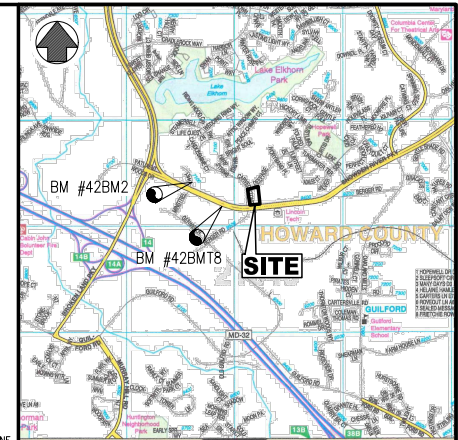


GENERAL NOTES

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS IF AVAILABLE.
- THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF THE WORK.
- THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 OR 811 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
- TRAFFIC CONTROL DEVICES, MARKINGS AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
- ALL PLAN DIMENSIONS ARE TO FACE OF CURB OR TO THE FACE OF THE BUILDING UNLESS OTHERWISE NOTED.
- THE SUBJECT PROPERTY IS ZONED NT: NEW TOWN PER THE HOWARD COUNTY COMPREHENSIVE ZONING PLAN (10/06/2013).
- AN ENVIRONMENTAL CONCEPT PLAN WAS APPROVED FOR THIS PROJECT DATED (10/15/2018).
- THIS PROJECT IS IN CONFORMANCE WITH THE LATEST HOWARD COUNTY STANDARDS.
- THE EXISTING TOPOGRAPHY IS A SURVEY OF FIELD RUN TOPO PREPARED BY MORRIS AND RITCHE ASSOCIATES, INC. DATED 03/17/2018, HOWARD COUNTY GIS TOPO (CIRCA 2011) HAS BEEN SHOWN TO SUPPLEMENT THE PLAN.
- THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL WHICH IS BASED UPON THE MARYLAND STATE PLANE COORDINATE SYSTEM. HOWARD COUNTY BENCHMARK NOS. 42BM2 AND 42BMT8 WERE USED FOR THIS PROJECT.
- THIS PROJECT UTILIZES ENVIRONMENTAL SITE DESIGN FOR ALL SWM PRACTICES. ALL SWM DEVICES WILL BE PRIVATELY OWNED AND MAINTAINED.
- NO GRADING, REMOVAL OF VEGETATIVE COVER OR TREES, PAVING AND NEW STRUCTURES SHALL BE PERMITTED WITHIN THE REQUIRED WETLANDS, STREAM(S) OR THEIR BUFFERS, FOREST CONSERVATION EASEMENT AREAS AND 100 YEAR FLOODPLAIN.
- EXISTING UTILITIES ARE BASED UPON FIELD RUN SURVEY PERFORMED BY ACCURATE INFRASTRUCTURE DATA, INC. DATED (04/03/2018).
- WATER IS SERVED THROUGH AN EXISTING PUBLIC WATER MAIN (SDP-74-122).
- EXISTING SEWER IS SERVED THROUGH AN EXISTING 4" PUBLIC SEWER MAIN AS SHOWN ON SDP-74-122.
- THERE IS NO FLOODPLAIN ON THIS SITE.
- THERE ARE NO STREAMS OR WETLANDS ON THIS SITE. STEEP SLOPES EXIST ALONG THE BOUNDARY ADJACENT TO THE RAIL LINES.
- THE TRAFFIC STUDY FOR THIS PROJECT WAS PREPARED BY THE TRAFFIC GROUP DATED 04/26/2018. THE APFO STUDY WAS APPROVED ON 09/11/2019.
- A PARKING DEMAND STUDY WAS PREPARED BY THE TRAFFIC GROUP DATED 10/21/2019 AND APPROVED 02/26/2020.
- NO NOISE STUDY REQUIRED FOR THIS PROJECT.
- GEOTECHNICAL REPORT FOR THIS PROJECT WAS PREPARED BY ECS MID-ATLANTIC, LLC DATED NOVEMBER 9, 2018.
- BOUNDARY INFORMATION IS BASED ON A FIELD RUN BOUNDARY SURVEY PERFORMED BY MORRIS AND RITCHE ASSOCIATES, INC. DATED MARCH 17, 2018.
- THE APPROVAL OF THIS SITE DEVELOPMENT PLAN (SDP) DOES NOT CONSTITUTE ANY APPROVAL OF ANY SUBSEQUENT AND ASSOCIATED SUBDIVISION PLAN/PLAN AND/OR RED-LINE REVISION PLAN. REVIEW OF THIS PROJECT FOR COMPLIANCE WITH THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS AND THE HOWARD COUNTY ZONING REGULATIONS SHALL OCCUR AT THE SUBDIVISION PLAN/PLAN STAGE AND/OR RED-LINE REVISION PLAN PROCESS. THEREFORE THE APPLICANT AND CONSULTANT SHOULD EXPECT ADDITIONAL AND MORE DETAILED REVIEW COMMENTS (INCLUDING COMMENTS THAT MAY ALTER THE OVERALL SITE DESIGN) AS THIS PROJECT PROGRESSES THROUGH THE PLAN REVIEW PROCESS.
- HEALTH DEPARTMENT APPROVAL OF THIS SITE DEVELOPMENT PLAN DOES NOT ENSURE APPROVAL OF BUILDING PERMIT APPLICATIONS ASSOCIATED WITH THIS PLAN. PLANS FOR CERTAIN FACILITIES TO BE CONSTRUCTED WITHIN THE LIMITS DESCRIBED BY THIS PLAN WILL REQUIRE REVIEW AND APPROVAL BY THE HEALTH DEPARTMENT. SUCH FACILITIES MAY INCLUDE, BUT ARE NOT LIMITED TO, THOSE WHICH HAVE SWIMMING POOLS, OR THAT SELL PREPARED OR PACKAGED FOODS, OR THAT MAY HAVE EQUIPMENT THAT EMITS RADIATION.
- THE CORRECTNESS OR COMPLETENESS OF EXISTING INFORMATION SHOWN ON THE DRAWINGS IS NOT WARRANTED OR GUARANTEED. THE CONTRACTOR SHALL VERIFY THE LOCATION OF UTILITIES AND UNDERGROUND FACILITIES, BY TEST PITS OR OTHER METHODS APPROVED BY THE OWNER'S REPRESENTATIVE, AS REQUIRED TO VERIFY EXACT LOCATIONS AND DEPTHS WITHIN THE LIMIT OF DISTURBANCE. ALL DISCREPANCIES BETWEEN INFORMATION SHOWN ON THE DRAWINGS AND THAT VERIFIED IN THE FIELD SHALL BE REPORTED TO THE OWNER'S REPRESENTATIVE PRIOR TO BEGINNING WORK.
- THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. FINANCIAL SURETY IN THE AMOUNT OF \$14,370 FOR 9 SHADE TREES (\$300/TREE), 37 EVERGREEN AND 7 ORNAMENTAL TREES (\$150/TREE), AND 169 SHRUBS (\$30/SHRUB) HAS BEEN POSTED WITH THE DEVELOPER'S AGREEMENT.

SITE DEVELOPMENT PLAN

SNOWDEN CROSSING 7090 DEEPAGE DRIVE HOWARD COUNTY, MARYLAND



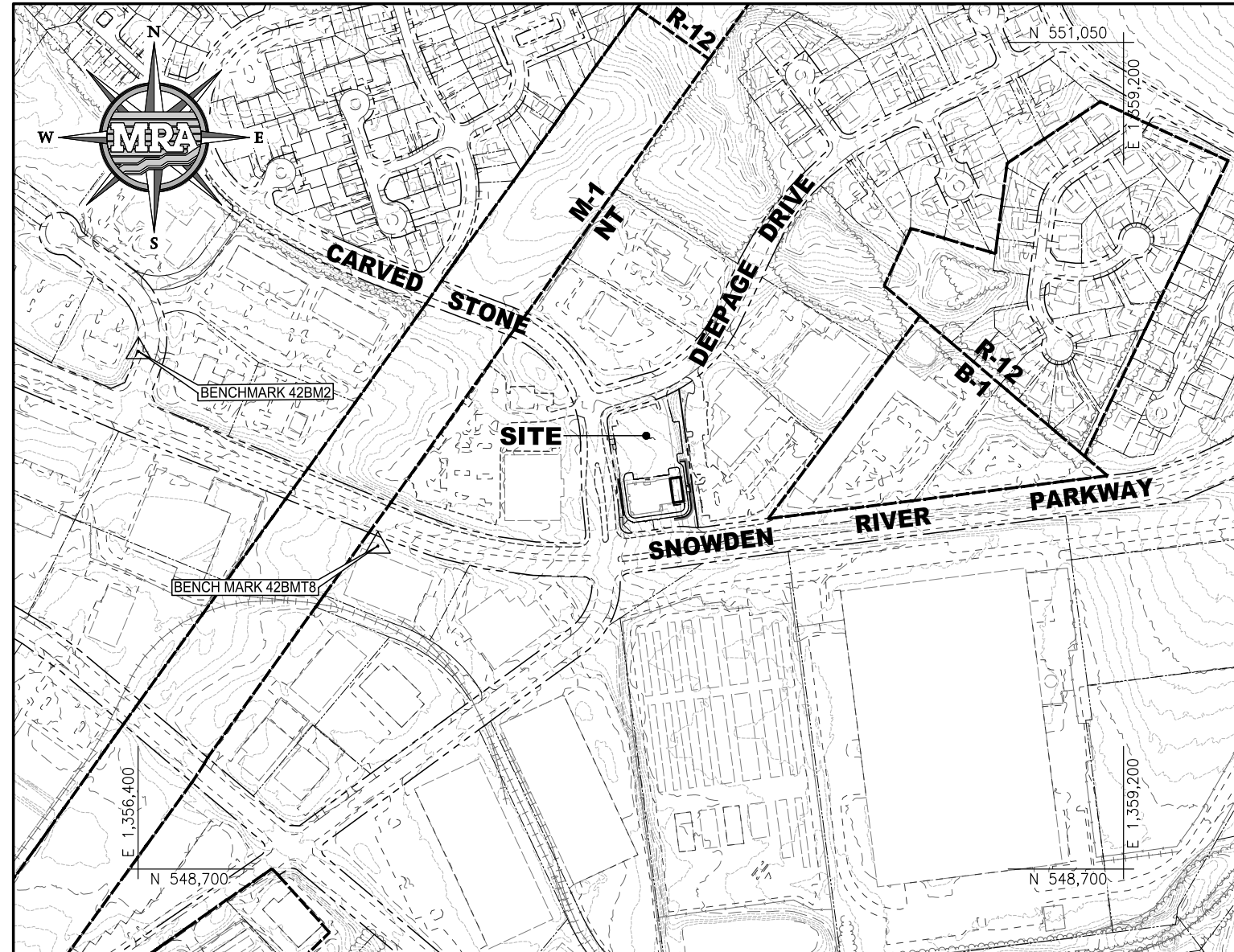
COPYRIGHT ADC THE MAP PEOPLE PERMITTED USE No. 21006237 MAP No. 33, GRID D6

VICINITY MAP
1"=2,000'

BENCHMARKS

BM #	N	E	NAVD 88 ELEV.	DESCRIPTION
BM 42BM2	N 550188.45	E 1356399.56	103.983	DESCRIPTION: BOX IN CONC. WALK LOCATED ON WESTERN SIDE OF MINISTREL WAY BY KFC RESTAURANT
BM 42BMT8	N 549576.24	E 1357309.56	104.831	DESCRIPTION: 3/4 REBAR/ALUM CAP LOCATED APPROX 300' N OF BERGER ROAD ON SOUTH SIDE OF SNOWDEN RIVER PKWY

*NOTE: NORTHINGS AND EASTINGS FROM BENCHMARKS WERE NOT GIVEN PER HOWARD COUNTY GEODETIC CONTROL WEBSITE. INFORMATION APPROXIMATED.



LEGEND

- EX. EDGE OF PAVEMENT
- EX. CURB AND GUTTER
- EX. TREE LINE
- EX. ADJACENT PROPERTY LINE
- EX. PROPERTY LINE
- EX. RIGHT OF WAY
- EX. EASEMENT
- PR. EASEMENT
- EX. BUILDING/STRUCTURE
- EX. 2' CONTOUR
- EX. 10' CONTOUR
- EX. ZONING
- PR. CURB AND GUTTER
- EX. BUILDING/STRUCTURE

SITE ANALYSIS DATA CHART

1. SITE AREA	1.79 ACRES (77,851 SF)
2. AREA OF PLANNED SUBMISSION	0.80 ACRES (34,874 SF)
3. LIMIT OF DISTURBANCE	0.80 ACRES (34,874 SF)
4. PRESENT ZONING	NT
5. EXISTING USE	RETAIL/RESTAURANT
6. PROPOSED USE	RETAIL/RESTAURANT WITH ADDITION OF A FAST FOOD RESTAURANT AND DRIVE THRU WINDOW
7. FLOOR SPACE	EXISTING: 10,238 SF PROPOSED: 2,100 SF TOTAL: 12,338 SF
8. PARKING SPACES REQUIRED	136
9. PARKING SPACES PROVIDED	87
10. DPZ FILE REFERENCES	SDP-74-122, PB27-041, PB24-086, PB20-196, 118-A-3 PART 2, PLAT NO. 42 / 397
11. SANITARY SEWER / WATER SERVICE	PUBLIC/PUBLIC
12. TAX MAP / PARCEL NO.	42 / 397
13. ELECTION DISTRICT	6
14. EX. STEEP SLOPES >15%	0.00 Ac.
15. EX. IMPERVIOUS AREA (ON-SITE)	1.14 Ac.
16. EX. OPEN SPACE (ON-SITE)	0.65 Ac.
17. PR. IMPERVIOUS (ON-SITE)	1.26 Ac.
18. PR. OPEN SPACE (ON-SITE)	0.53 Ac.
19. EX. IMPERVIOUS AREA (W/IN LOD)	0.50 Ac.
20. EX. OPEN SPACE (W/IN LOD)	0.28 Ac.
21. PR. IMPERVIOUS AREA (W/IN LOD)	0.38 Ac.
22. PR. OPEN SPACE (W/IN LOD)	0.00 Ac.
23. EXISTING FOREST ON-SITE	0.00 Ac.
24. EROSION SOILS ON-SITE (Cub)	0.00 Ac.
25. EXISTING WETLANDS AND BUFFER AREA	0.00 Ac.
26. EXISTING FLOODPLAIN & BUFFER AREA	0.00 Ac.

SHEET INDEX

01 OF 27	COVER SHEET
02 OF 27	SDP SITE PLAN & DETAILS
03 OF 27	SDP SITE PLAN & DETAILS (REVISION)
04 OF 27	SDP DRAINAGE AREA MAP
05 OF 27	SDP DRAINAGE AREA MAP (REVISION)
06 OF 27	SDP ESC
07 OF 27	SDP ESC (REVISION)
08 OF 27	EROSION & SEDIMENT CONTROL PLAN EXISTING CONDITIONS (ESC 1 OF 4)
09 OF 27	EROSION & SEDIMENT CONTROL PLAN PROPOSED CONDITIONS (ESC 2 OF 4)
10 OF 27	EROSION & SEDIMENT CONTROL PLAN DETAILS (ESC 3 OF 4)
11 OF 27	EROSION & SEDIMENT CONTROL NOTES (ESC 4 OF 4)
12 OF 27	FINAL GRADING PLAN
13 OF 27	UTILITY PLAN, STORM DRAIN PLAN & DRAINAGE AREA MAP
14 OF 27	UTILITY PROFILES
15 OF 27	SITE PLAN
16 OF 27	SITE DETAILS-1
17 OF 27	SITE DETAILS-2
18 OF 27	STORM DRAIN DETAILS
19 OF 27	STORMWATER MANAGEMENT PLAN
20 OF 27	STORMWATER MANAGEMENT PROFILES & DETAILS
21 OF 27	STORMWATER MANAGEMENT NOTES
22 OF 27	GEO-TECHNICAL BORING LOGS & LOCATION PLAN
23 OF 27	LANDSCAPE PLAN
24 OF 27	LANDSCAPE NOTES & DETAILS
25 OF 27	PROPOSED RETAINING WALLS PLAN AND GENERAL NOTES
26 OF 27	PROPOSED RETAINING WALLS PROFILES AND SECTIONS
27 OF 27	PROPOSED RETAINING WALLS TYPICAL DETAILS

ADDRESS CHART

LOT / PARCEL #	STREET ADDRESS	ACREAGE
LOT D-1/0397	7090 DEEPAGE DRIVE	1.78 AC. (77,851 SF)

PERMIT INFORMATION CHART

ADDRESS	TAX ACCOUNT NO.	PLAT NO.
7090 DEEPAGE DRIVE	108030	

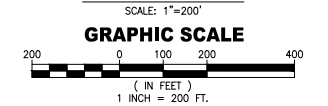
PARCEL	L / F	GRID	ZONING	TAX MAP NO.	ELECT. DIST.	CENSUS TRACT
0397		4	NT	42	6	606705

PARKING TABULATIONS

USE	GROSS S.F.	PARKING RATE	PARKING SPACES REQUIRED
EXISTING RESTAURANT - CRAVIN	4,364 SF	14/1,000 SF	61
EXISTING RETAIL - GYM SOURCE	2,807 SF	5/1,000 SF	14
EXISTING RETAIL - CHARM CITY RUN	1,485 SF	5/1,000 SF	8
EXISTING RESTAURANT - VACANT	1,582 SF	14/1,000 SF	22
PR. ADDITION - COFFEE/DONUT SHOP	2,100 SF	14/1,000 SF	30
PR. OUTDOOR SEATING AREA - COFFEE/DONUT SHOP	300 SF	3/1,000 SF	1
TOTAL PARKING REQUIRED			136
TOTAL PARKING PROVIDED (83 + 4 ADA SPACES)			87*

- CURRENT HOWARD COUNTY PARKING REGULATIONS WERE UTILIZED FOR THIS CHART. SINCE THERE WERE NOT SPECIFIC COUNTS LISTED FOR RESTAURANTS ON THE FDP.
- REFER TO NOTE 19 FOR REFERENCE TO THE PARKING DEMAND STUDY. THE PARKING DEMAND STUDY DETERMINED THAT THERE IS SUFFICIENT PARKING SPACES AVAILABLE AT ALL TIMES EXCEPT FOR A 1 HOUR PERIOD ON SATURDAY MORNING FROM 8:30-9:30 AM.
- *REFER TO GENERAL NOTE 19.

LOCATION PLAN



STORMWATER MANAGEMENT INFORMATION

LOT/PARCEL NUMBER	FACILITY NAME & NUMBER	PRACTICE TYPE (QUANTITY)	PUBLIC	PRIVATE	HOA MAINTAINS	MISC.
D-1 / 0397	MICROBIORETENTION FACILITY 1	M-6 (456 CF)	NO	YES	NO	N/A
D-1 / 0397	FILTERRA FACILITY 1	M-6 (475 CF)	NO	YES	NO	N/A
D-1 / 0397	FILTERRA FACILITY 2	M-6 (475 CF)	NO	YES	NO	N/A

APPROVED: DEPARTMENT OF PLANNING AND ZONING

CHIEF, DEVELOPMENT ENGINEERING DIVISION _____ DATE _____

CHIEF, DIVISION OF LAND DEVELOPMENT _____ DATE _____

DIRECTOR _____ DATE _____

APPROVED PLANNING BOARD HOWARD COUNTY _____ DATE _____

APPROVED FOR PUBLIC WATER AND PUBLIC SEWER _____ DATE _____

COUNTY HEALTH OFFICER _____ DATE _____
HOWARD COUNTY HEALTH DEPARTMENT

DATUM

DESIGN & DRAWING BASED ON MARYLAND COORDINATE SYSTEM (MCS): HORIZONTAL: NAD 83 (1991) VERTICAL: NAVD 88

OWNER / DEVELOPER

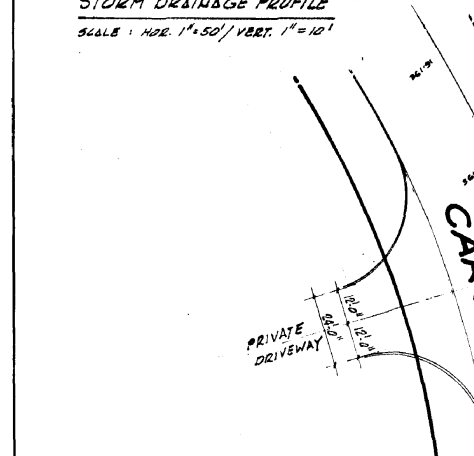
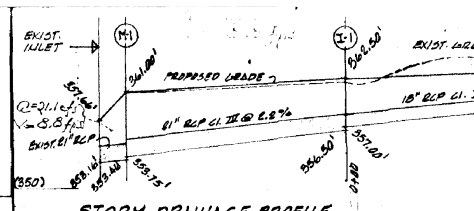
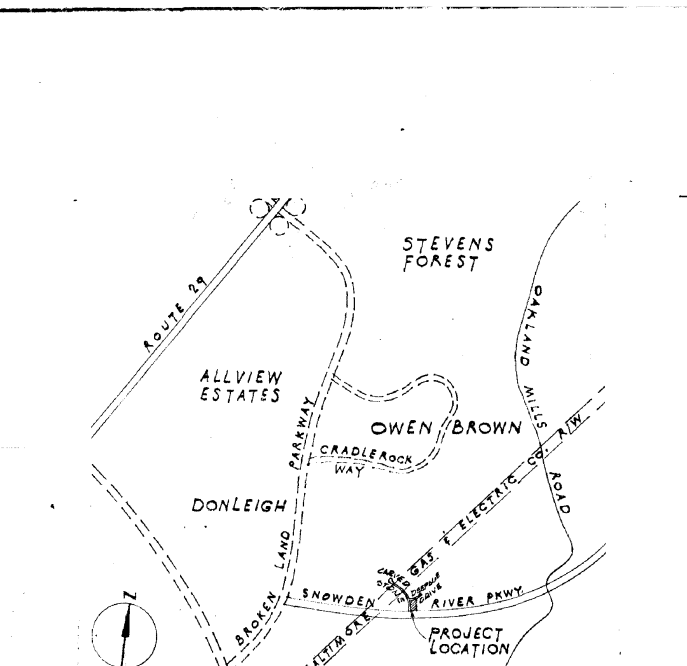
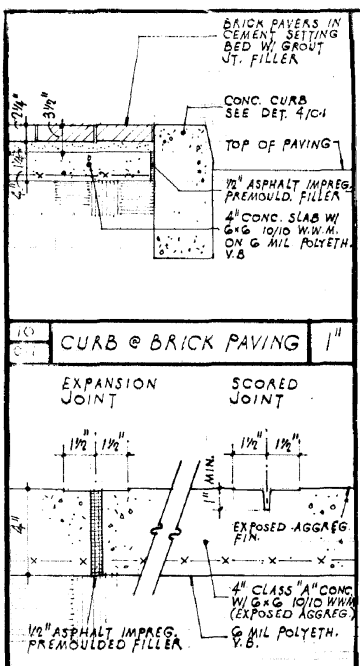
SNOWDEN CROSSING LLC
2800 QUARRY LAKE DRIVE, SUITE 340
BALTIMORE, MD 21209
PHONE: 410-308-0700
ATTN: SCOTT CHERRY

MORRIS & RITCHE ASSOCIATES, INC.
ENGINEERS, PLANNERS, SURVEYORS AND LANDSCAPE ARCHITECTS
1220-C EAST JOPPA ROAD, SUITE 505
TOWSON, MARYLAND 21286
(410) 821-1690
FAX (410) 821-1748
Copyright 2020 Morris & Ritchie Associates, Inc.

SITE DEVELOPMENT PLAN
VILLAGE OF OWEN BROWN, SECTION 2,
AREA 2, LOT D-1, SNOWDEN CROSSING
COVER SHEET

SDP-74-122
TAX MAP 42 -- GRID 04 -- PARCEL: 0397 -- ZONING NT -- DEED REF 17342/229
PLAT NO. 2741 -- TAX ASSESSMENT DISTRICT 82 -- 6th ELECTION DISTRICT
7090 DEEPAGE DRIVE, HOWARD COUNTY, MARYLAND, 21045

DATE	REVISIONS	JOB NO.:
11/22/2019	REVISED SDP-74-122 TO INCLUDE 2100 SF ADDITION	19650
		SCALE: AS SHOWN
		DATE: 01/22/2020
		DRAWN BY: DTP
		DESIGN BY: THS
		REVIEW BY: THS
		SHEET: 01 OF 27



STRUCTURE

NO.	TYPE	TOPEL.	REMARKS
M-1	MANHOLE	3661.80'	NEW HOWARD CITY STD. D-102
I-1	INLET	3662.50'	NEW HOWARD CITY STD. D-102
I-2	"DOUBLE S" INLET	3663.75'	NEW HOWARD CITY STD. D-102

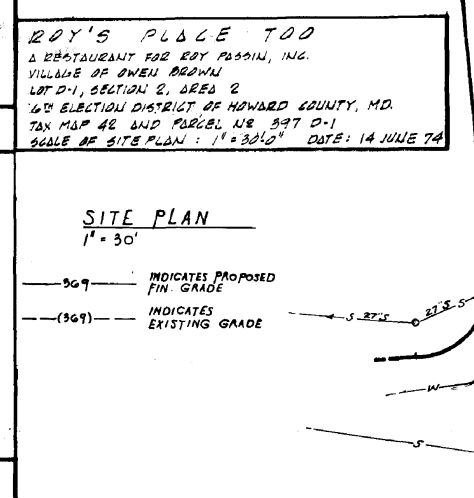
PIPE

DIA.	TYPE	LENGTH	REMARKS
21"	RCP CI. III	120'	
18"	RCP CI. III	150'	
18"	RCP CI. III	22'	

SCHEDULES

NO.	DESCRIPTION	DATE
1	NEW HOWARD CITY STD. D-102 INLET	TOP ELEV. 3662.50'
2	INVERT 18" DIA. 367.00'	
3	INVERT 21" DIA. 366.50'	

ROY'S PLACE TOO
 A RESTAURANT FOR ROY PASSIN, INC.
 VILLAGE OF OWEN BROWN
 LOT D-1, SECTION 2, AREA 2
 6TH ELECTION DISTRICT OF HOWARD COUNTY, MD.
 TAX MAP 48 W/D PARCEL NO. 597 D-1
 SCALE OF SITE PLAN: 1" = 30' DATE: 14 JULIE 74



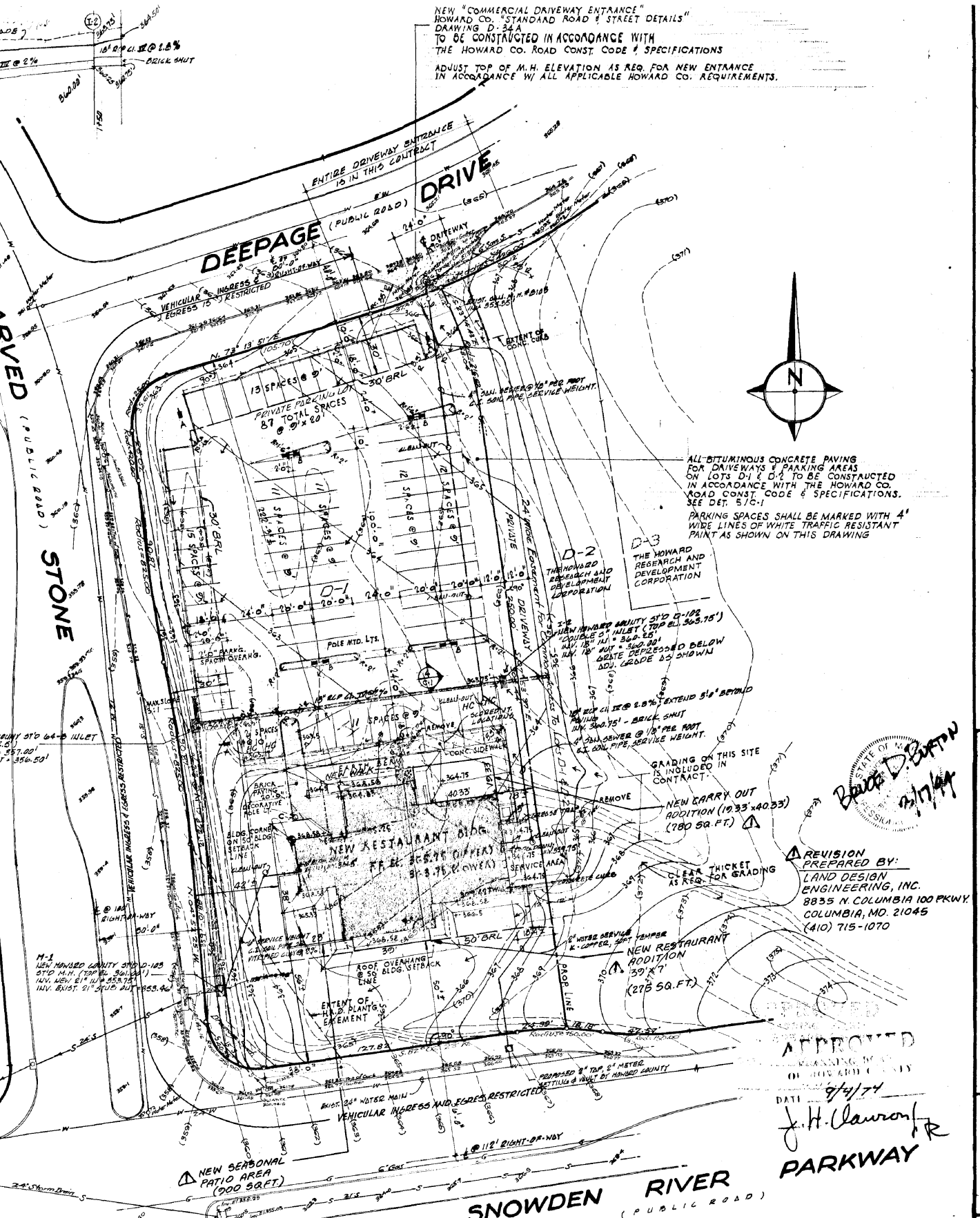
NOTE:
 Elevations shown hereon are in accordance with Bench Marks delineated on sheet 1 of 7, of Road Construction Plans, Village of Owen Brown, Section 2, Area 2, Columbia, Maryland, by Whitman, Reardon & Associates, Engineers, Baltimore, Md. Bench Marks: No. L-203 - Roadside Flange Bolt on Fire Hydrant, southeast corner Snowden River Parkway and Bargar Road. Elevation 358.17

Underground construction and utilities shown hereon were compiled from available records and should be verified as to their accuracy nor completeness of these facilities can be assured. (Record Sanitary Sewer, M.H. No. 8103 Invert from Contract No. 2534)

Property line information taken from Record Plat of Village of Owen Brown, Columbia, and recorded in Plat Book 27 of Folio 41.

OWNER:
 ROY PASSIN, INC.
 3170 LANE
 BETHESDA, MD. 20760

ARCHITECT:
 THOMAS CLARK AIA - ARCHITECT
 4700 MONTGOMERY LANE
 BETHESDA, MD. 20814



CURB DET.

1" = 30'

10' MIN. CONC. SIDEWALK IN ACCORDANCE WITH THE HOWARD CO. ROAD CONST. CODE & SPECIFICATIONS.

CONSTRUCT IN COMPLETE ACCORDANCE W/ HOWARD CO. DRAWING D-13

BITUMINOUS CONC. SURFACE BAND C-3

BITUMINOUS CONC. BASE BAND C-2 OR G-3

PAVING SECTION

3" = 1"

GENERAL NOTES

THE STATE FIRE PROTECTION ENGINEER FOR HOWARD COUNTY, MD., HAS CLASSIFIED THIS STRUCTURE AS CONSTRUCTION TYPE "2-C", USE GROUP "F-3"

THE LOTS OR PARCELS SHOWN ON THIS PLAN ARE SUBJECT TO THE SUPPLEMENTAL SEWER IN-AD-OF-CONSTRUCTION CHARGE CREATED BY SECTION 20.811A OF THE HOWARD COUNTY CODE AND TO EXECUTIVE ORDER NO. 72.1.

SITE LIGHTING NOTES:

A. 18' POLE W/ 1-250 W. COLOR CORRECTED MERCURY VAPOR LAMP.

B. 18' POLE W/ 2-250 W. COLOR CORRECTED MERCURY VAPOR LAMPS.

C. 8' POLE W/ 1-150 W. COLOR CORRECTED MERCURY VAPOR LAMP.

FIXTURE TYPES A & B TO BE KIM E.K.G. PHASE II, 200 SERIES OR SIMILAR

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 38291, EXPIRATION DATE: 1/13/2022.

REDLINE NOTE

THIS SHEET DOES NOT APPLY TO THE CONSTRUCTION OF THE 2,100 SF ADDITION AND THE DRIVE-THRU.

SEE SHEETS 8-27 FOR THE BUILDING EXPANSION AND MODIFICATIONS.

PROJECT TABULATIONS

1. SITE LIGHTING NOTES

2. PROFESSIONAL CERTIFICATION

3. REDLINE NOTE

APPROVED PLANNING BOARD HOWARD COUNTY

DATE: _____

APPROVED: DEPARTMENT OF PLANNING AND ZONING

CHEF, DEVELOPMENT ENGINEERING DIVISION DATE: _____

CHEF, DIVISION OF LAND DEVELOPMENT DATE: _____

DIRECTOR DATE: _____

APPROVED

PLANNING BOARD OF HOWARD COUNTY

DATE: 7/4/74

J.H. Lawson, R.

APPROVED

FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS HOWARD COUNTY HEALTH DEPARTMENT

DATE: 10/28/74

APPROVED

HOWARD COUNTY OFFICE OF PLANNING AND ZONING

DATE: 10/28/74

APPROVED

FOR PUBLIC WATER AND PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS - HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS

DATE: 10/28/74

SITE DEVELOPMENT PLAN

LOT D-1

VILLAGE OF OWEN BROWN

COLUMBIA

HOWARD COUNTY, MARYLAND

6TH ELECTION DISTRICT

SCALE: 1" = 30'

MAY, 1974

JOHN J. ALLEN ASSOCIATES, CIVIL ENGINEERS - LAND PLANNERS & SURVEYORS

4801 MONTGOMERY LANE BETHESDA, MARYLAND

SDP-74-122c

A-7422

ROY'S PLACE TOO

a restaurant for roy passin inc.

Thomas Clark AIA Architect

Bethesda, Maryland

652-2500

REVISIONS

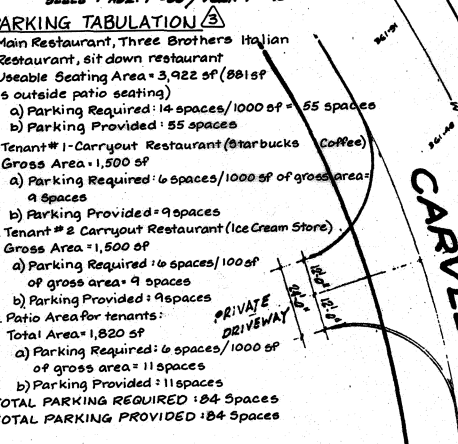
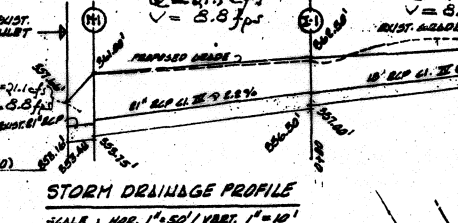
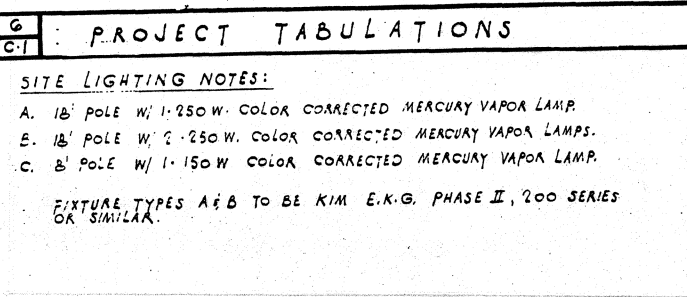
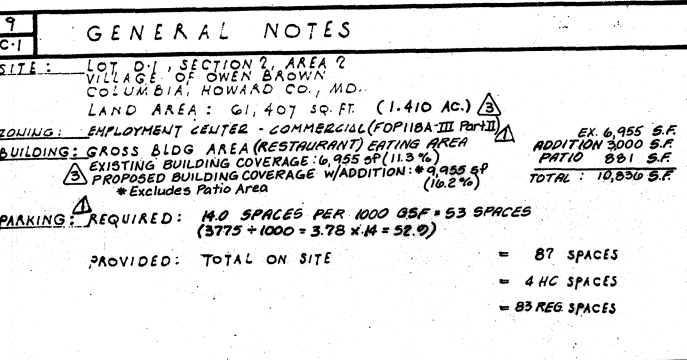
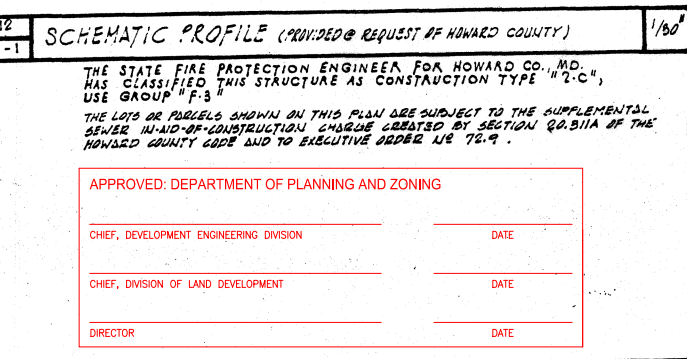
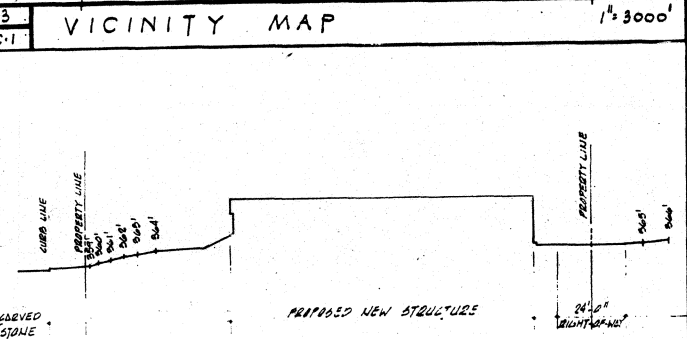
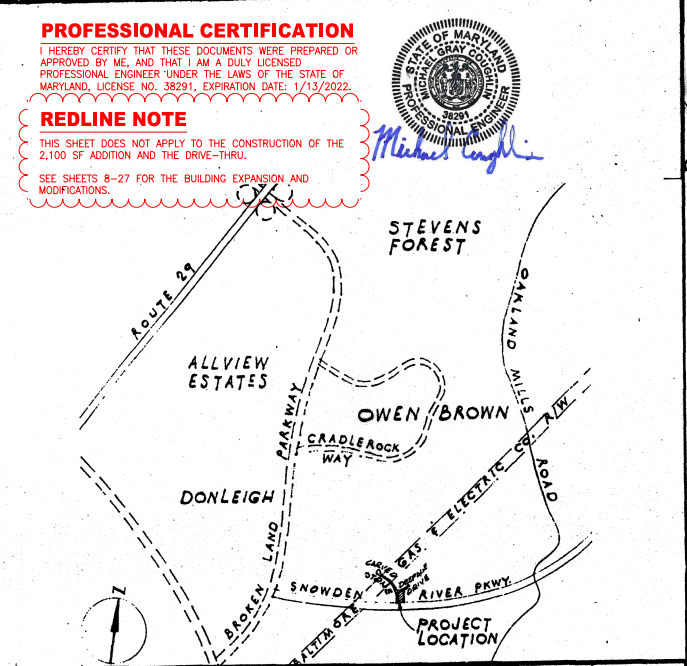
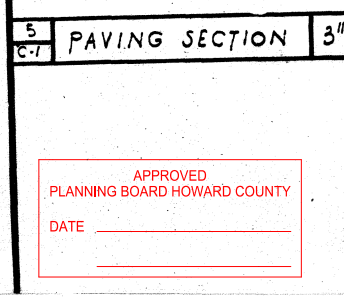
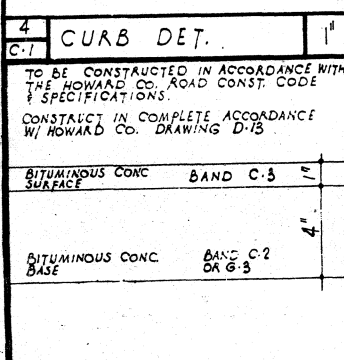
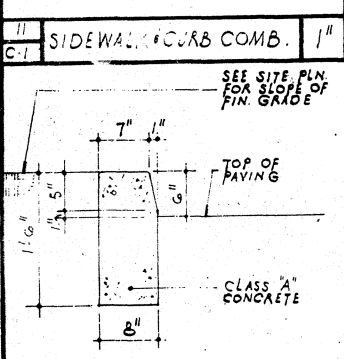
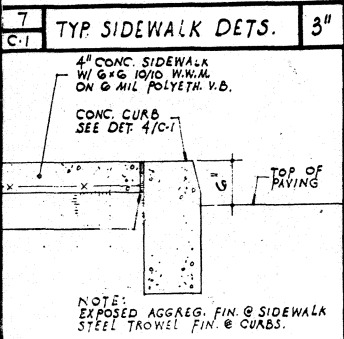
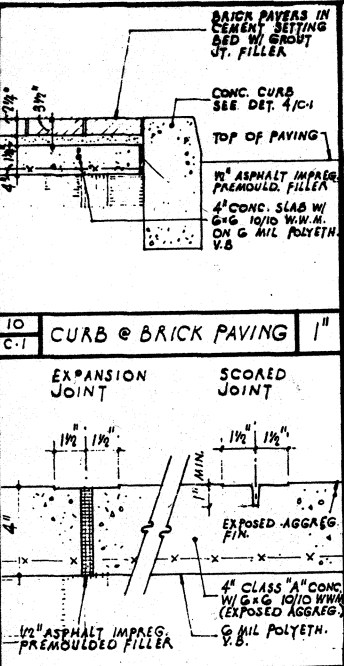
01/22/2020 REVISED SDP-74-122 TO INCLUDE 2100 SF ADDITION

SHEET: 02 OF 27

SITE PLAN & DETAIL SCALE: 1" = 30' AS NOTED

C-2

29 JULY 74

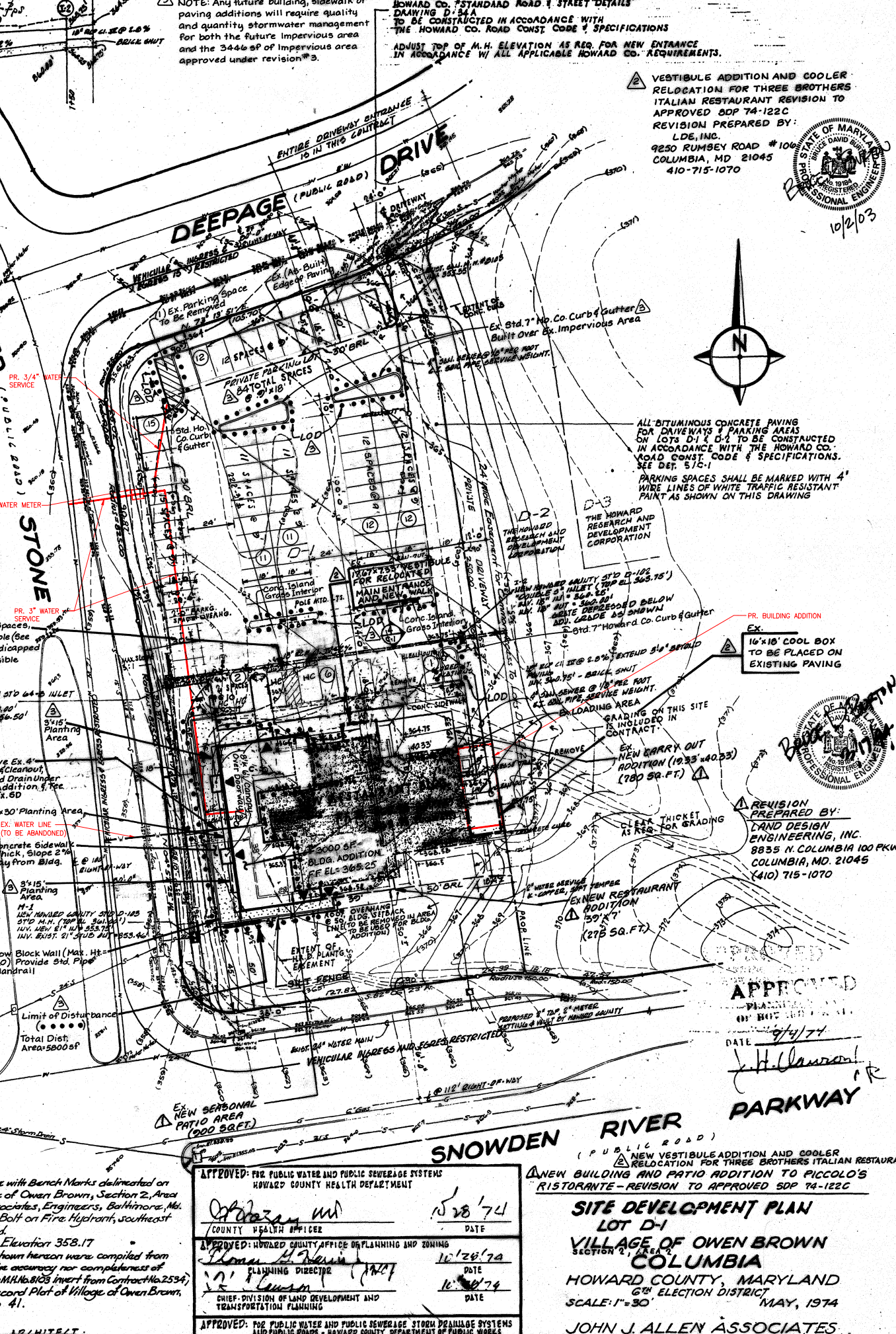
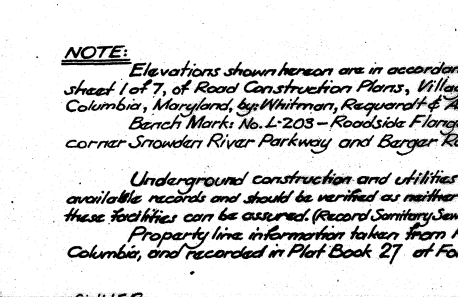
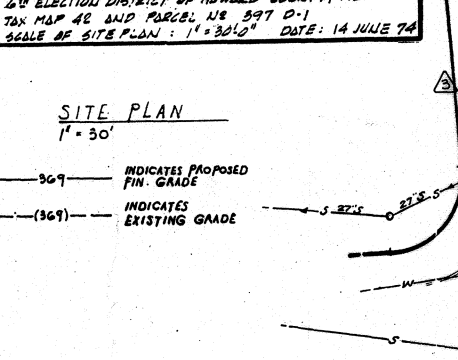
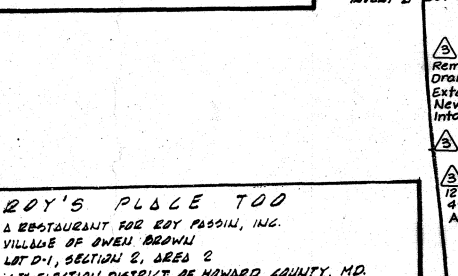
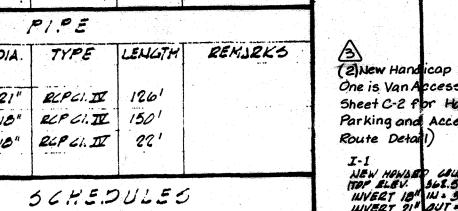


STRUCTURE

NO	TYPE	TOPEL	REMARKS
M-1	MANHOLE	361.00'	NEW HOWARD CITY STD D-108
I-1	INLET	362.50'	NEW HOWARD CITY STD D-108
I-2	DOUBLE INLET	363.75'	NEW HOWARD CITY STD D-108

PIPE

DIA	TYPE	LENGTH	REMARKS
21"	REPC. II	120'	
18"	REPC. II	150'	
18"	REPC. II	22'	



THREE BROTHERS ITALIAN RESTAURANT

a restaurant for eby passin inc. village of owen brown - columbia - howard county - maryland

10/2/03

12/1/74

01/22/2020 REVISED SDP-74-122 TO INCLUDE 2100 SF ADDITION

SHEET: 03 OF 27 SDP-74-122

SITE PLAN & DETAILS SCALE: 1" = 30' AS NOTED

sh. 1 of 3

C-3

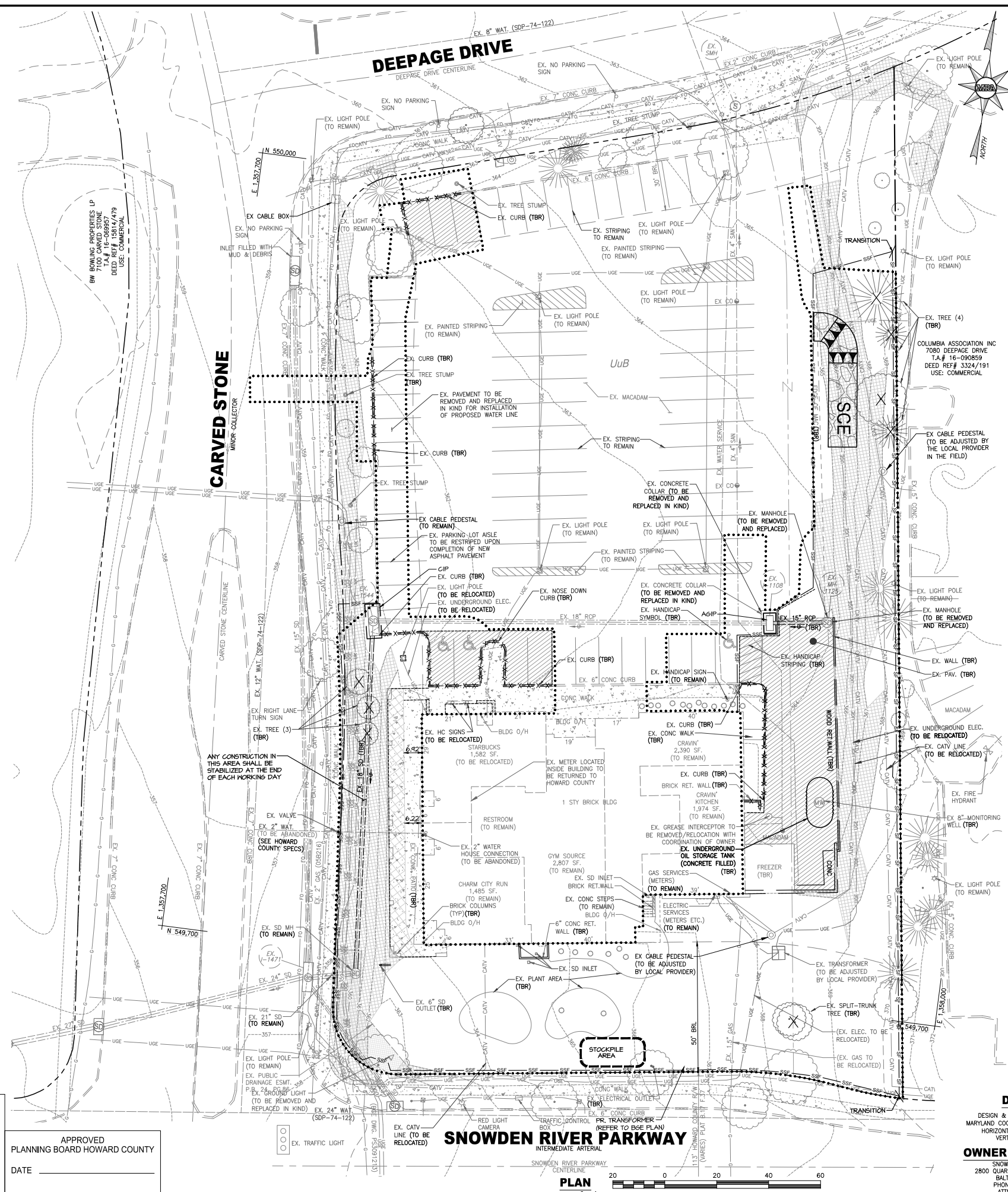
Thomas Clark AA Architect Bethesda, Maryland 662-2550

LEGEND

- EX. 1 FOOT CONTOURS
- EX. 2 FOOT CONTOURS
- EX. 10 FOOT CONTOURS
- EX. CURB AND GUTTER
- EX. CONCRETE
- EX. C/L ROAD
- EX. ADJACENT PROPERTY LINE
- EX. PROPERTY LINE
- EX. RIGHT OF WAY
- EX. UTILITY EASEMENT
- EX. WATER LINE
- EX. SANITARY LINE
- EX. STORM DRAIN LINE
- EX. FIBER OPTIC CABLE
- EX. CATV
- EX. GAS
- EX. UNKNOWN UTILITY
- EX. UNDER GROUND ELECTRIC
- EX. LIGHT POLE
- EX. U/G UTILITY HANDBOX
- EX. UTILITY POLE
- EX. SIGN
- EX. BOLLARD
- EX. SLOPE GREATER THAN 15%
- EX. TREE
- EX. BUILDING/STRUCTURE
- EX. BLOCK RETAINING WALL
- PROPOSED LIMIT OF DISTURBANCE TO BE REMOVED (TBR)
- EX. CURB TO BE REMOVED
- EX. TREE TO BE REMOVED
- EX. PAVING TO BE REMOVED *
- EX. CONCRETE TO BE REMOVED *
- * REFER TO GEOTECHNICAL REPORT FOR EX. PAVEMENT AND CONCRETE SECTIONS.
- PR. SILT FENCE
- PR. SUPER SILT FENCE
- PR. STABILIZED CONSTRUCTION ENTRANCE W/ TYPE 'B' MOUNTABLE BERM
- UuB URBAN LAND-UDORTMENTS COMPLEX SOIL
- CIP
- AGIP

SITE DEMOLITION NOTES

1. THE CONTRACTOR SHALL SECURE ALL REQUIRED PERMITS FROM ALL APPLICABLE AGENCIES FOR HIS DEMOLITION AND DISPOSAL OF ANY DEMOLITION MATERIAL TO BE REMOVED FROM THE SITE. THE CONTRACTOR SHALL POST BONDS AND PAY PERMIT FEES AS REQUIRED TO ALL INVOLVED AGENCIES.
2. PRIOR TO COMMENCEMENT OF DEMOLITION ACTIVITIES, THE CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES TO VERIFY THE EXACT LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL CALL "MISS UTILITY" AT 1-800-257-7777 (OR 811), 72 HOURS PRIOR TO CONSTRUCTION.
3. THE CONTRACTOR SHALL STABILIZE THE SITE AND KEEP EROSION CONTROL MEASURES IN PLACE UNTIL THE COMPLETION OF WORK OR DEEMED NECESSARY BY HOWARD COUNTY INSPECTION. THE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR THE MAINTENANCE OF EXISTING EROSION AND SEDIMENTATION CONTROLS, AND FOR INSTALLATION OF ANY NEW EROSION AND SEDIMENTATION CONTROLS AT THAT TIME (AS PER THE EROSION AND SEDIMENTATION CONTROL PLAN).
4. THE CONTRACTOR SHALL PREPARE ALL MANIFEST DOCUMENTS AS REQUIRED PRIOR TO COMMENCEMENT OF DEMOLITION.
5. THE CONTRACTOR SHALL SECURE ANY PERMITS, PAY ALL FEES AND PERFORM CLEARING AND GRUBBING AND DEBRIS REMOVAL PRIOR TO COMMENCEMENT OF GRADING OPERATIONS.
6. ANY SIDEWALKS, FENCES, STAIRS, WALLS, DEBRIS AND RUBBISH THAT ARE TO BE REMOVED SHALL BE DISPOSED FROM THE SITE AREA IN AN APPROVED LANDFILL. THE CONTRACTOR IS RESPONSIBLE TO SECURE ALL NECESSARY PERMITS FOR DISPOSAL OF CONSTRUCTION MATERIALS.
7. BACKFILL DEPRESSIONS, FOUNDATION HOLES AND REMOVED DRIVEWAY AREAS WITH APPROVED SOIL MATERIAL AND COMPACT, FERTILIZE, SEED AND MULCH DISTURBED AREAS NOT SUBJECT TO FURTHER SITE CONSTRUCTION. EMPLOY WATERING EQUIPMENT FOR DUST CONTROL.
8. IF ASBESTOS OR HAZARDOUS MATERIAL ARE FOUND ON SITE, THEY MUST BE REMOVED BY A LICENSED HAZARDOUS MATERIAL CONTRACTOR.
9. A COPY OF THE "EROSION AND SEDIMENT CONTROL PLAN" SHALL BE ON-SITE THROUGHOUT THE ENTIRE DEMOLITION AND CONSTRUCTION PHASES. THE CONTRACTOR SHALL CONTACT HOWARD CO. SCD BY CALLING (410) 313-0680 ONE (1) WEEK PRIOR TO THE START OF ANY DEMOLITION AND/OR CLEARING AND GRUBBING ACTIVITIES.
10. UTILITY LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE, LOCATED FROM FIELD SURVEYS OR UTILITY COMPANY RECORDS. IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE EXACT LOCATION AND DEPTH OF ALL UTILITY LINES BEFORE THE START OF DEMOLITION.
11. THE CONTRACTOR MUST SUBMIT DISCONNECT NOTIFICATION TO HOWARD CO. PUBLIC WORKS AND ALL ASSOCIATED UTILITY COMPANIES RELATING TO THIS SITE AT LEAST THREE (3) WEEKS PRIOR TO BEGINNING DEMOLITION.
12. EXISTING WATER SERVICES SHALL BE DISCONNECTED AND CAPPED AT THE MAIN IN ACCORDANCE WITH THE REQUIREMENTS OF HOWARD COUNTY. COORDINATE WITH UTILITY DEPT. 48 HOURS PRIOR TO START OF WATER SERVICE CONNECTIONS. ALL SERVICES ARE TO BE DISCONNECTED AT THE MAIN.
13. IF DEEMED NECESSARY, DOMESTIC GAS SERVICES SHALL BE CAPPED AND SERVICE LINES PURGED OF RESIDUAL GAS IN ACCORDANCE WITH BALTIMORE GAS AND ELECTRIC COMPANY. WORK TO BE COORDINATED AND PAID FOR BY THE CONTRACTOR. REMOVE EXISTING SERVICE PIPING ON SITE.
14. THE CONTRACTOR SHALL CUT AND PLUG, OR ARRANGE FOR THE APPROPRIATE UTILITY COMPANY TO CUT AND PLUG ALL SERVICE PIPING AT THE STREET LINE OR MAIN, AS REQUIRED BY LOCAL UTILITY COMPANY AND/OR HOWARD COUNTY. ALL SERVICES MAY NOT BE SHOWN ON THIS PLAN. THE CONTRACTOR SHALL INVESTIGATE THE SITE PRIOR TO BIDDING TO DETERMINE THE EXTENT OF SERVICE PIPING TO BE REMOVED, CUT, OR PLUGGED.
15. THE CONTRACTOR SHALL PROTECT ALL IRON PINS, MONUMENTS, AND PROPERTY CORNERS THAT WILL NOT BE REMOVED AND SHALL BE RESET BY A LICENSED LAND SURVEYOR AT THE EXPENSE OF THE CONTRACTOR.
16. OSHA REGULATIONS MAKE IT UNLAWFUL TO OPERATE CRANES, BOOMS, HOSTS, ETC. WITHIN TEN (10) FEET OF ANY ELECTRIC LINE UNDER (50kV). IF CONTRACTOR MUST OPERATE EQUIPMENT CLOSE TO POWER ELECTRIC LINE(S), CONTACT THE POWER COMPANY TO MAKE ARRANGEMENTS FOR PROPER SAFEGUARDS.
17. THE CONTRACTOR WILL BE RESPONSIBLE FOR SECURING ALL PERMITS FOR DEMOLITION FROM HOWARD COUNTY AND MUST FURNISH THE REQUIRED MATERIAL AND PAY ALL FEES.
18. PRIOR TO DEMOLITION, THE APPLICANT MUST PROVIDE CERTIFICATION, BY A PERSON LICENSED AS A PESTICIDE APPLICATOR BY THE MARYLAND STATE DEPARTMENT OF AGRICULTURE, THAT ALL AREAS OF THE BUILDING, STRUCTURE, AND LOT ARE FREE OF RODENT INFESTATION.
19. DEMOLITION OF EXISTING PAVEMENT, SIDEWALK, SITE FEATURES, AND UTILITIES WITHIN THE PUBLIC RIGHT-OF-WAY CAN ONLY OCCUR ONCE HOWARD COUNTY PERMITS HAVE BEEN ISSUED.
20. ALL EXISTING UTILITIES ALONG DEEPAPE DRIVE, CARVED STONE, AND SNOWDEN RIVER PARKWAY INCLUDING GAS, ELECTRIC, CABLE, FIBER OPTIC CABLE, TELEPHONE, AND ALL ASSOCIATED EQUIPMENT AND APPURTENANCES TO REMAIN UNDISTURBED AND OPERATIONAL THROUGHOUT DEMOLITION ACTIVITIES. ANY COSTS ASSOCIATED WITH DAMAGE TO EXISTING UTILITIES SHALL BE BORNE BY THE CONTRACTOR.
21. CONTRACTOR SHALL REFER TO BGE DESIGN DRAWINGS FOR ABANDONMENT, RELOCATION, AND/OR REMOVAL OF EXISTING GAS AND ELECTRIC SERVICES.
22. CONTRACTOR SHALL ONLY REMOVE EXISTING CURB WITHIN PARKING LOT WHEN ACTIVELY CONSTRUCTING PROPOSED ROAD IMPROVEMENTS.
23. THE CORRECTNESS OR COMPLETENESS OF EXISTING INFORMATION SHOWN ON THE DRAWINGS IS NOT WARRANTED OR GUARANTEED. THE CONTRACTOR SHALL VERIFY THE LOCATION OF UTILITIES AND UNDERGROUND FACILITIES BY TEST PITS OR OTHER METHODS APPROVED BY THE OWNER'S REPRESENTATIVE, AS REQUIRED TO VERIFY EXACT LOCATIONS AND DEPTHS WITHIN THE LIMIT OF DISTURBANCE. ALL DISCREPANCIES BETWEEN INFORMATION SHOWN ON THE DRAWINGS AND THAT VERIFIED IN THE FIELD SHALL BE REPORTED TO THE OWNER'S REPRESENTATIVE PRIOR TO BEGINNING WORK.

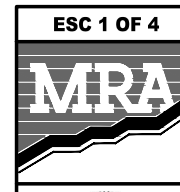


DATUM
 DESIGN & DRAWING BASED ON
 MARYLAND COORDINATE SYSTEM (MCS):
 HORIZONTAL: NAD 83 (1991)
 VERTICAL: NAVD 88

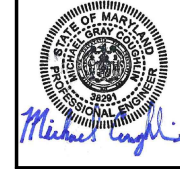
OWNER / DEVELOPER
 SNOWDEN CROSSING LLC
 2800 QUARRY LAKE DRIVE, SUITE 340
 BALTIMORE, MD 21209
 PHONE: 410-308-0700
 ATTN: SCOTT CHERRY



PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 36291, EXPIRATION DATE: 01/13/2020



MORRIS & RITCHIE ASSOCIATES, INC.
 ENGINEERS, PLANNERS, SURVEYORS AND LANDSCAPE ARCHITECTS
 1220-C EAST JOPPA ROAD, SUITE 505
 TOWSON, MARYLAND 21286
 (410) 821-1690
 FAX (410) 821-1748
 Copyright 2020 Morris & Ritchie Associates, Inc.



SITE DEVELOPMENT PLAN
VILLAGE OF OWEN BROWN, SECTION 2,
AREA 2, LOT D-1, SNOWDEN CROSSING
EROSION AND SEDIMENT CONTROL EXISTING
CONDITIONS AND DEMOLITION PLAN
 SDP-74-122
 TAX MAP 42 -- GRID 04 -- PARCEL 0397 -- ZONING NT -- DEED REF 17342/229
 PLAT NO. 2741 -- TAX ASSESSMENT DISTRICT 82 -- 6th ELECTION DISTRICT
 7090 DEEPAPE DRIVE, HOWARD COUNTY, MARYLAND, 21045

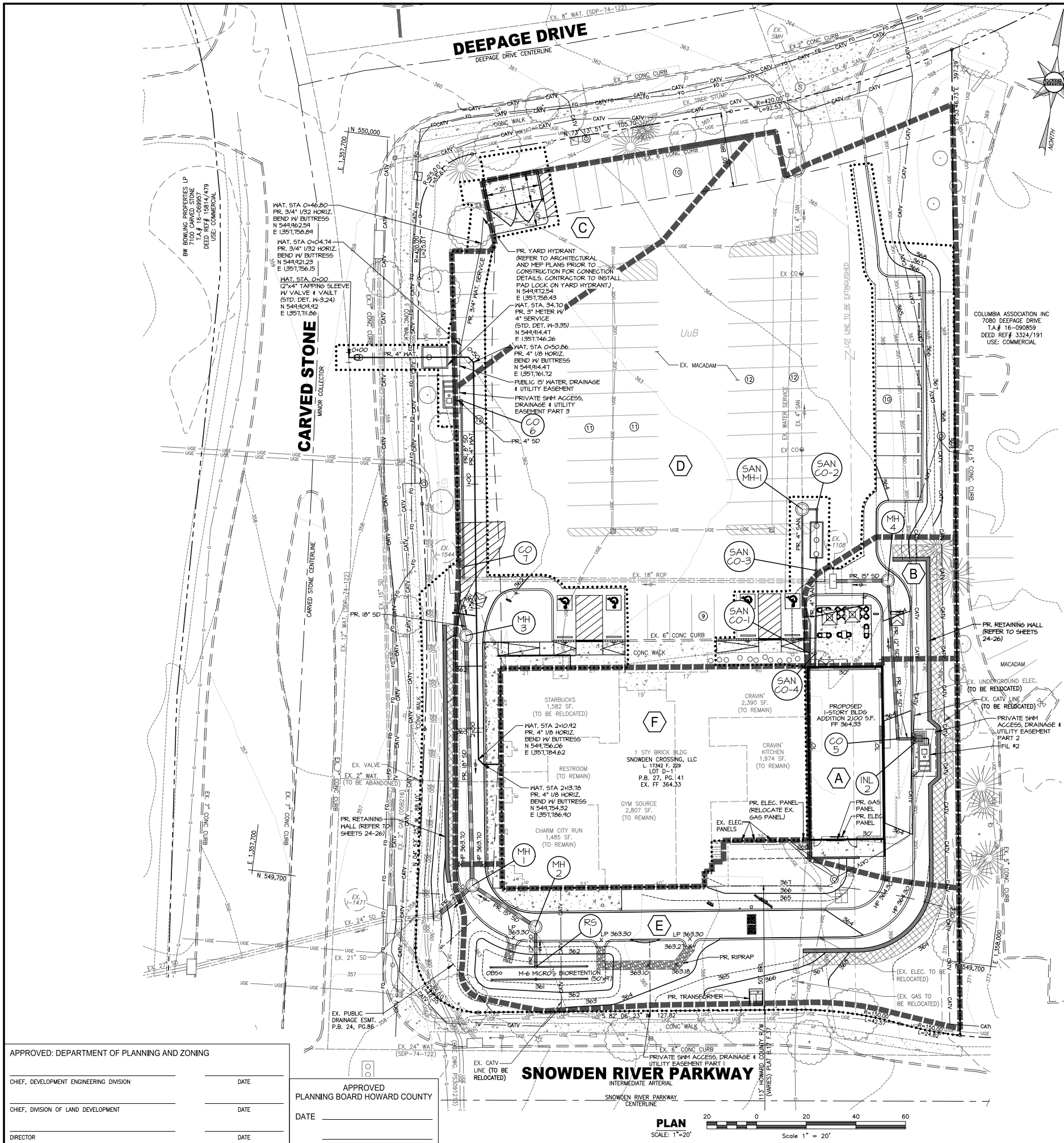
DATE	REVISIONS	JOB NO.:
11/22/2019	REVISED SDP-74-122 TO INCLUDE 2100 SF ADDITION	19650
		SCALE: 1" = 20'
		DATE: 01/22/2020
		DRAWN BY: DTP
		DESIGN BY: THS
		REVIEW BY: THS
		SHEET: 08 OF 27

HOWARD SCD SIGNATURE BLOCK
 THIS PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

HOWARD SOIL CONSERVATION DISTRICT	DATE
APPROVED: DEPARTMENT OF PLANNING AND ZONING	DATE
CHIEF, DEVELOPMENT ENGINEERING DIVISION	DATE
CHIEF, DIVISION OF LAND DEVELOPMENT	DATE
DIRECTOR	DATE

APPROVED
 PLANNING BOARD HOWARD COUNTY
 DATE

SNOWDEN RIVER PARKWAY
 PLAN
 SCALE: 1"=20'

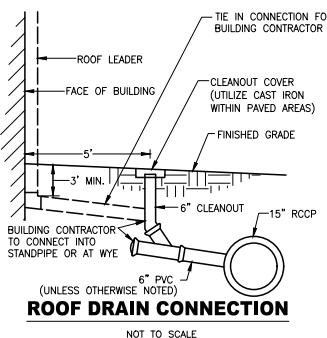


STORM DRAINAGE FLOW CALCULATIONS

LOCATION	From	To	AREA	ACRES	COEFF	CA	GA	SUMP	TIME	CONC-MIN.		INTEM.	INTEM.	Q-CI.A.	PIPE	S(Act)	S(Fric)	Partial Flow	Full Flow	Lgh.	REMARKS
										Inlet	Drain										
FL-2	FL-2	A	12		.45	0.0780	0.0000		5.00	5.0	0.0	9.76	8.50	.66	12	0.50	0.045	7.0	.8	7'	25 YR/10 YR
CO-5	MH-4	A	12						0.0780	5.0	0.0	5.0	8.50	.66	12	0.50	0.045	7.0	.8	64'	
MH-4	EX-H1108	A	12						0.0780	5.0	0.2	5.2	8.40	.66	15	0.55	0.015	7.0	.5	22'	25 YR/10 YR
FL-1	EX-H1544	C	12		.86	0.1023	0.0000		5.00	5.0	0.0	9.76	8.50	.87	8	1.94	0.005	7.0	2.5	63'	25 YR/10 YR
EX-H1108	EX-H1544	A-B	18		.58	0.1050	0.0000		5.20	5.2	0.0	8.40	8.80	.88	18	1.91	0.015	7.0	.5	151'	25 YR/10 YR
EX-H1544	EX-H1544	D	80		.78	0.6240	0.0000		5.00	5.0	0.0	9.76	8.50	.530	18	1.36	0.045	7.0	3.9	18'	25 YR/10 YR
EX-H1544	MH-3	A-D	1.10						0.8113	5.2	0.4	5.6	8.20	6.65	18	1.36	0.045	7.0	3.9	18'	25 YR/10 YR
RS-1	MH-1	E	.25		.41	0.1025	0.0000		5.00	5.0	0.0	8.50	8.7	12	9.28	0.075	7.7	1.1	56'		
MH-2	MH-1	E	.25						0.1025	5.0	0.0	5.0	8.50	.87	15	4.15	0.025	7.0	.7	30'	
MH-3	MH-1	A-D	1.10		.76	0.8113	0.0000		5.60	5.6	0.0	8.20	6.62	18	1.49	0.045	7.0	3.9	101'		
ROOF	ROOF	F	.24		.96	0.2654	0.0000		5.00	5.0	0.0	9.76	8.50	1.75							25 YR/10 YR
MH-1	EX-MH1448	A-F	1.59						1.1402	5.6	0.2	5.8	8.30	9.24	21	1.70	0.095	7.8	3.8	19'	25 YR/10 YR

DRAINAGE AREA TABULATION

DRAINAGE AREA	AREA SF	ACRE	IMP AREA SF	% IMP	C-FACTOR
A	5,153	0.12	3,283	63.7%	0.65
B	2,782	0.06	1,755	63.2%	0.45
C	34,842	0.80	30,627	87.9%	0.78
D	5,200	0.12	5,200	100%	0.86
E	10,850	0.25	2,978	27.4%	0.41
F	10,270	0.24	10,270	100%	0.86



ROOF DRAIN NOTES

- CONTRACTOR TO INSTALL ROOF DRAINS TO THE DESIGNATED CLEANOUT DURING SITE CONSTRUCTION. THE REMAINDER OF THE ROOF DRAIN SYSTEM TO BE INSTALLED DURING BUILDING CONSTRUCTION.
- THE ROOF DRAIN SYSTEM FROM THE DESIGNATED CLEANOUT TO SURROUNDING POINTS AROUND THE BUILDING IS A SCHEMATIC ONLY. THE BUILDER SHALL INSTALL THE ROOF DRAINS DURING BUILDING CONSTRUCTION.
- ALL ROOF DRAINS ARE TO BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
- ROOF DRAINS TO HAVE A MINIMUM 2" COVER. MINIMUM SLOPE SHALL BE 0.50%.
- ALL ROOF DRAINS SHALL BE NYLOPLAST-ADS HDPE N-12 PIPE OR AN APPROVED EQUAL.
- DRAIN BASINS SHALL BE NYLOPLAST-ADS DRAIN BASIN OR APPROVED EQUAL (AS SHOWN IN STRUCTURE SCHEDULE).
- TOPS OF CLEANOUTS SHALL BE FLUSH WITH GRADE. CONTRACTOR TO USE HEAVY TRAFFIC BEARING FRAME AND COVERS WHEN CLEANOUT IS IN PAVEMENT AND SIDEWALKS.
- ALL UTILITY CROSSINGS SHALL HAVE 1'-0" MINIMUM CLEARANCE.
- SEE ARCHITECTURAL PLANS FOR ELECTRICAL, PLUMBING AND GAS LOCATIONS, SEE CIVIL PLANS FOR STORM DRAIN, SANITARY SEWER AND WATER.

LEGEND

- EX. 1 FOOT CONTOURS
- EX. 2 FOOT CONTOURS
- EX. 10 FOOT CONTOURS
- EX. CURB AND GUTTER
- EX. CONCRETE
- EX. C/L ROAD
- EX. ADJACENT PROPERTY LINE
- EX. PROPERTY LINE
- EX. RIGHT OF WAY
- EX. UTILITY EASEMENT
- EX. WATER LINE
- EX. SANITARY LINE
- EX. STORM DRAIN LINE
- EX. FIBER OPTIC CABLE
- EX. CATV
- EX. GAS
- EX. UNKNOWN UTILITY
- EX. UNDER GROUND ELECTRIC
- EX. LIGHT POLE
- EX. U/G UTILITY HANDBOX
- EX. UTILITY POLE
- EX. SIGN
- EX. BOLLARD
- EX. TREE
- EX. BUILDING/STRUCTURE
- PR. LIMIT OF DISTURBANCE
- PR. 1 FT. CONTOUR
- PR. 2 FT. CONTOUR
- PR. 10 FT. CONTOUR
- PR. BUILDING
- PR. CONCRETE WALK
- PR. CURB & GUTTER
- PR. WATER LINE
- PR. SANITARY SEWER
- PR. STORM DRAIN
- PR. FILTERRA
- DRAINAGE AREA DIVIDE

SOILS CHART

MAP SYMBOL AND SOIL NAME	HYDROLOGIC GROUP	SLOPES	ACREAGE ON-SITE
UuB URBAN LAND-URDOTHERMS COMPLEX	D	0-8%	1.41 AC.

ROOF DRAINS

EXISTING ROOF DRAINS FOUND DURING CONSTRUCTION SHALL BE DIVERTED TO THE INTO THE PROPOSED STORM DRAIN SYSTEM. THE FLOWTABS CURRENTLY SHOW THE IMPERVIOUS AREA FROM THE ROOF CAPTURED AND SENT INTO MANHOLE 2.



PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 38291, EXPIRATION DATE: 1/13/2022.

MORRIS & RITCHIE ASSOCIATES, INC.
 ENGINEERS, PLANNERS, SURVEYORS AND LANDSCAPE ARCHITECTS
 1220-C EAST JOPPA ROAD, SUITE 505
 TOWSON, MARYLAND 21286
 (410) 821-1690
 FAX (410) 821-1748
 Copyright 2020 Morris & Ritchie Associates, Inc.

SITE DEVELOPMENT PLAN
VILLAGE OF OWEN BROWN, SECTION 2,
AREA 2, LOT D-1, SNOWDEN CROSSING
 UTILITY PLAN, STORM DRAIN PLAN AND
 DRAINAGE AREA MAP

SDP-74-122
 TAX MAP 42 -- GRID 04 -- PARCEL 0397 -- ZONING NT -- DEED REF 17342/229
 PLAT NO. 2741 -- TAX ASSESSMENT DISTRICT 82 -- 6th ELECTION DISTRICT
 7090 DEEPAE DRIVE, HOWARD COUNTY, MARYLAND, 21045

DATE	REVISIONS	JOB NO.:
11/22/2019	REVISED SDP-74-122 TO INCLUDE 2100 SF ADDITION	19650
		SCALE: 1" = 20'
		DATE: 01/22/2020
		DRAWN BY: DTP
		DESIGN BY: THS
		REVIEW BY: THS
		SHEET: 13 OF 27

APPROVED: DEPARTMENT OF PLANNING AND ZONING

CHIEF, DEVELOPMENT ENGINEERING DIVISION _____ DATE _____

CHIEF, DIVISION OF LAND DEVELOPMENT _____ DATE _____

DIRECTOR _____ DATE _____

APPROVED
 PLANNING BOARD HOWARD COUNTY

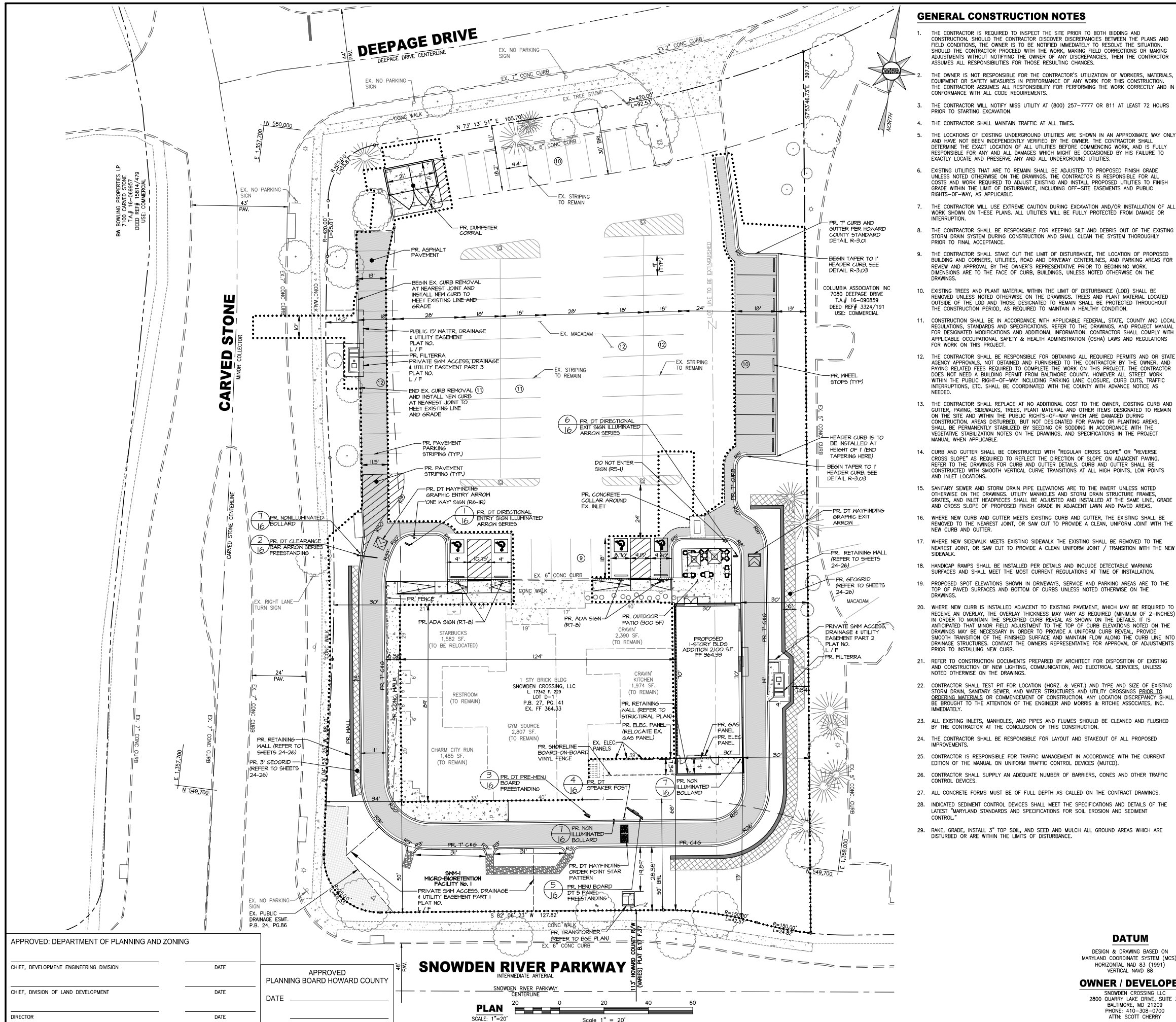
DATE _____

SNOWDEN RIVER PARKWAY

PLAN
 SCALE: 1"=20'

DATUM
 DESIGN & DRAWING BASED ON
 MARYLAND COORDINATE SYSTEM (MCS):
 HORIZONTAL: NAD 83 (1991)
 VERTICAL: NAVD 88

OWNER / DEVELOPER
 SNOWDEN CROSSING LLC
 2800 QUARRY LAKE DRIVE, SUITE 340
 BALTIMORE, MD 21209
 PHONE: 410-308-0700
 ATTN: SCOTT CHERRY



GENERAL CONSTRUCTION NOTES

- THE CONTRACTOR IS REQUIRED TO INSPECT THE SITE PRIOR TO BOTH BIDDING AND CONSTRUCTION. SHOULD THE CONTRACTOR DISCOVER DISCREPANCIES BETWEEN THE PLANS AND FIELD CONDITIONS, THE OWNER IS TO BE NOTIFIED IMMEDIATELY TO RESOLVE. THE CONTRACTOR SHALL PROCEED WITH THE WORK, MAKING FIELD CORRECTIONS OR MAKING ADJUSTMENTS WITHOUT NOTIFYING THE OWNER OF ANY DISCREPANCIES, THEN THE CONTRACTOR ASSUMES ALL RESPONSIBILITIES FOR THOSE RESULTING CHANGES.
- THE OWNER IS NOT RESPONSIBLE FOR THE CONTRACTOR'S UTILIZATION OF WORKERS, MATERIALS, EQUIPMENT OR SAFETY MEASURES IN PERFORMANCE OF ANY WORK FOR THIS CONSTRUCTION. THE CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR PERFORMING THE WORK CORRECTLY AND IN CONFORMANCE WITH ALL CODE REQUIREMENTS.
- THE CONTRACTOR WILL NOTIFY MISS UTILITY AT (800) 257-7777 OR 811 AT LEAST 72 HOURS PRIOR TO STARTING EXCAVATION.
- THE CONTRACTOR SHALL MAINTAIN TRAFFIC AT ALL TIMES.
- THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL UTILITIES BEFORE COMMENCING WORK, AND IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
- EXISTING UTILITIES THAT ARE TO REMAIN SHALL BE ADJUSTED TO PROPOSED FINISH GRADE UNLESS NOTED OTHERWISE ON THE DRAWINGS. THE CONTRACTOR IS RESPONSIBLE FOR ALL COSTS AND WORK REQUIRED TO ADJUST EXISTING AND INSTALL PROPOSED UTILITIES TO FINISH GRADE WITHIN THE LIMIT OF DISTURBANCE, INCLUDING OFF-SITE EASEMENTS AND PUBLIC RIGHTS-OF-WAY, AS APPLICABLE.
- THE CONTRACTOR WILL USE EXTREME CAUTION DURING EXCAVATION AND/OR INSTALLATION OF ALL WORK SHOWN ON THESE PLANS. ALL UTILITIES WILL BE FULLY PROTECTED FROM DAMAGE OR INTERRUPTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING SILT AND DEBRIS OUT OF THE EXISTING STORM DRAIN SYSTEM DURING CONSTRUCTION AND SHALL CLEAN THE SYSTEM THOROUGHLY PRIOR TO FINAL ACCEPTANCE.
- THE CONTRACTOR SHALL STAKE OUT THE LIMIT OF DISTURBANCE, THE LOCATION OF PROPOSED BUILDING AND CORNERS, UTILITIES, ROAD AND DRIVEWAY CENTERLINES, AND PARKING AREAS FOR REVIEW AND APPROVAL BY THE OWNER'S REPRESENTATIVE PRIOR TO BEGINNING WORK. DIMENSIONS ARE TO THE FACE OF CURB, BUILDINGS, UNLESS NOTED OTHERWISE ON THE DRAWINGS.
- EXISTING TREES AND PLANT MATERIAL WITHIN THE LIMIT OF DISTURBANCE (LOD) SHALL BE REMOVED UNLESS NOTED OTHERWISE ON THE DRAWINGS. TREES AND PLANT MATERIAL LOCATED OUTSIDE OF THE LOD AND THOSE DESIGNATED TO REMAIN SHALL BE PROTECTED THROUGHOUT THE CONSTRUCTION PERIOD, AS REQUIRED TO MAINTAIN A HEALTHY CONDITION.
- CONSTRUCTION SHALL BE IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE, COUNTY AND LOCAL REGULATIONS, STANDARDS AND SPECIFICATIONS. REFER TO THE DRAWINGS AND PROJECT MANUAL FOR DESIGNATED MODIFICATIONS AND ADDITIONAL INFORMATION. CONTRACTOR SHALL COMPLY WITH APPLICABLE OCCUPATIONAL SAFETY & HEALTH ADMINISTRATION (OSHA) LAWS AND REGULATIONS FOR WORK ON THIS PROJECT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS AND OR STATE AGENCY APPROVALS, NOT OBTAINED AND FURNISHED TO THE CONTRACTOR BY THE OWNER, AND PAYING RELATED TO COMPLETE THE WORK ON THIS PROJECT. THE CONTRACTOR DOES NOT NEED A BUILDING PERMIT FROM BALTIMORE COUNTY, HOWEVER ALL STREET WORK WITHIN THE PUBLIC RIGHT-OF-WAY INCLUDING PARKING LANE CLOSURE, CURB CUTS, TRAFFIC INTERRUPTIONS, ETC. SHALL BE COORDINATED WITH THE COUNTY WITH ADVANCE NOTICE AS NEEDED.
- THE CONTRACTOR SHALL REPLACE AT NO ADDITIONAL COST TO THE OWNER, EXISTING CURB AND GUTTER, PAVING, SIDEWALKS, TREES, PLANT MATERIAL AND OTHER ITEMS DESIGNATED TO REMAIN ON THE SITE AND WITHIN THE PUBLIC RIGHTS-OF-WAY WHICH ARE DAMAGED DURING CONSTRUCTION, AREAS DISTURBED, BUT NOT DESIGNATED FOR PAVING OR PLANTING AREAS, SHALL BE PERMANENTLY STABILIZED BY SEEDING OR SOODORING IN ACCORDANCE WITH THE VEGETATIVE STABILIZATION NOTES ON THE DRAWINGS, AND SPECIFICATIONS IN THE PROJECT MANUAL WHEN APPLICABLE.
- CURB AND GUTTER SHALL BE CONSTRUCTED WITH "REGULAR CROSS SLOPE" OR "REVERSE CROSS SLOPE" AS REQUIRED TO REFLECT THE DIRECTION OF SLOPE ON ADJACENT PAVING. REFER TO THE DRAWINGS FOR CURB AND GUTTER DETAILS. CURB AND GUTTER SHALL BE CONSTRUCTED WITH SMOOTH VERTICAL CURVE TRANSITIONS AT ALL HIGH POINTS, LOW POINTS AND INLET LOCATIONS.
- SANITARY SEWER AND STORM DRAIN PIPE ELEVATIONS ARE TO BE INVERT UNLESS NOTED OTHERWISE ON THE DRAWINGS. UTILITY MANHOLES AND STORM DRAIN STRUCTURE FRAMES, GRATES, AND INLET HEADPIECES SHALL BE ADJUSTED AND INSTALLED AT THE SAME LINE, GRADE AND CROSS SLOPE OF PROPOSED FINISH GRADE IN ADJACENT LANE AND PAVED AREAS.
- WHERE NEW CURB AND GUTTER MEETS EXISTING CURB AND GUTTER, THE EXISTING SHALL BE REMOVED TO THE NEAREST JOINT, OR SAW CUT TO PROVIDE A CLEAN, UNIFORM JOINT WITH THE NEW CURB AND GUTTER.
- WHERE NEW SIDEWALK MEETS EXISTING SIDEWALK THE EXISTING SHALL BE REMOVED TO THE NEAREST JOINT, OR SAW CUT TO PROVIDE A CLEAN UNIFORM JOINT / TRANSITION WITH THE NEW SIDEWALK.
- HANDICAP RAMPS SHALL BE INSTALLED PER DETAILS AND INCLUDE DETECTABLE WARNING SURFACES AND SHALL MEET THE MOST CURRENT REGULATIONS AT TIME OF INSTALLATION.
- PROPOSED SPOT ELEVATIONS SHOWN IN DRIVEWAYS, SERVICE AND PARKING AREAS ARE TO THE TOP OF PAVED SURFACES AND BOTTOM OF CURBS UNLESS NOTED OTHERWISE ON THE DRAWINGS.
- WHERE NEW CURB IS INSTALLED ADJACENT TO EXISTING PAVEMENT, WHICH MAY BE REQUIRED TO RECEIVE AN OVERLAY, THE OVERLAY THICKNESS MAY VARY AS REQUIRED (MINIMUM OF 2-INCHES) IN ORDER TO MAINTAIN THE SPECIFIED CURB REVEAL AS SHOWN ON THE DETAILS. IT IS ANTICIPATED THAT MINOR FIELD ADJUSTMENT TO THE TOP OF CURB ELEVATIONS NOTED ON THE DRAWINGS MAY BE NECESSARY IN ORDER TO PROVIDE A UNIFORM CURB REVEAL. PROVIDE SMOOTH TRANSITION OF THE FINISHED SURFACE AND MAINTAIN FLOW ALONG THE CURB LINE INTO DRAINAGE STRUCTURES. CONTACT THE OWNER'S REPRESENTATIVE FOR APPROVAL OF ADJUSTMENTS PRIOR TO INSTALLING NEW CURB.
- REFER TO CONSTRUCTION DOCUMENTS PREPARED BY ARCHITECT FOR DISPOSITION OF EXISTING AND CONSTRUCTION OF NEW LIGHTING, COMMUNICATION, AND ELECTRICAL SERVICES, UNLESS NOTED OTHERWISE ON THE DRAWINGS.
- CONTRACTOR SHALL TEST PIT FOR LOCATION (HORZ. & VERT.) AND TYPE AND SIZE OF EXISTING STORM DRAIN, SANITARY SEWER, AND WATER STRUCTURES AND UTILITY CROSSINGS. REFER TO ORDERING MATERIALS OR COMMENCEMENT OF CONSTRUCTION. ANY LOCATION DISCREPANCY SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER AND MORRIS & RITCHIE ASSOCIATES, INC. IMMEDIATELY.
- ALL EXISTING INLETS, MANHOLES, AND PIPES AND FLUMES SHOULD BE CLEANED AND FLUSHED BY THE CONTRACTOR AT THE CONCLUSION OF THIS CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR LAYOUT AND STAKEOUT OF ALL PROPOSED IMPROVEMENTS.
- CONTRACTOR IS RESPONSIBLE FOR TRAFFIC MANAGEMENT IN ACCORDANCE WITH THE CURRENT EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- CONTRACTOR SHALL SUPPLY AN ADEQUATE NUMBER OF BARRIERS, CONES AND OTHER TRAFFIC CONTROL DEVICES.
- ALL CONCRETE FORMS MUST BE OF FULL DEPTH AS CALLED ON THE CONTRACT DRAWINGS.
- INDICATED SEDIMENT CONTROL DEVICES SHALL MEET THE SPECIFICATIONS AND DETAILS OF THE LATEST "MANYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL."
- RAKE, GRADE, INSTALL 3" TOP SOIL, AND SEED AND MULCH ALL GROUND AREAS WHICH ARE DISTURBED OR ARE WITHIN THE LIMITS OF DISTURBANCE.

LEGEND

- EX. BUILDING/STRUCTURE
- EX. CURB AND GUTTER
- EX. CONCRETE
- EX. C/L ROAD
- EX. ADJACENT PROPERTY LINE
- EX. PROPERTY LINE
- EX. RIGHT OF WAY
- EX. UTILITY EASEMENT
- EX. LIGHT POLE
- EX. U/G UTILITY HANDBOX
- EX. UTILITY POLE
- EX. SIGN
- EX. BOLLARD
- EX. TREE
- PR. LIMIT OF DISTURBANCE
- PR. BUILDING
- PR. CONCRETE WALK
- PR. CURB & GUTTER
- PR. PAVEMENT
- PR. SAW CUT
- PR. FILTERRA
- PR. RETAINING WALL

CONCRETE NOTE

THE CONTRACTOR SHALL VERIFY CONCRETE FORM PLACEMENT TO ASSURE COMPLIANCE WITH CURRENT LOCAL AND STATE ADA AS WELL AS BUILDING CODES. ADA INSPECTION SHALL BE REQUIRED PRIOR TO POURING CONCRETE. THE CONTRACTOR ACCEPTS RESPONSIBILITY FOR MEETING ALL APPLICABLE HANDICAP SLOPE AND DISTANCE REQUIREMENTS AS WELL AS OTHER REQUIREMENTS AS STATED IN THE APPLICABLE CODES.

ANY DISCREPANCIES FOUND SHOULD BE BROUGHT TO THE SITE ENGINEER'S ATTENTION BEFORE ANY CONCRETE IS PLACED.

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 38291, EXPIRATION DATE: 1/13/2022.



Know what's below. Call before you dig.

PROTECT YOURSELF. GIVE THREE WORKING DAYS NOTICE. THIS DRAWING DOES NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. ALL CONSTRUCTION MUST BE DONE IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970 AND ALL RULES AND REGULATIONS THERE TO APPROPRIATE.



MORRIS & RITCHIE ASSOCIATES, INC.
ENGINEERS, PLANNERS, SURVEYORS AND LANDSCAPE ARCHITECTS
1220-C EAST JOPPA ROAD, SUITE 505
TOWSON, MARYLAND 21286
(410) 821-1690
FAX (410) 821-1748
Copyright 2020 Morris & Ritchie Associates, Inc.



SITE DEVELOPMENT PLAN
VILLAGE OF OWEN BROWN, SECTION 2,
AREA 2, LOT D-1, SNOWDEN CROSSING
SITE PLAN

TAX MAP 42 -- GRID 04 -- PARCEL C6397 -- ZONING NT -- DEED REF 17342/229
PLAT NO. 2741 -- TAX ASSESSMENT DISTRICT 82 -- 6th ELECTION DISTRICT
7090 DEEPAAGE DRIVE, HOWARD COUNTY, MARYLAND, 21045

DATE	REVISIONS	JOB NO.:
11/22/2019	REVISED SDP-74-122 TO INCLUDE 2100 SF ADDITION	19650
		SCALE: 1" = 20'
		DATE: 01/22/2020
		DRAWN BY: DTP
		DESIGN BY: THS
		REVIEW BY: THS
		SHEET: 15 OF 27

APPROVED: DEPARTMENT OF PLANNING AND ZONING

CHIEF, DEVELOPMENT ENGINEERING DIVISION _____ DATE _____

CHIEF, DIVISION OF LAND DEVELOPMENT _____ DATE _____

DIRECTOR _____ DATE _____

APPROVED
PLANNING BOARD HOWARD COUNTY

DATE _____

SNOWDEN RIVER PARKWAY
INTERMEDIATE ARTERIAL

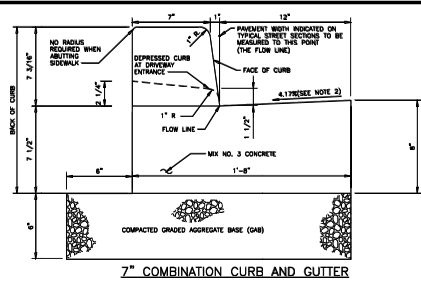
SNOWDEN RIVER PARKWAY CENTERLINE

PLAN
SCALE: 1"=20'

Scale 1" = 20'

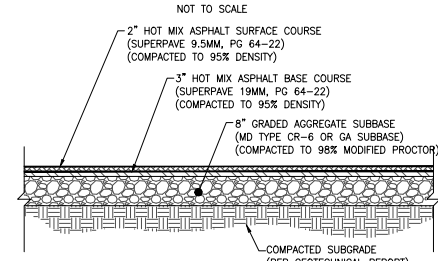
DATUM
DESIGN & DRAWING BASED ON MARYLAND COORDINATE SYSTEM (MCS): HORIZONTALS: NAD 83 (1991) VERTICAL: NAVD 88

OWNER / DEVELOPER
SNOWDEN CROSSING LLC
2800 QUARRY LAKE DRIVE, SUITE 340
BALTIMORE, MD 21209
PHONE: 410-308-0700
ATTN: SCOTT CHERRY



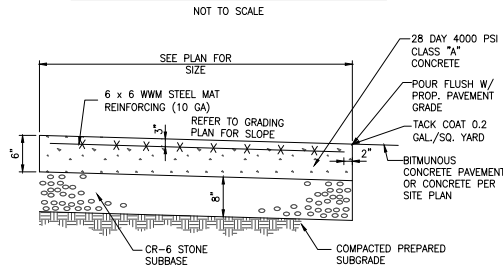
NOTE:
 1. A REVERSE GUTTER PAN SHALL HAVE A GUTTER SLOPE OF 4.17% AWAY FROM THE FLOW LINE, AND SHALL NOT BE USED WHERE THE DRAINAGE CREATES A HAZARDOUS CONDITION.
 2. GUTTER PAN AT THE MEDIAN EDGE OF INTERMEDIATE ARTERIALS OR THE HIGH SIDE OF SUPERELEVATED SECTIONS SHALL BE SLOPED AT THE SAME RATE AND IN THE SAME DIRECTION AS THE PAVEMENT. MATCH PAVEMENT CROSS SLOPE WHEN CURB IS LOCATED ON THE LOW SIDE OF SUPERELEVATED SECTION AND THE RATE OF SUPERELEVATION IS GREATER THAN 3% FOR MODIFIED CURB & GUTTER.
 3. A MINIMUM OF TWO (2) FEET OF COMPACTED STABILIZED EARTH, OR EQUIVALENT, SHALL SUPPORT THE ENTIRE BACK OF CURB.
 4. POSITIVE DRAINAGE SHALL BE PROVIDED BOTH BEHIND THE CURB AND ALONG THE GUTTER AND FLOW LINE.

**HO. CO. STD. R-3.01
7\"/>**



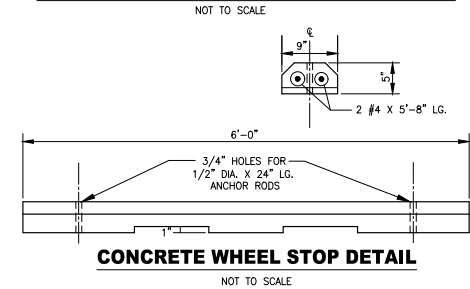
NOTE:
 1. REVISE TO MEET JOB AND LOCAL JURISDICTION REQUIREMENTS AND GEOTECHNICAL REPORT REQUIREMENTS. THE MINIMUM REQUIRED THICKNESS ARE SHOWN IN THE DETAIL. USE LOCAL DOT PAVEMENT MIX DESIGN FOR WEARING AND BINDING COURSES.
 2. PROOF ROLL PREPARED SUBBASE SURFACE TO CHECK FOR UNSTABLE AREAS AND AREAS REQUIRING ADDITIONAL COMPACTION. NOTIFY ENGINEER OF UNSATISFACTORY CONDITIONS. DO NOT BEGIN PAVING WORK UNTIL DEFICIENT SUBBASE AREAS HAVE BEEN CORRECTED AND ARE READY TO RECEIVE PAVING.
 3. FOR FINAL PAVEMENT SECTIONS, REFER TO GEOTECHNICAL INVESTIGATION REPORT PREPARED BY GEO-TECHNOLOGY ASSOCIATES, INC., DATED SEPTEMBER 19, 2016 OR MOST CURRENT.

ASPHALT PAVEMENT DETAIL

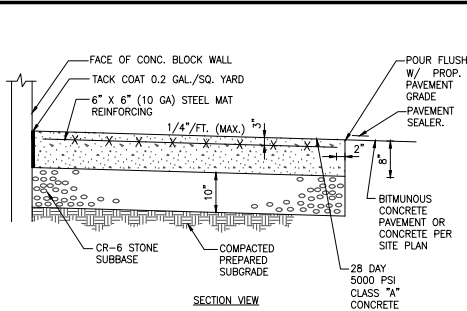


NOTE:
 1. ALL ON-SITE CONCRETE IS TO HAVE A TWO-PART DAYTON SEALER - J19/J35 APPLIED.
 2. THIS CONCRETE PAVING SECTION SHALL BE USED FOR ALL PARKING SPACES AROUND THE IMMEDIATE FRONTAGE OF THE ROYAL FARMS BUILDING.
 3. FOR FINAL PAVEMENT SECTIONS, REFER TO GEOTECHNICAL INVESTIGATION REPORT PREPARED BY GEO-TECHNOLOGY ASSOCIATES, INC., DATED SEPTEMBER 19, 2016 OR MOST CURRENT.

TYPICAL 6\"/>

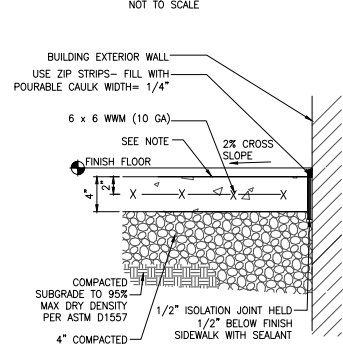


CONCRETE WHEEL STOP DETAIL



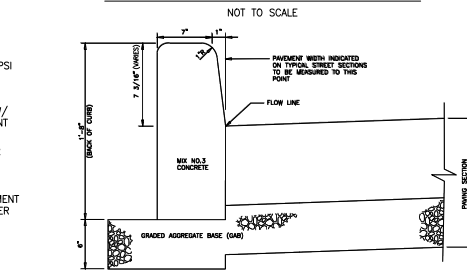
NOTE:
 1. ALL CONCRETE CURBS AND SIDEWALKS TO BE 4,000 P.S.I. CONCRETE.
 2. ALL ON-SITE CONCRETE IS TO HAVE A TWO-PART DAYTON SEALER - J19/J35 APPLIED.
 3. FOR FINAL PAVEMENT SECTIONS, REFER TO GEOTECHNICAL INVESTIGATION REPORT PREPARED BY GEO-TECHNOLOGY ASSOCIATES, INC., DATED SEPTEMBER 19, 2016 OR MOST CURRENT.

DUMPSTER PAD WITH 8\"/>



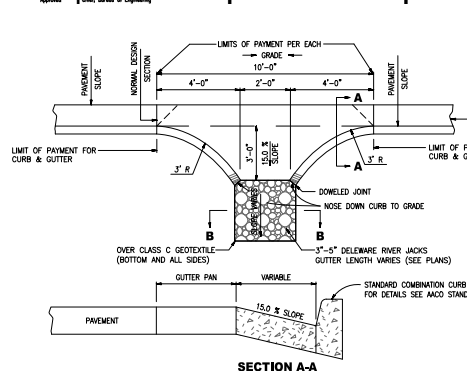
NOTE:
 1. ALL CONCRETE CURBS AND SIDEWALKS TO BE 4,000 P.S.I. CONCRETE.
 2. ALL ON-SITE CONCRETE IS TO HAVE A TWO-PART DAYTON SEALER - J19/J35 APPLIED.

SIDEWALK AT BUILDING DETAIL

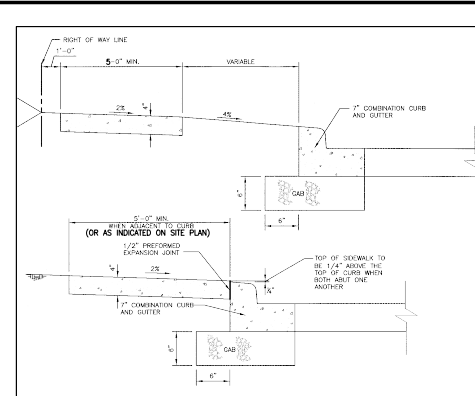


NOTE:
 1. A MINIMUM OF TWO (2) FEET OF COMPACTED STABILIZED EARTH, OR EQUIVALENT, SHALL SUPPORT THE ENTIRE BACK OF CURB.
 2. POSITIVE DRAINAGE SHALL BE PROVIDED BOTH BEHIND THE CURB AND ALONG THE GUTTER AND FLOW LINE.

CONCRETE BARRIER CURB

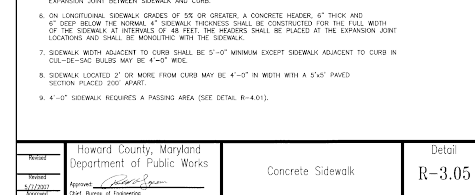


CURB OPENING DETAIL



NOTE:
 1. SIDEWALK TO BE SLOPED IN 5'-0\"/>

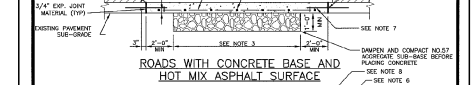
CONCRETE SIDEWALK



ROADS WITH CONCRETE PAVEMENT



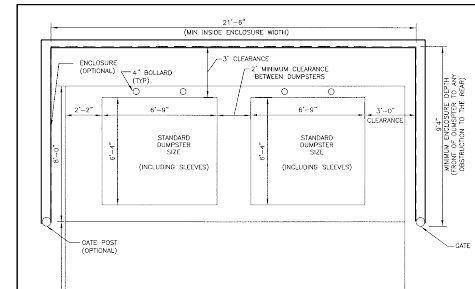
ROADS WITH CONCRETE BASE AND HOT MIX ASPHALT SURFACE



ROADS WITH FLEXIBLE PAVEMENT

NOTE:
 1. WHEREVER A TRENCH CROSSES A CONCRETE ROADWAY THAT HAS JOINT INSTALLATIONS THE ENTIRE SLAB BETWEEN THE EDGE OF THE TRENCH AND THE NEAREST JOINT SHALL BE REMOVED IF THE DISTANCE IS LESS THAN 10 FEET.
 2. CLEAN AND WET EDGES OF CUT AND SUBGRADE BEFORE PLACING CONCRETE.
 3. AGGREGATE SUB-BASE WIDTH SHALL BE 8 FT MINIMUM OR ACTUAL TRENCH WIDTH, WHICHEVER IS GREATER.
 4. HOT MIX ASPHALT PATCHES THICKNESS SHALL BE EQUAL TO THE EXISTING PAVING SECTION OR AS APPROVED BY GPM. THE MINIMUM PATCH THICKNESS SHALL BE 4\"/>

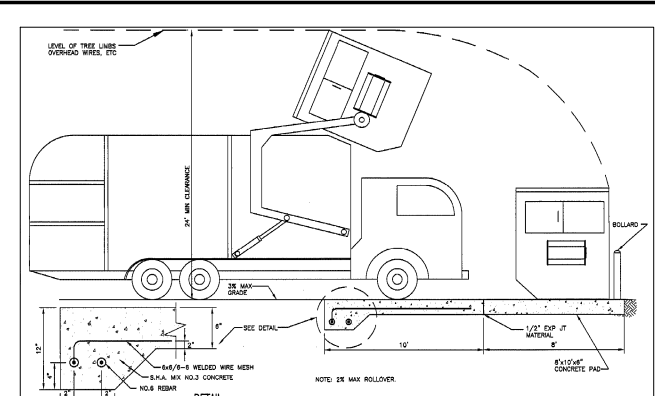
UTILITY TRENCH ROADWAY REPAIRING



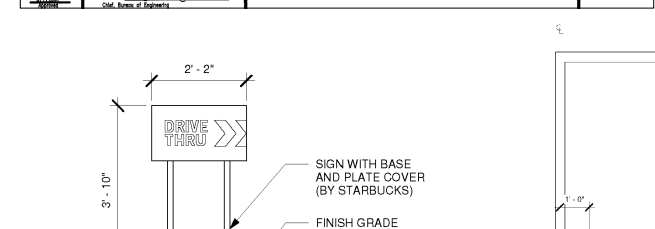
ENCLOSURE DETAIL

NOTE:
 1. ENCLOSURE GATES ARE NOT RECOMMENDED.
 2. IF ENCLOSURE GATES ARE INSTALLED, MINIMUM OPENING OF 21'-6\"/>

DOUBLE CONTAINER ENCLOSURE



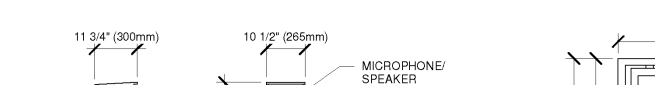
DRIVE-THRU SPEAKER POST



DIRECTIONAL SIGN - ENTRY



CLEARANCE BAR



PRE-MENU FREESTANDING



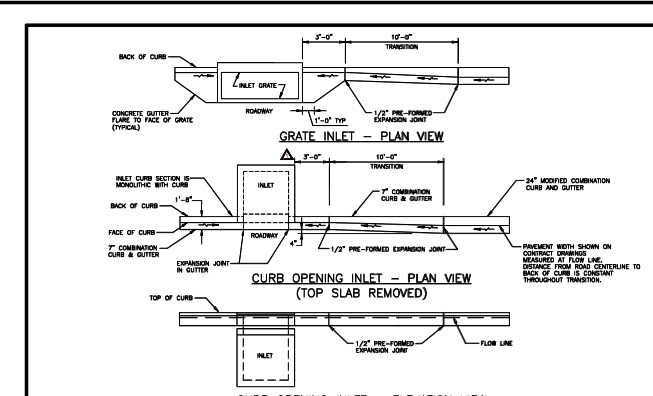
MENU 5 PANEL FREESTANDING



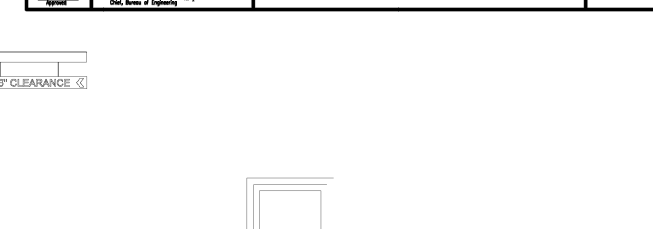
DIRECTIONAL SIGN



NON-ILLUMINATED BOLLARD



CURB AND GUTTER Modified Combination Transition for Intersect



DIRECTIONAL SIGN - ENTRY



CLEARANCE BAR



PRE-MENU FREESTANDING



MENU 5 PANEL FREESTANDING



DIRECTIONAL SIGN



NON-ILLUMINATED BOLLARD

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 38291, EXPIRATION DATE: 1/13/2022.

MORRIS & RITCHIE ASSOCIATES, INC.
 ENGINEERS, PLANNERS, SURVEYORS AND LANDSCAPE ARCHITECTS
 1220-C EAST JOPPA ROAD, SUITE 505
 TOWSON, MARYLAND 21286
 (410) 821-1690
 FAX (410) 821-1748
 Copyright 2020 Morris & Ritchie Associates, Inc.

SITE DEVELOPMENT PLAN
VILLAGE OF OWEN BROWN, SECTION 2,
AREA 2, LOT D-1, SNOWDEN CROSSING
 SITE DETAILS

TAX MAP 42 -- GRID 04 -- PARCEL 0397 -- ZONING NT -- DEED REF 17342/229
 PLAT NO. 2741 -- TAX ASSESSMENT DISTRICT 82 -- 6TH ELECTION DISTRICT
 7090 DEEPAQUE DRIVE, HOWARD COUNTY, MARYLAND, 21045

DATE	REVISIONS	JOB NO.:	19650
11/22/2019	REVISED SDP-74-122 TO INCLUDE 2100 SF ADDITION	SCALE:	NO SCALE
		DATE:	01/22/2020
		DRAWN BY:	DTP
		DESIGN BY:	THS
		REVIEW BY:	THS
		SHEET:	16 OF 27

APPROVED: DEPARTMENT OF PLANNING AND ZONING

CHIEF, DEVELOPMENT ENGINEERING DIVISION _____ DATE _____

CHIEF, DIVISION OF LAND DEVELOPMENT _____ DATE _____

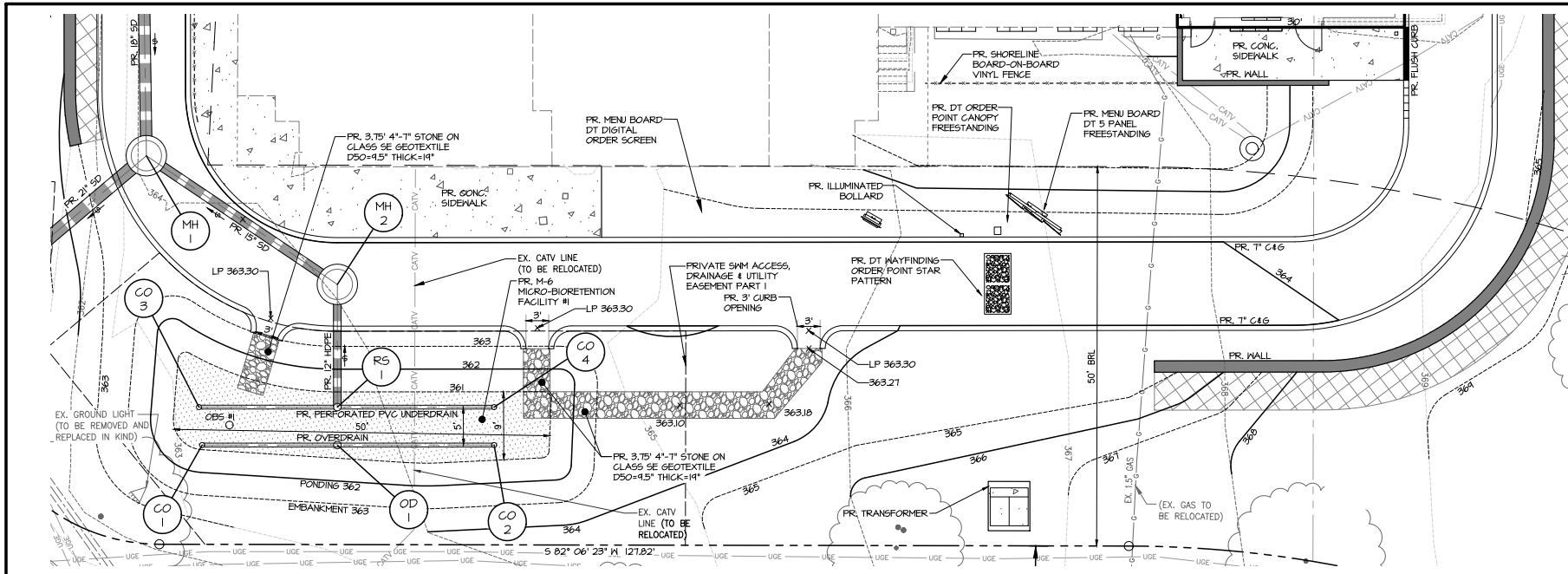
DIRECTOR _____ DATE _____

APPROVED
 PLANNING BOARD HOWARD COUNTY

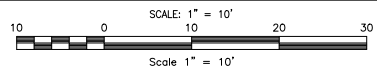
DATE _____

DATUM
 DESIGN & DRAWING BASED ON
 MARYLAND COORDINATE SYSTEM (MCS):
 HORIZONTAL NAD 83 (1991)
 VERTICAL NAVD 88

OWNER / DEVELOPER
 SNOWDEN CROSSING LLC
 2800 QUARRY LAKE DRIVE, SUITE 340
 BALTIMORE, MD 21209
 PHONE: 410-308-0700
 ATTN: SCOTT CHERRY



M-6 MICRO-BIORETENTION FACILITY #1 INSET



FILTERRA HYDROLOGY/HYDRAULIC SUMMARY

STRUCTURE ID	FIL 1	FIL 2
SIZE	6' x 4'	6' x 4'
INSIDE VAULT DIMENSIONS	6' x 10'	6' x 10'
PLANTED SURFACE AREA REQUIRED (SF)	24	23
PLANTED SURFACE AREA PROVIDED (SF)	24	24
WATER QUALITY VOLUME WQV REQUIRED (CF)	103	65
STORAGE CAPACITY OF UNIT PRIOR TO FILTRATION (CF)	119	119
EQUIVALENT WQV TREATMENT PROVIDED	475	475
RAINFALL EVENT PE	1.0 IN	1.0 IN
MEDIA INFILTRATION RATE	140"/HR	140"/HR
OUTLET PIPE	4" SCH 40 PVC	4" SCH 40 PVC

* PIPE TO BE UPSIZED TO 8" PVC AT CLEANOUT 6

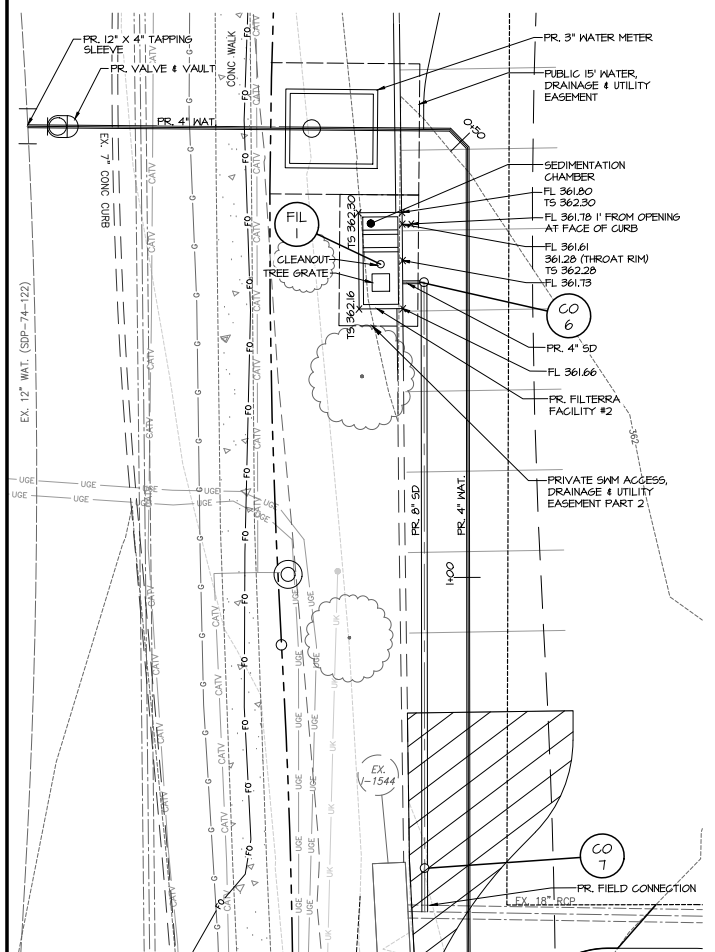
HYDROLOGY/HYDRAULIC SUMMARY

M-6 MICRO-BIORETENTION FACILITY #1	WATER SURFACE ELEVATION	AREA OF FILTER REQUIRED	AREA OF FILTER PROVIDED	TOTAL STORAGE VOLUME REQUIRED	TOTAL STORAGE VOLUME PROVIDED	TOTAL STORAGE PONDING VOLUME PROVIDED
	ft.	s.f.	s.f.	c.f.	c.f.	a.c.-ft.
ESD VOLUME (ESDv)	361.00	217	467	269	829	0.0190
ESD VOLUME - AS-BUILT						456
RECHARGE VOLUME (REV)	N/A	N/A	N/A	72	93	0.0021
RECHARGE VOLUME - AS-BUILT						
10-YEAR STORM	361.93					
10-YEAR STORM (ASBUILT)						

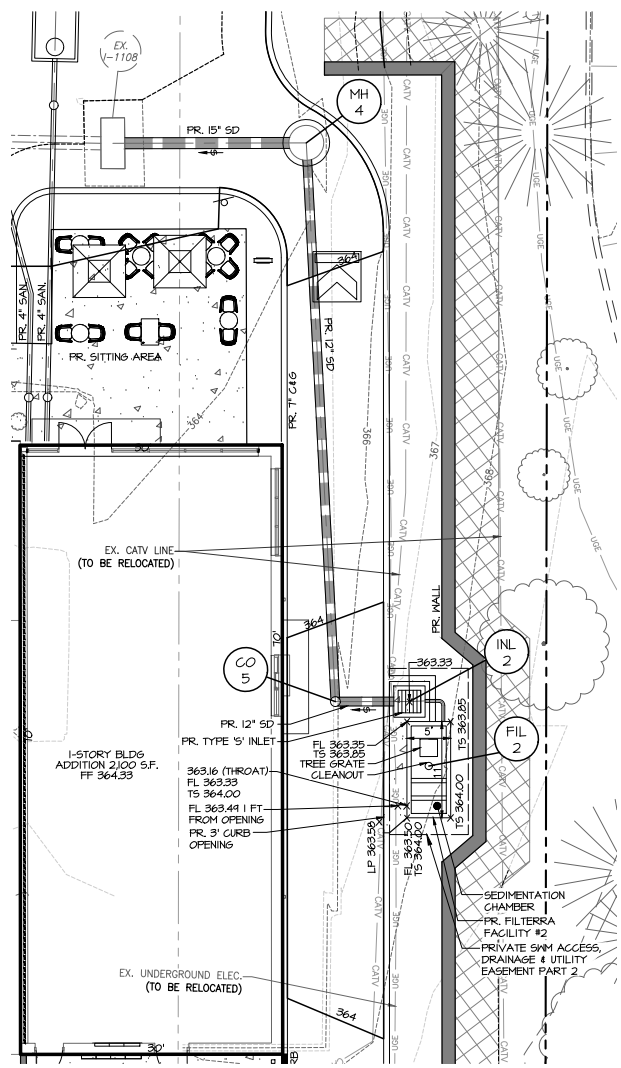
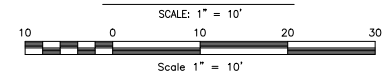
** WATER QUALITY (WQv) IS SATISFIED WITH FULL STORAGE OF ESD VOLUME.
 *** RAINFALL AMOUNT (PE) = 1.00 IN.

LEGEND

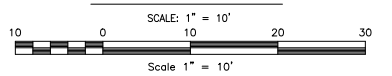
- EX. 1 FOOT CONTOURS
- EX. 2 FOOT CONTOURS
- EX. 10 FOOT CONTOURS
- EX. CURB AND GUTTER
- EX. CONCRETE
- EX. C/L ROAD
- EX. ADJACENT PROPERTY LINE
- EX. PROPERTY LINE
- EX. RIGHT OF WAY
- EX. WATER LINE
- EX. SANITARY LINE
- EX. STORM DRAIN LINE
- EX. FIBER OPTIC CABLE
- EX. CATV
- EX. GAS
- EX. UNKNOWN UTILITY
- EX. UNDER GROUND ELECTRIC
- EX. LIGHT POLE
- EX. U/G UTILITY HANDBOX
- EX. UTILITY POLE
- EX. SIGN
- EX. BOLLARD
- EX. TREE
- EX. BUILDING/STRUCTURE
- EX. BLOCK RETAINING WALL
- PR. LIMIT OF DISTURBANCE
- PR. 1 FT. CONTOUR
- PR. 2 FT. CONTOUR
- PR. 10 FT. CONTOUR
- PR. BUILDING
- PR. CONCRETE WALK
- PR. CURB & GUTTER
- PR. WATER LINE
- PR. SANITARY SEWER
- PR. STORM DRAIN
- PR. FILTERRA



FILTERRA #1 INSET



FILTERRA #2 INSET



APPROVED: DEPARTMENT OF PLANNING AND ZONING

CHIEF, DEVELOPMENT ENGINEERING DIVISION _____ DATE _____

CHIEF, DIVISION OF LAND DEVELOPMENT _____ DATE _____

DIRECTOR _____ DATE _____

APPROVED
PLANNING BOARD HOWARD COUNTY


DATE _____

DATUM

DESIGN & DRAWING BASED ON
 MARYLAND COORDINATE SYSTEM (MCS):
 HORIZONTAL: NAD 83 (1991)
 VERTICAL: NAVD 88

OWNER / DEVELOPER

SNOWDEN CROSSING LLC
 2800 QUARRY LAKE DRIVE, SUITE 340
 BALTIMORE, MD 21209
 PHONE: 410-308-0700
 ATTN: SCOTT CHERRY



MORRIS & RITCHIE ASSOCIATES, INC.
 ENGINEERS, PLANNERS, SURVEYORS AND LANDSCAPE ARCHITECTS
 1220-C EAST JOPPA ROAD, SUITE 505
 TOWSON, MARYLAND 21286
 (410) 821-1690
 FAX (410) 821-1748
 Copyright 2020 Morris & Ritchie Associates, Inc.

SITE DEVELOPMENT PLAN
VILLAGE OF OWEN BROWN, SECTION 2,
AREA 2, LOT D-1, SNOWDEN CROSSING
STORMWATER MANAGEMENT PLAN

TAX MAP 42 -- GRID 04 -- PARCEL 0397 -- ZONING NT -- DEED REF 17342/229
 PLAT NO. 2741 -- TAX ASSESSMENT DISTRICT 82 -- 6th ELECTION DISTRICT
 7090 DEEPAPE DRIVE, HOWARD COUNTY, MARYLAND, 21045

SDP-74-122

DATE: 11/22/2019

REVISIONS: REVISED SDP-74-122 TO INCLUDE 2100 SF ADDITION

JOB NO.: 19650

SCALE: AS SHOWN

DATE: 01/22/2020

DRAWN BY: DTP

DESIGN BY: THS

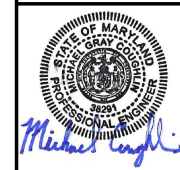
REVIEW BY: THS

SHEET: 19 OF 27



PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 38291, EXPIRATION DATE: 1/13/2022.



PERIMETER LANDSCAPE EDGE

CATEGORY	P-1 ADJACENT TO ROADWAY: DUMPSTER	P-2 ADJACENT TO ROADWAY: DUMPSTER	P-3 ADJACENT TO ROADWAY: SIDE BUILDING	P-4 ADJACENT TO ROADWAY: REAR BUILDING	P-5 ADJACENT TO COMMERCIAL LOT
LANDSCAPE TYPE: NON- RESIDENTIAL	D	D	B	C	A
LINEAR FEET OF PERIMETER	24	20	212	202	308
CREDIT FOR EXISTING VEGETATION					(2) Shade Trees, (2) Evergreen Trees and (1) Ornamental Tree
CREDIT FOR WALL FENCE OR BERM (YES/NO) (%)	N	N	N	N	N
NUMBER OF PLANTS REQUIRED:					
SHADE TREES	0	0	4	5	5
EVERGREEN/ORNAMENTAL TREES	2	2	5	10	0
SHRUBS	0	0	0	0	0
NUMBER OF PLANTS PROVIDED:					
SHADE TREES	0	0	0	4	3
ORNAMENTAL TREES	0	0	0	1	0
EVERGREEN TREES	2 (*A)	2 (*A)	13	8	0
SHRUBS (1:0.1 SUBSTITUTION)	0	0	(14 Shrubs) (*B)	20	0
Meeting Requirement (Yes/No)	YES	YES	YES	YES	YES

NOTES:
*A- (1) EVERGREEN TREE IS CREDITED FOR P-1 IS LOCATED IN SECTION P-2.
*B- THERE ARE (14) SHRUBS THAT EXCEED THE PLANTING REQUIREMENTS FOR P-3.

PERIMETER LANDSCAPING PLANT SCHEDULE: (See P-1 and P-2)

Evergreen Tree	Symbol	Quantity	Botanical Name	Common Name	Size	Spacing	Note
N	4	1	Nellie R. Stevens	Nellie R. Stevens Holly	5'-6" Ht.	As Shown	B&B/CG

PERIMETER LANDSCAPING PLANT SCHEDULE: (See P-3)

Evergreen Tree	Symbol	Quantity	Botanical Name	Common Name	Size	Spacing	Note
SR	13	1	Thuja occidentalis 'Emerald Green'	Emerald Green Arborvitae	5'-6" Ht.	As Shown	B&B/CG

PERIMETER LANDSCAPING PLANT SCHEDULE: (See P-4)

Major Deciduous Trees	Symbol	Quantity	Botanical Name	Common Name	Size	Spacing	Note
OP	4	1	Quercus phellos	Willow Oak	2.5'-3" Ht.	As Shown	B&B

PERIMETER LANDSCAPING PLANT SCHEDULE: (See P-5)

Major Deciduous Trees	Symbol	Quantity	Botanical Name	Common Name	Size	Spacing	Note
SR	1	1	Syringa reticulata	Tree Lilac	1.5'-2" Cal	As Shown	B&B/CG

PERIMETER LANDSCAPING PLANT SCHEDULE: (See P-6)

Evergreen Tree	Symbol	Quantity	Botanical Name	Common Name	Size	Spacing	Note
N	8	1	Nellie R. Stevens	Nellie R. Stevens Holly	5'-6" Ht.	As Shown	B&B/CG

PERIMETER LANDSCAPING PLANT SCHEDULE: (See P-7)

Major Deciduous Trees	Symbol	Quantity	Botanical Name	Common Name	Size	Spacing	Note
TA	3	1	Tilia americana 'Redmond'	American Linden	2.5' Cal.	As Shown	B&B

STORMWATER LANDSCAPING

STORMWATER MANAGEMENT AREA LANDSCAPING (P-7)

CATEGORY	STORMWATER MANAGEMENT AREA LANDSCAPING
LANDSCAPE TYPE: NON- RESIDENTIAL	C
LINEAR FEET OF PERIMETER	167
NUMBER OF TREES REQUIRED:	
SHADE TREES	4
EVERGREEN TREES	8
CREDIT FOR EXISTING VEGETATION (YES/NO) (%)	YES (2 SHADE TREES)
CREDIT FOR OTHER LANDSCAPING (YES/NO) (%)	N
NUMBER OF TREES PROVIDED:	
SHADE TREES	4
ORNAMENTAL TREES (2:1 SUBSTITUTION)	1*
EVERGREEN TREES	-
SHRUBS (1:0.1 SUBSTITUTION)	10
Meeting Requirement (Yes/No)	YES

Stormwater Management Area Plant Schedule: (See P-7)

Groundcover and Perennials	Symbol	Quantity	Botanical Name	Common Name	Size	Spacing	Note
GV	110	1	Panicum virgatum 'Shenandoah'	Switch Grass	1 Gal.	24" O.C.	CG

STREET TREE LANDSCAPING

STREET TREES (P-8 & P-9)

CATEGORY	P-8 STREET TREES	P-9 STREET TREES
LANDSCAPE TYPE: NON- RESIDENTIAL	C	C
LINEAR FEET OF PERIMETER	202	212
CREDIT FOR EXISTING VEGETATION	(4) Existing Street Trees	N
CREDIT FOR WALL FENCE OR BERM (YES/NO) (%)	N	N
NUMBER OF PLANTS REQUIRED:		
SHADE TREES	5	5
EVERGREEN/ORNAMENTAL TREES	0	0
SHRUBS	0	0
NUMBER OF PLANTS PROVIDED:		
SHADE TREES	1	0
ORNAMENTAL TREES	0	1
EVERGREEN TREES	0	0
SHRUBS (1:0.1 SUBSTITUTION)	0	0
Meeting Requirement (Yes/No)	YES	NO (*D)

Street Tree Plant Schedule: (See P-8)

Major Deciduous Trees	Symbol	Quantity	Botanical Name	Common Name	Size	Spacing	Note
PB	1	1	Platanus x acerifolia 'Bloodgood'	London Plane Tree	2.5' Cal.	As Shown	B&B

Street Tree Plant Schedule: (See P-9)

Major Deciduous Trees	Symbol	Quantity	Botanical Name	Common Name	Size	Spacing	Note
PB	1	1	Platanus x acerifolia 'Bloodgood'	London Plane Tree	2.5' Cal.	As Shown	B&B

NOTES:
*C- REQUESTING TO PROVIDE 0 PLANTING UNITS TOWARDS THE REQUIRED 5 SHADE TREES AS PART OF THE STREET TREE REQUIREMENT DUE TO EXISTING UTILITIES AND CONDITIONS ALONG CARVED STONE ROAD.

DEVELOPER'S/OWNER'S LANDSCAPE CERTIFICATE

I/We certify that the landscaping shown on this plan will be done according to the plan, Section 16.124 of the Howard County Code and the Landscape Manual. I/We further certify that upon completion of a Letter of Landscape Installation, accompanied by an executed one year guarantee of plant materials, will be submitted to the department of planning and zoning.

Signature: *Scott Alley*
DEVELOPER'S / OWNER'S NAME: Snowden Crossing, LLC
SIGNATURE

APPROVED: DEPARTMENT OF PLANNING AND ZONING

CHIEF, DEVELOPMENT ENGINEERING DIVISION _____ DATE _____
CHIEF, DIVISION OF LAND DEVELOPMENT _____ DATE _____
DIRECTOR _____ DATE _____

PARKING LOT LANDSCAPING

Parking Lot Adjacent to Non-Residential (P-6)

CATEGORY	P-6 PARKING LOT LANDSCAPING
LANDSCAPE TYPE: NON- RESIDENTIAL	B
LINEAR FEET OF PERIMETER	92
CREDIT FOR EXISTING VEGETATION	
CREDIT FOR WALL FENCE OR BERM (YES/NO) (%)	N
NUMBER OF PLANTS REQUIRED:	
SHADE TREES	2
EVERGREEN/ORNAMENTAL TREES	2
SHRUBS	0
NUMBER OF PLANTS PROVIDED:	
SHADE TREES	0
ORNAMENTAL TREES	0
EVERGREEN TREES	2
SHRUBS (1:0.1 SUBSTITUTION)	20
Meeting Requirement (Yes/No)	YES

Parking Lot Internal Plant Schedule: (See P-6)

Evergreen Tree	Symbol	Quantity	Botanical Name	Common Name	Size	Spacing	Note
N	2	1	Nellie R. Stevens	Nellie R. Stevens Holly	5'-6" Ht.	As Shown	B&B/CG

Major Deciduous Trees	Symbol	Quantity	Botanical Name	Common Name	Size	Spacing	Note
Ca	10	1	Clethra alnifolia	Summersweet Clethra	2.5'-3" Ht.	As Shown	B&B/CG
Ek	10	1	Eucymus katuschovicus 'Marshall'	Spreading Eucymus	2.5'-3" Ht.	As Shown	B&B/CG

Major Deciduous Trees	Symbol	Quantity	Botanical Name	Common Name	Size	Spacing	Note
CF	2	1	Cornus florida	Flowering Dogwood	8'-10" Ht.	As Shown	B&B/CG

Parking Lot Interior Landscaping*

NUMBER OF PARKING SPACES	10
NUMBER OF TREES REQUIRED:	1
NUMBER OF TREES PROVIDED:	0
SHADE TREES	0
OTHER TREES (2:1 SUBSTITUTION)	2
*SEEKING ALTERNATIVE LOCATION TO PROVIDE REQUIRED PLANTING UNITS	

Parking Lot Internal Landscaping Plant Schedule: (See Schedule B)

Minor Flowering Trees	Symbol	Quantity	Botanical Name	Common Name	Size	Spacing	Note
CF	2	1	Cornus florida	Flowering Dogwood	8'-10" Ht.	As Shown	B&B/CG

* THE REQUIRED PLANTING UNITS ARE LOCATED TO THE NORTH AND SOUTH ADJACENT TO THE PARKING LOT STALLS.

SITE INTERNAL LANDSCAPING

Internal Landscaping Plant Schedule:

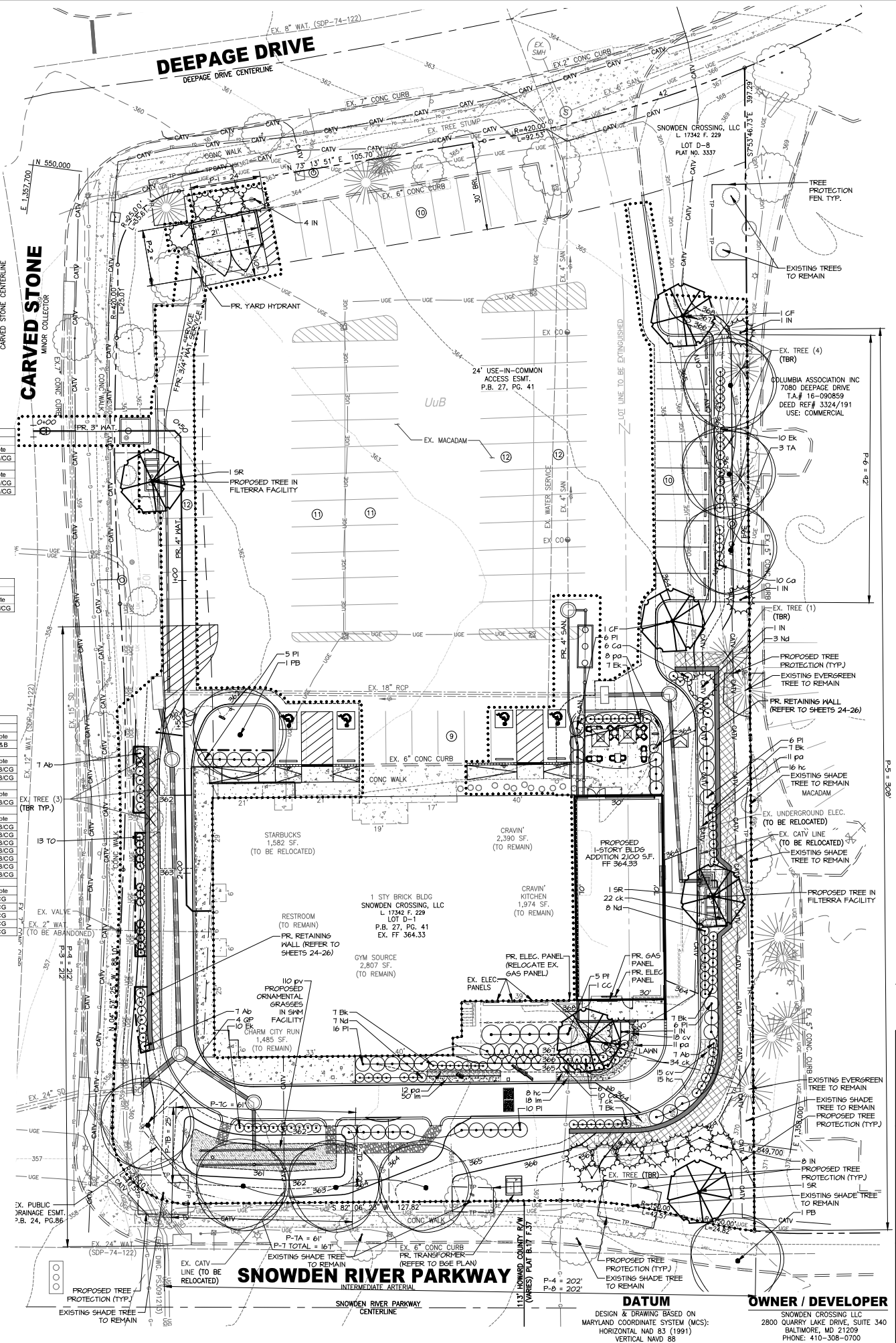
Major Deciduous Trees	Symbol	Quantity	Botanical Name	Common Name	Size	Spacing	Note
PB	1	1	Platanus x acerifolia 'Bloodgood'	London Plane Tree	2.5' Cal.	As Shown	B&B

Minor Flowering Trees	Symbol	Quantity	Botanical Name	Common Name	Size	Spacing	Note
CC	1	1	Carpinus caroliniana	American Hornbeam	1.5'-2" Cal	As Shown	B&B/CG
SR	1	1	Syringa reticulata	Tree Lilac	1.5'-2" Cal	As Shown	B&B/CG

Evergreen Tree	Symbol	Quantity	Botanical Name	Common Name	Size	Spacing	Note
N	2	1	Nellie R. Stevens	Nellie R. Stevens Holly	5'-6" Ht.	As Shown	B&B/CG

Shrubs	Symbol	Quantity	Botanical Name	Common Name	Size	Spacing	Note
Ab	13	1	Abelia x grandiflora	Glossy Abelia	2.5'-3" Ht.	As Shown	B&B/CG
Bk	28	1	Buxus koreana 'Wintergreen'	Wintergreen Boxwood	2'-2.5" Ht.	As Shown	B&B/CG
Ca	18	1	Clethra alnifolia	Summersweet Clethra	2.5'-3" Ht.	As Shown	B&B/CG
Ek	7	1	Eucymus katuschovicus 'Marshall'	Spreading Eucymus	2.5'-3" Ht.	As Shown	B&B/CG
Fr	5	1	Photinia x fraseri	Fraser's Photinia	3'-3.5" Ht.	As Shown	B&B/CG
Pl	39	1	Prunus laurocerasus 'Otto Luyken'	Cherry Laurel	2'-2.5" Ht.	As Shown	B&B/CG
Nd	18	1	Nandina domestica 'Harbour Dwarf'	Harbour Dwarf Nandina	18"-24" Ht.	As Shown	B&B/CG

Groundcover and Perennials	Symbol	Quantity	Botanical Name	Common Name	Size	Spacing	Note
ck	63	1	Calamagrostis x acutiflora 'Karl Foerster'	Feather Reed Grass	1 Gal.	24" O.C.	CG
cv	33	1	Cortaderia verticillata 'Moonbeam'	Moonbeam Coreopsis	1 Gal.	18" O.C.	CG
hc	39	1	Hemerocallis 'Happy Returns'	Daylily	1 Gal.	18" O.C.	CG
lm	68	1	Liriodendron 'Big Blue'	Lily Turfgrass	4" Cont.	12" O.C.	CG
pa	42	1	Parthenocissum alcockii 'Harmitt'	Harmitt Fountain Grass	1 Gal.	24" O.C.	CG



LEGEND

- EX. 1 FOOT CONTOURS
- EX. 2 FOOT CONTOURS
- EX. 10 FOOT CONTOURS
- EX. EDGE OF PAVEMENT
- EX. CURB AND GUTTER
- EX. CONCRETE
- EX. C/L ROAD
- EX. ZONING LINE
- EX. ADJACENT PROPERTY LINE
- EX. PROPERTY LINE
- EX. RIGHT OF WAY
- EX. WATER LINE
- EX. SANITARY LINE
- EX. STORM DRAIN LINE
- EX. FIBER OPTIC CABLE
- EX. CATV
- EX. GAS
- EX. UNKNOWN UTILITY
- EX. UNDERGROUND ELECTRIC
- EX. GROUND LIGHT
- EX. U/G UTILITY HANDBOX
- EX. UTILITY POLE
- EX. SIGN
- EX. BOLLARD
- EX. SLOPE GREATER THAN 15%
- EX. TREE
- EX. STUMP
- EX. BUILDING/STRUCTURE
- EX. BLOCK RETAINING WALL
- PR. LIMIT OF DISTURBANCE
- PR. 1 FT. CONTOUR
- PR. 2 FT. CONTOUR
- PR. 10 FT. CONTOUR
- PR. BUILDING
- PR. CONCRETE WALK
- PR. CURB & GUTTER
- PR. WATER LINE
- PR. SANITARY SEWER
- PR. STORM DRAIN
- PR. FILTERRA
- TREE PROTECTION FENCE
- TREE PROTECTION FENCE
- PROP. MAJOR TREE
- PROP. FLOWERING TREE
- PROP. EVERGREEN TREE
- PROP. SHRUB
- TREE TO BE REMOVED
- PROP. GROUNDCOVER

ADDRESS CHART

LOT / PARCEL #	STREET ADDRESS	ACREAGE
LOT D-1/0397	7090 DEEPAE AVENUE	1.41 AC. (61,420 SF)
LOT D-8/0397	7090 DEEPAE AVENUE	0.37 AC. (16,431 SF)

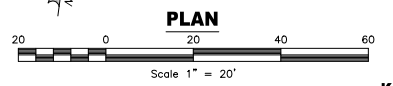
PERMIT INFORMATION CHART

ADDRESS	TAX ACCOUNT NO.	PLAT NO.				
7090 DEEPAE DRIVE	108030	2741				
PARCEL	L / F	GRID	ZONING	TAX MAP NO.	ELECT. DIST.	CENSUS TRACT
0397	17342 / 00229	4	NT	42	6	606705

SOILS LEGEND

SYMBOL	NAME/DESCRIPTION	SOIL TYPE
UwB	URBAN LAND-UDORIENTS COMPLEX, 0 - 8 PERCENT SLOPES (ALL SOILS SHOWN ON PLAN ARE UwB)	D

- NOTE:
- (2) ORNAMENTAL TREES (SR) ARE LOCATED IN FILTERRA FACILITIES ON THE SITE. THERE ARE (110) ORNAMENTAL GRASSES LOCATED AT THE BOTTOM OF THE STORMWATER MANAGEMENT FACILITY.
 - THE CORRECTNESS OR COMPLETENESS OF EXISTING INFORMATION SHOWN ON THE DRAWINGS IS NOT WARRANTED OR GUARANTEED. THE CONTRACTOR SHALL VERIFY THE LOCATION OF UTILITIES AND UNDERGROUND FACILITIES, BY TEST PITS OR OTHER METHODS APPROVED BY THE OWNER'S REPRESENTATIVE, AS REQUIRED TO VERIFY EXACT LOCATIONS AND DEPTHS WITH THE LIMIT OF DISTURBANCE. ALL DISCREPANCIES BETWEEN INFORMATION SHOWN ON THE DRAWINGS AND THAT VERIFIED IN THE FIELD SHALL BE REPORTED TO THE OWNER'S REPRESENTATIVE PRIOR TO BEGINNING OF WORK.
 - THE LANDSCAPING SHOWN ON THE LANDSCAPE PLANS WILL BE INSTALLED BY THE DEVELOPER.



PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 3787, EXPIRATION DATE: 06/30/2022.



MORRIS & RITCHIE ASSOCIATES, INC.
ENGINEERS, PLANNERS, SURVEYORS AND LANDSCAPE ARCHITECTS
1220-C EAST JOPPA ROAD, SUITE 505
TOWSON, MARYLAND 21286
(410) 821-1690
FAX (410) 821-1748
Copyright 2020 Morris & Ritchie Associates, Inc.



SITE DEVELOPMENT PLAN
VILLAGE OF OWEN BROWN, SECTION 2,
AREA 2, LOT D-1, SNOWDEN CROSSING
LANDSCAPE PLAN
TAX MAP 42 - GRID 04 - PARCEL 0397 - ZONING NT - DEED REF 17342/229
PLAT NO. 2741 - TAX ASSESSMENT DISTRICT 82 - 6th ELECTION DISTRICT
7090 DEEPAE DRIVE, HOWARD COUNTY, MARYLAND, 21045

DATE	REVISIONS	JOB NO.:
11/22/2019	REVISED SDP-74-122 TO INCLUDE 2100 SF ADDITION	19650
		SCALE: AS SHOWN
		DATE: 01/22/2020
		DRAWN BY: SLS
		DESIGN BY: SLS
		REVIEW BY: NCR
		SHEET: 23 OF 27

DATUM
DESIGN & DRAWINGS BASED ON MARYLAND COORDINATE SYSTEM (MCS): HORIZONTAL NAD 83 (1991) VERTICAL NAVD 88

OWNER / DEVELOPER
SNOWDEN CROSSING LLC
QUARRY LAKE DRIVE, SUITE 340
BALTIMORE, MD 21209
PHONE: 410-308-0700

