOUS ASPHALT SETTING BED WITH POLYMERIC SAND SWEEP JOINTS, CONC UNIT PAVERS, BOD PRODUCT: HANOVER TRUNCATED DOME PAVER, 12"x12"x2" THK. PEDESTRIAN RATED
  - PAVING TYPE 8 - BITUMINOUS ASPHALT SETTING BED WITH POLYMERIC SAND SWEEP JOINTS, CONC UNIT PAVERS, BOD PRODUCT: HANOVER TRUNCATED DOME PAVER, 12"x12"x3" THK. VEHICULAR RATED
  - PLANTING AREA

- NOTES:**
1. PAVING TYPES 1 AND 2 NOT IN USE
  2. SEE L-103 FOR LANDSCAPE LAYOUT PLANS.
  3. SEE L-104 FOR LANDSCAPE PLANTING PLANS.
  4. SEE L-401 FOR PAVING ENLARGEMENTS
  5. SEE CIVIL DRAWINGS FOR GRADING WORK.
  6. SEE CIVIL DRAWINGS FOR CIP CONCRETE TYPE AND LAYOUT
  7. SEE CIVIL DRAWINGS FOR CIP CURB TYPE AND LAYOUT.
  8. SEE ARCH DRAWINGS FOR WATERPROOFING.
  9. SEE ARCH DRAWINGS FOR BOLLARD TYPE AND LAYOUT.
  10. SEE ARCH AND MEP DRAWINGS FOR DRAINAGE TYPE AND LAYOUT.

LAKE KITTAMAQUINDI

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director \_\_\_\_\_ Date \_\_\_\_\_

Chief, Division of Land Development \_\_\_\_\_ Date \_\_\_\_\_

Chief, Development Engineering Division \_\_\_\_\_ Date \_\_\_\_\_

**BUILDER'S CERTIFICATE**

I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE, THE LANDSCAPE MANUAL FOR NEW TOWN ALTERNATIVE COMPLIANCE, AND THE LAKEFRONT CORE NEIGHBORHOOD DESIGN GUIDELINES, RECORDED AS BOOK XXXXX, PAGE XXX ADOPTED FOR THE SUBJECT PROPERTY. I/WE FURTHER CERTIFY THAT UPON COMPLETION A LETTER OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

NAME \_\_\_\_\_ DATE \_\_\_\_\_

**APPROVED**

**PLANNING BOARD OF HOWARD COUNTY**

Date: \_\_\_\_\_

**Unknown Studio**

2219 Saint Paul Street / Baltimore, MD 21218  
P. 410.246.2946

DESIGNED BY	DATE	REVISION	BY	APP'R.
BG				
LD				
ES				

**PREPARED FOR:**

**OWNER:**  
CLOVER ACQUISITIONS LLC  
C/O THE HOWARD HUGHES CORP.  
PO BOX 131298  
CARLSBAD CA 92013

**DEVELOPER:**  
THE HOWARD RESEARCH AND DEVELOPMENT CORP.  
10960 GRANTCHESTER WAY, SUITE 110  
COLUMBIA, MD 21044  
ATTN: GABRIEL CHUNG  
410-964-4800

**L-102 LANDSCAPE MATERIALS PLAN**

**SOUTHLAKE OFFICE BUILDING**  
DOWNTOWN COLUMBIA  
LAKEFRONT CORE NEIGHBORHOOD, PHASE 1, PARCEL B  
A RESUBDIVISION OF SECTION 1, LOT 29 (PLAT No. XXXXX)  
PN: \_\_\_\_\_

ELECTION DISTRICT No. 5

HOWARD COUNTY, MARYLAND



SCALE	ZONING	JOB No.
1/16" = 1'-0"	NT	2110
DATE	TAX MAP - GRID	SHEET
JUNE, 2022	36 - 2	32 OF 52



# Howard County

Department of Planning and Zoning

**Subject:** *DPZ Process to Verify Provision of the 1% Art Requirement for Downtown Revitalization*

**To:** Downtown Columbia Property Owners, Developers, Design Professionals, and Artists; DLD and DED Review Staff; DPZ Front Counter Staff; DCCP Review Staff; DILP

**Through:** Marsha S. McLaughlin, Director  
Department of Planning and Zoning *MSM*

Mark Thompson, Director  
Downtown Redevelopment

**From:** Kent Sheubrooks, Division Chief *KS/MSJ*  
Division of Land Development

**Date:** June 6, 2014

#### **POLICY INTERPRETATION PURPOSE**

This policy interpretation describes the process by which development projects can demonstrate that the 1% art requirement has been met and directs Department of Planning and Zoning (DPZ) staff on how to process and verify that this 1% art requirement for Downtown Revitalization has been met.

#### **DOWNTOWN COLUMBIA PLAN INTENT**

Per the adopted *Downtown Columbia Plan* (Council Bill 58-2009): "It is anticipated that property owners in Downtown Columbia will either provide art as an integral part of their projects, work together with other owners to provide a more significant Art in the Community contribution, perhaps as part of one or more of the Downtown Community Commons or, if either of those choices are impractical, support the program with an in-lieu fee." To facilitate provision of this requirement for privately-funded, publically-accessible art, the Plan envisions the Howard County Arts Council as a resource for information and facilitation.

#### **ZONING CODE REQUIREMENT**

Per Section 125.0.A.9.f (2) of the Zoning Regulations, Downtown Revitalization must provide for art in the community that is equivalent in value to 1% of the building construction cost. Art must be provided:

- On site as an integral part of the project (most preferred); or
- On other property located within Downtown Revitalization Development; or
- In combination with other Downtown Revitalization Development; or
- By a fee-in-lieu contribution (least preferred).

Public art must be installed outdoors and be accessible to the public. This regulation provides for a credit for any art funding beyond the 1% of the building construction cost to be used for future projects.

## PRELIMINARY STEP

The intent of the 1% art requirement is to allow Downtown Revitalization developers to evolve their own innovative and creative solutions for privately-funded, publically-accessible art as an integral part of their project design. There is no review of the content of the art by County staff or an independent committee.

Property owners, developers, design professionals, artists, and interested parties will be directed by DPZ to contact the Howard County Arts Council upon first contact and at any time as both a resource and for art-related facilitation during this process. Howard County Arts Council provides resources related to:

- Models for and assistance with Requests for Qualifications for hiring artists;
- Models and recommendations for best practices in contractual agreements;
- Models and recommendations for conservation and maintenance plans; and,
- Assistance and recommendations related to the County's ARTsites program.

## DPZ PROCESS OVERVIEW

### 1. Final Development Plan: Conceptual Plan for Art in the Community

A conceptual plan for how and where privately-funded, publically-accessible art is being provided shall be submitted as part of a Final Development Plan (FDP) application to the County's Design Advisory Panel (DAP). The FDP shall include how the developer intends to fulfill the art requirement (within the FDP area, partnering with another FDP area, or fee-in-lieu). If all or part of the art will be provided within the FDP area, potential target location(s) should be shown on the FDP and a description of the artistic approach for the development area should be provided within the Neighborhood Design Guidelines (please note at this stage, these are general visions and not specific artistic piece concepts). Off-site art, combined development art, fee-in-lieu payment and the application of art credits, if any, shall be acknowledged as plan notes on the FDP.

### 2. Site Development Plan: Initial Planning for Individual Art Contributions

- For each Site Development Plan, provide the location or locations that are to be reserved for the public art installation for the project. Please note that it is acceptable for a project with multiple buildings to have one location for the art installation that would equal 1% of the sum of construction costs. The submission should also include a description of the artist concept or the developer's artistic intent in the request for proposals to artists to design the piece(s).
- If all or a part of the public art requirement for the site development plan can use credit from a previous Downtown Columbia development (per the provisions in the Zoning Code) or if a fee-in-lieu is to be paid (which must be approved by the Department of Planning and Zoning), then a general note describing these provisions must be included on the plan. A note regarding any credit to be used must name the previous development it is obtaining credit from and any requisite permissions to use such credit.
- Final verification for fees, credits and art contributions will be made with the building permit.

### 3. Building Permit: Final Verification for Art in the Community

Documentation of the provision of privately-funded, publically-accessible art shall be submitted as a transmittal to the SDP plan reviewer in the Division of Land Development (DPZ-DLD) for review and approval, in coordination with the Director of Downtown Development prior to or concurrent with the Application for Building Permit (*per Section 125.0.A.9.f(2)(c), fee-in-lieu payments for public art must be*

paid prior to Use & Occupancy Permit, but information calculating the fee will be required at building permit application):

**A. ALL PROJECTS:**

- A final cost of building construction estimate, which will provide a statement of total construction costs. (This will be verified with the estimate provided on the building permit application as well as an independent review for average construction costs for the region); AND

**B. SELECT ONE OR MORE OF THE FOLLOWING OPTIONS BASED ON THE PROPOSED ART COMPLIANCE TECHNIQUE(S):**

**i. If proposing new art installation for all or part of the 1% obligation:**

- A detailed plan and narrative description of the art and how it is provided;
- An itemization of costs related to the art; and
- A final contract and quote by the artist for design, development, long-term maintenance and installation of the art project.

**ii. If using a credit for all or part of the 1% obligation:**

- A signed agreement between parties that the owner of the previous development is in agreement for surplus credit from their project to go to the current project; and
- A final cost breakdown for the previous artwork being used for the credit (or DPZ will use the last estimate on record).

**iii. If paying a fee-in-lieu for all or part of the 1% obligation (*this option must be previously approved by the Department of Planning and Zoning*):**

- It is strongly recommended applicants provide the final cost of building construction estimate to DPZ Division of Land Development (DPZ-DLD) at least 1 month PRIOR to the anticipated *issuance* of the building permit;
- A flag will be placed in Accela by DPZ to hold the Use & Occupancy until fee-in-lieu payment is received by the Downtown Columbia Arts and Cultural Commission.
- Once DPZ-DLD approves the building construction estimate, the project manager will send a letter to the applicant with the fee-in-lieu amount to be paid to the Downtown Columbia Arts and Cultural Commission; and
- At least 30 days prior to the estimated date of final inspection preceding the Certificate of Occupancy, provide DPZ a receipt from the Downtown Columbia Arts and Cultural Commission for the required fee-in-lieu payment.
- Once DPZ receives the receipt from the Downtown Columbia Arts and Cultural Commission, DPZ will send a notification letter to DILP and Zoning within 5 business days and the flag for the U&O permit will be removed.

*No other alternate compliance is available for art.*

**ART INSTALLATION:** Please note that a Use and Occupancy Permit will NOT be withheld for the installation of public art pieces. However, if the site construction is completed for a substantial time period and the developer does not communicate with DPZ regarding a reasonable timeline for art completion and installation, be advised DPZ may issue a Zoning Violation against the site plan.

**EXEMPT PROJECTS:** Per Section 125.0.A.9.f(2)(e) of the Zoning Regulations, the following projects are exempt:

- Construction of Moderate Income Housing Units;



- Construction of places of worship and their accessory uses;
- Renovations to existing or construction of new cultural facilities which include facilities located within a Downtown Art and Entertainment Park, Downtown Arts Cultural and Community Uses, and Downtown Community Commons;
- Parking Structures; and
- Renovations to existing buildings or structures required by government mandated code compliance construction projects, such as projects exclusively designed for compliance with the Americans with Disabilities Act ("ADA"), the Maryland Accessibility Code, the National Fire Protection Association (NFPA) Life Safety Code, and/or fire sprinkler retrofits.

This policy interpretation is effective as of the date of this memorandum.

**For more information on the development process, please contact:**

Department of Planning and Zoning at 410-313-2350 or at or visit the DPZ Public Service Desk located on the first floor of the George Howard Building, 3430 Courthouse Drive, Ellicott City, Maryland 21043. DPZ is open Monday through Friday from 8:00 am until 5:00 pm, except weekends and public holidays.

**For more information on the Design Advisory Panel, please contact:**

Bill Mackey, AICP, Division Chief  
 Comprehensive & Community Planning  
 Howard County Department of Planning and Zoning  
 3430 Court House Drive  
 Ellicott City, MD 21043  
[wmackey@howardcountymd.gov](mailto:wmackey@howardcountymd.gov)  
 410-313-4321 (voice/relay)  
 410-313-3467 Fax  
 443-791-8438 Mobile (voice/relay)  
[www.howardcountymd.gov](http://www.howardcountymd.gov)

**For more information on the Howard County Arts Council, please contact:**

Coleen West, Executive Director  
 Howard County Arts Council  
 8510 High Ridge Road  
 Ellicott City, Maryland 21043  
[coleen@hocoarts.org](mailto:coleen@hocoarts.org)  
 410-313-ARTS (2787)  
 410-313-2790 Fax  
 MD Relay 711  
<http://hocoarts.org/>

cc: Marsha McLaughlin, Director  
 Kimberley Flowers, Deputy Director  
 Mark Thompson, Director of Downtown Redevelopment  
 Coleen West, Executive Director, Howard County Arts Council  
 Bob Frances, Director, Department of Inspections, Licenses and Permits  
 Cindy Hamilton, Chief, Division of Public Service and Zoning Administration  
 Bill Mackey, Chief DCCP

**GENERAL NOTES**

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS IF APPLICABLE.
- THE CONTRACTOR SHALL NOTIFY THE BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 318-1800 AT LEAST 48 HOURS PRIOR TO THE START OF WORK.
- THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-251-7777 AT LEAST 48-HOURS PRIOR TO ANY EXCAVATION WORK.
- THE CONTRACTOR SHALL NOTIFY THE HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS BUREAU OF UTILITIES AT (410) 313-4900 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK.
- A) IF REQUIRED, ANY "STOP" SIGN OR THE STREET NAME SIGN (SNG) ASSEMBLY FOR THIS DEVELOPMENT MUST BE INSTALLED BEFORE THE BASE PAVING IS COMPLETED.  
B) THE TRAFFIC CONTROL DEVICES LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE AND MUST BE FIELD APPROVED BY HOWARD COUNTY TRAFFIC DIVISION (410-313-2450) PRIOR TO THE INSTALLATION OF ANY OF THE TRAFFIC CONTROL DEVICES.  
C) ALL TRAFFIC CONTROL DEVICES AND THEIR LOCATIONS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MARYLAND MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MDMTCD).  
D) ALL SIGN POSTS USED FOR TRAFFIC CONTROL SIGNS INSTALLED ON THE COUNTY RIGHT-OF-WAY SHALL BE MOUNTED ON A 2" GALVANIZED STEEL PERFORATED (SQUARE RING) TYPE SQUARE TUBE POST (4 GAUGE) INSERTED INTO A 2-1/2" GALVANIZED STEEL PERFORATED SQUARE TUBE SLEEVE (2 GAUGE) - 3' LONG. THE ANCHOR SHALL NOT EXTEND MORE THAN TWO (2) INCHES ABOVE GROUND LEVEL. A GALVANIZED STEEL POLE CAP SHALL BE MOUNTED ON TOP OF EACH POST.
- PROJECT BACKGROUND:  
LOCATION: TAX MAP 36  
ZONING: PROPERTY IS ZONED NEW TOWN PER THE 2013 COMPREHENSIVE ZONING PLAN AND IS DESIGNATED AS DOWNTOWN MIXED USE AREA. ADDITIONALLY, THE PROJECT AREA IS SUBJECT TO THE DOWNTOWN COLUMBIA PLAN - A GENERAL PLAN AMENDMENT EFFECTIVE APRIL 6, 2010 AS AMENDED 1/19/2016  
ELECTION DISTRICT: FIFTH ELECTION DISTRICT  
DOWNTOWN COLUMBIA LAND USE: DOWNTOWN MIXED USE AREA  
AREA OF BUILDABLE LOTS: PARCEL 1: 142 AC  
DPZ REF. FILE NO.: FDP-DC-L-1A, SDP-15-23, MP-22-018, ECP-22-005, F-22-024, SDP-14-091
- TOPOGRAPHIC AERIAL SURVEY WAS PERFORMED ON APRIL, 2011 BY MCKENZIE SNYDER AND SUPPLEMENTED BY TOPOGRAPHIC FIELD SURVEY IN JUNE, 2021 BY GUTSCHICK, LITTLE AND WEBER.
- COORDINATES ARE BASED ON NAD 83 MARYLAND COORDINATE SYSTEM AS PROJECTED BY HOWARD COUNTY GEODETIC CONTROL STATION NUMBERS: 36AA AND 306A.
- THE EXISTING UTILITIES SHOWN HEREIN WERE DERIVED FROM AVAILABLE PUBLIC RECORDS AND FIELD LOCATED MISS UTILITY MARKINGS BY GUTSCHICK LITTLE & WEBER, P.A. THE CONTRACTOR SHALL TEST FIT ALL EXISTING UTILITIES AT LEAST 30 DAYS PRIOR TO STARTING ANY WORK SHOWN ON THESE DRAWINGS AND NOTIFY THE ENGINEER OF ANY CONFLICTS. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND MAINTAIN UNINTERRUPTED SERVICE. ANY DAMAGE INCURRED DUE TO CONTRACTOR'S OPERATION SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE. EXISTING UTILITIES ARE SHOWN BASED ON THE BEST AVAILABLE INFORMATION.
- SPOT ELEVATIONS SHOWN FOR CURB ARE BOTTOM OF CURB UNLESS OTHERWISE NOTED.
- ALL PLAN DIMENSIONS ARE TO THE FACE OF BUILDINGS OR CURB UNLESS OTHERWISE NOTED. DIMENSIONS ARE MEASURED PERPENDICULAR OR RADIAL BETWEEN ITEMS UNLESS OTHERWISE NOTED. CURB RADII ARE 5' UNLESS NOTED OTHERWISE.
- THE CEMETERY INVENTORY MAP DOES NOT SHOW ANY CEMETERIES WITHIN THE PROJECT LIMITS.
- THE SCENIC ROADS MAP DOES NOT INDICATE ANY SCENIC ROADS IN THE VICINITY.
- THERE ARE NO DESIGNATED HISTORIC OR CULTURALLY SIGNIFICANT EXISTING SITES, BUILDINGS, OR STRUCTURES OR PUBLIC ART WITHIN THE SITE AREA. HOWEVER, THE ADJACENT WHOLE FOODS (FORMER ROUSE COMPANY HEADQUARTERS) IS DESIGNATED AS AN EXISTING SIGNATURE BUILDING. SEE THE ROUSE COMPANY HEADQUARTERS PRESERVATION GUIDELINES IN THE LAKEFRONT CORE NEIGHBORHOOD DESIGN GUIDELINES.
- THE GEO-TECHNICAL REPORT WAS PROVIDED BY EGS MID ATLANTIC, LLC DATED OCTOBER 8, 2021.
- A NOISE STUDY IS NOT REQUIRED FOR THIS PROJECT.
- THE REGULATED WATER RESOURCES VERIFICATION FOR THIS PROJECT WAS PREPARED BY DAFT-MCGINE-WALKER, INC., DATED JULY 20, 2021 AND SUPPLEMENTED BY AN EMAIL FROM MDE DATED DECEMBER 14, 2021.
- SOILS DATA WAS TAKEN FROM THE SOIL SURVEY OF HOWARD COUNTY, MARYLAND ISSUED MARCH, 2008.
- THE TRANSPORTATION AND PARKING STUDY FOR THIS PROJECT WAS PREPARED BY WELLS AND ASSOCIATES, DATED DECEMBER, 2021, AND WAS APPROVED WITH THIS SDP. OFFSITE IMPROVEMENTS AT LITTLE PATUXENT PARKWAY AND SYMPHONY WOODS ROAD WILL BE PROVIDED ON SDP-19-020. THE DOUBLE LEFT LANE CONFIGURATION AND STRIPING SHOWN IS AN INTERIM CONDITION THAT HAS BEEN DETERMINED TO BE ADEQUATE FOR THE SOUTH LAKE MOB (SDP-22-14) AND LAKEFRONT NORTH FDP BUILDOUT (FDP-DC-L-2A). ANY FURTHER DEVELOPMENT IN THE LAKEFRONT CORE (FDP-DC-L-1) WILL REQUIRE THE INTERSECTION TO BE RE-EVALUATED.
- THE PARKING STUDY FOR THIS PROJECT WAS PREPARED BY WELLS AND ASSOCIATES, DATED DECEMBER 2021, AND WAS APPROVED WITH THIS SDP. SEE SHEET 3 FOR ADDITIONAL INFORMATION.
- BOUNDARY INFORMATION IS FROM BOUNDARY SURVEYS BY GLW DATED MARCH 2011.
- A FLOODPLAIN STUDY FOR THIS PROJECT WAS PREPARED BY GLW DATED DECEMBER, 2021, AND WAS APPROVED WITH THIS SDP.
- NO GRADING, REMOVAL OF VEGETATIVE COVER OR TREES, OR PLACEMENT OF NEW STRUCTURES IS PERMITTED WITHIN LIMITS OF WETLANDS, STREAMS OR THEIR REQUIRED BUFFERS, OR 100 YEAR FLOODPLAIN AREAS, UNLESS PERMITTED UNDER AN APPROVED MAJOR FLOODING OR DETERMINED TO BE ESSENTIAL OR NECESSARY BY DPZ. THE ENVIRONMENTAL DISTURBANCES SHOWN ON THESE PLANS ARE COVERED BY MP-22-018 AND PERMIT NO. 141859-2022-0049.
- THIS PROJECT IS WITHIN THE METROPOLITAN DISTRICT. WATER AND SEWER SERVICE IS PUBLIC (CONR. #24-5140-D).
- THIS SITE WHICH IS SUBJECT TO A DEVELOPMENT RIGHTS AND RESPONSIBILITIES AGREEMENT (L. 11451 F. 265), IS EXEMPT FROM FOREST CONSERVATION REQUIREMENTS OF SECTION 16.1200 OF THE HOWARD COUNTY CODE SECTION IN ACCORDANCE WITH THE SINCE REMOVED SECTION 16.1202 (B)(1)(V) (PUD WITH A FDP APPROVED PRIOR TO 12/31/21) WHICH WAS IN PLACE AT THE TIME THE DEVELOPMENT RIGHTS AND RESPONSIBILITIES AGREEMENT WAS RECORDED IN FEBRUARY 2011.
- ALL OUTDOOR LIGHTING SHALL BE ORIENTED TO DIRECT LIGHT INWARDS AND DOWNWARDS ON-SITE AWAY FROM ALL ADJOINING PUBLIC ROADS AND IN ACCORDANCE WITH SECTION 134 OF THE HOWARD COUNTY ZONING REGULATIONS.
- TRASH COLLECTION FOR THE SITE WILL BE PRIVATE AND SHARED WITH THE ADJACENT ROUSE BUILDING.
- THE LANDSCAPE PLAN WAS PREPARED ACCORDING TO THE ALTERNATIVE COMPLIANCE SECTION OF THE LANDSCAPE MANUAL. THE LANDSCAPE PLANS HAVE BEEN PREPARED BY A REGISTERED LANDSCAPE ARCHITECT AND IS CERTIFIED TO MEET THE DESIGN INTENT OF THE LAKEFRONT CORE NEIGHBORHOOD DESIGN GUIDELINES. SURETY FOR THE REQUIRED LANDSCAPING, \$20,000 SHALL BE POSTED WITH THE DEVELOPER'S AGREEMENTS.
- THE MINIMUM BUILDING SETBACKS RESTRICTIONS FROM PROPERTY LINES AND PUBLIC ROAD RIGHTS OF WAY ARE TO BE IN ACCORDANCE WITH FDP-DC-L-1A AND LAKEFRONT CORE NEIGHBORHOOD DESIGN GUIDELINES.
- THE PROPOSED BUILDINGS WILL HAVE AN AUTOMATIC FIRE SUPPRESSION SPRINKLER SYSTEM.

- THIS PROPERTY IS SUBJECT TO THE LAKEFRONT CORE NEIGHBORHOOD SPECIFIC DESIGN GUIDELINES (NSDG), RECORDED IN L. XXXXXX F. XXX, THE LAKEFRONT CORE NEIGHBORHOOD SPECIFIC IMPLEMENTATION PLAN (NSP), RECORDED IN L. XXXXXX F. XXX, THE LAKEFRONT CORE NEIGHBORHOOD CONCEPT PLAN (NCP) RECORDED AS PLAT NOS. XXXXX THRU XXXXX AND THE LAKEFRONT CORE FINAL DEVELOPMENT PLAN (FDP-DC-L-1A), RECORDED AS PLAT NOS. XXXXX THRU XXXXX.
- THE PROPOSED BUILDING FOR THIS PROJECT IS REGISTERED WITH THE GREEN BUILDING CERTIFICATION INSTITUTE FOR LEED CERTIFICATION, PROJECT ID. #1000445564
- AT THE TIME OF SDP APPROVAL, THE SITE IS UNDER PHASE I OF THE DOWNTOWN REVITALIZATION PHASING PROGRESSION.
- EACH OWNER OF PROPERTY DEVELOPED WITH COMMERCIAL USES PURSUANT TO SECTION 125.0.A.1.4 OF THE ZONING REGULATIONS SHALL PROVIDE AN ANNUAL PER SQUARE FOOT CHARGE IN AN AMOUNT OF \$0.25 PER SQUARE FOOT OF GROSS LEASABLE AREA FOR OFFICE AND RETAIL USES AND \$0.25 PER SQUARE FOOT OF NET FLOOR AREA FOR HOTELS TO THE DOWNTOWN COLUMBIA PARTNERSHIP ADJUSTED, CALCULATED AND PAYABLE IN ACCORDANCE WITH SECTION 20.15 OF THE COUNTY CODE (CEPPA 25).
- TO ADDRESS AFFORDABLE HOUSING, THE PROPERTY HAS BEEN INCLUDED IN A DEVELOPMENT RIGHTS AND RESPONSIBILITIES AGREEMENT BETWEEN THE COUNTY AND PETITIONER RECORDED AMONG THE HOWARD COUNTY LAND RECORDS IN BOOK 11451 AT PAGE 265. ADDITIONALLY, EACH OWNER WITHIN THE FDP AREA WILL MAKE THE APPLICABLE ANNUAL PAYMENTS REQUIRED BY CEPPA 21, ADJUSTED, CALCULATED AND PAYABLE IN ACCORDANCE WITH SECTION 20.15 OF THE HOWARD COUNTY CODE.
- IN ACCORDANCE WITH FDP-DC-L-1A THERE IS A 4 STORY BUILDING HEIGHT LIMIT (NOT TO EXCEED 120 FEET)
- PRIOR TO SUBMITTING THIS SITE DEVELOPMENT PLAN A PRE-SUBMISSION COMMUNITY MEETING WAS HELD ON AUGUST 31, 2021 AT SLAYTON HOUSE AT THE MILDE LAKE COMMUNITY ASSOCIATION. NOTICE OF THE MEETING WAS PROVIDED IN ACCORDANCE WITH SECTION 16.208 OF THE ZONING REGULATIONS.
- PRIOR TO SUBMITTING THIS SITE DEVELOPMENT PLAN, A SUBMISSION TO THE HOWARD COUNTY DESIGN ADVISORY PANEL WAS MADE IN ACCORDANCE WITH SECTION 125.11.1.1. THE DESIGN ADVISORY PANEL CONSIDERED THE APPLICATION AT ITS MEETING ON SEPTEMBER 22, 2021 AND NOVEMBER 10, 2021. AFTER THE NOVEMBER 10, 2021 MEETING, THE DAP ADOPTED ONE RECOMMENDATION TO THE PLANNING BOARD FOR THE PROJECT AS NOTED IN THE MINUTES.
- ART FOR THIS PROJECT WILL BE PROVIDED EQUIVALENT IN VALUE TO 1% OF THE CONSTRUCTION COST OF THE BUILDING, EXCLUDING THE GARAGE, OR A FEE IN LIEU WILL BE PAID AS PROVIDED IN SECTION 125.9.F.(2). POTENTIAL LOCATIONS ARE SHOWN ON SHEET 32.
- PER SECTION 125.0.H.4 OF THE ZONING REGULATIONS, MINOR ADJUSTMENTS TO THE PEDESTRIAN, BICYCLE, TRANSIT CIRCULATION ROAD NETWORK, BLOCK CONFIGURATION AND DOWNTOWN COMMUNITY COMMONS MAY BE APPROVED AS A PART OF THE SITE DEVELOPMENT PLAN.
- THE PLANNING BOARD HAS APPROVED APPROXIMATELY 2600000 SQUARE FEET AND ISSUED BUILDING PERMITS FOR ABOUT 2300000 SQUARE FEET OF NET NEW DEVELOPMENT DOWNTOWN. FINAL SQUARE FOOTAGES WILL BE MAINTAINED IN THE DOWNTOWN COLUMBIA DATABASE MAINTAINED BY THE COUNTY.
- THIS SITE QUALIFIES FOR REDEVELOPMENT UNDER MDE CRITERIA, HOWEVER AS PART OF AN AGREEMENT WITH DPZ, THIS SITE WILL PROVIDE 5MM IN EXCESS OF THE MINIMUM MDE REQUIREMENTS. SEE NOTE 46 FOR ADDITIONAL INFORMATION. TO FULFILL THE STORMWATER MANAGEMENT REQUIREMENTS A STORMCEPTOR, UNDERGROUND STORAGE CHAMBER AND UNDERGROUND STORM-FILTER (F-2) WILL BE USED. ALL STORMWATER DEVICES WILL BE PRIVATELY OWNED AND MAINTAINED. THERE ARE NO MAJOR STORMWATER MANAGEMENT FACILITIES WITHIN THE PLAN AREA OR ADJOINING LAND.
- THIS SITE IS A REDEVELOPMENT OF AN EXISTING PARKING LOT. ALL STEEP SLOPES IN THE VICINITY OF THE LOD ARE MAN-MADE.
- HEALTH DEPARTMENT APPROVAL OF THIS SITE DEVELOPMENT PLAN (SDP) DOES NOT ENSURE APPROVAL OF BUILDING PERMIT APPLICATIONS ASSOCIATED WITH THIS PLAN. PERMIT PLANS FOR CERTAIN FACILITIES TO BE CONSTRUCTED WITHIN THE LIMITS DESCRIBED BY THIS SDP WILL REQUIRE REVIEW AND APPROVAL BY THE HEALTH DEPARTMENT. SUCH FACILITIES MAY INCLUDE, BUT ARE NOT LIMITED TO, THOSE WHICH HAVE SWIMMING POOLS, OR THAT SELL PREPARED OR PACKAGED FOODS, OR THAT MAY HAVE EQUIPMENT THAT EMITS RADIATION.
- EXISTING DRY UTILITY INFORMATION TAKEN FROM SUBSURFACE UTILITY DESIGNATING WORKSHEET BY ACCURATE INFRASTRUCTURE DATA, INC. DATED JUNE 1, 2017

SEE SHEET 2 FOR ADDITIONAL NOTES

APPROVED  
PLANNING BOARD OF HOWARD COUNTY

Date: \_\_\_\_\_

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director \_\_\_\_\_ Date \_\_\_\_\_

Chief, Division of Land Development \_\_\_\_\_ Date \_\_\_\_\_

APPROVED: HOWARD COUNTY HEALTH DEPARTMENT  
FOR PUBLIC WATER & SEWERAGE SYSTEM

County Health Officer \_\_\_\_\_ Date \_\_\_\_\_

**GLW**  
PLANNING | ENGINEERING | SURVEYING

3905 NATIONAL DRIVE | SUITE 250 | BURTONSVILLE, MD 20886 | GLWPA.COM  
PHONE: 301-421-1024 | FAX: 301-421-1189

DESIGNED BY	DATE	REVISION	BY	APPR.
dds				
dds				

PREPARED FOR:

OWNER:  
CLOVER ACQUISITIONS LLC  
C/O THE HOWARD HUGHES  
CORP.  
PO BOX 131298  
CARLSBAD CA 92013

DEVELOPER:  
THE HOWARD RESEARCH  
AND DEVELOPMENT CORP.  
10960 GRANTCHERRY  
WAY, SUITE 110  
COLUMBIA, MD 21044  
ATTN: GABRIEL CHUNG  
410-964-4800

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 129

EXPIRATION DATE: MAY 26, 2024

**COVER SHEET**

**SOUTHLAKE OFFICE BUILDING**  
**DOWNTOWN COLUMBIA**  
**LAKEFRONT CORE NEIGHBORHOOD, PHASE I, PARCEL B**  
**A REVISION OF SECTION 1, PARCEL B (PLAT No. XXXXX)**

SCALE: AS SHOWN  
ZONING: NT  
G. L. W. FILE No.: 18046

DATE: JUNE, 2022  
TAX MAP - GRID: 36 - 2  
SHEET: 1 OF 52

ELECTION DISTRICT No. 5  
HOWARD COUNTY, MARYLAND

**DEVELOPMENT CHART**

Parcel	Area (SF)	Area (Acra)	Use <sup>1</sup>												Residential (DU)								
			Existing			Proposed			Demolition			NET NEW <sup>2</sup>			Existing	Proposed	Net						
Parcel	Area (SF)	Area (Acra)	Retail/Rest.	Office	Other	Total	Retail/Rest.	Office	Other	Total	Retail/Rest.	Office	Other	Total	Retail/Rest.	Office	Other	Total					
B	61,953	1.42	0	0	0	0	0	0	0	0	85,731	0	85,731	0	0	0	0	85,731	0	85,731	0	0	0
<b>Lakefront Core Total This SDP</b>	<b>61,953</b>	<b>1.42</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>85,731</b>	<b>0</b>	<b>85,731</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>85,731</b>	<b>0</b>	<b>85,731</b>	<b>0</b>	<b>0</b>	<b>0</b>

(1) THE NON-RESIDENTIAL AND RESIDENTIAL GROSS FLOOR AREA, THE NUMBER OF RESIDENTIAL UNITS AND/OR THE LAND USE APPROVED FOR AN INDIVIDUAL PARCEL MAY BE REALLOCATED AMONG OTHER PARCELS WITHIN THE FDP AREA AND/OR EXCEEDED ON A SUBSEQUENT SITE DEVELOPMENT PLAN WITHOUT AMENDING THIS FDP, PROVIDED THE TOTAL NON-RESIDENTIAL AND RESIDENTIAL GROSS FLOOR AREA AND THE TOTAL NUMBER OF RESIDENTIAL UNITS APPROVED FOR ALL PARCELS WITHIN THE FDP AREA IS NOT EXCEEDED.

(2) NET NEW AREA TO BE USED TO CALCULATE DOWNTOWN REVITALIZATION SQUARE FOOTAGE FOR PHASING AND CEPPA'S

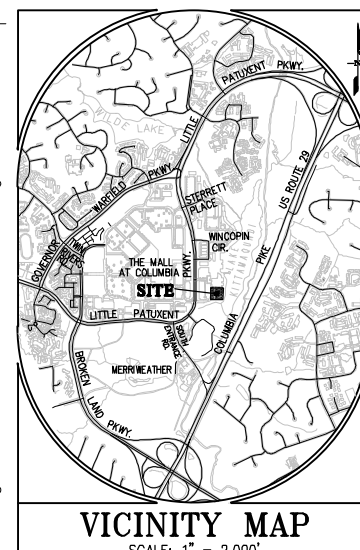
(3) THE AMERICAN CITY BUILDING, LOCATED ON LOT 13 (FUTURE PARCELS E & F) WAS DEMOLISHED IN MAY, 2019 PER COMMERCIAL DEMOLITION PERMIT #BAC0035. THIS PROVIDED AN OFFICE DEMOLITION CREDIT OF 110,000 SF PER FDP-DC-L-1A. THE OFFICE BUILDING ON PARCEL B WILL USE 85,731 SF OF THIS CREDIT, LEAVING 31,267 SF OF OFFICE DEMOLITION CREDIT FROM THIS BUILDING AVAILABLE FOR FUTURE SITE DEVELOPMENT PLANS WITHIN THE LIMITS OF THE FDP-DC-L-1A BOUNDARY.

- SHEET INDEX**
- COVER SHEET
  - ADDITIONAL NOTES
  - OVERALL PARKING PLAN
  - DEMOLITION PLAN
  - SITE PLAN ENTRY LEVEL
  - SITE PLAN LOWER LEVEL
  - GARAGE LEVEL - 2
  - GARAGE LEVEL - 1
  - LEVEL - 1
  - BUILDING ELEVATIONS
  - GRADING PLAN
  - PAVEMENT AND CURB DELINEATION PLAN
  - SITE DETAILS
  - SEDIMENT CONTROL PLAN PHASE 1
  - SEDIMENT CONTROL PLAN PHASE 2
  - SEDIMENT CONTROL DETAILS
  - UTILITY PLAN
  - UTILITY PROFILES
  - STORM DRAIN DRAINAGE AREA MAP
  - STORMWATER DRAINAGE AREA MAP
  - STORMWATER DETAILS
  - STORMWATER DETAILS
  - RETAINING WALL PLAN
  - RETAINING WALL PLAN AND SECTIONS
  - RETAINING WALL PROFILES
  - CONCRETE SECTIONS AND DETAILS
  - BRIDGE SECTION AND DETAILS
  - BORING LOGS
  - BORING LOGS
  - LANDSCAPE INDEX
  - TREE PROTECTION PLAN
  - MATERIALS PLAN
  - LAYOUT PLAN
  - PLANTING SCHEDULES
  - PLANTING PLAN NORTH
  - PLANTING PLAN SOUTH
  - FURNISHING PLAN
  - VINE CABLE ELEVATIONS
  - PAVING ENLARGEMENTS
  - PAVING DETAILS
  - LIGHTING - SITE
  - LIGHTING - PLAZA LEVEL
  - LIGHTING - ROOF LEVEL
  - LIGHTING FIXTURE SCHEDULE
  - LIGHTING FIXTURE SCHEDULE
  - BUILDING ELEVATIONS
  - SAILING DETAILS
  - FURNISHING DETAILS
  - PLANTING DETAILS
  - MAINTENANCE OF TRAFFIC PLAN
  - MAINTENANCE OF TRAFFIC PLAN
  - SEDIMENT CONTROL DETAILS

**HC CONTROL STATIONS**

306A  
NORTHING: 566,053,579  
EASTING: 1,352,171,604  
ELEVATION: 394.844  
(LATEST ADJ. FEB. 2014)

36AA  
NORTHING: 562,804,842  
EASTING: 1,344,906,240  
ELEVATION: 354.163  
(LATEST ADJ. FEB. 2014)



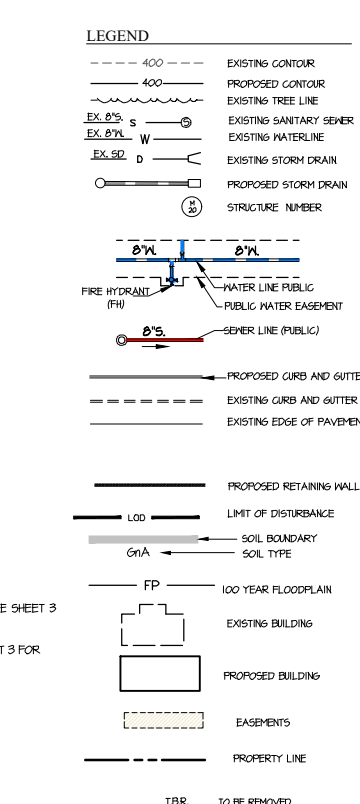
**CUMULATIVE DOWNTOWN COMMUNITY COMMONS TRACKING CHART**

LAKEFRONT CORE NEIGHBORHOOD (FDP-DC-L-1A)  
5% Downtown Community Commons (DCC) Requirement: 24,022 SF

SDP No.	Parcel	DCC Area (to be Provided) (SF)	NOTES
SDP 14-037	O/S LOT 1	26,255	SEE NOTE 1
SDP 22-019	PARCEL B	0	SUBJECT PROPERTY
FUTURE SDP	PARCEL E/F	35,145 (min)	SEE NOTES 2 & 3
<b>CUMULATIVE TOTALS (SF)</b>		<b>62,050 SF</b>	
<b>ANTICIPATED SURPLUS (SF)</b>		<b>38,028 SF</b>	

- DOWNTOWN COMMUNITY COMMONS NOTES:**
- THE LAKEFRONT CORE NEIGHBORHOOD SQUARE IS LOCATED ON OPEN SPACE LOT 1 (SDP-14-037). A DOWNTOWN NEIGHBORHOOD SQUARE MUST CONTAIN AT LEAST 25,000 SF PER SECTION 103.4 SECTION 125.0.A.9.g(4)(c). THIS NEIGHBORHOOD SQUARE HAS BEEN DEEDED TO HOWARD COUNTY TO SATISFY CEPPA #22.
  - THE LAKEFRONT CONNECTION, A PRIMARY AMENITY SPACE, IS PARTIALLY LOCATED WITHIN THE LAKEFRONT CORE NEIGHBORHOOD. THE 68,600 SF REQUIRED IN THE DOWNTOWN COLUMBIA PLAN FOR THE LAKEFRONT CONNECTION IS PROPORTIONED BETWEEN THE LAKEFRONT CORE AND LAKEFRONT NEIGHBORHOODS. SEE EXHIBIT 6 IN THE DOWNTOWN COLUMBIA PLAN. 38,442 SF IS THE MINIMUM AREA THAT IS REQUIRED FOR THE PERCENTAGE OF THE LAKEFRONT CONNECTION WITHIN THE LIMITS OF FDP-DC-L-1A. 35,145 SF OF THE 38,442 SF HAS BEEN DESIGNATED AS NET NEW DOWNTOWN COMMUNITY COMMONS AS SHOWN ON FDP-DC-L-1A. SEE NEIGHBORHOOD DESIGN GUIDELINES FOR MORE INFORMATION AND SEE TIMING NOTE BELOW.
  - PER SECTION 125.0.A.9.g(4)(f) AND IN ACCORDANCE WITH ALTERNATIVE CEPPA TIMING APPROVED 6/21/19, NEW DOWNTOWN COMMUNITY COMMONS SHOWN WITHIN THE LIMITS OF FDP-DC-L-1A WILL BE CONSTRUCTED IN ACCORDANCE WITH THE FOLLOWING PHASING PLAN:
    - THE DOWNTOWN NEIGHBORHOOD SQUARE (OPEN SPACE LOT 1) MUST BE COMPLETED AND DEEDED TO HOWARD COUNTY PRIOR TO ISSUANCE OF A BUILDING PERMIT FOR THE 260,000TH NET NEW SQUARE FOOT OF DEVELOPMENT. (SATISFIED, L14135 F.54)
    - THE LAKEFRONT CONNECTION WILL BE CONSTRUCTED AFTER THE AMERICAN CITY BUILDING IS DEMOLISHED AND MUST BE COMPLETED (LANDSCAPE PLANTING SUBJECT TO WEATHER CONDITIONS) PRIOR TO OCCUPANCY OF MORE THAN 50% OF THE DEVELOPMENT TO BE LOCATED ON PARCEL E.

- I. GENERAL SITE DATA**
- TOTAL SITE AREA (PARCEL B): 142 AC.
  - LIMIT OF DISTURBED AREA: 2.6 AC.
  - PRESENT ZONING: NT-DMA (FDP DC-L-1A)
  - PROPOSED USE OF SITE: MEDICAL OFFICE, PARKING GARAGE
- F. FLOOR SPACE:**
- | LEVEL        | GROSS AREA (SF) |
|--------------|-----------------|
| 1            | 16,164          |
| 2            | 23,184          |
| 3            | 23,184          |
| 4            | 23,184          |
| <b>TOTAL</b> | <b>85,716</b>   |
- 2. PARCEL B DEVELOPMENT DATA**
- MEDICAL OFFICE**  
1. PROPOSED AREA: 85,731 square feet
  - PARKING REQUIREMENTS:**  
THE LAKEFRONT CORE NEIGHBORHOOD REQUIRES 985 PARKING SPACES. SEE SHEET 3 FOR ADDITIONAL INFORMATION.
  - PARKING PROVIDED:**  
THE LAKEFRONT CORE NEIGHBORHOOD HAS 1064 PARKING SPACES. SEE SHEET 3 FOR ADDITIONAL INFORMATION.
- SEE SHEET 2 FOR CEPPA TRACKING CHART



**STORMWATER MANAGEMENT INFORMATION CHART**

LOT/PARCEL	FACILITY NAME/NO.	PRACTICE TYPE (QUANTITY)	PUBLIC/PRIVATE	MISC.
PARCEL B	STORMCEPTOR (M-10B)	SC (1)	PRIVATE	
PARCEL B	STORM FILTER (M-107)	F-2 (1)	PRIVATE	

**ADDRESS CHART**

BUILDING	ADDRESS
	10285 LITTLE PATUXENT PARKWAY

**PERMIT INFORMATION CHART**

SUBDIVISION NAME:	SECTION/AREA	PARCEL				
DOWNTOWN COLUMBIA LAKEFRONT CORE NEIGHBORHOOD - PHASE I	N/A	PARCEL B				
PLAT No.	PARCEL	ZONE	TAX MAP	BLOCK	ELEC. DIST.	CENSUS TRACT
	321	NT	36		5	6054.02
WATER CODE:		SEWER CODE:				
NA		NA				

GENERAL NOTES cont

46. ON OCTOBER 29, 2021 AND PURSUANT TO SECTION 16.104, THE DIRECTOR OF THE DEPARTMENT OF PLANNING AND ZONING, UPON THE ADVICE OF THE DEPARTMENT OF PUBLIC WORKS, DEPARTMENT OF RECREATION AND PARKS, DEPARTMENT OF LICENSES AND PERMITS, AND THE SOIL CONSERVATION DISTRICT, APPROVED HP-22-010, THE REQUEST FOR ALTERNATIVE COMPLIANCE WITH RESPECT TO SECTION 16.103(2) OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS TO PERMIT GRAZING, CONSTRUCT A BUILDING AND RELOCATE UTILITIES IN THE FLOODPLAIN. APPROVAL OF THIS ALTERNATIVE COMPLIANCE IS SUBJECT TO THE FOLLOWING CONDITIONS:
1. SUBMIT A FLOODPLAIN STUDY USING THE CURRENT FEMA 100-YEAR FLOW RATE AND ANALYZE ANY CHANGES TO THE WATER SURFACE ELEVATION OR FLOW RATES USING THE ULTIMATE DEVELOPMENT OF THIS PARCEL. THE STUDY WILL BE REVIEWED BY DPZ AND VERIFIED WITH DPW. STORMWATER DIVISION. THE EXPECTATION IS THAT NO STORAGE VOLUME WILL BE LOST WITHIN THE LIMITS OF THE FLOODPLAIN.
  2. STORMWATER MANAGEMENT SHOULD BE PROVIDED FOR THE LIMIT OF DISTURBANCE USING ESO PRACTICES ASSUMING GREENFIELD CONDITIONS. ALL OPTIONS AND METHODS FOR PROVIDING MANAGEMENT FOR THE FIRST INCH OF RINOFF ARE AVAILABLE, INCLUDING REDEVELOPMENT PRACTICES, PROVIDING MANAGEMENT OF OFFSITE IMPERVIOUS AREA AT A 1:1 RATIO MAY ALSO BE CONSIDERED.
  3. ALTHOUGH WASTE MANAGEMENT AREAS CANNOT BE INTENTIONALLY DIRECTED TO STORMWATER MANAGEMENT DEVICES, THE EXISTING STORM DRAIN AT THE WHOLE FOODS LOADING DOCK AREA APPEARS TO BE AN OPPORTUNITY TO TREAT CURRENT RUNOFF THAT IS DISCHARGING TO THE LAKE AND TREAT IT FOR WATER QUALITY. THIS COULD BE DONE WITH A FILTER, PRACTICE OR BIORETENTION TYPE FACILITY. PLEASE INVESTIGATE AS PART OF THE SITE DESIGN.
  4. PLEASE REVIEW AND ADDRESS THE COMMENTS PROVIDED BY THE DEVELOPMENT ENGINEERING DIVISION WITH THE SDP SUBMISSION.
  5. PROVIDE A REVISED EXHIBIT TO MODIFY THE SITE DESIGN TO INCLUDE ADDING FILL ALONG THE SOUTHERN BOUNDARY IN ORDER TO RAISE THE ELEVATION TO TIE INTO THE EXISTING SEWER OFF-SITE WHICH WILL REDUCE THE LENGTH OF A SEWER PIPE REQUIRED IN THE FORESTED AREA SOUTH OF THE SITE CURRENTLY SHOWN ON EXHIBIT D. CONSULT WITH DEED AND DPW IF THE ADDITIONAL FILL HAS ANY IMPACTS ON THE FLOODPLAIN CALCULATIONS.
  6. THE FLOODPLAIN DISTURBANCE APPROVED IS LIMITED TO THE ULTIMATE AREA OF FLOODPLAIN ON PARCEL B AND THE MINIMUM AREA REQUIRED SOUTH OF THE SITE TO TIE THE RELOCATED SEWER LINE TO THE EXISTING SEWER OFF-SITE.
47. THE SCHEMATIC BUILDING ELEVATIONS INDICATE BUILDING HEIGHT, MASSING AND ARCHITECTURAL INTENT AND MAY CHANGE WITH FURTHER DESIGN DEVELOPMENT. FINAL ARCHITECTURAL DESIGN WILL BE SHOWN ON THE CONSTRUCTION DOCUMENTS AND WILL BE REVIEWED FOR COMPLIANCE WITH THE NEIGHBORHOOD SPECIFIC DESIGN GUIDELINES AT THE TIME OF BUILDING PERMIT.
48. THIS PLAN PROPOSES OFF-SITE DISTURBANCE ON THREE LOTS, LOT 2, LOT 25 AND LOT 14. LOT 2, SECTION 1 AREA 3 IS OWNED BY THE HOWARD RESEARCH AND DEVELOPMENT CORPORATION. LOTS 14 AND 25 ARE OWNED BY THE COLUMBIA ASSOCIATION. A LETTER OF PERMISSION HAS BEEN PROVIDED FROM ALL AFFECTED OWNERS.
49. KNOX BOXES SHALL BE LOCATED WITHIN 6' TO THE RIGHT OF THE MAIN ENTRANCE AT A RANGE OF 4-5' IN HEIGHT. THE CONTRACTOR SHOULD CONTACT THE OFFICE OF THE FIRE MARSHAL PRIOR TO PURCHASING AND INSTALLING KNOX BOXES TO DETERMINE IF ADDITIONAL KNOX BOXES WILL BE REQUIRED AS WELL AS TO VERIFY THE LOCATIONS WHERE THEY ARE TO BE MOUNTED.
50. FIRE DEPARTMENT CONNECTIONS FOR FIRE PROTECTION SYSTEMS SHALL BE LOCATED: (A) ON THE SIDE OF THE STRUCTURE DISPLAYING THE ADDRESS CLEARLY VISIBLE TO THE RESPONDING UNITS OR AS OTHERWISE SHOWN ON THE APPROVED PLAN; (B) WITHIN 100 FT. OF A FIRE HYDRANT; (C) THE APPROPRIATE SIGN SHALL BE MOUNTED ON THE BUILDING'S WALL BETWEEN 8 AND 12 FEET ABOVE THE FIRE DEPARTMENT CONNECTION; (D) A FREE-STANDING FIRE DEPARTMENT CONNECTION SHALL HAVE THE SIGN MOUNTED ON A POLE DIRECTLY BEHIND THE CONNECTION APPROXIMATELY 6 FEET HIGH; (E) SIGNS SHALL HAVE A WHITE REFLECTIVE BACKGROUND WITH A RED REFLECTIVE BORDER, RED REFLECTIVE LETTERS AND A RED REFLECTIVE ARROW. THE BORDER SHALL HAVE A 3/8" STROKE. THE LETTERS SHALL BE 6" HIGH WITH A 1" STROKE. THE ARROW SHALL HAVE A STROKE NOTE LESS THAN 2". THE OVERALL SIGN MEASUREMENTS SHALL BE 12" BY 18"; (F) ANY OBSTRUCTION OR CONDITION THAT DETERS OR HINDERS ACCESS TO A FDC IS PROHIBITED. A MINIMUM CLEAR SPACE OF 15 FEET (15 FEET ON ALL SIDES) SHALL BE MAINTAINED.
51. ON DECEMBER 22, 2021 DPMQ-22-010, A WAIVER TO HOWARD COUNTY DESIGN MANUAL VOLUME II - WATER AND SEWER WAS APPROVED. THE WAIVER APPROVAL WAS SPLIT INTO FOUR SECTIONS.
1. A WAIVER TO SECTION 3.9.2.2.2, MAXIMUM UNCOVERED WATER MAIN FOR COMMERCIAL AREAS WITH FIRE PROTECTION BE 800 FEET WAS APPROVED PROVIDED THAT WATERLINE 'B' IS EXTENDED UP TO THE MOORE CIRCLE PROPERTY LINE AT LITTLE PATIENT PARKWAY TO ALLOW FOR FUTURE REDUNDANCY LOOPING OF THE MAINS.
  2. A WAIVER TO SECTION 5.4.8.5, WHICH REQUIRES 10-FOOT HORIZONTAL CLEARANCE BETWEEN THE WATER EASEMENT AND PERMANENT STRUCTURES WAS APPROVED FOR WATERLINE B (STA 2+77 - 5+62) PROVIDED THAT (1) EXISTING UTILITIES THAT ARE WITHIN THE LIMITS OF THE PUBLIC EASEMENT ARE RELOCATED AND (2) NO NEW OR ADDITIONAL UTILITIES ARE INSTALLED PARALLEL TO THE WATER MAIN CROSSINGS ARE PERMITTED AND SHALL BE SHOWN ON THE WATER AS SEWER CONTRACT DRAWINGS. THIS APPLIES TO WALLS 1 & 2 LABELED ON SHEET 2.
  3. A WAIVER WAS APPROVED TO ALLOW PRIVATE STORM DRAIN TO ENCRoACH INTO THE PUBLIC WATER EASEMENT FOR THE 24" STORM DRAIN FROM THE UPPER PARKING LOT.
  4. A WAIVER WAS APPROVED TO SECTION 11.2.2 WHICH REQUIRES 18" VERTICAL CLEARANCE PER MDE DESIGN GUIDELINES FOR DRINKING WATER FACILITIES - MINIMUM REQUIREMENTS, AND THE 18" STATE RECOMMENDED STANDARDS FOR WATER WORKS SECTION 8.8 FOR THE FIRE HYDRANT 3" PIPE. THIS WAIVER REQUEST IS APPROVED PROVIDED THAT (A) A MINIMUM OF 6-INCH CLEARANCE IS PROVIDED ABOVE THE ELLIPTICAL STORM PIPE, (2) ALL JOINTS BETWEEN THE FIRE HYDRANT AND THE WATER MAIN ARE RESTRAINED, AND (3) APPROVED PLANS SHALL INCLUDE A NOTE THAT THE CONTRACTOR SHALL MINIMIZE THE NUMBER OF JOINTS NEEDED BY USING FULL LENGTHS OF PIPE TO THE MAXIMUM EXTENT POSSIBLE.
52. ON MAY 6, 2022 A WAIVER TO HOWARD COUNTY DESIGN MANUAL VOLUME 3, SECTION 2.6.C AND APPENDIX G WAS APPROVED TO REDUCE THE WIDTH OF A PORTION OF THE PARKING SPACES TO PROVIDE LESS THAN THE 9' REQUIREMENT. THE SPACES LESS THAN 9' ARE TO BE MARKED AS COMPACT.

**APPROVED**  
**PLANNING BOARD OF HOWARD COUNTY**

Date: \_\_\_\_\_

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director	Date
Chief, Division of Land Development	Date
Chief, Development Engineering Division	Date



**GLW**  
PLANNING | ENGINEERING | SURVEYING

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DESIGNED BY	DATE	REVISION	BY	APP'R.
dds				
DRAWN BY				
dds				
CHECKED BY				

PREPARED FOR:

OWNER:  
CLOVER ACQUISITIONS LLC  
C/O THE HOWARD HUGHES  
CORP.  
PO BOX 131298  
CARLSBAD CA 92013

DEVELOPER:  
THE HOWARD RESEARCH  
AND DEVELOPMENT CORP.  
10960 GRANTCHESTER  
WAY, SUITE 110  
COLUMBIA, MD 21044  
ATTN: GABRIEL CHUNG  
410-964-4800

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975, EXPIRATION DATE: MAY 26, 2024.

Community Enhancements, Programs and Public Amenities (CEPPA's) Tracking Chart			
Downtown Columbia Plan	CEPPA	Trigger	Notes
1	Environmental Assessment	Prior to Submission of First FDP	Satisfied
2	Environmental Sustainability Program	Prior to Submission of First FDP	Satisfied
3	Rte. 29 Interchange Study	Prior to Submission of First FDP	Satisfied
4	Downtown Wide Design Guidelines	Prior to Approval of First FDP	Satisfied
5	Transportation Feasibility Study	Prior to Approval of First FDP	Satisfied
6	Downtown Columbia Partnership	Prior to Approval of First FDP	Satisfied
7	Environmental Restoration Phasing/Initial SDP	Prior to Approval of First FDP	Satisfied
8	Downtown Arts and Culture Commission (DCACC)	Prior to Approval of First FDP	Satisfied
9	Fire Station	Prior to the Issuance of the First Building Permit	Satisfied
10	\$1.5 million Housing Fund Payment	Upon Issuance of the First Building Permit	Satisfied
11	\$1.5 million Housing Fund Payment	Upon Issuance of the First Building Permit for the 400th Residential Unit	Satisfied
12	Downtown Pedestrian Pathways	Prior to Issuance of a Building Permit for the 300,000th SF of Development (Pathway SDP Only)	Satisfied, per Alternative Compliance
13	Rouse Building Covenants	Prior to Issuance of a Building Permit for the 300,000th SF of Development	Satisfied
14	Transit Center	Prior to Issuance of a Building Permit for the 1,300,000th SF of Development	Pending; Alternative Timing to 3,200,000 SF Approved November 17, 2017
15	Environmental Restoration	Prior to Issuance of a Building Permit for the 1,300,000th SF of Development	Satisfied
16	Phase 1 Weather Improvements	Prior to Issuance of a Building Permit for the 1,300,000th SF of Development	Satisfied
17	School Site or Equivalent	Upon Issuance of the of a Building Permit for the 1,375th Residential Unit	Satisfied
18	Wildlife Lake Pathway	Prior to Issuance of a Building Permit for the 3,900,000th SF of Development.	Satisfied
19	Lakefront Terrace	Prior to Issuance of a Building Permit for the 2,600,000th SF of Development.	Pending - Alternative timing to 3.9 MSF approved June 21, 2018
20	Phase 2 Weather Improvements	Prior to Issuance of a Building Permit for the 2,600,000th SF of Development.	See Alternative Compliance approved November 4, 2016
21	Phase 3 Weather Improvements	Prior to Issuance of a Building Permit for the 3,900,000th SF of Development.	See Alternative Compliance approved November 4, 2016
22	Downtown Neighborhood Square to County	Prior to Issuance of a Building Permit for the 2,600,000th SF of Development.	Satisfied
23	\$1 million funding for Downtown Shuttle	Prior to Issuance of a Building Permit for the 2,600,000th SF of Development.	Pending
24	Transfer of Weather to DCACC	Prior to Issuance of a Building Permit for the 5,000,000th SF of Development.	Satisfied
25	*Downtown Columbia Partnership Funding (ongoing)	Prior to each FDP	Ongoing
26	Removed	N/A	Removed by passage of C 52-2016
27	** Housing Fund Payments (ongoing)	Additional CEPPA Contribution	Ongoing

**ADDITIONAL NOTES AND CHARTS**

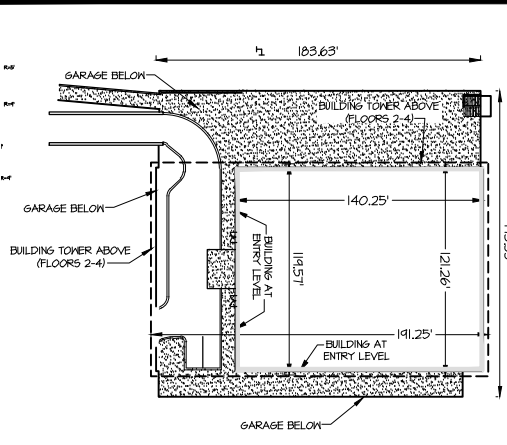
**SOUTHLAKE OFFICE BUILDING**  
**DOWNTOWN COLUMBIA**  
**LAKEFRONT CORE NEIGHBORHOOD, PHASE 1, PARCEL B**  
**A REVISION OF SECTION 1, PARCEL B (PLAT No. XXXXX)**

FN: \_\_\_\_\_

ELECTION DISTRICT No. 5

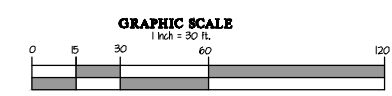
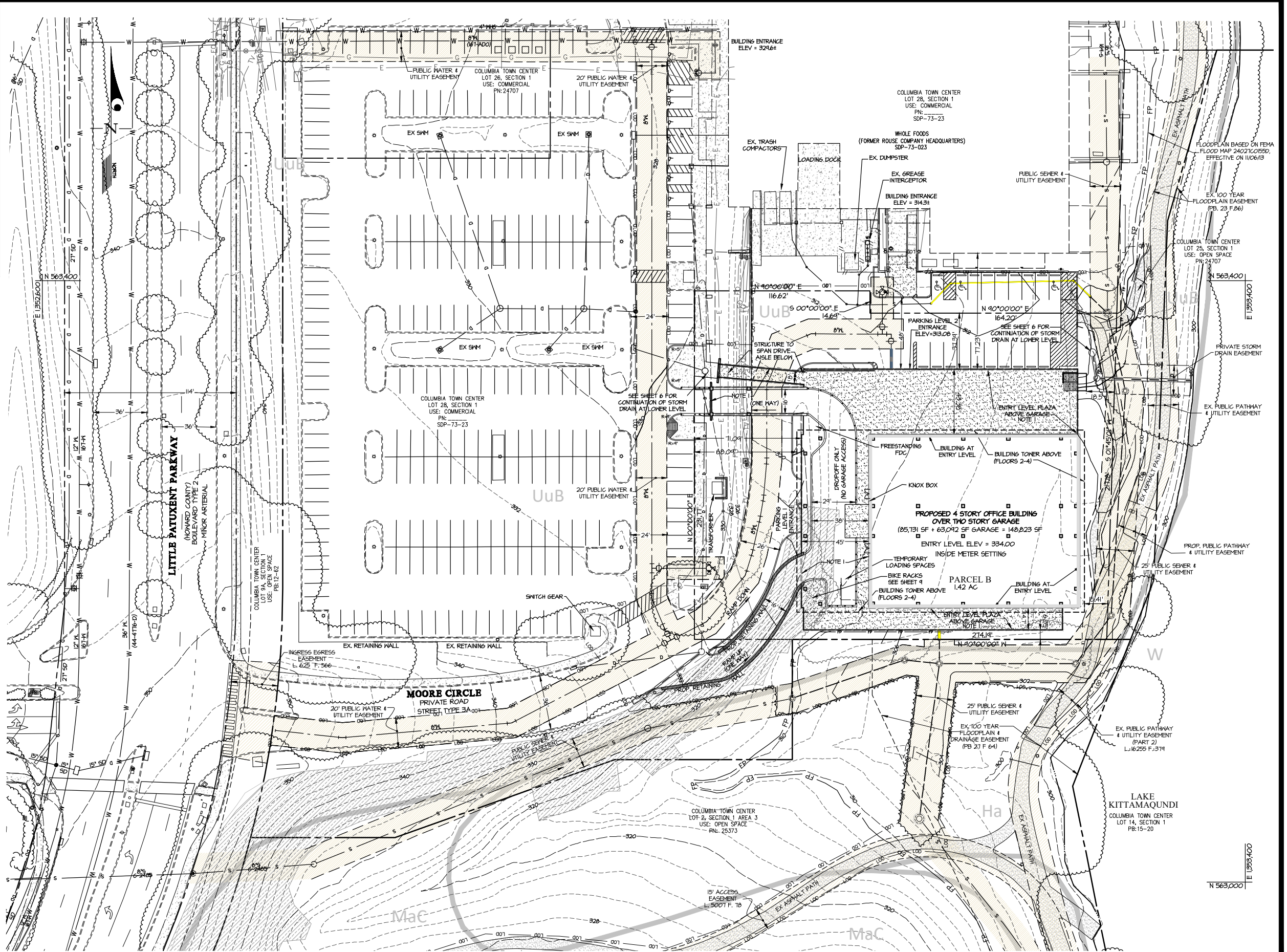
SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	NT	18046
DATE	TAX MAP - GRID	SHEET
JUNE, 2022	36 - 2	2 OF 52

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**BUILDING DIMENSIONS**  
SCALE: 1"=50'

- NOTES:**
- SEE SHEET 1 AND BUILDING PERMIT PLANS FOR PORTE COCHERE, DROP-OFF, PLAZA, AND BRIDGE GRADING.
  - KNOX BOXES SHALL BE LOCATED WITHIN 6' TO THE RIGHT OF THE MAIN ENTRANCE AT A RANGE OF 4'-5' IN HEIGHT. THE CONTRACTOR SHOULD CONTACT THE OFFICE OF THE FIRE MARSHAL PRIOR TO PURCHASING AND INSTALLING KNOX BOXES TO DETERMINE IF ADDITIONAL KNOX BOXES WILL BE REQUIRED AS WELL AS TO VERIFY THE LOCATION(S) WHERE THEY ARE TO BE MOUNTED.
  - LOT 28 AND PARCEL B ARE SUBJECT TO A RECIPROCAL EASEMENT AGREEMENT DATED XXXXX RECORDED AMONG THE HOWARD COUNTY LAND RECORD IN LIBER XXXXX, FOLIO XXXX (AREA). THIS EASEMENT WILL ADDRESS RETAINING WALLS AND RETAINING WALL MAINTENANCE. SEE SHEET 3 FOR ADDITIONAL INFORMATION.



**APPROVED**  
**PLANNING BOARD OF HOWARD COUNTY**

Date: \_\_\_\_\_

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director \_\_\_\_\_ Date \_\_\_\_\_

Chief, Division of Land Development \_\_\_\_\_ Date \_\_\_\_\_

Chief, Development Engineering Division \_\_\_\_\_ Date \_\_\_\_\_

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DESIGNED BY	DATE	REVISION	BY	APPR.
dds				
dds				

**PREPARED FOR:**

**OWNER:**  
CLOVER ACQUISITIONS LLC  
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PO BOX 131298  
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**DEVELOPER:**  
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**PROFESSIONAL CERTIFICATION**

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**SITE PLAN - BUILDING LEVEL 1**  
**SOUTHLAKE OFFICE BUILDING**  
**DOWNTOWN COLUMBIA**  
**LAKEFRONT CORE NEIGHBORHOOD, PHASE I, PARCEL B**  
**A REVISION OF SECTION 1, PARCEL B (PLAT No. XXXXX)**  
FN: \_\_\_\_\_

ELECTION DISTRICT No. 5

HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
1"=30'	NT	18046
DATE	TAX MAP - GRID	SHEET
JUNE, 2022	36 - 2	5 OF 52

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