



DEPARTMENT OF PLANNING AND ZONING
VALDIS LAZDINS, DIRECTOR

TECHNICAL STAFF REPORT

Planning Board Meeting of July 6, 2017

Case No./Petitioner: SDP-17-042, Howard Research and Development Company

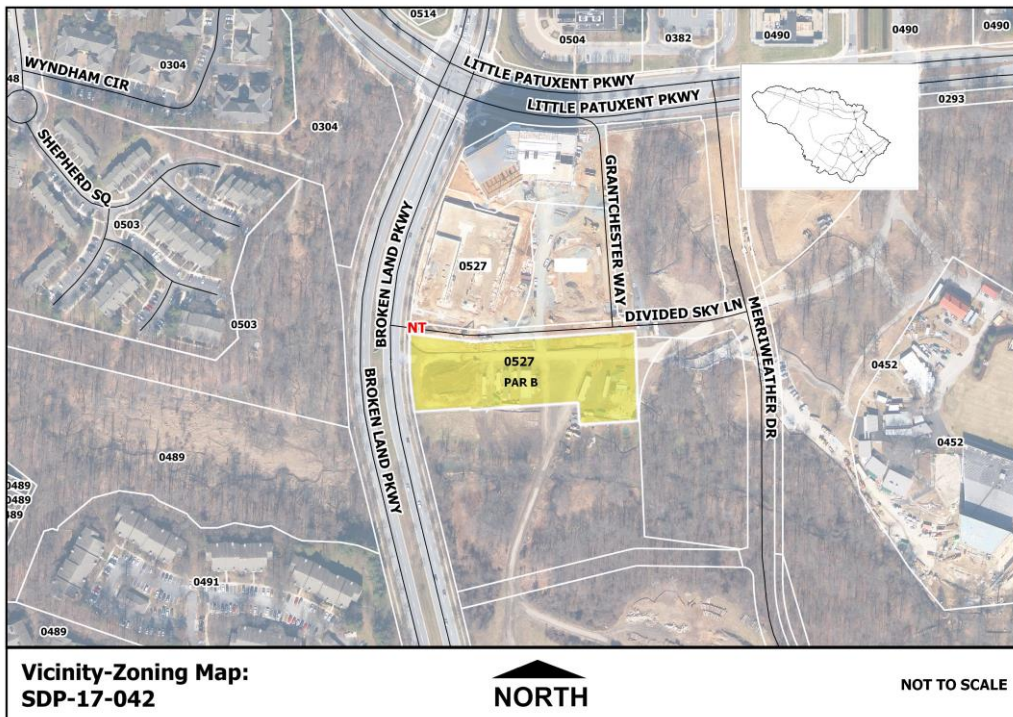
Project Name: Downtown Columbia, Crescent Neighborhood, Parcel B

DPZ Planner: Jill Manion-Farrar, Planning Supervisor
(410) 313-2350, jfarrar@howardcountymd.gov

Request: To approve a long-term, but temporary, 181 space surface parking lot to serve Merriweather Post Pavilion and surrounding development in the Crescent Neighborhood Area 1, until such time Parcel B is redeveloped.

Location: Southeast corner of the Broken Land Parkway/Divided Sky Intersection on Tax Map 36, Parcel 527, Parcel B in Downtown Columbia, Crescent Neighborhood, Area 1.

DPZ Recommendation: Approval, subject to complying with remaining Subdivision Review Committee (SRC) agency comments and any conditions issued by the Planning Board.



Vicinal Properties:

North: Divided Sky Lane. Crescent Neighborhood Parcels A-1 through A-3 are on the opposite side of the road, which include two multistory mixed used office-retail buildings, a multi-deck parking garage, and a pedestrian plaza (one mixed use building and the plaza are still under construction).

South: Open Space Lot 2, owned by the Columbia Association. Downtown Environmental restoration is ongoing.

East: Open Space Lot 2 and Open Space Lot 8, owned by the Columbia Association.

West: Broken Land Parkway. On the opposite side is a residential condominium development.

Neighborhood: The Crescent Neighborhood is described both as a “mixed-use live-work neighborhood” and an employment center in the Downtown Columbia Plan. The Crescent Neighborhood Design Guidelines envision it as an “urban live/work neighborhood overlooking Merriweather-Symphony Woods” that is defined by tall buildings set amongst environmentally sensitive lands.

I. Background

A. Relevant Site History:

Parcels B is part of Crescent Neighborhood Area 1, as shown on the Amended Final Development Plan (FDP-DC-Crescent-1A) for Downtown Revitalization. This site was previously graded and maintained as a turf and gravel parking area for the Merriweather Post Pavilion. Currently, the site is a staging area for development on Crescent Parcel A-1 through A-3. The recent file history follows:

- **FDP-DC-Crescent-1** encompasses most the land within the Crescent Neighborhood and includes: four designated development areas, roads that expand the overall Downtown road network, and land designated for environmental restoration and Downtown Parkland. The Crescent Neighborhood Concept Plan, the Crescent Neighborhood Design Guidelines, and the Crescent Neighborhood Implementation Plan were included in the FDP submittal, which was reviewed and approved March 19, 2015, by the Planning Board. The decision and order was signed by the Planning Board April 16, 2015, and the plans and documents were recorded July 2, 2015.
- **F-15-106** was submitted July 2, 2015, to subdivide Parcel 527 into buildable parcels (including Parcel B) and open space lots and to construct a portion of the future Merriweather Drive and the future extended Hickory Ridge Road. The plan was deemed technically complete March 23, 2016, and road construction drawings received signature approval August 3, 2016. The developer’s agreement established a September 19, 2016, deadline for completion and a plat original recordation date of November 18, 2016.
- **FDP-DC-Crescent-1A** is an amendment to the previously approved FDP for Phase 1 of the Crescent Neighborhood, which identifies the final street and block structure for Area 3. It was approved by Planning Board September 15, 2016, and the Decision and Order was signed October 14, 2016, and recorded February 24, 2017.
- **ECP-17-027**, the environmental concept plan received signature approval February 6, 2017.

B. Posting:

The property was properly posted and electronic notification has been provided to all required parties, as verified by DPZ on or before June 22, 2017, per Section 125.0.G. of the Howard County Zoning Regulations.

C. Regulatory Compliance:

Site Development Plans for Downtown Revitalization in the Crescent Neighborhood are subject to the following:

- The Downtown Columbia Plan
- The Zoning Regulations
- Downtown-Wide Design Guidelines
- The Adequate Public Facilities Act
- FDP-DC-Crescent-1A (Plat #24102-24110)
- Crescent Neighborhood Design Guidelines (Liber 16305 Folio 415)
- Crescent Neighborhood Concept Plan (Plat #23397-23402)
- Crescent Neighborhood Implementation Plan (Liber 16306, Folio 1)

In addition, the petitioner met the following pre-submission requirements:

- A Pre-Submission Community Meeting was held November 15, 2016, in accordance with Section 125.0.H.1.a. of the Zoning Regulations and Section 16.128(b)-(g), of the Subdivision and Land Development Regulations.
- The Design Advisory Panel (DAP) held a meeting January 11, 2017, to review the design of the temporary Parcel B parking lot and based their recommendations on the approved Neighborhood Specific Design Guidelines, in accordance with Section 125.0.H.1.b. of the Zoning Regulations and Title 16, Subtitle 15 of the County Code. Per Section 16.1504(f) of the Howard County Code, the Planning Board may consider the DAP's recommendations when making a final decision for Site Development Plan approval for Downtown Revitalization. **See Attachment B for a summary of recommendations and the applicant's response to the recommendations.**

D. Definitions:

Downtown Columbia Definitions: Please refer to the attached definitions (**Attachment 'C'**) of terms relating to Downtown Columbia revitalization, as excerpted from Section 103.0.A.38-60 of the Zoning Regulations as needed.

Crescent Neighborhood Definitions: See also Section 7.0 ("Definitions") of The Crescent Neighborhood Design Guidelines.

II. Description of the Site Development Plan Proposal

Site Improvements: The applicant seeks to construct a long-term, temporary surface parking lot for 188 spaces. It will serve the Merriweather Post Pavilion and surrounding development in the Crescent Neighborhood, Area 1 and remain until Parcel B is redeveloped.

Environmental Concerns: There are no forests, wetlands, wetland buffers, streams, stream buffers, steep slopes (25% or greater), erodible soils or 100-year floodplain on Parcel B.

Stormwater Management: This Site Development Plan proposes a submerged gravel wetland to filter and manage stormwater for the entire site, per the 2010 Stormwater Management Act.

Roads: While no roads are proposed, the road construction drawings, filed as F-15-098, will be redlined to provide a mid-block crosswalk to the plaza on Parcels A-2 and A-3. The parking lot will be accessed from Divided Sky Lane.

Pedestrian and Bicycle Connectivity: The existing eight-foot-wide sidewalk along the entire Divided Sky Lane frontage (per F-15-098) is for pedestrian and bicycle use, per FDP-DC-Crescent-1A, which remains in place with this proposal. Crosswalks are provided at the intersection of Grantchester Way and Divided Sky Lane. A mid-block crossing is proposed to connect the plaza on Parcels A-2 and A-3 with the parking lot and a pedestrian way that bisects the parking lot and connects to a future trail on Open Space Lot 2.

Building Height: Buildings are not proposed.

Forest Conservation: The property is exempt from Section 16.1200 of the Howard County Code for Forest Conservation because the property is zoned NT and the preliminary plan was approved prior to 12/31/92, per Section 16.1202(b)(1)(iv).

Setback Requirements: There are no setbacks for surface parking lots or general uses in the Crescent Neighborhood Design Guidelines. Adequate room is provided to accommodate streetscape requirements per the guidelines.

Landscaping: Microbioretention planters are located along Divided Sky Lane, per F-15-098. In addition, an evergreen shrub hedge (Yew) is proposed along the parking lot perimeter facing Divided Sky Lane and Broken Land Parkway. Shade trees (Zelkova) and ornamental trees (Crape Myrtle) are provided in parking lot islands. Additional shade trees are proposed between the parking lot and Broken Land Parkway. DPZ recommends adding 1 to 2 shade trees to the rear to better shade the parking lot; especially the longest expanse without a landscape island.

Parking: This 181-space parking lot does not provide any *required* parking; rather it addresses the applicant's commitment to offset any Merriweather Post Pavilion parking lost due to redevelopment in the Crescent Neighborhood. Prior to redevelopment, most the concert venue parking had been provided here. While development on Parcels A-1 through A-3 may utilize the proposed lot on weekdays, all its *required* parking has been accommodated by the existing parking garage.

III. Planning Board Review and Approval Criteria

In accordance with Section 125.0.H.3 of the Howard County Zoning Regulations, the Planning Board is to evaluate and approve, approve with conditions, or deny a Site Development Plan that proposes Downtown Revitalization based on whether the petition satisfies the following:

A. **The development conforms with the adopted Downtown Columbia Plan.**

The Downtown Columbia Plan envisions the Crescent Neighborhood as a mixed-use, live-work neighborhood, and employment center. This temporary surface parking lot will help alleviate any displaced Merriweather Post Pavilion parking; however, over the time, Parcel B will be redeveloped with mixed land uses.

Downtown Phasing – There is no building construction to trigger Downtown Revitalization Phasing.

CEPPAs: There is no building construction to trigger CEPPA requirements.

B. The development implements and conforms to the approved Final Development Plan or Final Development Plan Amendment including all applicable Final Development Plan approval criteria and conditions.

The Final Development Plan envisioned commercial or residential development on Parcel B, which will occur in the long-term. In the short-term, the applicant is seeking a surface parking lot in anticipation of the Merriweather Post Pavilion's 2018 concert season and for adjacent development.

Concerns about mitigating the loss of Merriweather Post Pavilion parking were expressed during the review of the Crescent Final Development Plan FDP-DC-Crescent-1. This temporary surface parking lot will provide some of the lost Merriweather Post Pavilion parking until a structure is available to fulfill all parking obligations.

C. The development is well-organized in terms of location of buildings and structures, downtown community commons, landscaping, pedestrian and vehicular circulation systems and other Downtown Revitalization features.

The 181 space parking lot provides landscaped islands that break up the expanse of pavement and provide shade. Access to the parking lot is adequate and proposed directly opposite Grantchester Way, forming a full intersection. A pedestrian path will connect to the trail to the south with a sidewalk along Divided Sky Lane and the plaza across the road.

D. If the development provides Downtown Community Commons and/or Downtown Parkland, they are reasonable and appropriate given the location, scale and anticipated intensity of adjacent uses in accordance with the Downtown Columbia Plan.

While Downtown Community Commons or Downtown Parkland are currently not proposed on Parcel B, a pedestrian path that bisects the parking lot and connects with the plaza to the north of Divided Sky Way is. This path will also connect to a future path on Open Space Lot 2 that will be constructed to fulfill Downtown Community Commons requirements for the Crescent Neighborhood.

E. The maximum permitted building heights will conform to the Final Development Plan.

Not applicable; no buildings are proposed.

F. The development satisfies the Downtown Public Art Program approved with the Final Development Plan or Final Development Plan Amendment approval.

Public art is not required.

G. The Site Development Plan satisfies the affordable housing requirements in accordance with the Final Development Plan.

This SDP does not propose housing so there is no affordable housing obligation.

H. The development satisfies the Adequate Public Facilities Ordinance, if applicable.

SCHOOLS: NA – Housing is not proposed.

ROADS: NA – No additional trips will be generated.

- I. **The development indicates the manner in which any land intended for common or quasi-public use, but not proposed to be in public ownership, will be held, owned and maintained in perpetuity for the indicated purposes.**

There are no Downtown Community Commons or improvements for common or quasi-public uses.

- J. **The petition is accompanied by documentation demonstrating membership in the Downtown Columbia Partnership including the required annual charges.**

Commercial uses are not proposed, therefore, a contribution to the Downtown Partnership is not required.

SRC Action: The Subdivision Review Committee recommended approval, subject to the technical comments the June 13, 2017, letter.

Recommendation: Approval, subject to complying with the remaining Subdivision Review Committee (SRC) agency comments and any conditions by the Planning Board.

This file is available for public review by appointment at the Department of Planning and Zoning's public service counter, Monday through Thursday, 8:00 a.m. to 5:00 p.m. and Friday from 8:00 a.m. to 3:00 p.m.


Valdis Lazdins, Director 6/21/17
Department of Planning and Zoning Date

Staff Report Prepared by: Jill Manion-Farrar

T:\Shared\DLDD- Division of Land Development\Subdivision and Development Plan Review Records\Site Development Plan (SDP)\SDP-17-042
Downtown Columbia Crescent Neighborhood\Technical Staff Report.doc

**ATTACHMENT A
REMAINING SRC COMMENTS**



HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

3430 Courthouse Drive

Ellicott City, Maryland 21043

410-313-2350

Voice/Relay

Valdis Lazdins, Director

FAX 410-313-3467

June 13, 2017

Bill Rowe
The Howard Research and Development Corporation
10480 Little Patuxent Parkway Suite 400
Columbia, MD 21044

RE: SDP-17-042, Downtown Columbia, Crescent
Neighborhood Phase 1, Area 1, Parcel B,
Temporary Parking Lot

Dear Mr. Rowe:

The Subdivision Review Committee has determined that the above referenced plan may be approved, subject to the attached comments and plan markups and comments previously transmitted in our letter of April 19, 2017, and approval by the Howard County Planning Board. **The plan is scheduled for presentation to the Planning Board at its meeting on July 6, 2017, beginning at 7:00 p.m., in the Banneker Room, located in the George Howard Building, 3430 Court House Drive, Ellicott City, Maryland.** It is required that you and/or your consultant be present to answer any questions which the Board may ask about your plan and that a colored copy of the site plan, landscape plan and building architectural elevation plan be provided for presentation to the Board. A laptop, with a projector, is located in the Board meeting room and are available for your use. Please bring a flash drive if you would like to make a PowerPoint presentation. Please be advised that for any SDP project requesting approval for a variance or an adjustment to bulk requirements, **the applicant must be prepared to fully explain and justify their request before the Planning Board.**

Per Section 125.0.G of the Howard County Zoning Regulations, this property must be posted two weeks prior to the meeting date (on or before June 13, 2017). Please contact Carol Stirn to arrange to pick up the sign(s) (410-313-4351). Each sign is \$25.00. In addition, you are required to electronically notify all Columbia Village Boards, the Columbia Association, Howard County Council members and any pre-submission meeting attendees who provided e-mail addresses at the meeting. This must also be completed within two weeks prior to the meeting (on or before June 22, 2017) and proof must be provided that electronic notification was submitted to all required parties within the required time period.

The following materials are necessary for preparation of the DPZ staff report and power point presentation for the Planning Board. They must be submitted to Jill Manion-Farrar by **July 19, 2017.**

- A. A digital reduction of the overall SDP plan sheet at a size of 8½" x 14" or 11" x 17" to serve as an attachment at the end of the staff report and for the power point presentation. The plan attachments can be in a PDF format. The Planning Board wants to be able to read the general notes and tabulation charts on the plan.
- B. A digital reduction of the proposed plan exhibits that you will be presenting to the Planning Board

such as a color illustration of the landscape plan and the architectural elevation plan from the builder to serve as an attachment at the end of the staff report and for the power point presentation.

- C. A digital reduction of the 'Site Overview Plan' for use as a vicinity map. The reduction needs to be at a size of approximately 5" x 6" and the streets and other information must be as readable as possible at that scale. The vicinity map needs to be in a JPEG format.
- D. The above digital reductions can be emailed to jfarrar@howardcountymd.gov.
- E. Provide 5 complete paper sets of the SDP drawings for use by the Planning Board members at a sheet size of 11" x 17" or "24" x 36".

It is the responsibility of the applicant or applicant's agent to perform the required posting of the property. The cost of the poster is \$25.00 each. A 'Certification of Posting' will be provided with the poster(s) and is to be signed by the applicant or applicant's agent and delivered back to this Division after the poster(s) are in place. The poster(s) are available for pick-up at DPZ and **must be erected on-site on or before June 22, 2017** and maintained at least fifteen (15) successive days immediately preceding the Planning Board public meeting and are to remain in place for a period of three (3) days after the meeting. The Department of Planning and Zoning will confirm the posting of the property and may inspect the property periodically.

If you have any questions, please contact Jill Manion-Farrar at (410) 313-2350 or email at jfarrar@howardcountymd.gov.

Sincerely,



Kent Sheubrooks, Chief
Division of Land Development



KS/JMF

Attachment:

cc: Research
GLW

Current Project - Project Markups Listing

SDP-17-042

File Name	Markup Name	Markup Text	Markup Date
Sheet_03.pdf	dilp-jim	Provide details which include spot elevations and dimension to show that the accessible route to the on site accessible route is code compliant. This area was never considered an accessible route from parking.	06/06/2017
Sheet_09.pdf	DLD_Jill	Please ensure the final tree placement within the islands will not obstruct views for vehicles backing out of adjacent spaces.	06/02/2017
Sheet_09.pdf	DLD_Jill	Reflect flush curb on this drawing for accuracy, and remove the parking line from across the pathway in the middle parking bay. Use hatch to show pathway paving.	06/02/2017
Sheet_09.pdf	DLD_Jill	Please see Sheet 2 for landscape island alternative compliance comment.	06/02/2017
Sheet_09.pdf	DLD_Jill	At least one tree is recommended along this perimeter to shade this wide expanse of pavement.	06/02/2017
Sheet_02.pdf	DLD_Jill	Label eastern most bench.	06/02/2017
Sheet_02.pdf	DLD_Jill	Please submit a letter of permission for off-site disturbances, which is required prior to plan approval.	06/02/2017
Sheet_02.pdf	DLD_Jill	Most landscape islands are less than 12'. Provide an alternative compliance list of landscaping standards that indicate that adequate planting space is provided for the selected plant materials and the that placement avoids conflicts with car doors. This should be signed off by a registered landscape architect.	06/02/2017
Sheet_02.pdf	DLD_Jill	Please provide a cut sheet on Sheet 10 of the lighting pole and fixture.	06/02/2017
Sheet_02.pdf	DLD_Jill	Please clearly delineate and label the private SWM easements that will be recorded on Open Space Lot 2 (currently under Os Only review).	06/02/2017
Sheet_01.pdf	DLD_Jill	Please add the conditions of approval back into this note (if any).	06/02/2017
Sheet_01.pdf	DLD_Jill	Please identify the Liber/Folio for the Merriweather Parking. Provide the information shared in the response on the plan. Please note that SDPs offer both required and provided spaces for uses. If the lot is to be specifically used for a building, it should be noted on the plan.	06/02/2017
Sheet_01.pdf	DLD_Jill	Planning Board Approval is required.	06/02/2017
Sheet_01.pdf	DLD_Jill	Add the plat number on the Permit Block.	06/02/2017

Current Project - Project Markups Listing

Sheet_01.pdf	DLD_Jill	At least one tree was requested along the rear perimeter to shade the expanse of pavement along that edge (2-3 preferred along that entire pavement edge). Please adjust surety to accomodate any additional trees.	06/02/2017
Sheet_01.pdf	DLD_Jill	O's Only Plat for private SWM easements on OS Lot 2 must be recorded prior to signature approval of the SDP.	06/02/2017
Sheet_10.pdf	bmuldoon	Curb ramp standard specifications from the Howard County Design Manual should be perpendicular or parallel (R-4.05 or R-4.06). Additional detail is available from the US Access Board (such as double perpendicular).	06/01/2017
Sheet_03.pdf	DLD_Jill	Please remove the old alignment linework over the driveway.	06/01/2017
Sheet_03.pdf	DLD_Jill	Even though the parking goes over the minimum required for this development, if the plan is providing additional parking to be used by a specific building, the entire ADA route should be shown. Confirm with DILP what is required.	06/01/2017
Sheet_03.pdf	DLD_Jill	Remove the parking path from across the pathway.	06/01/2017
Sheet_02.pdf	Traffic-Ray Mercado	Why is this mid-block crosswalk needed when there is a crosswalk to the east 140 feet away at the entrance to the parking lot? Crosswalks should be placed at intersections where pedestrians are expected.	05/19/2017
Sheet_02.pdf	Traffic-Ray Mercado	Is the east crossing really needed? Can we just have one crossing to concentrate pedestrians? What is to the south that requires that there be a crossing here?	05/19/2017
Sheet_01.pdf	DED-HEATHER	THIS CHART SHOULD CONTAIN THE OVERALL Pe FOR THE SITE. REDEVELOPMENT ESDv REQUIRED, THE FURTHER DEVELOPMENT ESDv REQUIRED, THE TOTAL AND THE PROVIDED MUCH LIKE SHEET 36 OF THE SWM REPORT.	05/16/2017
Sheet_07.pdf	DED-HEATHER	PLEASE REVISE PER COMMENTS ON SHEET 1. THE CHART ONLY NEEDS TO BE SHOWN IN ONE LOCATION.	05/16/2017

ATTACHMENT B
DAP RECOMMENDATIONS and APPLICANT RESPONSES FOR PLANNING BOARD
CONSIDERATION

Ref #	Design Advisory Panel Recommendation	Response by Applicant – 1/30/17	DPZ Director's Endorsement
1.	<p>That the applicant simplify the edge of the lot towards Broken Land Parkway. Simplify the aisle movements and parking. Redistribute trees throughout the parking lot to break up the continuous asphalt.</p> <p>Vote: 6-0</p>	<p>This recommendation is well received and appreciated. The western portion of the parking lot has been simplified as illustrated below. One of the central islands has also been widened to accommodate a second tree in order to provide more greenery in the center of the lot. Although not depicted on the enclosed rendering, in accordance with the support expressed by the Panel, compact spaces may also be included in the final design. (see figure 1 provided by applicant)</p>	<p><input checked="" type="checkbox"/> Accept DAP Recommendation <input checked="" type="checkbox"/> Accept Architect's Response <i>W</i> <i>1-31-17</i></p>
2.	<p>That the applicant provide a bench or two along Divided Sky Lane for a place to sit down and add some pedestrian features to the northern edge of the parking area.</p> <p>Vote: 6-0</p>	<p>Several benches will be placed along the south side of Divided Sky Lane as recommended. Potential locations are illustrated below. Options for different pedestrian features along the northern edge of the parking area will be explored as the project continues into the final design stages. (see figure 2 provided by applicant)</p>	<p><input checked="" type="checkbox"/> Accept DAP Recommendation <input checked="" type="checkbox"/> Accept Architect's Response <i>W</i> <i>1-31-17</i></p>

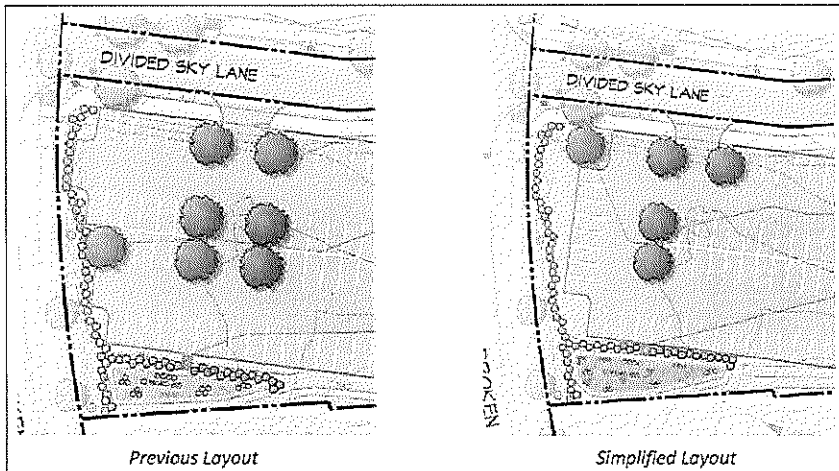


Figure 1

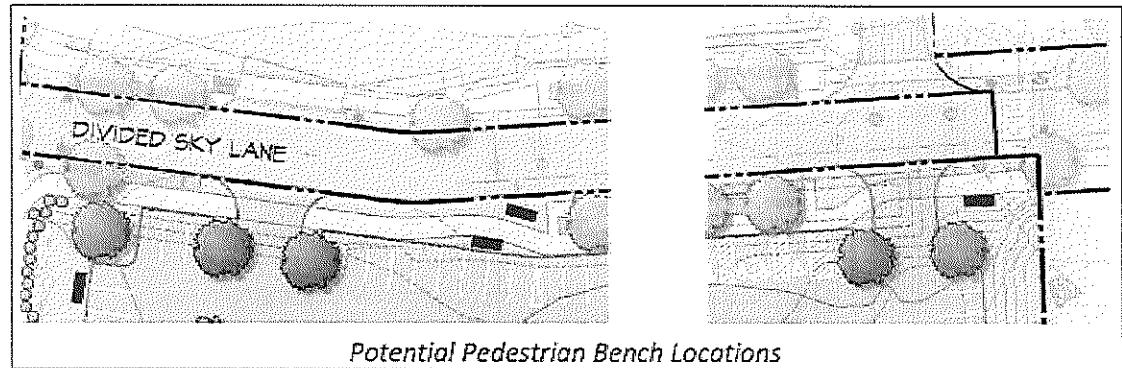


Figure 2

Attachment 'C'
Relevant Definitions Relating to Downtown Columbia Revitalization
For SDP-17-042
Site Development Plans for Downtown Columbia Revitalization
(Excerpted from Section 103.0.A. of the Zoning Regulations)

[Council Bill 59-2009 (ZRA-113) Effective April 6, 2010]

Downtown CEPPA Implementation Chart: The chart and associated text and flexibility provisions contained in the Downtown Columbia Plan which identify the phasing for Downtown Community Enhancements, Programs and Public Amenities.

Downtown Columbia: The following recorded Final Development Plan Phases: Phase 4, Phase 4-A-5, Phase 21, Phase 47-A-7, Phase 52, Phase 62-A-1, Phase 95, Phase 101-A, Phase 105, Phase 111-A-1, Phase 115, Phase 121, Phase 122-A, Phase 139-A-3, Phase 140-A-1, Phase 192-A, Phase 211, Phase 217-A-1, Phase 219, Phase 234, and the area within the described limits included in exhibit A of the Appendix in these regulations.

Downtown Columbia Plan: The General Plan Amendment for Downtown Columbia approved by County Council Bill No. 58-2009.

Downtown Community Commons: Amenity spaces such as plazas, promenades, greens, gardens, squares and other pedestrian-oriented areas, whether publicly or privately owned, that are intended for community interaction and may include spaces for seating, walking, eating, gathering, fountains, public art, way-finding signage, kiosks, or other similar public amenities. Downtown Community Commons can also include walkways that are designed to enhance and be an integral part of the adjacent amenity space, but shall not include any drive lane for vehicular traffic such as private streets, alleys and public roadways for automotive use. Downtown Community Commons must be generally accessible by the public without charge. Included in this category are Downtown Neighborhood Squares. Downtown Community Commons may be integrated into or developed as a part of other uses and may include underground parking, utilities and other infrastructure supporting downtown revitalization.

Downtown Community Enhancements, Programs and Public Amenities (CEPPA): The specific feasibility studies, improvement and management organizations, environmental enhancement programs, and physical improvements identified in the Downtown CEPPA implementation chart contained in the Downtown Columbia Plan.

Downtown Environmental Restoration: Projects within Downtown Columbia that are identified in Columbia Towncenter Merriweather and Crescent Environmental Enhancements Study or Best Management Practices for Symphony Stream and Lake Kittamaquondi Watersheds involving forest restoration and enhancement, reforestation and afforestation, wetland enhancement, and stream restoration activities.

Downtown Mixed-Use: A land-use designation that permits any use or combination of uses permitted under Section 125.A.9.B., including supporting infrastructure, such as utilities, public and private roadways, multi-modal circulation systems adjacent to public and private roadways, surface parking lots, parking structures, and underground parking.

Downtown Neighborhood Concept Plan: A concept plan showing an individual neighborhood identified in the Downtown Columbia Plan that depicts a general layout for proposed public and private streets, block sizes and configurations, maximum building heights and proposed Downtown Community Commons as context for the evaluation of the Final Development Plans.

Downtown Neighborhood Design Guidelines: Urban design guidelines for an individual neighborhood identified in the Downtown Columbia Plan.

Downtown Parkland: An area generally accessible by the public without charge for active and/or passive recreation purposes which consists primarily of vegetated areas with a natural character, more formal lawns, gardens and walks, pedestrian connections, minor active structured recreation uses such as urban playgrounds, public art, fountains and minimal structures such as cafes and outdoor dining areas, gazebos, pavilions, outdoor stages, and kiosks.

Downtown Public Art: Original outdoor artwork which is accessible to the public.

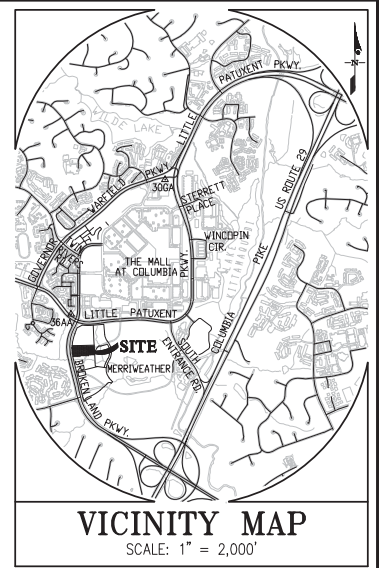
Downtown Revitalization: A form of development required in Downtown Columbia after April 6, 2010 in compliance with the applicable provisions of Section 125 that must conform with the recommendations of the Downtown Columbia Plan.

Downtown Revitalization Phasing Plan: A phasing plan included in the Downtown Columbia Plan identifying additional development rights by phase for Downtown Revitalization.

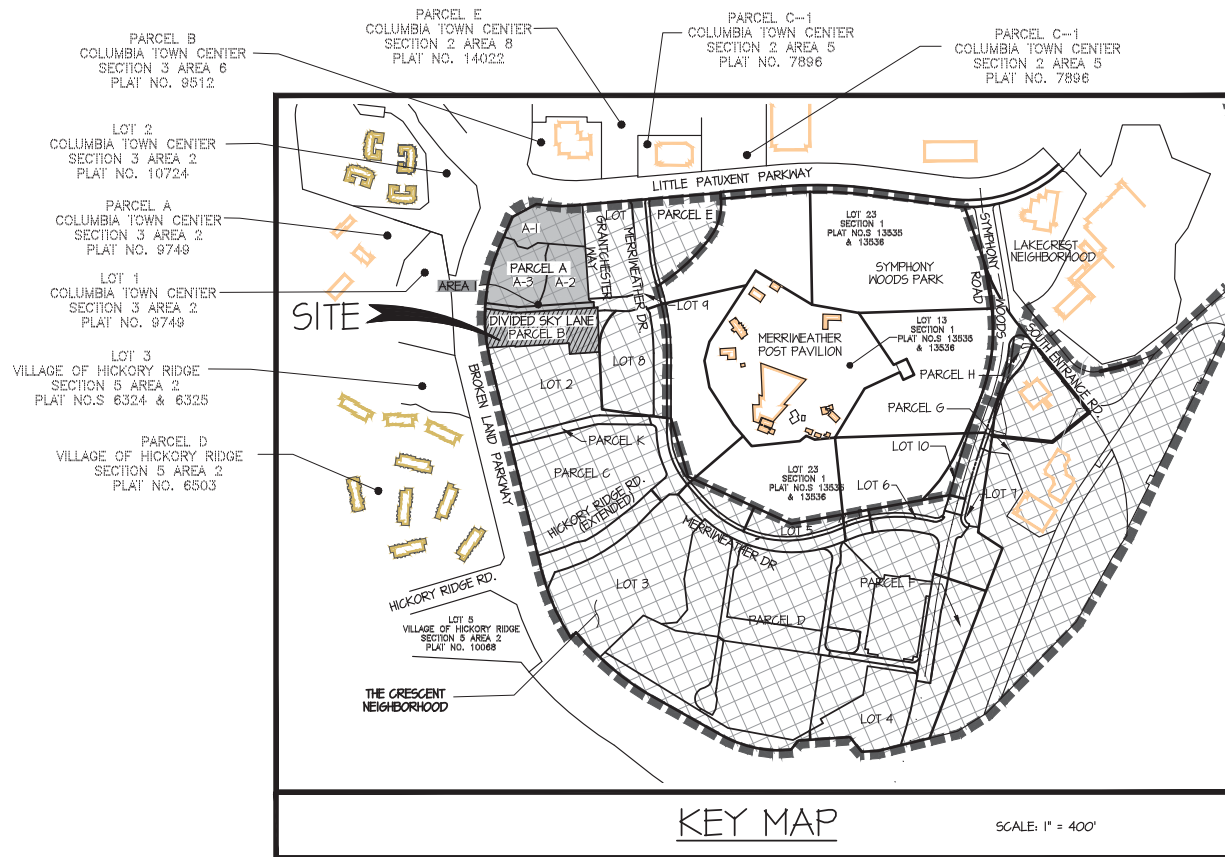
Additional definitions pertinent to The Crescent Neighborhood can be found on pages 173-178 (Chapter 7) of The Crescent Neighborhood Design Guidelines

SITE DEVELOPMENT PLAN DOWNTOWN COLUMBIA CRESCENT NEIGHBORHOOD PARCEL B TEMPORARY PARKING LOT

HC CONTROL STATIONS
 306A NORTHINGS: 566,053.5471 EASTINGS: 1352,115.807 ELEVATION: 339.818 (LATEST ADJ. NOV. 2008)
 306A NORTHINGS: 562,804.8531 EASTINGS: 1344,906.1701 ELEVATION: 359.151 (LATEST ADJ. NOV. 2008)



- GENERAL NOTES**
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS IF APPLICABLE.
 - THE CONTRACTOR SHALL NOTIFY THE BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1860 AT LEAST 48 HOURS PRIOR TO THE START OF WORK.
 - THE CONTRACTOR SHALL NOTIFY "1656 UTILITY" AT 1-800-251-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK.
 - THE CONTRACTOR SHALL NOTIFY THE HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS BUREAU OF UTILITIES AT (410) 313-4900 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK.
 - PROJECT BACKGROUND:**
 LOCATION: TAX MAP 36
 ZONING: PROPERTY IS ZONED "NH TOWN" PER THE 2013 COMPREHENSIVE ZONING PLAN AND IS DESIGNATED AS DOWNTOWN MIXED USE AREA. ADDITIONALLY, THE PROJECT AREA IS SUBJECT TO THE DOWNTOWN COLUMBIA PLAN - A GENERAL PLAN AMENDMENT EFFECTIVE APRIL 6, 2010.
 ELECTION DISTRICT: FIFTH ELECTION DISTRICT
 AREA OF BUILDABLE LOTS: PARCEL B-1.91 AC
 RECORD PLAT NO.: 2998
 DTZ REF. FILE NO.: FDP-DG-CRESCENT-IA, ECP 15-014, F 15-018, F 15-016, ECP 17-027
 - TOPOGRAPHIC AERIAL SURVEY** WAS PERFORMED ON MARCH 2007 BY MCKENZIE SWYDER AND TOPOGRAPHIC FIELD SURVEY ON AUGUST, 2011 BY GUTSCHICK, LITTLE & WEBER.
 - COORDINATES** ARE BASED ON NAD 83 MARYLAND COORDINATE SYSTEM AS PROJECTED BY HOWARD COUNTY GEODETIC CONTROL STATION NUMBERS 36AA AND 306A.
 - THE EXISTING UTILITIES SHOWN HEREIN WERE DERIVED FROM AVAILABLE PUBLIC RECORDS AND FIELD LOCATIONS BY GUTSCHICK, LITTLE & WEBER, P.A. THE CONTRACTOR MUST DIG TEST PITS BY HAND AT ALL UTILITY CROSSINGS AND CONNECTION POINTS TO VERIFY EXACT LOCATION.
 - SPOT ELEVATIONS** SHOWN FOR CURBS ARE BOTTOM OF CURB UNLESS OTHERWISE NOTED.
 - ALL PLAN DIMENSIONS ARE TO THE FACE OF BUILDINGS OR CURB UNLESS OTHERWISE NOTED. DIMENSIONS ARE MEASURED PERPENDICULAR OR RADIAL BETWEEN ITEMS UNLESS NOTED OTHERWISE.
 - THERE ARE NO KNOWN GRAVE SITES, CEMETERIES, FLOOD PLAINS OR WETLANDS ON SITE. WETLANDS AND FLOODPLAIN ARE PRESENT ADJACENT TO THIS SITE BUT ARE NOT BEING DISTURBED UNDER THIS PLAN.
 - CURB RADII ARE AS NOTED ON SHEET 2.
 - A TRAFFIC IMPACT STUDY IS NOT REQUIRED FOR THIS SITE PLAN AS NO BUILDINGS ARE PROPOSED, THEREFORE NO ADDITIONAL TRAFFIC WILL BE GENERATED.
 - THE PROJECT IS EXEMPT FROM FOREST CONSERVATION REQUIREMENTS OF SECTION 161200 OF THE HOWARD COUNTY CODE SECTION 16.1202(B)(IV) (FUD WITH A FDP APPROVED PRIOR TO 12/31/12).
 - THE CONTRACTOR SHALL TEST PIT ALL EXISTING UTILITIES AT LEAST (5) DAYS PRIOR TO STARTING ANY WORK SHOWN ON THESE DRAWINGS AND NOTIFY THE ENGINEER OF ANY CONFLICTS.
 - APPROXIMATE LOCATION OF EXISTING UTILITIES ARE SHOWN. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND MAINTAIN UNINTERRUPTED SERVICE. ANY DAMAGE INCURRED DUE TO CONTRACTOR'S OPERATION SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE. EXISTING UTILITIES ARE SHOWN BASED ON THE BEST AVAILABLE INFORMATION.
 - NOTE: IN CASE OF DISCREPANCIES BETWEEN THE PLAN AND THE PLATS, THE PLAT SHALL GOVERN.
 - ALL OUTDOOR LIGHTING SHALL BE ORIENTED TO DIRECT LIGHT INWARDS AND DOWNWARDS ON-SITE AWAY FROM ALL ADJOINING PUBLIC ROADS AND IN ACCORDANCE WITH SECTION 134 OF THE HOWARD COUNTY ZONING REGULATIONS.
 - THE LANDSCAPE PLAN WAS PREPARED ACCORDING TO THE ALTERNATIVE COMPLIANCE SECTION OF THE LANDSCAPE MANUAL. THE LANDSCAPE PLANS HAVE BEEN PREPARED BY A REGISTERED LANDSCAPE ARCHITECT AND IS CERTIFIED TO MEET THE DESIGN INTENT OF THE CRESCENT NEIGHBORHOOD DESIGN GUIDELINES.
 - THIS PROPERTY IS SUBJECT TO THE CRESCENT NEIGHBORHOOD SPECIFIC DESIGN GUIDELINES (NSDG), RECORDED IN L. 16305, F. 415, THE CRESCENT NEIGHBORHOOD SPECIFIC IMPLEMENTATION PLAN (NSIP), RECORDED IN L. 16306, F. 1, THE CRESCENT NEIGHBORHOOD CONCEPT PLAN (NCP) RECORDED AS PLAT NOS. 23411 THRU 23402 AND THE CRESCENT FINAL DEVELOPMENT PLAN (FDP-DG-CRESCENT-II), RECORDED AS PLAT NOS. 23403 THRU 23404.
 - SURETY FOR THE REQUIRED LANDSCAPING IN THE AMOUNT OF \$8140 SHALL BE POSTED WITH THE DEVELOPER'S AGREEMENTS. LANDSCAPING WITHIN THE STORMWATER MANAGEMENT FACILITIES WILL BE ASSESSED AS PART OF THE DEPARTMENT OF PUBLIC WORKS BIO-RETENTION SURETY.
 - AT THE TIME OF SDP APPROVAL, THE SITE IS UNDER PHASE 1 OF THE DOWNTOWN REVITALIZATION PHASING PROGRESSION.
 - THERE ARE HIGHLY ERODIBLE SOILS ON SITE. MORE STRINGENT SEEDING AND STABILIZATION METHODS MAY BE EXPECTED. SOIL TABLE PROVIDED ON SHEET 5.
 - REQUIREMENTS FOR SECTION 16.144(b)(1) HAVE BEEN WAIVED FOR AREAS 1 AND 2, DEFINED AS PARCELS A-C ON THE FINAL DEVELOPMENT PLAN BY WAIVER NP-15-144 GRANTED BY THE DIRECTOR OF THE DEPARTMENT OF PLANNING AND ZONING.
 - DESIGN MANUAL WAIVERS FOR THIS SITE CONSIST OF A WAIVER OF VOL. 3-SECTION 24.C-OFF-STREET PARKING LOTS AND VOL. 3-SECTION 25.B.4-CURB FILLET DESIGN, SUBMITTED ON MARCH 7, 2017 AND APPROVED ON MARCH 21, 2017.
 - SITE AREA FALLS WITHIN HOWARD COUNTY SCD SOIL MAP #8.
 - DOWNTOWN COMMUNITY COMMONS REQUIREMENTS FOR THIS PARCEL WERE SATISFIED BY SDP-15-068. ADDITIONAL OR ALTERNATIVE DOWNTOWN COMMUNITY COMMONS MAY BE CONSIDERED WITH FUTURE REDEVELOPMENT.
 - STORMWATER MANAGEMENT FOR THIS SITE IS PROVIDED IN ACCORDANCE WITH CHAPTER 5 OF THE IDE STORMWATER MANAGEMENT DESIGN MANUAL (VOLUMES 1 AND 2). FOR THIS SITE A SUBMERGED GRAVEL WETLAND (M-2) FACILITY HAS BEEN PROPOSED. A P_e VALUE OF 2.60 WAS CALCULATED AS THE TARGET FOR THIS SITE. THE SUBMERGED GRAVEL WETLAND WILL BE PRIVATELY OWNED AND PRIVATELY MAINTAINED.
 - GENERAL TRAFFIC CONTROL NOTES:**
 24.1. THE R-1 ("STOP") SIGN AND THE STREET NAME SIGN (SNS) ASSEMBLY FOR THIS DEVELOPMENT MUST BE INSTALLED BEFORE THE BASE PAVING IS COMPLETED.
 24.2. THE TRAFFIC CONTROL DEVICES SHOWN ON THE PLANS ARE APPROXIMATE AND MUST BE FIELD APPROVED BY HOWARD COUNTY TRAFFIC DIVISION (410-313-2430) PRIOR TO THE INSTALLATION OF ANY OF THE TRAFFIC CONTROL DEVICES.
 24.3. ALL TRAFFIC CONTROL DEVICES AND THEIR LOCATIONS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE "MARYLAND MANUAL ON INFORM TRAFFIC CONTROL DEVICES" (MIMTCO).
 24.4. ALL SIGN POSTS USED FOR TRAFFIC CONTROL SIGNS INSTALLED IN THE COUNTY RIGHT-OF-WAY SHALL BE MOUNTED ON A 2" GALVANIZED STEEL PERFORATED SQUARE TUB SLEEVE (12 GAUGE) - 3' LONG. THE ANCHOR SHALL NOT EXTEND MORE THAN TWO "QUICK PUNCH HOLES ABOVE GROUND LEVEL. A GALVANIZED STEEL POLE CAP SHALL BE MOUNTED ON TOP OF EACH POST.
 - A PRE-SUBMISSION COMMUNITY MEETING FOR THIS PROPERTY WAS HELD ON NOVEMBER 15, 2016.
 - PARCEL B IS INCLUDED WITHIN THE PARKING EASEMENT AGREEMENT RECORDED AMONG THE LAND RECORDS IN BOOK 11281 AT PAGE 131 AND IS AVAILABLE PRIOR TO ITS REDEVELOPMENT TOWARDS THE 5000 TOTAL PARKING SPACES REQUIRED FOR MERRIWEATHER EVENTS BEGINNING WITH THE 2019 SEASON. AVAILABILITY OF SPACES WILL BE DETERMINED PURSUANT TO THE DOWNTOWN REVITALIZATION SHARED PARKING METHODOLOGY. THE 101 SPACES ARE BEING PROVIDED ABOVE AND BEYOND ZONING REQUIREMENTS FOR USE BY BUILDING TENANTS.



- GENERAL SITE DATA
 A. TOTAL PROJECT AREA: 1.91 AC.
 B. LIMIT OF DISTURBED AREA: 2.04 AC.
 C. PRESENT ZONING: NT (FDP DG-CRESCENT-IA)
 D. PROPOSED USE OF SITE: INTERIM PARKING LOT
- PARKING REQUIREMENTS: THERE ARE NO REQUIREMENTS FOR PARKING AS THERE ARE NO BUILDINGS BEING PROPOSED ON THIS SITE PLAN.
- PARKING PROVIDED:
 101 SPACES TOTAL
 (5 STD. HANDICAP SPACES)
 (2 VAN HANDICAP SPACES)
 (174 STANDARD SPACES)

- SHEET INDEX**
- COVER SHEET
 - SITE DEVELOPMENT PLAN
 - GRADING PLAN
 - SEDIMENT CONTROL PLAN
 - SEDIMENT CONTROL NOTES & DETAILS
 - STORM DRAIN PROFILES
 - STORMWATER MANAGEMENT PLAN
 - STORMWATER MANAGEMENT NOTES & DETAILS
 - LANDSCAPE PLAN
 - SITE DETAILS

APPROVED PLANNING BOARD OF HOWARD COUNTY

Date: _____

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director: _____ Date: _____

Chief, Division of Land Development: _____ Date: _____

Chief, Development Engineering Division: _____ Date: _____

ESDv SUMMARY TABLE

FACILITY	DRAINAGE AREA (SF)	ESDv (CF) (Pe=2.60")	ESDv (CF) (Pe=1.00")	ESDv PROVIDED (CF)
SGW-I	71,470	12,453	4,190	10,052
TOTAL ESDv PROVIDED:				10,052
TOTAL ESDv REQUIRED:				9,484

PERMIT INFORMATION CHART

SUBDIVISION NAME:		DOWNTOWN COLUMBIA		SECTION/AREA N/A		PARCEL PARCEL B	
PLAT No.	PARCEL	ZONE	TAX MAP	BLOCK	ELEC. DIST.	CENSUS TRACT	
	527	NT	36	1	5	6054	
WATER CODE:		E91		SEWER CODE: 5521000			

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 BURTONSVILLE, MARYLAND 20866
 TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

DATE	REVISION	BY	APP'R.

OWNER/PREPARED FOR:
 THE HOWARD HUGHES CORPORATION
 10480 LITTLE PATUXENT PARKWAY
 SUITE 400
 COLUMBIA, MD 21044
 ATTN: MR. BILL ROWE
 410-964-4800

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DAILY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12315, EXPIRATION DATE: MAY 26, 2018.

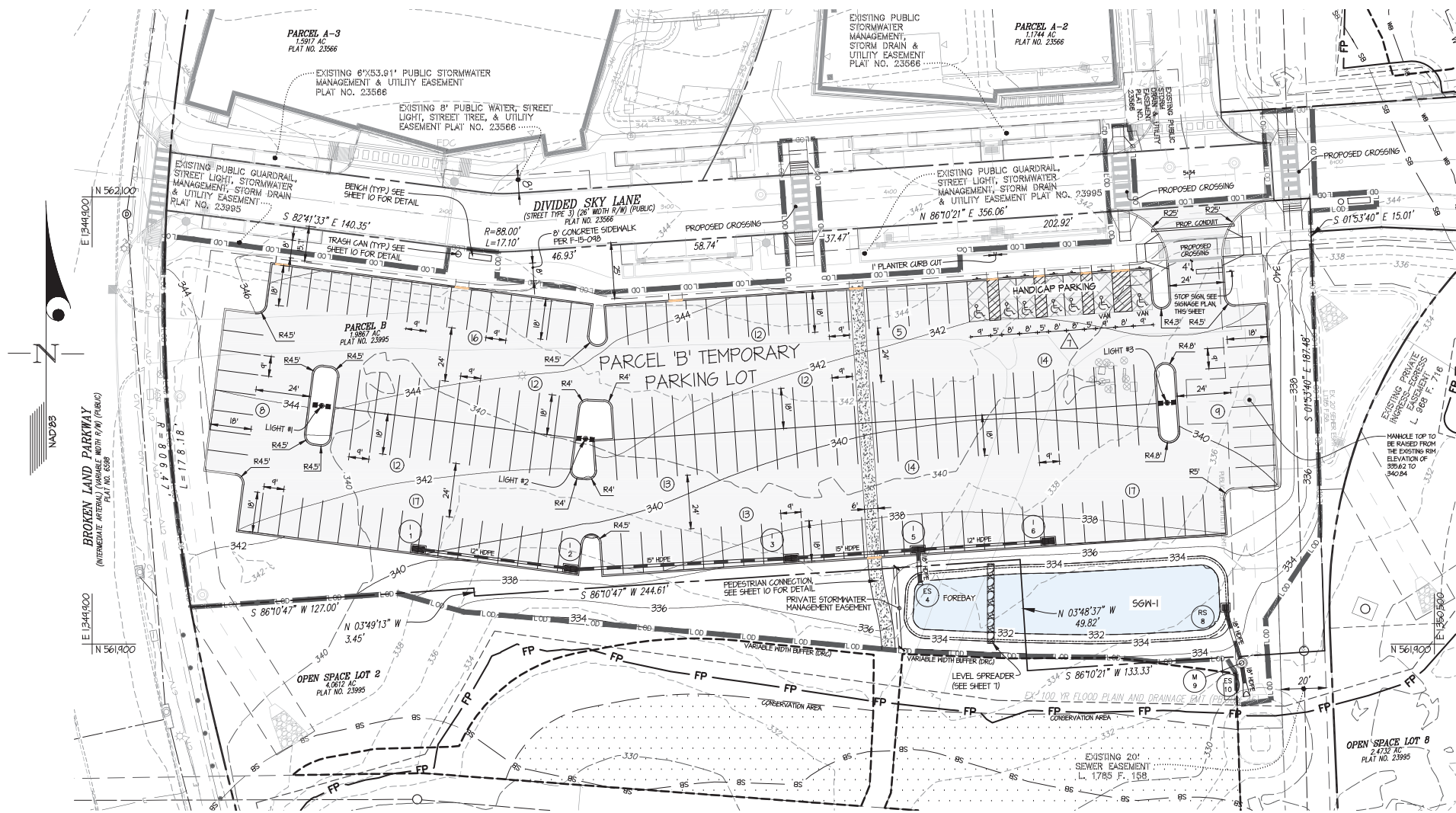
COVER SHEET
DOWNTOWN COLUMBIA
CRESCENT NEIGHBORHOOD
PARCEL B
TEMPORARY PARKING LOT
(PART OF TAX PARCEL 527) PLAT NO.

SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	NT	15019
DATE	TAX MAP - GRID	SHEET
MAY, 2017	36 - 01	1 OF 10

PARKING TABLE		
SYMBOL	TYPE OF PARKING SPACE	NUMBER OF SPACES
⊕	STANDARD SPACE (9' x 18')	174
△	HANDICAP SPACE (VARIABLE WIDTH x 18')	7
		181

LEGEND

- 100-YR FLOODPLAIN
- LIMITS OF DISTURBANCE
- STREAM BUFFER
- WETLANDS BUFFER
- PROPOSED BUILDING
- PROPOSED SHM AREA
- PROPOSED PAVING (P-3)
- PROPOSED CONCRETE WALK
- PROPOSED PERMEABLE PAVEMENT
- EX. CONTOUR
- PROP. CONTOUR
- STORM DRAIN
- EX. CURB & GUTTER
- CONCRETE CURB & GUTTER
- PROPOSED FLUSH CURB
- SPOT ELEVATION
- SUBMERGED GRAVEL WETLANDS MDE STANDARD, M-2
- PROPOSED SIGN
- PARKING BAY SPACE DESIGNATION AND COUNT (SEE PARKING TABLE, THIS PAGE)



LIGHT LOCATIONS		
LIGHT #	COORDINATES	TYPE
LIGHT #1	N 562,006 E 1,350,004	A
LIGHT #2	N 561,991 E 1,350,021	A
LIGHT #3	N 562,007 E 1,350,381	A

LIGHTING SCHEDULE					
TYPE	SYMBOL	MANUFACTURER / CAT. NUMBER	NUMBER LAMPS	LUMENS	MOUNTING
A		EATON-MCGRAW-EDISON / GLEON-AF-06-LED-EI-T3-1030-600	96	216/LAMP	25' POLE

APPROVED
PLANNING BOARD OF HOWARD COUNTY

Date: _____

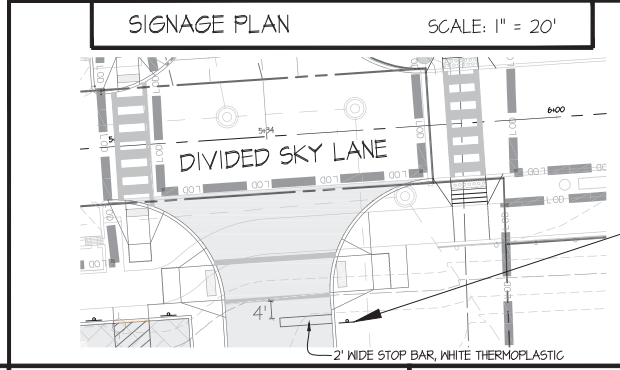
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director: _____ Date: _____

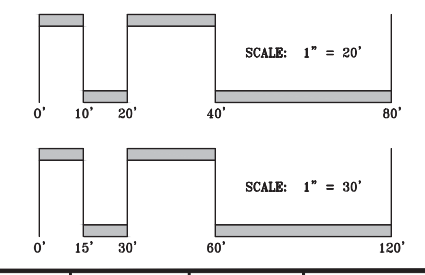
Chief, Division of Land Development: _____ Date: _____

Chief, Development Engineering Division: _____ Date: _____

- NOTES:**
- ONE 4" CONDUIT SHALL BE INSTALLED AT A DEPTH OF 36" UNDER THE PROPOSED DRIVEWAY ENTRANCE TO THIS PARKING LOT AT THE LOCATION SHOWN.
- PAVEMENT MARKING NOTES:**
- SEE SHEET 10 FOR PAVEMENT MARKING DETAILS
 - ALL LONG LINE MARKINGS TO BE APPLIED USING THERMOPLASTIC MATERIAL
 - THE CROSSWALK AND ARROWS TO BE INSTALLED USING PREFORMED HEAT APPLIED TAPE OR THERMOPLASTIC
 - ALL PAVEMENT MARKINGS ARE TO BE LOCATED OR APPROVED BY THE TRAFFIC DIVISION PRIOR TO THE PLACEMENT OF ANY MARKINGS
 - ALL EXISTING PAVEMENT MARKING IN CONFLICT WITH THE PROPOSED PAVEMENT MARKINGS ARE TO BE REMOVED BY GRINDING ONLY. HOWARD COUNTY TRAFFIC (410-313-5752) WILL DETERMINE WHICH EXISTING MARKINGS SHALL BE REMOVED



SIGN SCHEDULE			
TYPE	SIZE	STATION	OFFSET
RI-1	30" X 30"	5+44 DIVIDED SKY LANE	43.0' R.T.



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DATE	REVISION	BY	APP'R.

OWNER/PREPARED FOR:
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SUITE 400
COLUMBIA, MD 21044
ATTN: MR. BILL ROME
410-964-4800

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EXPIRATION DATE: MAY 26, 2018

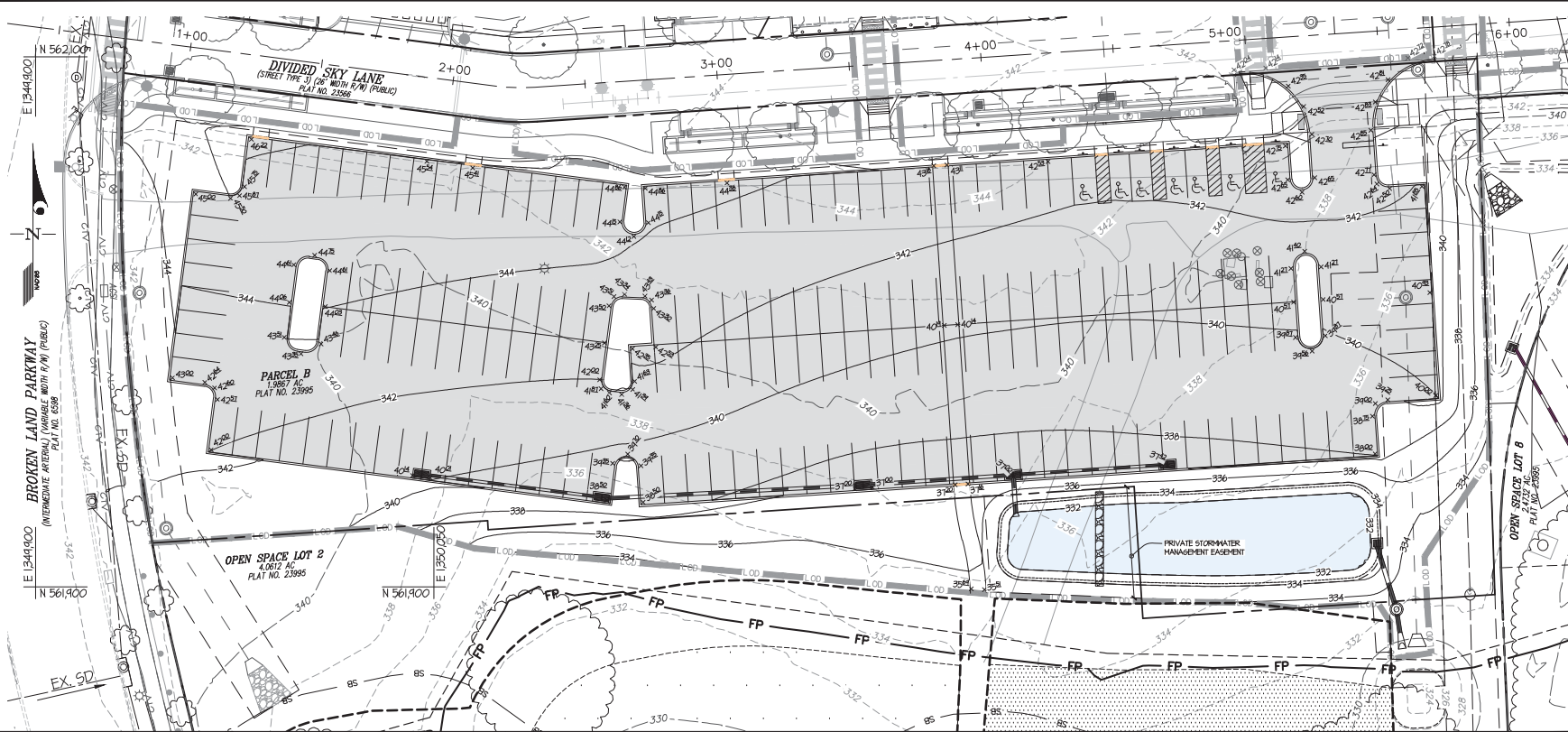
SITE DEVELOPMENT PLAN
DOWNTOWN COLUMBIA
CRESCENT NEIGHBORHOOD
PARCEL B
TEMPORARY PARKING LOT
(PART OF TAX PARCEL 527) PLAT NO.

ELECTION DISTRICT No. 5

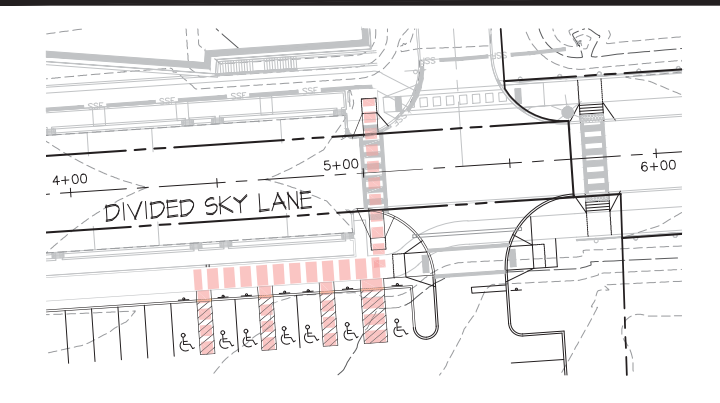
HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE NO.
1"=30'	NT	15019
DATE	TAX MAP - GRID	SHEET
MAY, 2017	36 - 01	2 OF 10

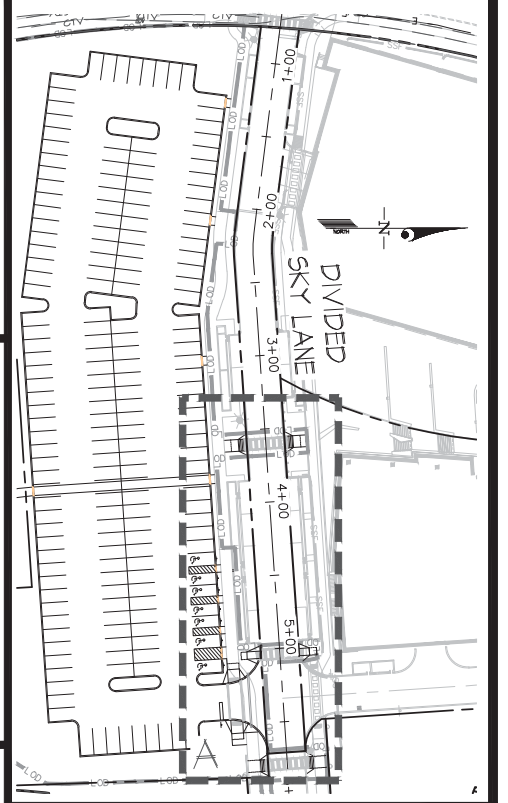
L:\CAD\DRAWINGS\1071\1071\PLANS BY QLM\SDP - Parcel B Parking Lot\SDP\1071-01-01.dwg - Site Plan.dwg



- NOTES:
1. ALL SPOT ELEVATIONS AT CURBS ARE FLOW LINE ELEVATIONS
 2. IN ALL ADA ACCESSIBLE AREAS, SLOPES ARE TO BE LESS THAN 2.0% IN ALL DIRECTIONS
 3. SEE SHEET 10 FOR CURB RAMP, TRUNCATED DOME, AND CROSSWALK STRIPING DETAILS



ADA ROUTE TO DEVELOPMENT ON NORTH SIDE OF DIVIDED SKY LANE SCALE: 1"=30'

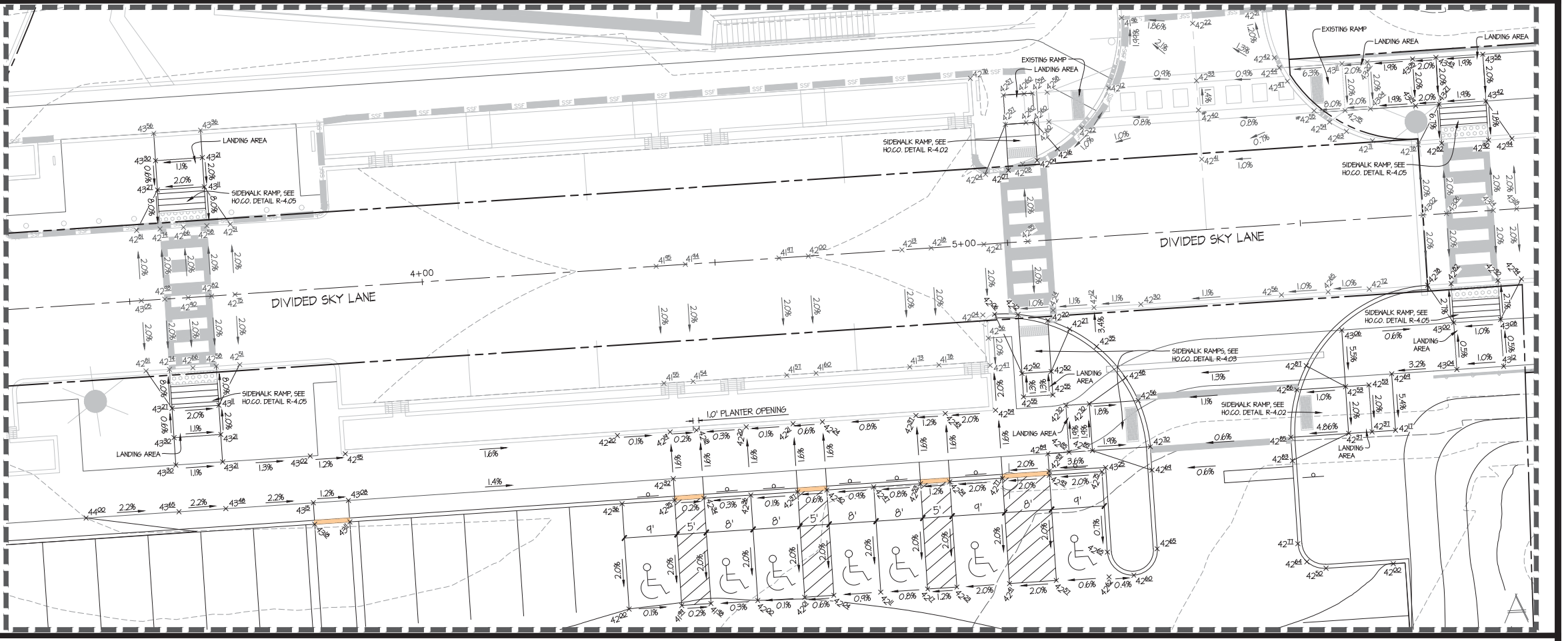


KEY MAP SCALE: 1"=60'

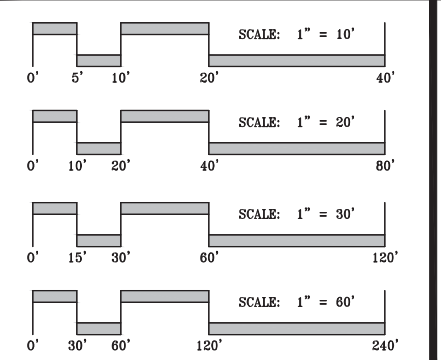
LEGEND

FP	100-YR FLOODPLAIN	Proposed Flush Curb
LOO	LIMITS OF DISTURBANCE	Proposed Spot Elevation
SB	STREAM BUFFER	Existing Spot Elevation
WB	WETLANDS BUFFER	EX. CURB & GUTTER
366	EX. CONTOUR	CONCRETE CURB & GUTTER
---	WATERLINE	PROP CONTOUR
---	PROP. 4" OVERDRAIN	EXIST. STORM DRAIN
---	PROP. 6" UNDERDRAIN	SANITARY SEWER
---	ADA ROUTE	PROP. TREELINE

GRADING PLAN SCALE: 1"=30'



AREA - A SCALE: 1"=10'



APPROVED
PLANNING BOARD OF HOWARD COUNTY
Date: _____

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director	Date
Chief, Division of Land Development	Date
Chief, Development Engineering Division	Date

GLWGUTSCHICK LITTLE & WEBER, P.A.
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GRADING PLAN
DOWNTOWN COLUMBIA
CRESCENT NEIGHBORHOOD
PARCEL B
TEMPORARY PARKING LOT
(PART OF TAX PARCEL 527) PLAT NO.

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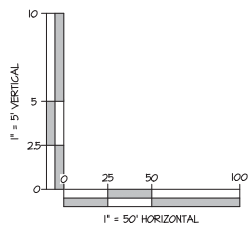
SCALE	ZONING	G. L. W. FILE No.
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DATE	TAX MAP - GRID	SHEET
MAY, 2017	36 - 01	3 OF 10

L:\CADD\DRAWINGS\11071\SDP17\PLANS BY GLW\SDP - Parcel B Parking Lot\15019\sdp03 - Grading Plan.dwg, PLOTTED: 5/17/2017 4:28 PM, LAST SAVED: 5/17/2017 3:32 AM, PLOTTED BY: [redacted]

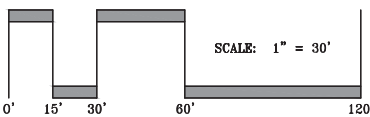
LEGEND

	STABILIZED CONSTRUCTION ENTRANCE
	PROPOSED EARTH DIKE
	PROPOSED SILT FENCE
	PROPOSED SUPER SILT FENCE
	PROPOSED INLET PROTECTION
	LIMIT OF DISTURBANCE
	PROPOSED BAFFLE BOARD

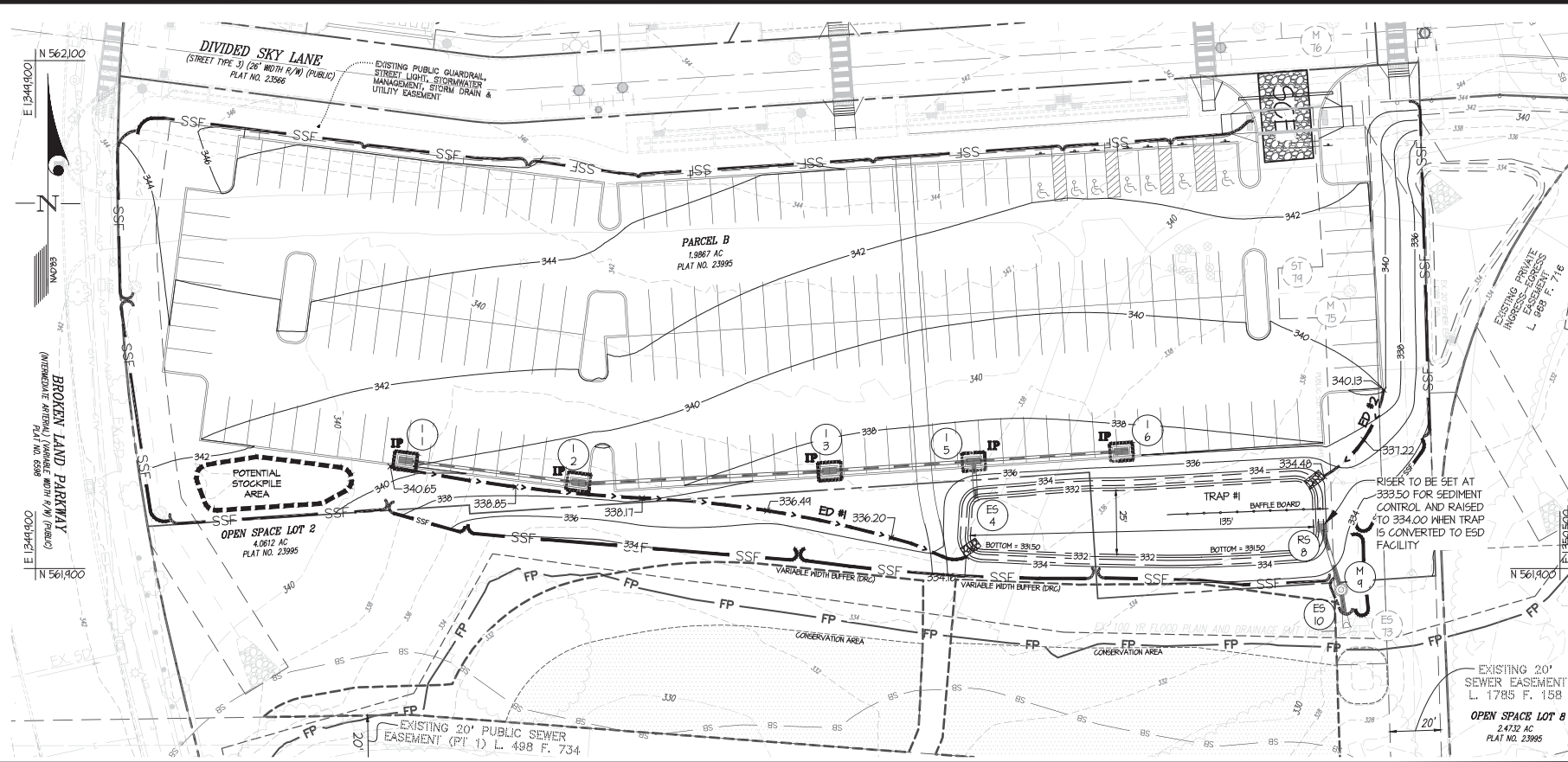
GRAPHIC SCALE - PROFILE VIEW



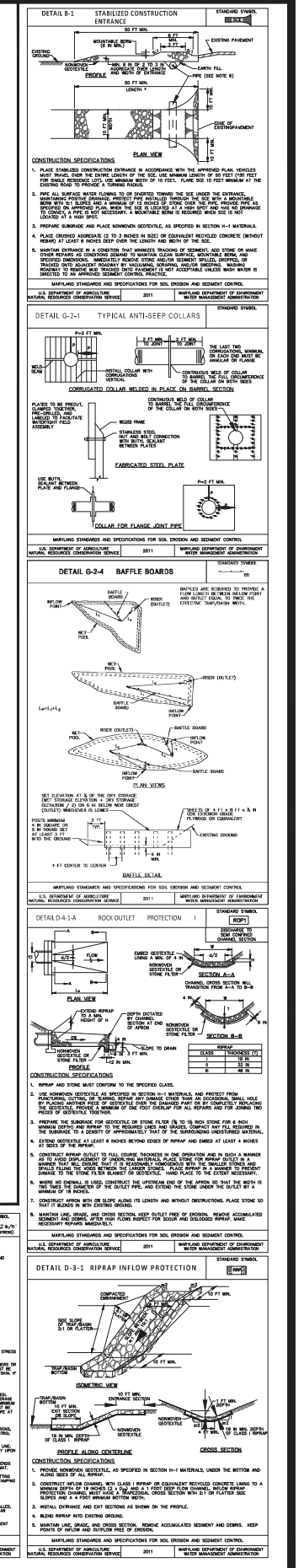
GRAPHIC SCALE - PLAN VIEW



NOTE: LOD NOT SHOWN FOR CLARITY (OBSCURES VISIBILITY OF PERIMETER SEDIMENT CONTROL DEVICES)



- SEQUENCE OF CONSTRUCTION**
- OBTAIN GRADING PERMIT. (1 DAY)
 - ARRANGE FOR AN ON-SITE PRE-CONSTRUCTION MEETING WITH THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR. (1 DAY)
 - INSTALL THE STONE CONSTRUCTION ENTRANCES AND SUPER SILT FENCES. (1 WEEK)
 - AS GRADING ALLOWS, INSTALL EARTH DIKES 1 AND 2 AND SEDIMENT TRAP 1 AND THE CORRESPONDING STORM DRAIN AND OUTFALLS. (1 WEEK)
 - PERFORM ROUGH GRADING AND RAISE EXISTING MANHOLE 15 TO MEET THE NEWLY PROPOSED GRADE. (2 WEEKS)
 - INSTALL THE STORM DRAIN AND PROVIDE INLET PROTECTION. (2 WEEKS)
 - PERFORM FINE GRADING AND CONSTRUCT THE PARKING LOT. (4 WEEKS)
 - STABILIZE THE DISTURBED AREAS AS NECESSARY AND AS REQUIRED. (2 WEEKS)
 - WITH THE PERMISSION OF THE SEDIMENT CONTROL INSPECTOR, REMOVE SEDIMENT CONTROL DEVICES BESIDES THOSE DOWNSTREAM OF THE SEDIMENT TRAPS. (3 DAYS)
 - WITH THE PERMISSION OF THE SEDIMENT CONTROL INSPECTOR, BEGIN CONVERTING THE SEDIMENT TRAP INTO FINAL STORMWATER MANAGEMENT FACILITIES AND IMMEDIATELY STABILIZE ANY AREAS DISTURBED AS A RESULT. (2 WEEKS)
 - FLUSH ALL STORM DRAIN SYSTEMS. (1 WEEK)
- *ITEMS 1-11 CAN BE PERFORMED CONCURRENTLY AS THE CONTRACTOR SEES FIT*

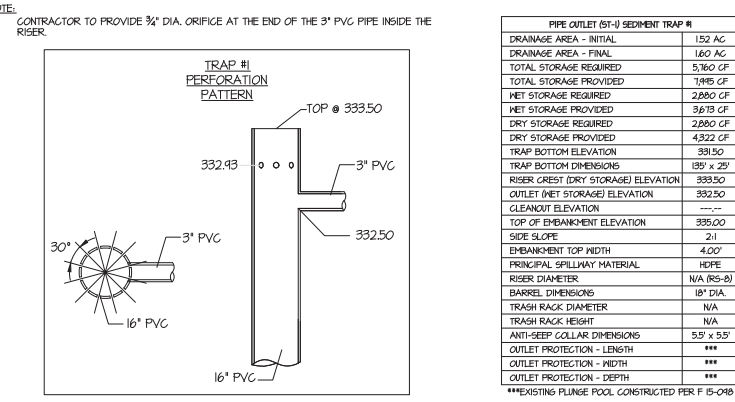
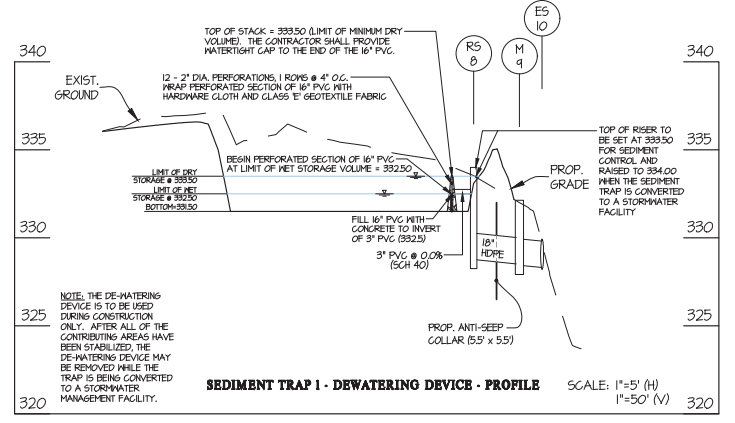


EARTH DIKES

No.	MAXIMUM DRAINAGE AREA	AVG. SLOPE	TREATMENT	SHEAR STRESS AT OUTLET
ED #1	0.92 AC.	3.5%	A-2	8.42 LBF/FT ²
ED #2	0.11 AC.	11.7%	A-2	2.81 LBF/FT ²

BAFFLE BOARD COMPUTATIONS

SEDIMENT TRAP	TRAP #1
AREA	4652 SQ. FT.
EFFECTIVE WIDTH	48 FT
2x EFFECTIVE WIDTH	96 FT
FLOW LENGTH	18 FT
FLOW LENGTH AFTER BAFFLE INSTALLATION	116 FT



PIPE OUTLET (8'-0" SEDIMENT TRAP #1)

DRAINAGE AREA - INITIAL	1.52 AC.
DRAINAGE AREA - FINAL	1.60 AC.
TOTAL STORAGE REQUIRED	5,160 CF
TOTAL STORAGE PROVIDED	1,985 CF
NET STORAGE REQUIRED	2,880 CF
NET STORAGE PROVIDED	1,913 CF
DRY STORAGE REQUIRED	2,880 CF
DRY STORAGE PROVIDED	4,322 CF
TRAP BOTTOM ELEVATION	331.50
TRAP BOTTOM DIMENSIONS	135' x 25'
RISER CREST (DRY STORAGE) ELEVATION	333.50
OUTLET (NET STORAGE) ELEVATION	332.50
CLEAROUT ELEVATION	332.50
TOP OF EMBANKMENT ELEVATION	335.00
SIDE SLOPE	2:1
EMBANKMENT TOP WIDTH	4.00'
PRINCIPAL SPILLWAY MATERIAL	HDPE
RISER DIAMETER	N/A (RS-8)
BARREL DIMENSIONS	18" DIA.
TRASH RACK DIAMETER	N/A
TRASH RACK HEIGHT	N/A
ANTI-SLEEP COLLAR DIMENSIONS	5.5' x 5.5'
OUTLET PROTECTION - LENGTH	***
OUTLET PROTECTION - WIDTH	***
OUTLET PROTECTION - DEPTH	***

***EXISTING FLUME POOL, CONSTRUCTED PER F-5-0-05

This Development Plan is approved for Soil Erosion and Sediment Control by the Howard Soil Conservation District.

Howard S.C.D. Date

ENGINEER'S CERTIFICATE

"I HEREBY CERTIFY THAT THIS PLAN FOR SEDIMENT AND EROSION CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."

ENGINEER'S SIGNATURE DATE

DEVELOPER'S/BUILDER'S CERTIFICATE

"I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN OF DEVELOPMENT FOR SEDIMENT AND EROSION CONTROL, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT."

SIGNATURE OF DEVELOPER/BUILDER DATE

APPROVED PLANNING BOARD OF HOWARD COUNTY

Date: _____

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director Date
Chief, Division of Land Development Date
Chief, Development Engineering Division Date

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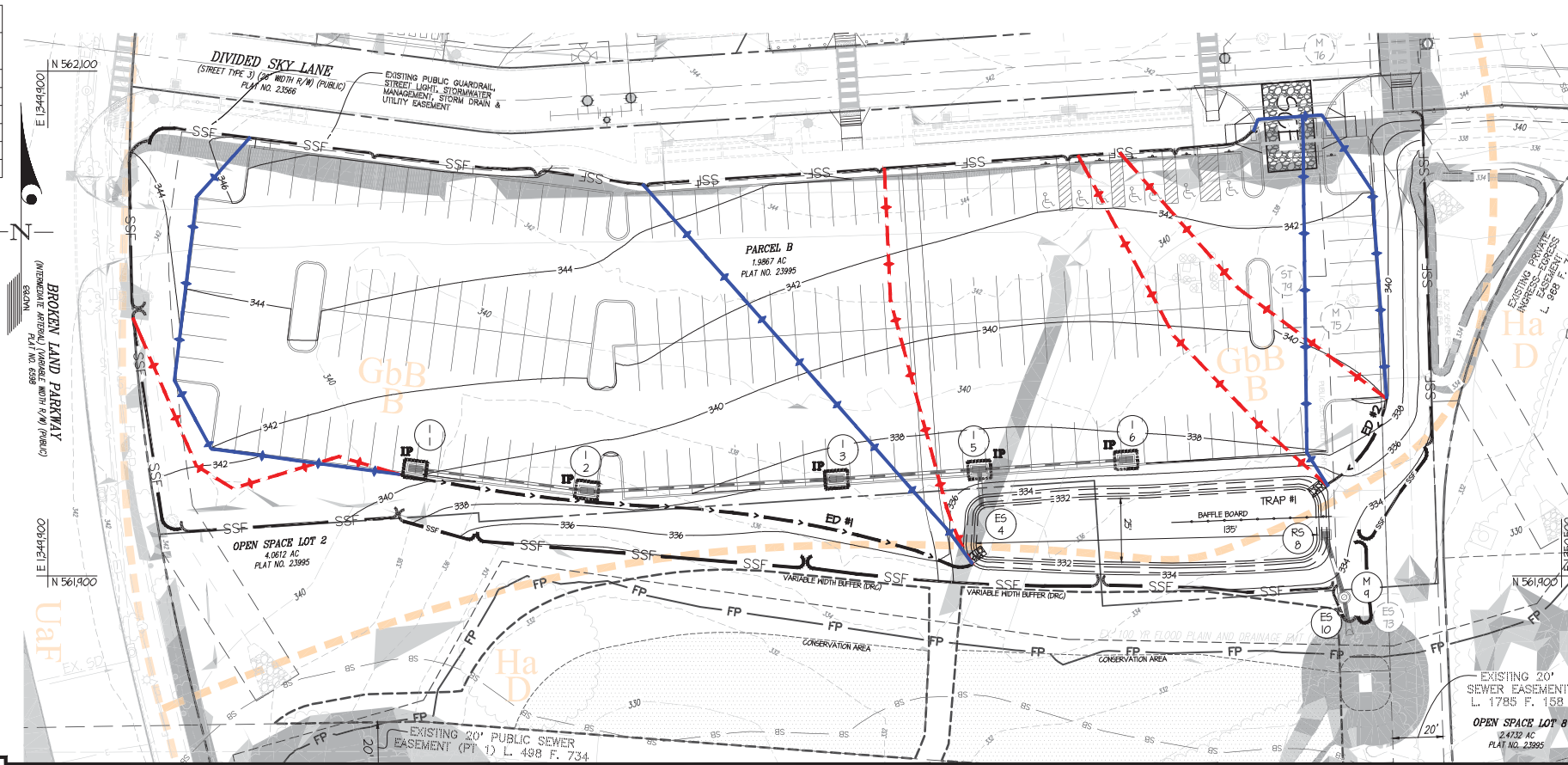
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SEDIMENT CONTROL PLAN
DOWNTOWN COLUMBIA
CRESCENT NEIGHBORHOOD
PARCEL B
TEMPORARY PARKING LOT
(PART OF TAX PARCEL 527) PLAT NO.

ELECTION DISTRICT No. 5

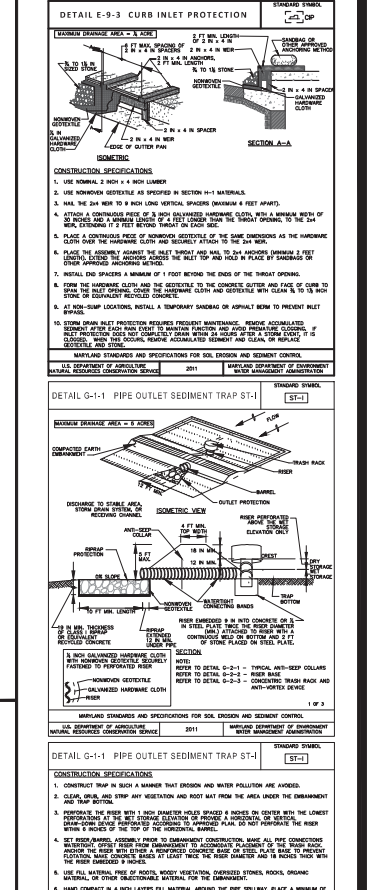
SCALE	ZONING	G. L. W. FILE NO.
1" = 30'	NT	15019
DATE	TAX MAP - GRID	SHEET
MAY, 2017	36 - 01	4 OF 10

SEDIMENT CONTROL DRAINAGE AREA INFORMATION		
SEDIMENT CONTROL DEVICE	PRE-DEVELOPMENT DRAINAGE AREA	POST-DEVELOPMENT DRAINAGE AREA
SEDIMENT TRAP #1	152 AC.	1.60 AC.
EARTH DIKE #1	0.92 AC.	0.71 AC.
EARTH DIKE #2	0.11 AC.	0.08 AC.



Symbol	Description	Soil Type	K Factor
Ha	Hatboro Codrus, 0 to 3 percent slopes	D	0.31
GbB	Gladstone Loom, 3 to 8 percent slopes	B	0.20

LEGEND	
[Symbol]	STABILIZED CONSTRUCTION ENTRANCE
[Symbol]	PROPOSED EARTH DIKE
[Symbol]	PROPOSED SILT FENCE
[Symbol]	PROPOSED SUPER SILT FENCE
[Symbol]	PROPOSED INLET PROTECTION
[Symbol]	LIMIT OF DISTURBANCE
[Symbol]	SLOPES 15% TO 25%
[Symbol]	SLOPES GREATER THAN 25%
[Symbol]	PRE-DEVELOPMENT DRAINAGE AREA
[Symbol]	POST-DEVELOPMENT DRAINAGE AREA
[Symbol]	SOIL TYPE AND HYDROLOGIC GROUPING
[Symbol]	SOIL BOUNDARY



This Development Plan is approved for Soil Erosion and Sediment Control by the Howard Soil Conservation District.

Howard S.C.D. Date

ENGINEER'S CERTIFICATE

I HEREBY CERTIFY THAT THIS PLAN FOR SEDIMENT AND EROSION CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT HAS BEEN PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

DEVELOPER'S/BUILDER'S CERTIFICATE

I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN OF DEVELOPMENT FOR SEDIMENT AND EROSION CONTROL AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT.

APPROVED PLANNING BOARD OF HOWARD COUNTY

Date:

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director Date

Chief, Division of Land Development Date

Chief, Development Engineering Division Date

B-4-2 STANDARD AND SPECIFICATIONS FOR SOIL PREPARATION, TOPSOILING, AND SOIL AMENDMENTS

DEFINITION: THE PROCESS OF PREPARING THE SOILS TO SUSTAIN ADEQUATE VEGETATIVE STABILIZATION.

PURPOSE: TO PROVIDE A SUITABLE SOIL MEDIUM FOR VEGETATIVE GROWTH.

CONDITIONS WHERE PRACTICE APPLIES: WHERE VEGETATIVE STABILIZATION IS TO BE ESTABLISHED.

CRITERIA:

1. SOIL PREPARATION
2. PERMANENT STABILIZATION
3. SOIL AMENDMENTS (FERTILIZER AND LIME SPECIFICATIONS)
4. TOPSOILING
5. SOIL AMENDMENTS (FERTILIZER AND LIME SPECIFICATIONS)
6. TOPSOILING APPLICATION

B-4-3 STANDARDS AND SPECIFICATIONS FOR SEEDING AND MULCHING

DEFINITION: THE APPLICATION OF SEED AND MULCH TO ESTABLISH VEGETATION.

PURPOSE: TO PROTECT DISTURBED SOILS FROM EROSION DURING AND AT THE END OF CONSTRUCTION.

CONDITIONS WHERE PRACTICE APPLIES: TO THE SURFACE OF ALL PERMITS CONTROL SLOPES, AND ANY DISTURBED AREA NOT UNDER ACTIVE GRADING.

CRITERIA:

1. SPECIFICATIONS
2. APPLICATION
3. ANCHORING

STANDARDS AND SPECIFICATIONS FOR DUST CONTROL

DEFINITION: CONTROLLING THE SUSPENSION OF DUST PARTICLES FROM CONSTRUCTION ACTIVITIES.

PURPOSE: TO PREVENT BLOWING AND MOVEMENT OF DUST FROM EXPOSED SOIL SURFACES TO REDUCE ON AND OFF-SITE HAZARDS INCLUDING HEALTH AND TRAFFIC HAZARDS.

CONDITIONS WHERE PRACTICE APPLIES: AREAS SUBJECT TO WIND BLOWING AND MOVEMENT OF DUST FROM EXPOSED SOIL SURFACES TO REDUCE ON AND OFF-SITE HAZARDS INCLUDING HEALTH AND TRAFFIC HAZARDS.

CRITERIA:

1. MULCHES
2. VEGETATIVE COVER
3. WATER CURTAINS
4. WIND BARRIERS
5. WIND BREAKS
6. WIND BREAKS
7. WIND BREAKS
8. WIND BREAKS
9. WIND BREAKS
10. WIND BREAKS

B-4-4 STANDARDS AND SPECIFICATIONS FOR PERMANENT STABILIZATION

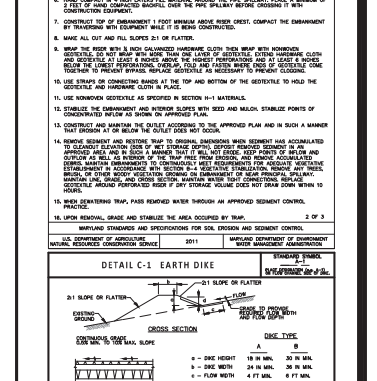
DEFINITION: TO STABILIZE DISTURBED SOILS WITH PERMANENT VEGETATION.

PURPOSE: TO USE LONG-LIVED PERENNIAL GRASSES AND LEGUMES TO ESTABLISH PERMANENT GROUND COVER ON DISTURBED SOILS.

CONDITIONS WHERE PRACTICE APPLIES: EXPOSED SOILS WHERE GROUND COVER IS NEEDED FOR 6 MONTHS OR MORE.

CRITERIA:

1. GENERAL USE
2. TURFGRASS MIXTURES
3. PERMANENT SEEDING SUMMARY
4. SOIL AMENDMENTS
5. SOIL AMENDMENTS
6. SOIL AMENDMENTS
7. SOIL AMENDMENTS
8. SOIL AMENDMENTS
9. SOIL AMENDMENTS
10. SOIL AMENDMENTS



B-4-2 STANDARD AND SPECIFICATIONS FOR SOIL PREPARATION, TOPSOILING, AND SOIL AMENDMENTS

DEFINITION: THE PROCESS OF PREPARING THE SOILS TO SUSTAIN ADEQUATE VEGETATIVE STABILIZATION.

PURPOSE: TO PROVIDE A SUITABLE SOIL MEDIUM FOR VEGETATIVE GROWTH.

CONDITIONS WHERE PRACTICE APPLIES: WHERE VEGETATIVE STABILIZATION IS TO BE ESTABLISHED.

CRITERIA:

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2. PERMANENT STABILIZATION
3. SOIL AMENDMENTS (FERTILIZER AND LIME SPECIFICATIONS)
4. TOPSOILING
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CRITERIA:

1. SPECIFICATIONS
2. APPLICATION
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B-4-4 STANDARDS AND SPECIFICATIONS FOR PERMANENT STABILIZATION

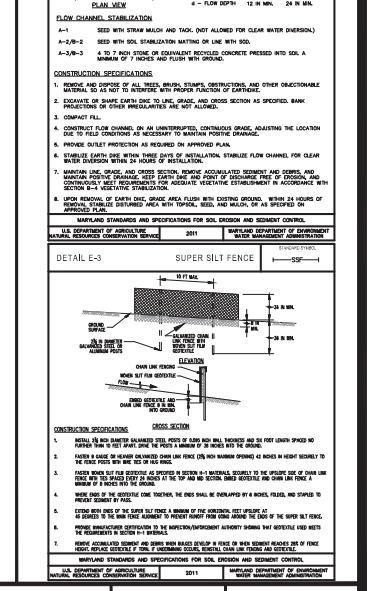
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CONDITIONS WHERE PRACTICE APPLIES: EXPOSED SOILS WHERE GROUND COVER IS NEEDED FOR 6 MONTHS OR MORE.

CRITERIA:

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10. SOIL AMENDMENTS



GLWGUTSCHICK LITTLE & WEBER, P.A.

CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS

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BURTNSVILLE, MARYLAND 20866

TEL: 301-421-4024 FAX: 410-880-1820 DC FAX: 301-498-2524 FAX: 301-421-4186

OWNER/PREPARED FOR:

THE HOWARD HUGHES CORPORATION
10480 LITTLE PATUXENT PARKWAY
SUITE 400
COLUMBIA, MD 21044
ATTN: MR. BILL ROWE
410-964-4800

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE PLANS HAVE BEEN PREPARED OR APPROVED BY ME, AND THAT I AM A DAILY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12315, EXPIRATION DATE MAY 26, 2018.

SEDIMENT CONTROL NOTES & DETAILS

DOWNTOWN COLUMBIA CRESCENT NEIGHBORHOOD PARCEL B TEMPORARY PARKING LOT (PART OF TAX PARCEL 527) PLAT NO.

SCALE: 1" = 30'

ZONING: NT

G. L. W. FILE NO.: 15019

DATE: MAY, 2017

TAX MAP - GRID: 36 - 01

SHEET: 5 OF 10

REVISION BY APPR.

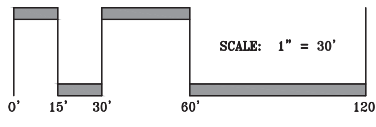
DATE

DRAINAGE AREA INFORMATION	
STRUCTURE	DRAINAGE AREA (ACRES)
I-1	0.24
I-2	0.24
I-3	0.20
I-5	0.44
I-6	0.26
RS-8	0.21

FROM NO.	TO NO.	DIA. (IN) & TYPE OF PIPE	L (FT)
I-1	I-2	12" HDPE	63
I-2	I-3	15" HDPE	43
I-3	I-5	15" HDPE	51
I-6	I-5	12" HDPE	53
I-5	ES-4	18" HDPE	14
RS-8	M-4	18" HDPE	23
M-4	ES-10	18" HDPE	11

MINIMUM RIP-RAP REQUIREMENTS				
END SECTION	CLASS	LENGTH	D ₅₀	THICKNESS
ES-4	CL-1	18'	4.8"	19"
ES-10*	*	*	*	*

*OUTFALLS INTO AN EXISTING PLUNGE POOL CONSTRUCTED PER F 15-098 PLANS



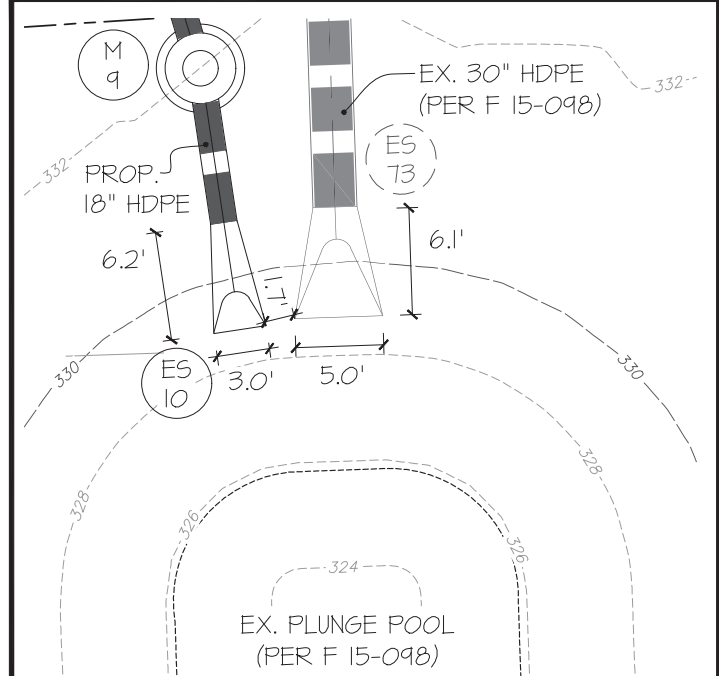
PIPE SCHEDULE			
SIZE	TYPE	QUANTITY (LF)	REMARKS
12"	HDPE	116	
15"	HDPE	144	
18"	HDPE	48	

HDPE indicates High Density Polyethylene pipe, such as N-12 by ADS, or HI-33 by HanCor or an approved equal. Trench bedding to be provided per Howard County Detail G 2.01, "Trench for P.V.C. pipe and HDPE."

NO	TYPE	WIDTH (INSIDE)	TOP ELEVATION				INVERT				STD. DETAIL	LOCATIONS	REMARKS
			PROPOSED		AS-BUILT		PROPOSED		AS-BUILT				
			UPPER	LOWER	UPPER	LOWER	UPPER	LOWER	UPPER	LOWER			
I-1	DOUBLE TYPE 'S' INLET	2'-15"	340.14	340.01							HO.CO. D-4.23	N 561,940 E 1,350,046	
I-2	DOUBLE TYPE 'S' INLET	2'-15"	338.50	---			335.08	334.83			HO.CO. D-4.23	N 561,931 E 1,350,114	
I-3	DOUBLE TYPE 'S' INLET	2'-15"	331.00	---			333.43	333.33			HO.CO. D-4.23	N 561,936 E 1,350,208	
ES-4	CONCRETE END SECTION	1'-3"	333.25	---			---	332.00			HO.CO. D-5.51	N 561,923 E 1,350,214	
I-5	DOUBLE TYPE 'S' INLET	2'-15"	331.00	---			333.66	332.14			HO.CO. D-4.23	N 561,940 E 1,350,210	
I-6	DOUBLE TYPE 'S' INLET	2'-15"	331.42	---			---	334.45			HO.CO. D-4.23	N 561,944 E 1,350,328	
RS-8	TYPE 'S' RISER	2'-15"	334.00	---			---	328.75			HO.CO. D-4.22	N 561,916 E 1,350,407	
M-4	STANDARD MANHOLE	4'-0"	331.96	---			328.52	328.42			HO.CO. G-5.12	N 561,891 E 1,350,414	
ES-10	CONCRETE END SECTION	1'-6"	324.81	---			---	328.31			HO.CO. D-5.51	N 561,878 E 1,350,416	

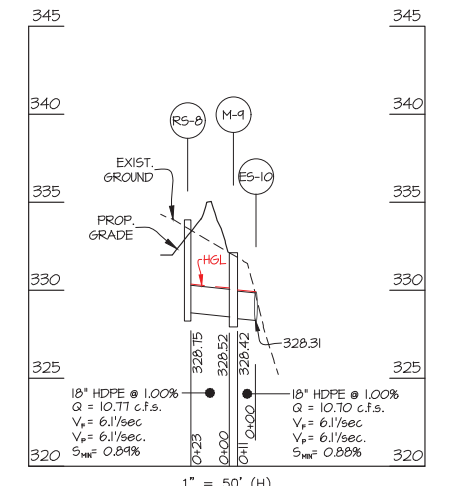
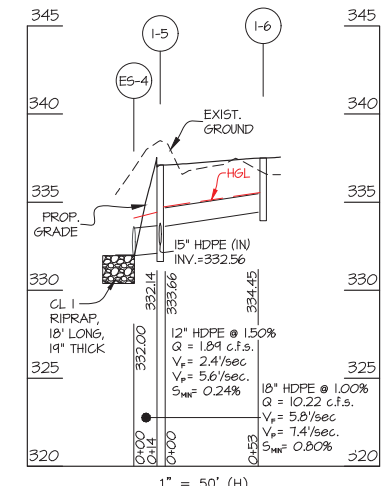
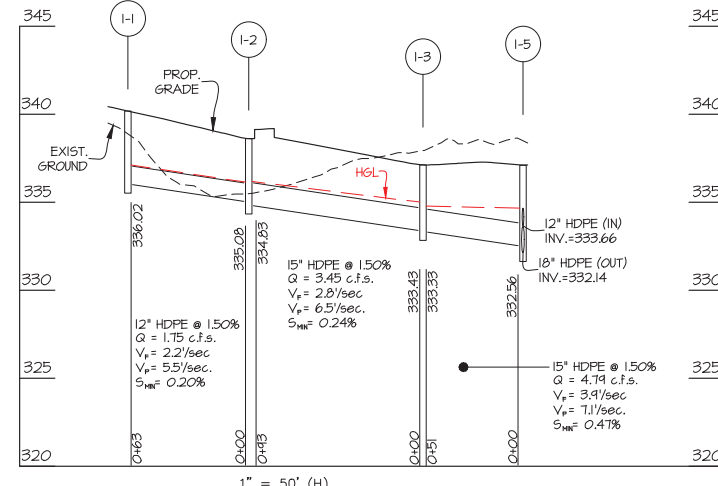
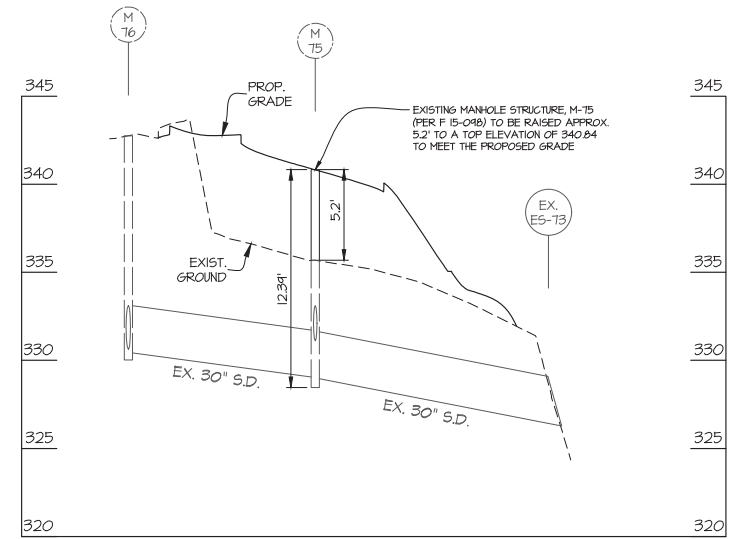
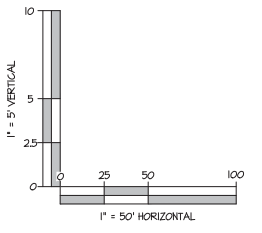
NOTE: TOP ELEVATION FOR INLETS GIVEN TO THE TOP OF GRATE OR IN THE CASE OF CURB OPENING INLETS TO THE TOP OF SLAB

COORDINATE POINT GIVEN IS TO THE CENTERLINE OF STRUCTURE AT THE FACE OF CURBS FOR INLETS AND TO THE CENTERLINE OF STRUCTURE FOR MANHOLES AND END SECTIONS.



ENLARGED PLAN OF OUTFALL AT EXISTING PLUNGE POOL
SCALE: 1" = 5'

GRAPHIC SCALE - PROFILE VIEW



APPROVED
PLANNING BOARD OF HOWARD COUNTY

Date: _____

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director: _____ Date: _____

Chief, Division of Land Development: _____ Date: _____

Chief, Development Engineering Division: _____ Date: _____

GLWGUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
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DATE	REVISION	BY	APP'R.

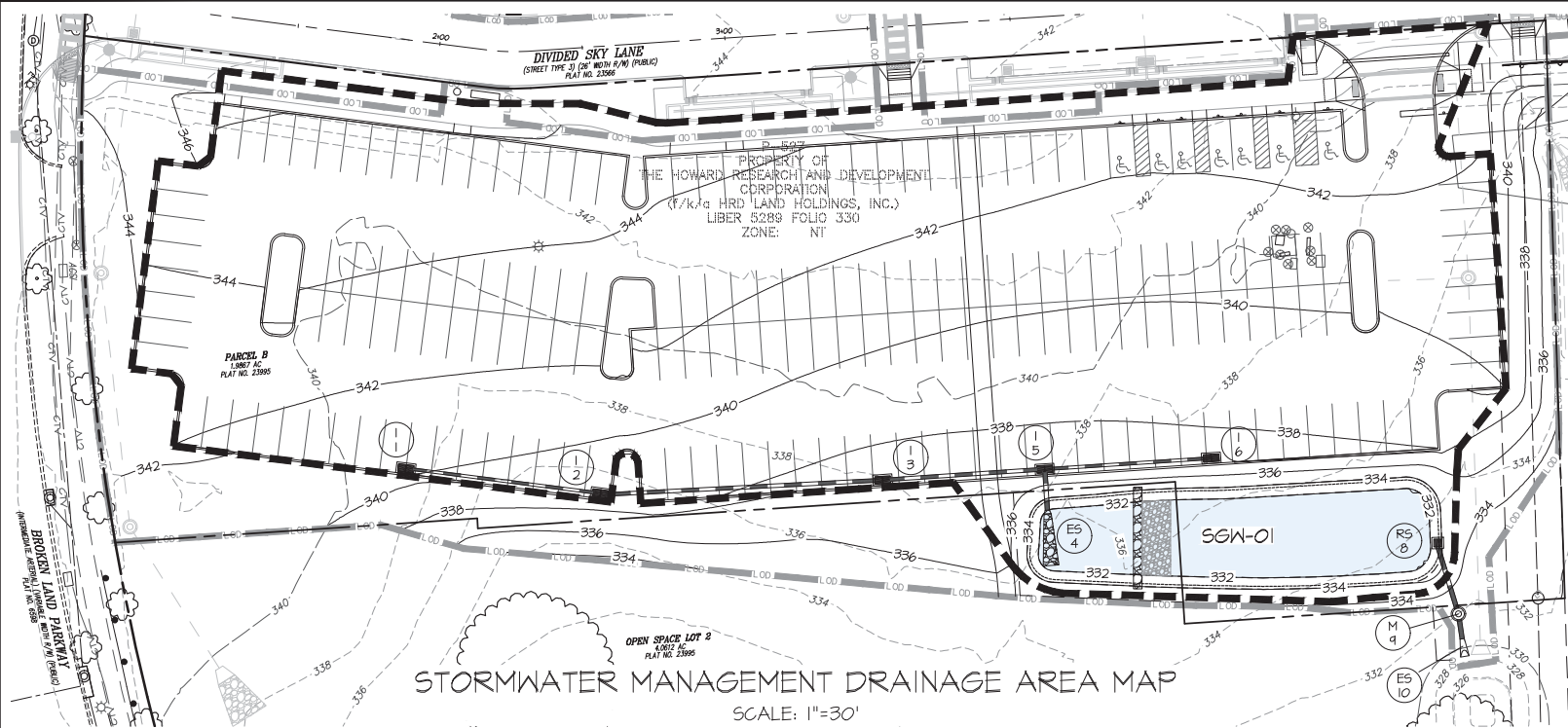
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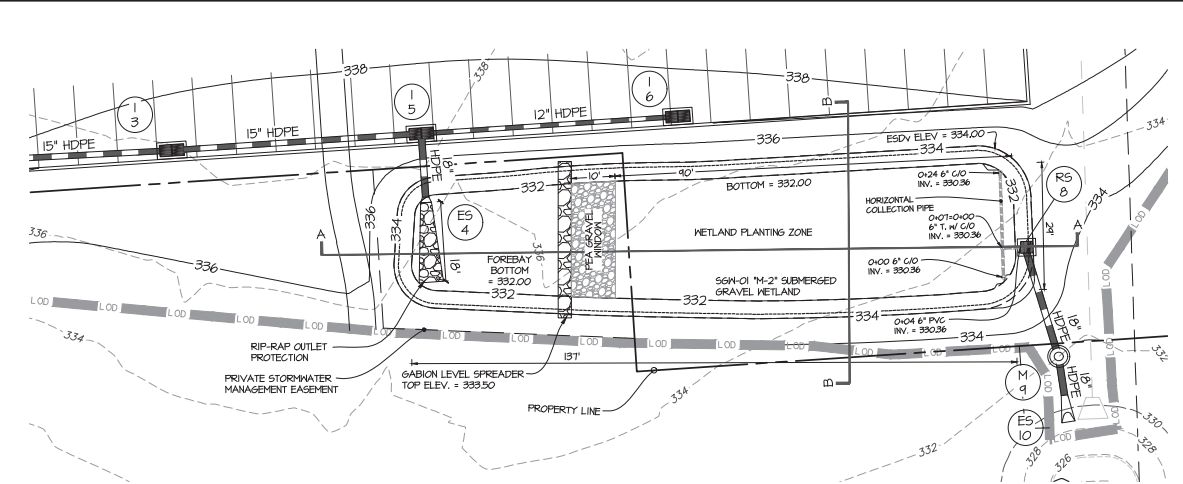
STORM DRAIN PROFILES
DOWNTOWN COLUMBIA
CRESCENT NEIGHBORHOOD
PARCEL B
TEMPORARY PARKING LOT
(PART OF TAX PARCEL 527) PLAT NO.

SCALE	ZONING	G. L. W. FILE NO.
AS SHOWN	NT	15019
DATE	TAX MAP - GRID	SHEET
MAY, 2017	36 - 01	6 OF 10

L:\CADD\DRAWINGS\110715\SDP\PLANS BY G.L.W./SDP - Parcel B Parking Lot\SDP15019.dwg - SD & SMI Profiles.dwg, PLOTTED: 4/28/17, 4:38 PM, LAST SAVER: 4/28/17 11:36 AM, PLOTTED BY: jwh



STORMWATER MANAGEMENT DRAINAGE AREA MAP
SCALE: 1"=30'



SUBMERGED GRAVEL WETLAND (SGW-01)
SCALE: 1"=20'

SIZE (INCHES)	TYPE	QUANTITY (L.F.)	REMARKS
6	SLOTTED PVC	28	COLLECTION PIPE - SCHEDULE 40

SGW-01
TYPE (PER MDE): SUBMERGED GRAVEL WETLAND (M2)
NON - HDE 878 FACILITY
TOTAL DRAINAGE AREA TO FACILITY = 71,470 SF
FOREBAY ESDv = 1245 CU-FT (@333.50)
PONDING/GRAVEL ESDv = 8,801 CU-FT (@334.00)
TOTAL ESDv PROVIDED = 10,052 CU-FT

LOW-FLOW OUTFALL: SLOTTED 6" PVC UNDERDRAIN
BOTTOM OF FACILITY = 332.00
HIGH-FLOW OUTFALL: RS-0 (5' INLET, TOP = 334.00)

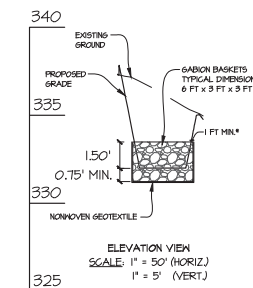
ESDv SUMMARY TABLE

FACILITY	DRAINAGE AREA (SF)	ESDv (CF) (Pe=2.60")	ESDv (CF) (Pe=1.00")	ESDv PROVIDED (CF)
SGW-1	71,470	12,453	4,790	10,052
TOTAL ESDv PROVIDED:				10,052
TOTAL ESDv REQUIRED:				9,484

NOTE: DEVELOPMENTS IN DOWNTOWN COLUMBIA ARE SUBJECT TO REDEVELOPMENT ESD CRITERIA

GABION LEVEL SPREADER DETAIL AND CONSTRUCTION SPECIFICATIONS

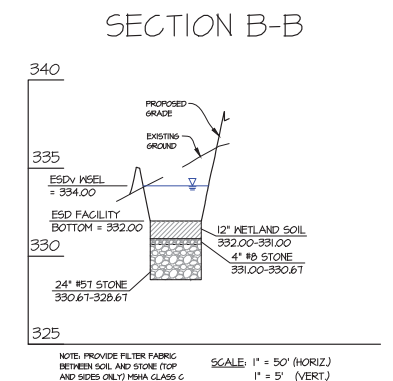
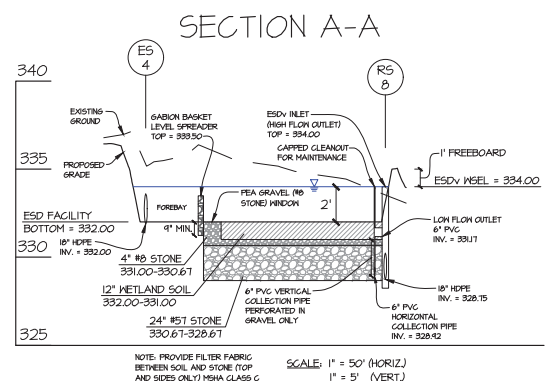
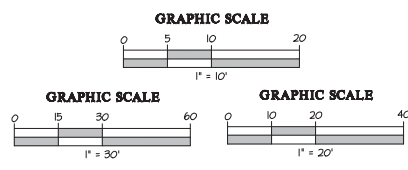
GABION LEVEL SPREADER



*ONE BASKET OR MULTIPLE MATTRESSES NEED TO EXTEND FROM THE GABION/EARTH INTERSECTION (TIE IN) TO A MINIMUM 1 FOOT BEYOND THE TIE IN.

CONSTRUCTION SPECIFICATIONS:

1. PROVIDE STORAGE VOLUME AS SPECIFIED ON APPROVED PLANS
2. USE BASKETS MADE OF 11 GAUGE WIRE OR HEAVIER
3. USE NONWOVEN GEOTEXTILE AS SPECIFIED IN THE MD STANDARD AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL MANUAL, SECTION H-1 MATERIALS
4. INSTALL GABIONS IN ACCORDANCE WITH MANUFACTURER RECOMMENDATIONS
5. EMBED THE GABIONS INTO THE SOIL A MINIMUM OF 9 INCHES, PROVIDE NONWOVEN GEOTEXTILE UNDER ALL GABIONS
6. FILL GABION BASKETS WITH CLEAN 4 TO 1 INCH STONE OR EQUIVALENT RECYCLED CONCRETE WITHOUT REBAR OR WIRE MESH
7. REMOVE SEDIMENT WHEN IT HAS ACCUMULATED TO WITHIN 12 INCHES OF THE TOP OF THE GABIONS AND REPLACE THE GEOTEXTILE AND STONE FACING WHEN THE STRUCTURE CEASES TO FUNCTION. MAINTAIN THE LINE, GRADE AND CROSS SECTION



APPROVED
PLANNING BOARD OF HOWARD COUNTY

Date: _____

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director: _____ Date: _____

Chief, Division of Land Development: _____ Date: _____

Chief, Development Engineering Division: _____ Date: _____

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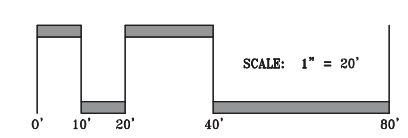
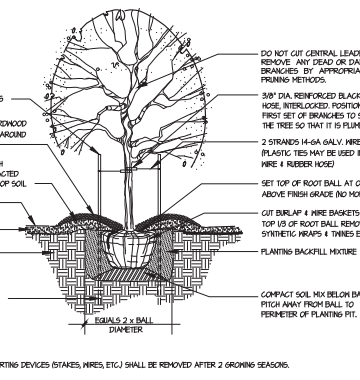
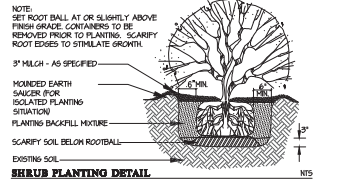
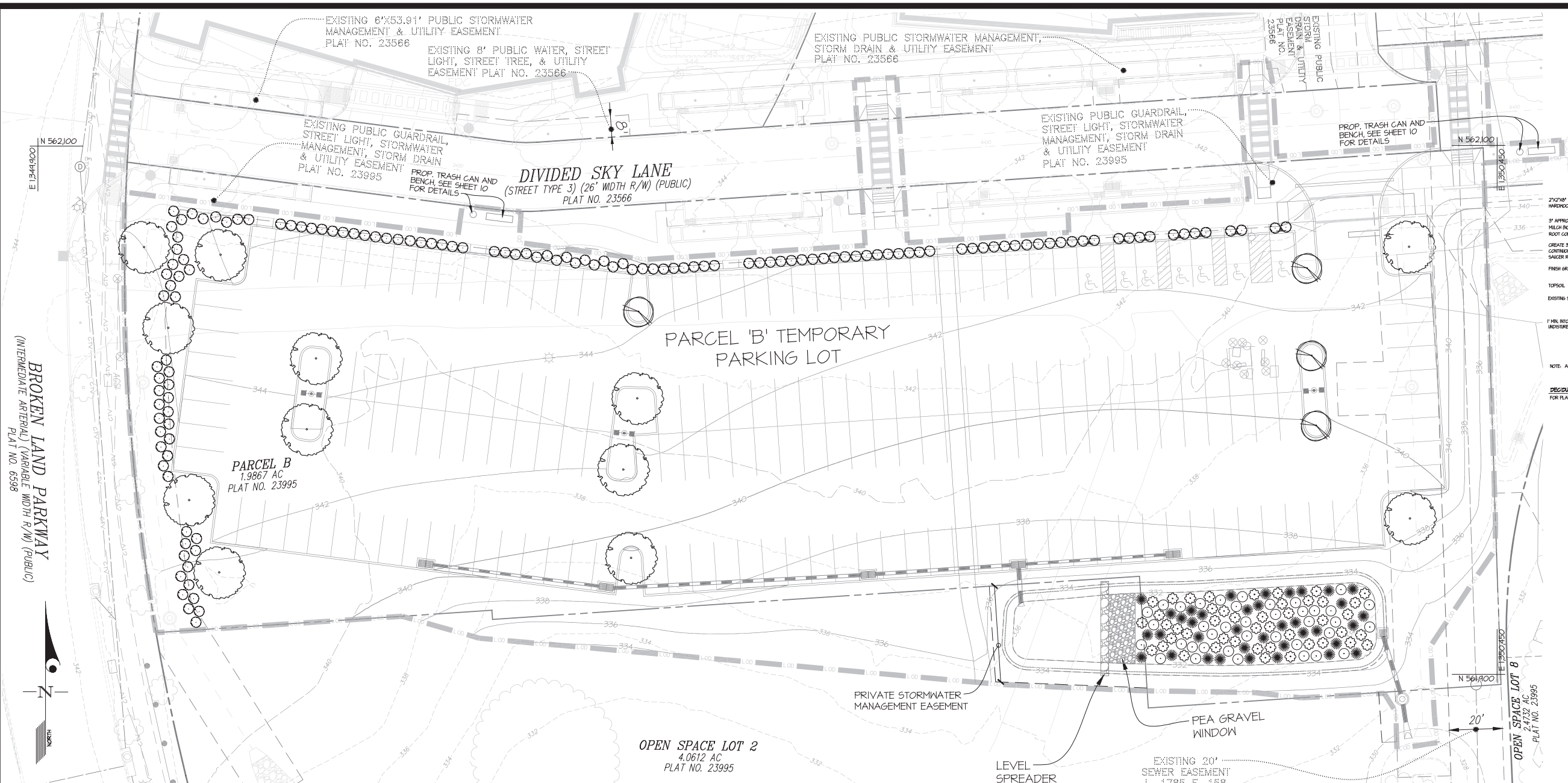
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STORMWATER MANAGEMENT PLAN
**DOWNTOWN COLUMBIA
CRESCENT NEIGHBORHOOD
PARCEL B
TEMPORARY PARKING LOT
(PART OF TAX PARCEL 527) PLAT NO.**

SCALE	ZONING	G. L. W. FILE NO.
AS SHOWN	NT	15019
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MAY, 2017	36 - 01	7 OF 10

L:\CADD\DRAWINGS\110715019\PLANS BY GLW\SDP - Parcel B Parking Lot\15019sdp006 - SDP Details.rvt
PLOTTED: 5/17/2017 4:44 PM, LAST SAVE: 5/17/2017 4:43 PM, PLOTTED BY: jay.hartman



SUBMERGED GRAVEL WETLAND PLANT LIST				
SYMBOL	QTY.	NAMES (BOTANICAL / SCIENTIFIC)	SIZE	ROOT/COMMENTS
EMERGENTS AND SUBMERGED AQUATICS				
⊙	30	ALISHA PLANTAGO-AQUATICA / BROAD-LEAF WATER-PLANTAIN	8"-36" SFR.	CONTAINER
⊙	45	ELODEA CANADENSIS / BROAD WATER-WEED	24" SFR.	CONTAINER
⊙	31	VALLESNERIA AMERICANA / WILD CELERY	24" SFR.	CONTAINER

PLANT LIST				
SYMBOL	QTY.	TYPE	NAMES (BOTANICAL / SCIENTIFIC)	SIZE/COMMENTS
⊙	12	Z5	ZELKOVA SERRATA 'VILLAGE GREEN' / JAPANESE ZELKOVA	2.5-3" CAL. B&B; MIN. 6' BRANCH HEIGHT
⊙	4	L1	LAGERSTROEMIA INDICA 'NATCHEZ' / 'NATCHEZ' GRAPE MYRTLE	8-10' HEIGHT B&B
⊙	133	TM	TAXUS MEDIA 'DENSIFORMIS' / YEW	1 GAL.; HEIGHT: 36"-42"

LANDSCAPE SURETY INFORMATION

SHADE TREES:	12 x	\$300 =	\$3,600
ORNAMENTAL TREES:	4 x	\$150 =	\$600
SHRUBS:	133 x	\$30 =	\$3,990
STORMWATER SHRUBS:	120		
SURETY TOTAL			\$8,190

SURETY NOTES:
1. SURETY FOR STORMWATER PLANTING WILL BE CALCULATED AS PART OF THE STORMWATER MANAGEMENT COST ESTIMATE.

APPROVED PLANNING BOARD OF HOWARD COUNTY
Date: _____

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
Director: _____ Date: _____
Chief, Division of Land Development: _____ Date: _____
Chief, Development Engineering Division: _____ Date: _____

CERTIFICATION NOTE:
I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL FOR NEW TOWN ALTERNATIVE COMPLIANCE AND THE CRESCENT NEIGHBORHOOD DESIGN GUIDELINES. I/WE FURTHER CERTIFY THAT UPON COMPLETION A LETTER OF LANDSCAPE INSTALLATION ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

SIGNATURE OF DEVELOPER/OWNER

DATE

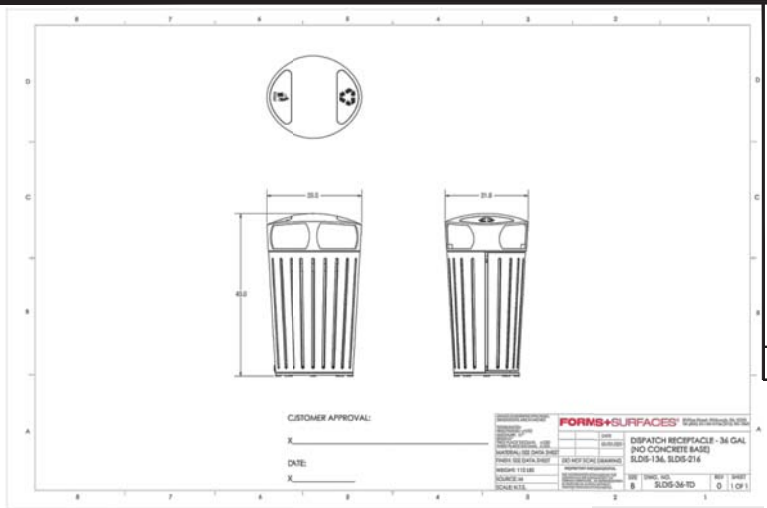
GLW GUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE - SUITE 250 - BURTONVILLE OFFICE PARK
BURTONVILLE, MARYLAND 20866
TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-988-2524 FAX: 301-421-4186

OWNER/PREPARED FOR:
THE HOWARD HUGHES CORPORATION
10480 LITTLE PATUXENT PARKWAY
SUITE 400
COLUMBIA, MD 21044
ATTN: MR. BILL ROWE
410-964-4800

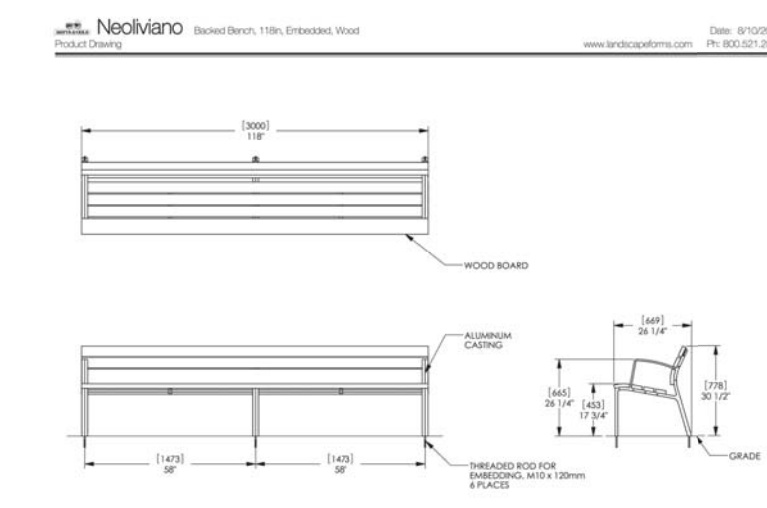
LANDSCAPE PLAN
DOWNTOWN COLUMBIA
CRESCENT NEIGHBORHOOD
PARCEL B
TEMPORARY PARKING LOT
(PART OF TAX PARCEL 527) PLAT NO.

SCALE	ZONING	G. L. W. FILE No.
1"=20'	NT	15019
DATE	TAX MAP - GRID	SHEET
MAY, 2017	36 - 01	9 OF 10

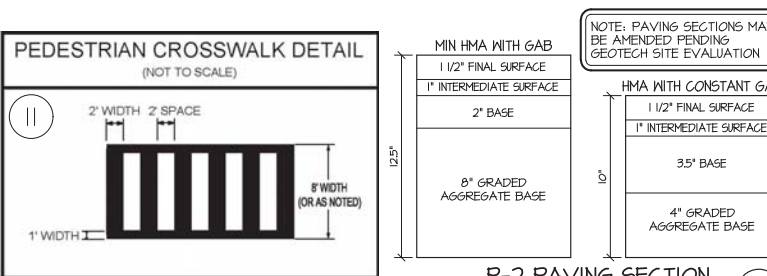
L:\CAD\DRAWINGS\11071\SDP19\PLANS BY GLW\SHP - Parcel B Parking Lot\SDP19-03.dwg - Landscape Plan.dwg
DATE: 7/19/2017 4:50 PM, LAST SAVE: 7/19/2017 4:50 PM, PLOTTED BY:
© GLW 2016



1 WASTE/RECYCLING RECEPTACLE



2 STREET BENCH



PEDESTRIAN CROSSWALK DETAIL (NOT TO SCALE)

APPROVED PLANNING BOARD OF HOWARD COUNTY

Date: _____

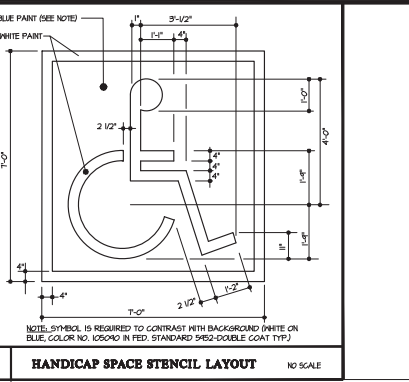
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director: _____ Date: _____

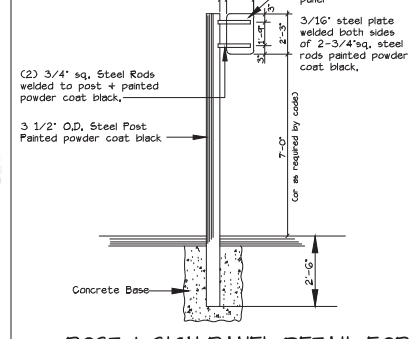
Chief, Division of Land Development: _____ Date: _____

Chief, Development Engineering Division: _____ Date: _____

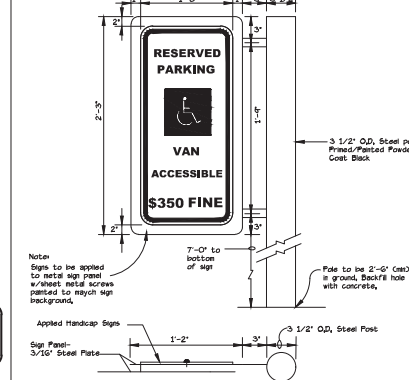
GLWGUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
 BURTONSVILLE, MARYLAND 20866
 TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186



5 HANDICAP SPACE STENCIL LAYOUT



6 POST & SIGN PANEL DETAIL FOR PARKING RESTRICTION SIGN



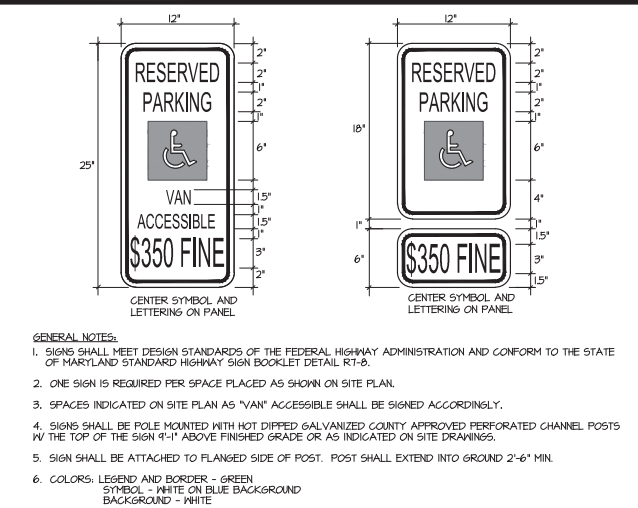
7 MOUNTING DETAIL FOR PARKING RESTRICTION SIGN



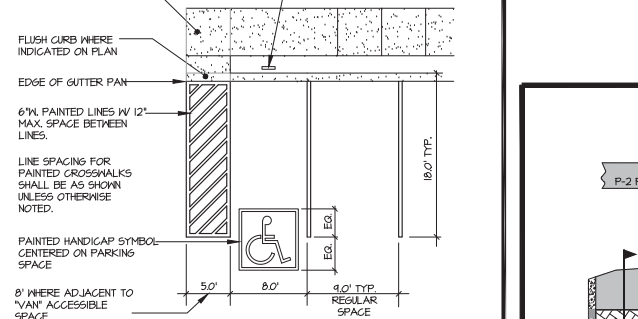
3 P-2 PAVING SECTION FOR PARCEL B PARKING LOT



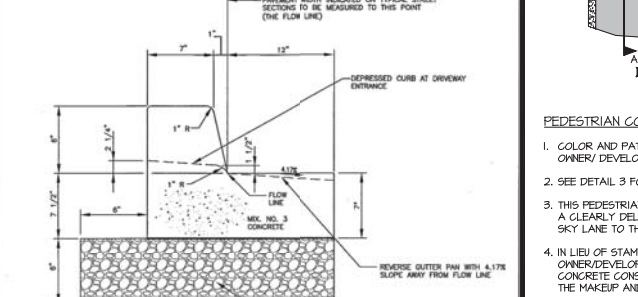
4 Curb Flush



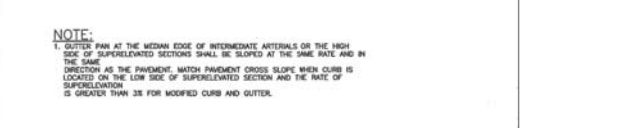
8 HANDICAP PARKING SIGNS DETAIL



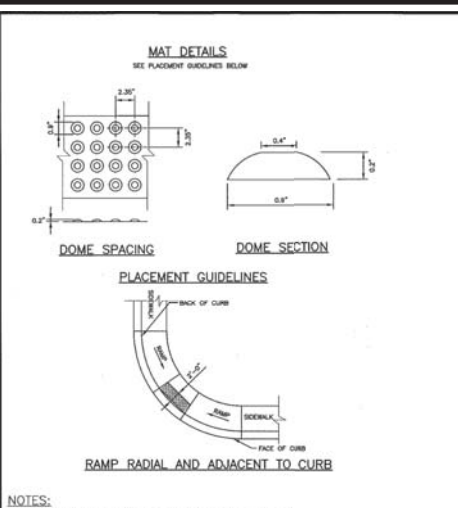
9 PARKING SPACE LAYOUT



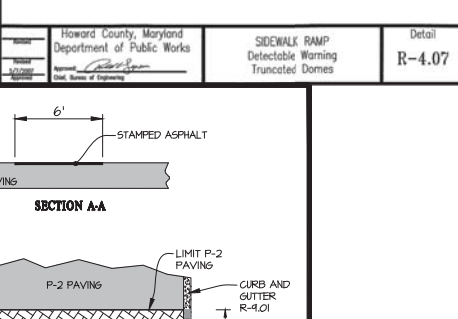
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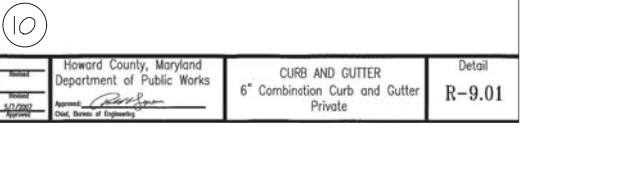
12 PEDESTRIAN CONNECTION SECTION & DETAIL



13 DRIVEWAY STRIPING DETAIL



12 PEDESTRIAN CONNECTION SECTION & DETAIL



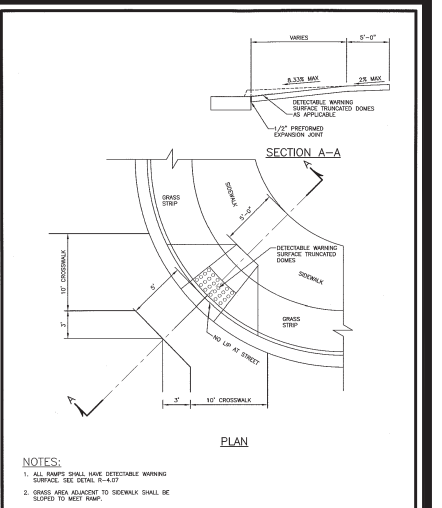
10 CURB AND GUTTER

Howard County, Maryland
 Department of Public Works
 Detail
 R-4.02

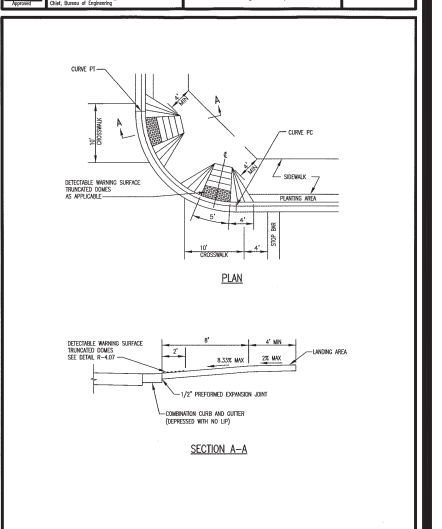
Howard County, Maryland
 Department of Public Works
 Detail
 R-4.07

Howard County, Maryland
 Department of Public Works
 Detail
 R-4.03

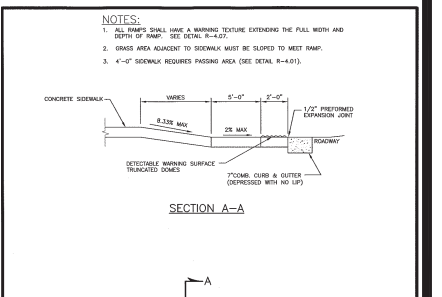
Howard County, Maryland
 Department of Public Works
 Detail
 R-9.01



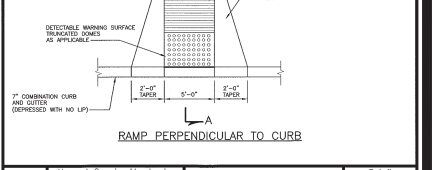
14 SIDEWALK RAMP Type B Single Ramp



15 SIDEWALK RAMP Type B Dual Ramp



16 RAMP PERPENDICULAR TO CURB



16 RAMP PERPENDICULAR TO CURB

SITE DETAILS

DOWNTOWN COLUMBIA
CRESCENT NEIGHBORHOOD
PARCEL B
TEMPORARY PARKING LOT
(PART OF TAX PARCEL 527) PLAT NO.

SCALE: _____ ZONING: NT G. L. W. FILE NO.: 15019

DATE: MAY, 2017 TAX MAP - GRID: 36 - 01 SHEET: 10 OF 10

ELECTION DISTRICT No. 5 HOWARD COUNTY, MARYLAND

OWNER/PREPARED FOR:
 THE HOWARD HUGHES CORPORATION
 10480 LITTLE PATUXENT PARKWAY
 SUITE 400
 COLUMBIA, MD 21044
 ATTN: MR. BILL ROWE
 410-964-4800

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DAILY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12375, EXPIRATION DATE MAY 26, 2018.

L:\CADD\DRAWINGS\11071\15019\PLANS BY GLW\SDP - Parcel B Parking Lot\15019\SDP08 - Site Details.dwg
 PLOTTED: 5/17/2017 4:51 PM, LAST SAVE: 4/29/2017 10:57 AM, PLOTTED BY: jay.hartman



L:\CADD\DRAWINGS\110711601\981\ANS BY GUTSCHICK\BTR\RENDER\1610_ParcelB_P8_Render.dwg
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