



HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
3430 Courthouse Drive ♦ Ellicott City, Maryland 21043 ♦ 410-313-2350

Amy Gowan, Director

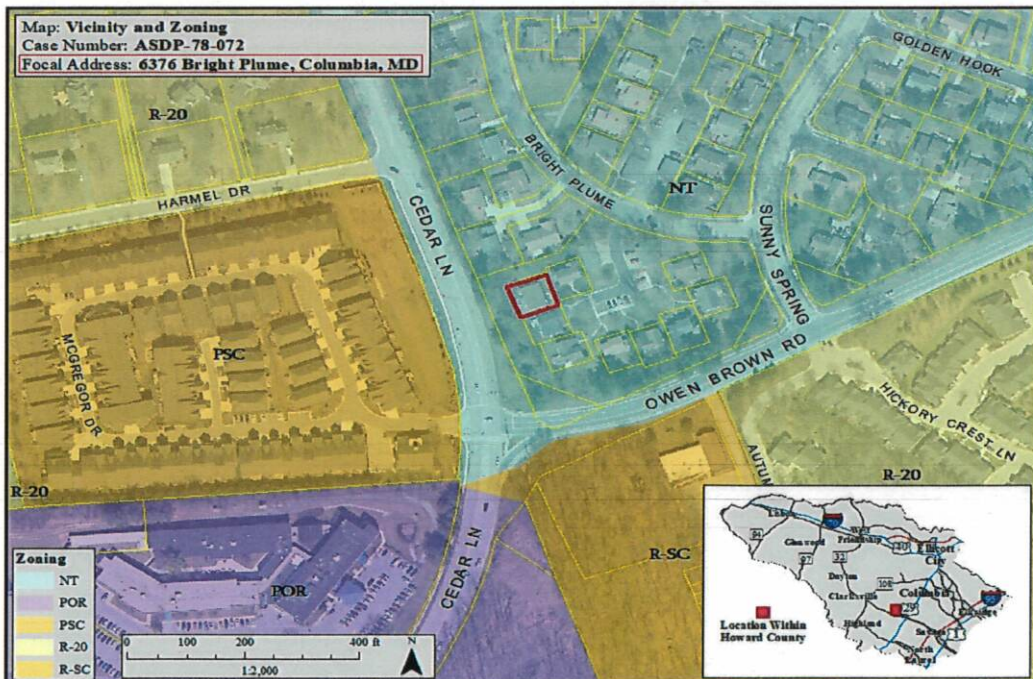
www.co.ho.md.us
FAX 410-313-3467
TDD 410-313-2323

TECHNICAL STAFF REPORT

6376 Bright Plume, Deck Modification

Planning Board Meeting of August 6, 2020

- File No. / Petitioner:** ASDP-78-072, Stella Lebrun
- Project Name:** ASDP-78-072, 6376 Bright Plume, Village of Hickory Ridge, Section 1, Area 1, Lot J-8.
- DPZ Planner:** Justin Schleicher, Planning Support Technician II
- Request:** The request is for the approval of an amendment to a Site Development Plan (SDP) to increase the lot coverage to 38%. This increase will exceed the maximum lot coverage of 30% allowable as per the approved FDP. The request is necessary for the expansion of a deck and sunroom attached to a private dwelling in accordance with Section 125.0.G.4. of the Zoning Regulations. The property is currently developed and is zoned New Town- Single Family Medium Density (NT-SFMD) in accordance with the Final Development Plan (FDP) 100-A-III.
- Location:** The subject property is located on the western side of Bright Plume about 400 feet from the intersection of Sunny Spring. The property contains approximately 4,900 square feet of land and is identified as Lot J-8 in the Village of Hickory Ridge, Section 1, Area 1 located on Tax Map No. 35, Grid No. 11 in the Fifth Election District of Howard County, Maryland.



DPZ Recommendation: The Department of Planning and Zoning recommends **approval** of this amendment to Site Development Plan, SDP-78-072, subject to compliance with any conditions imposed by the Planning Board.

Vicinal Properties:

To the North: A community owned lot borders the site to the north. The adjoining property is Lot J-16, Parcel 289, on Tax Map 35, Grid 11. The adjoining property contains open lawn area with scattered landscape trees.

To the East: A private residence borders the site to the east. The adjoining property is Lot J-7, Parcel 289, on Tax Map 35, Grid 11. The property address is 6372 Bright Plume, Columbia, MD 21044. The adjoining property contains a detached single-family house. The proposed deck and porch will not be visible from this residence as it faces west from the property.

To the South: A private residence borders the site to the south. The adjoining property is Lot J-9, Parcel 289, on Tax Map 35, Grid 11. The property address is 6380 Bright Plume, Columbia, MD 21044. The adjoining property contains a detached single-family house with a deck.

To the West: Community owned Lot J-16 borders the subject property to the west of the site. Opposite Lot J-16 is the right-of-way for Cedar Lane.

General Comments:

A. Regulatory Compliance: This project is subject to compliance with Section 125.0.G.4 of the Zoning Regulations (effective October 6, 2013), the development criteria listed in Final Development Plan 100-A-III, the amended Fifth Edition of the Howard County Subdivision and Land Development Regulations (October 7, 2007 Edition), the Howard County Design Manual, and The Village of Hickory Ridge Design Architectural Guidelines.

B. DPZ Plan History:

- **FDP 100-A-III**, Final Development Plan and Criteria for the subject property was recorded on January 12, 2018. The subject property is part of Phase 100-A-III in the New Town Zoning District as part of the Village of Hickory Ridge Section 1 Area 1. The FDP is recorded as Plat numbers 24479-24487 among the Land Records of Howard County, MD.
- **F-77-007**, A Resubdivision Plat that the current subject property was identified as J-8. The individual property line boundaries are illustrated on F-77-007 recorded in Plat 3556-P01 on November 10, 1976.
- **SDP-78-072**, Site development plan that the subject property was developed under. The existing single family dwelling was constructed and parking areas were established per the development criteria set forth in the FDP and identified in this SDP.

C. Proposed Development Plan/Site Improvements: The ASDP proposes the construction of a sunroom in place of the existing deck and a new deck attached to the sunroom along the rear of the dwelling. The proposed deck and sunroom area combined will be roughly 28 feet x 10 feet, composing an area of approximately 280 square feet. The enclosed sunroom portion will be a 16 foot x 10 foot enclosure. The proposed design has been reviewed and approved by the Village of Hickory Ridge Architecture Review Committee on November 6, 2019. The ASDP is required due to the minor lot coverage increase above the 30% threshold. The existing lot coverage is 33% and the petitioner is requesting the Planning Board allow an increase of 5% to the structural lot coverage to bring the total coverage to 38%.

D. Site Area and Coverage Information Chart:

Area Per Lot Requirements:

Lot Area	4,900 Square Feet
Limit of Disturbed Area	280 Square Feet
Existing Dwelling	1,557 Square Feet (32% of Gross Lot Area)
Basement Steps and Pad	60 Square Feet (1% of Gross Lot Area)
Proposed Deck	280 Square Feet (5% of Gross Lot Area)
Existing Lot Coverage	33% (1832 Square Feet)
Proposed Lot Coverage	38% (2042 Square Feet)

E. Existing Site Conditions:

- **Access, Structures, and Parking Area:** Currently, the subject area contains the existing single family residence and existing deck. Access is provided to the lot by a private shared driveway easement from Bright Plume.
- **Environmental Characteristics:**
 - (i) **Forest Cover:** There is no forest on site.
 - (ii) **Topography:** The site is mostly flat with lawn areas with lightly landscaped areas surrounding the house.
 - (iii) **Wetlands, Streams and 100 Year Flood Plain:** There are no steep slopes, wetlands, streams or 100-year floodplain on the lot.

F. Final Development Plan Analysis:

This Amended Site Development Plan has been evaluated for compliance with FDP-100-A-III. Where the Final Development Plan is silent, compliance with the Subdivision and Land Development Regulations, the Zoning Regulations, and other applicable regulations are required. See attachments for the proposed layout of the site. Below is a summary of the major FDP criteria used in this evaluation:

1. **Permitted Land Uses:** In accordance with FDP-100-A-II, the proposed project is an addition to the existing dwelling and an expansion of an existing deck. There are no provisions prohibiting the proposed deck and sunroom provided that the additions are in accordance with the established FDP criteria and approved by the Howard County Planning Board.
2. **Stormwater Management:** Stormwater Management (SWM) for this site was previously addressed and completed. The proposed deck and sunroom will not have any impact on the approved Stormwater Management for this lot.
3. **Forest Conservation:** The property is exempt from the requirements of Section 16.1200 of the Howard County Code for Forest Conservation because the property is zoned NT which had preliminary development plan approval and was 50% or more developed prior to 12/31/92 per Section 16.1202(b)(1)(ii).
4. **Environmental Concerns:** No wetlands, wetland buffers, streams, stream buffers, steep slopes, Forest Conservation Easement Areas or 100-year floodplain exist on site. This site has been previously graded. The proposed deck and sunroom will not disturb any of the substantial vegetation.
5. **Setback Requirements:** This project meets the applicable setbacks as required per FDP-100-A-III. Per FDP-100-A-III no structure shall be located upon lots devoted to single family medium density land use within 30' of any 60' or greater street right-of-way. The proposed improvements will not encroach on this setback from the Cedar Lane right-of-way.

6. **Height Requirement:** In accordance with FDP-100-A-III, no structure shall be constructed within the FDP area that exceeds 34 feet in height from the highest ground elevation. The proposed deck and sunroom will have a maximum height of 13'-6" which complies with the height requirements per FDP-100-A-II.
7. **Coverage Requirements:** Per FDP-100-A-III, building coverage (and the existence of other major structures) cannot exceed 30% of any parcel (lot) devoted to single family residential use. No coverage limitation is imposed upon areas used for shrubbery, sidewalks, paved parking areas and other similar improvements. The existing lot coverage presently exceeds the 30% maximum lot coverage at 33% for existing structures and is proposed under the Amended Site Development Plan to increase to 38% for the new deck and sun room.

Evaluation of Requested FDP Criteria Adjustment:

The requested adjustment was reviewed according to the criteria set forth in Section 125.0.G.4.d(1) and Section 125.0.G.4.d(2) of the Howard County Zoning Regulations.

- 1) **Not Detrimental to the Public Interest:** The adjustment will not alter the character of the neighborhood or area in which the property is located, will not impair the appropriate use or development of adjacent property, and will not be detrimental to the public welfare. The adjustment is needed due to practical difficulties associated with the location of the existing structure within the property's footprint. The extension of the deck and addition of the sunroom will create an improved usable outdoor space than would not otherwise be allowed by strict compliance with the development criteria. The architectural design of the deck and porch complies with the guidelines set forth by the Village of Hickory Ridge and will conform to existing architecture so as not to alter the neighborhood characteristics and will be compatible with surrounding lots. The improvements proposed do not extend into the rear setback and proposed additions will not exceed the height limitations or impede the neighbors use in any way.
- 2) **Extraordinary Hardship or Practical Difficulties:** Practical difficulties arise when complying with the development criteria because of the lot size, shape, house placement, and the overall design of the community. The existing structures already cover 33% of the lot. To create additional living space, the owners are requesting the additional lot coverage for a modest expansion. The deck extension will allow a sunroom to occupy the location of the current deck and create a more usable outdoor space during cooler weather months as well as functional use in inclement weather. The portion of new deck space to be created will serve as an open area for general outdoor use during warmer months. Several surrounding properties, along with others in the neighborhood, have decks of similar or larger size and enclosed sunrooms. Denial of this request would significantly limit the owner's ability to construct more living space and a deck on their lot, which is a right that is commonly enjoyed by other homeowners. The proposed deck extension will not impact utilities, environmental features, and general requirements.

DPZ Recommendation: Based upon all of the above findings, the Department of Planning and Zoning recommends **approval** of this Amended Site Development Plan, ASDP-78-072, subject to compliance with any conditions imposed by the Planning Board.



 Amy Gowan, Director
 Department of Planning and Zoning

7/22/20
 Date

HOWARD COUNTY

GREAT DAY IMPROVEMENTS, BALTIMORE
LEBRUN/COMEAU RESIDENCE

DRAWING #	DESCRIPTION
1	COVER
2	ELEVATION "B" WALL
3	ELEVATION "A" & "C" WALL
4	DECK PLAN
5	FLOOR PLAN
6	ROOF PLAN
7	STANDARD DECK DETAILS
8	STANDARD DECK DETAILS
9	SYSTEM DETAILS
10	SYSTEM DETAILS
11	SYSTEM DETAILS

MINIMUM DESIGN LOADS: (PER 2018 IRC)

SUNROOM CATEGORY II (PER 2018 IRC R301.2.1.1.1 & AAMA / NPEA / NSA 2100))

SNOW LOADS:

1. GROUND SNOW LOAD 30 PSF

ULTIMATE DESIGN WIND SPEED: 115 MPH, 3 SEC. GUSTS

LIVE LOADS:

1. ROOF: 20 PSF
2. FLOOR: 40 PSF

NOTE: THIS ENCLOSURE IS NOT TO BE CONDITIONED OR USED AS A PERMANENT LIVING AREA.

NOTES:

1. ALLVIEW (AAS) ROOM; WHITE IN COLOR
2. CONSTRUCT ENCLOSURE ON EXISTING DECK
3. NO HEAT BY GDI, ELECTRICAL BY GDI
4. ROOM CONSIDERED AS NON-CONDITIONED SPACE, EXEMPT FROM ENERGY EFFICIENCY REQUIREMENTS (PER 2018 IRC SECTION N1102.1, NOTE 2)

PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 31585, EXPIRATION DATE: 7/18/21."



JAMES A. CLANCY P.E., L.S.
MD PROFESSIONAL ENGINEER (MD LIC. # 31585)
601 ASBURY AVENUE
NATIONAL PARK, NJ. 08063
PH. # 856-853-7306



LOCATION
GDI - BALTIMORE
501 McCORMICK DRIVE, SUITES D-F
GLEN BURNIE, MD 21061
410-760-1919

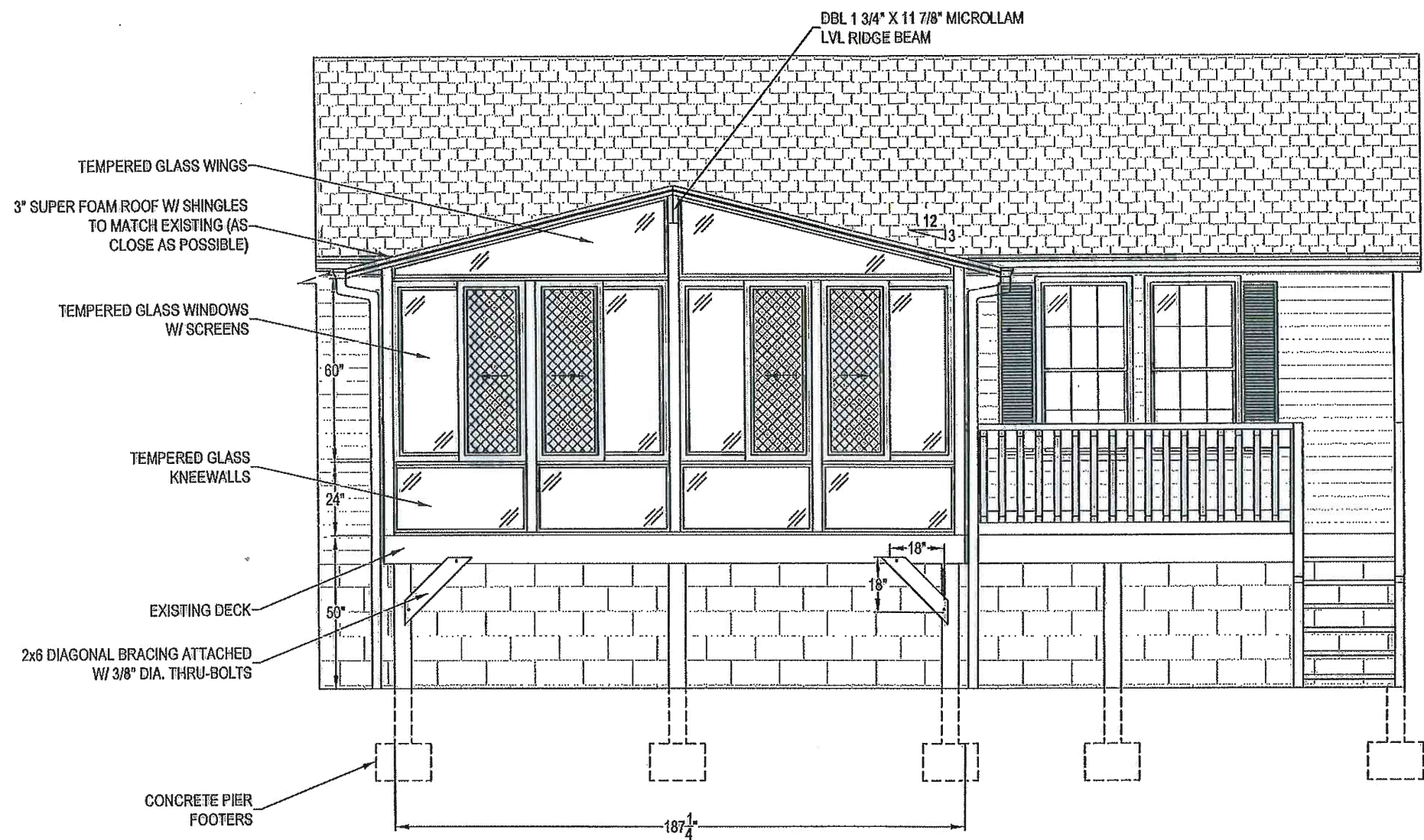
STELLA LEBRUN & JOCELY COMEAU
6376 BRIGHT PLUME
COLUMBIA, MD. 21044
JOB #40722

--	--	--	--

DATE	10/29/19
DRAWN	VNG
SCALE	1/4" = 1'-0"
SHEET	1 OF 10

11-8-19

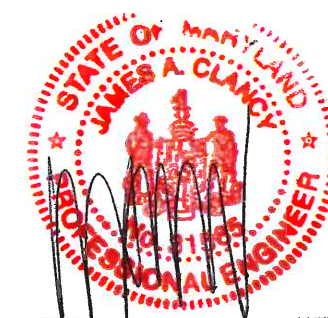
THIS DRAWING IS PROPERTY OF GREAT DAY IMPROVEMENTS, LLC, AND DUPLICATION OF THIS DRAWING WITHOUT OUR EXPRESSED WRITTEN CONSENT IS PROHIBITED. ALL RIGHTS RESERVED.



ELEVATION - "B" WALL

LOCATION
 GDI - BALTIMORE
 501 MCCORMICK DRIVE, SUITES D-F
 GLEN BURNIE, MD 21061
 410-760-1919

STELLA LEBRUN & JOCELY COMEAU
 6376 BRIGHT PLUME
 COLUMBIA, MD. 21044
 JOB #40722



11-8-19

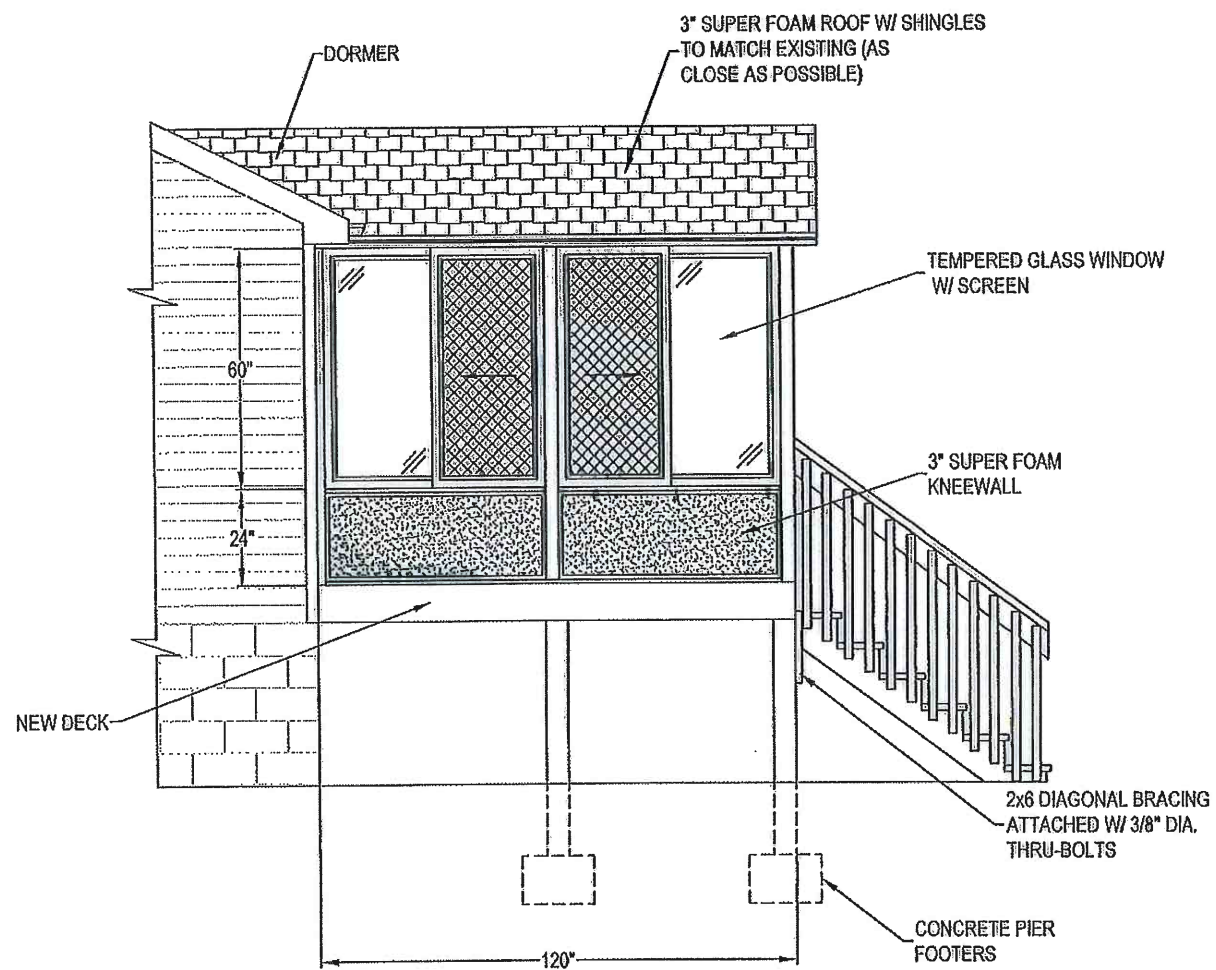
JAMES A. CLANCY P.E., L.S.
 MD PROFESSIONAL ENGINEER (MD LIC. # 31585)
 601 ASBURY AVENUE
 NATIONAL PARK, NJ. 08063
 PH. # 856-853-7306

DATE	10/29/19
DRAWN	VNG
SCALE	1/4" = 1'-0"
SHEET	2 OF 10

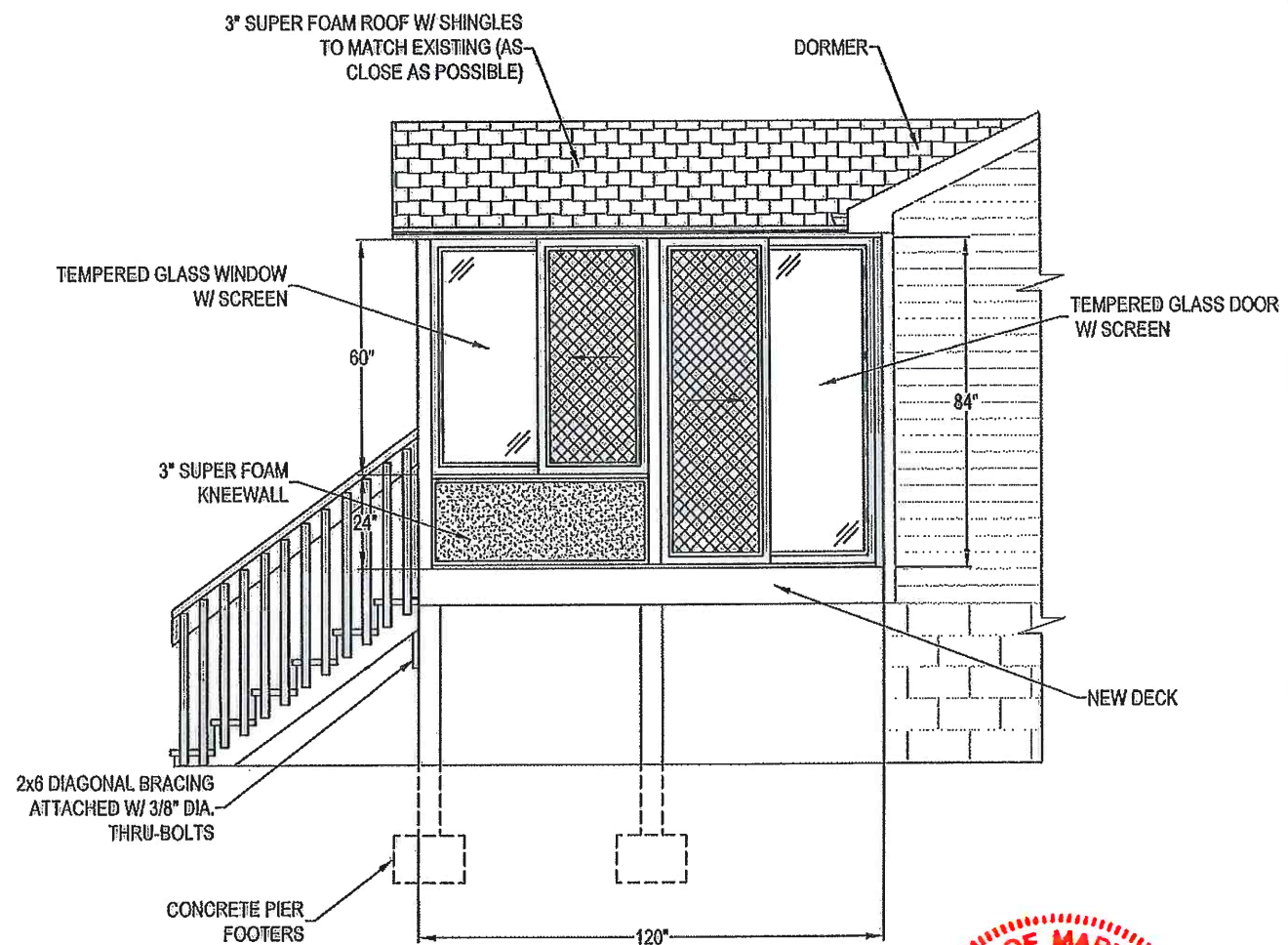
THIS DRAWING IS PROPERTY OF GREAT DAY IMPROVEMENTS, LLC., AND DUPLICATION OF THIS DRAWING WITHOUT OUR EXPRESSED WRITTEN CONSENT IS PROHIBITED. ALL RIGHTS RESERVED.



BY GREAT DAY IMPROVEMENTS, LLC



ELEVATION - "A" WALL



ELEVATION - "C" WALL
(RAILING NOT SHOWN FOR CLARITY)



JAMES A. CLANCY P.E., L.S.
 MD PROFESSIONAL ENGINEER (MD LIC. # 31585)
 601 ASBURY AVENUE
 NATIONAL PARK, N.J. 08063
 PH. # 856-853-7306

11-X-19

LOCATION
 GDI - BALTIMORE
 501 MCCORMICK DRIVE, SUITES D-F
 GLEN BURNIE, MD 21061
 410-760-1919

STELLA LEBRUN & JOCELY COMEAU
 6376 BRIGHT PLUME
 COLUMBIA, MD. 21044
 JOB #40722

--	--	--	--

DATE	10/29/19
DRAWN	VNG
SCALE	1/4" = 1'-0"
SHEET	3 OF 10

THIS DRAWING IS PROPERTY OF GREAT DAY IMPROVEMENTS, LLC, AND DUPLICATION OF THIS DRAWING WITHOUT OUR EXPRESSED WRITTEN CONSENT IS PROHIBITED. ALL RIGHTS RESERVED.



BY GREAT DAY IMPROVEMENTS, LLC

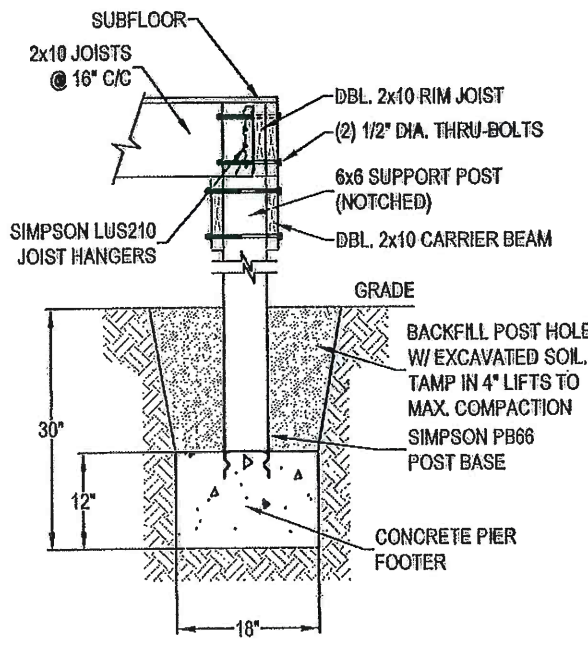
LOCATION
GDI - BALTIMORE
501 McCORMICK DRIVE, SUITES D-F
GLEN BURNIE, MD 21061
410-760-1919

STELLA LEBRUN & JOCELY COMEAU
6376 BRIGHT PLUME
COLUMBIA, MD. 21044
JOB #40722

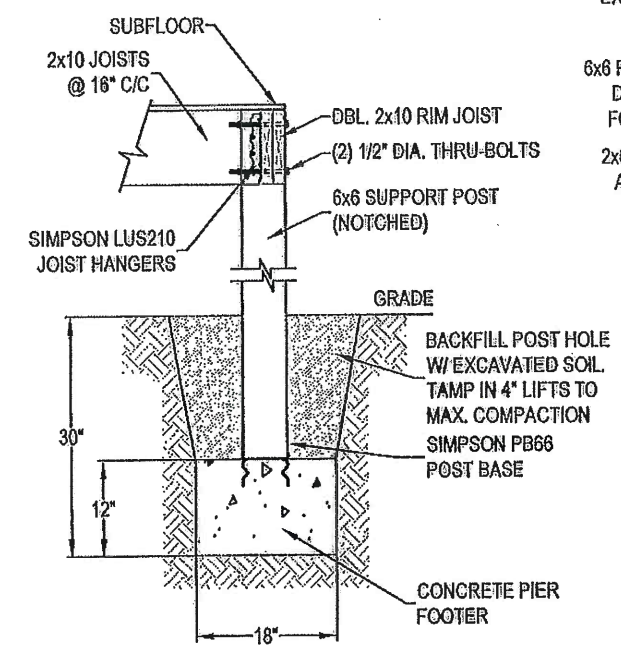
--	--	--	--

DATE	10/29/19
DRAWN	VNG
SCALE	AS NOTED
SHEET	4 OF 10

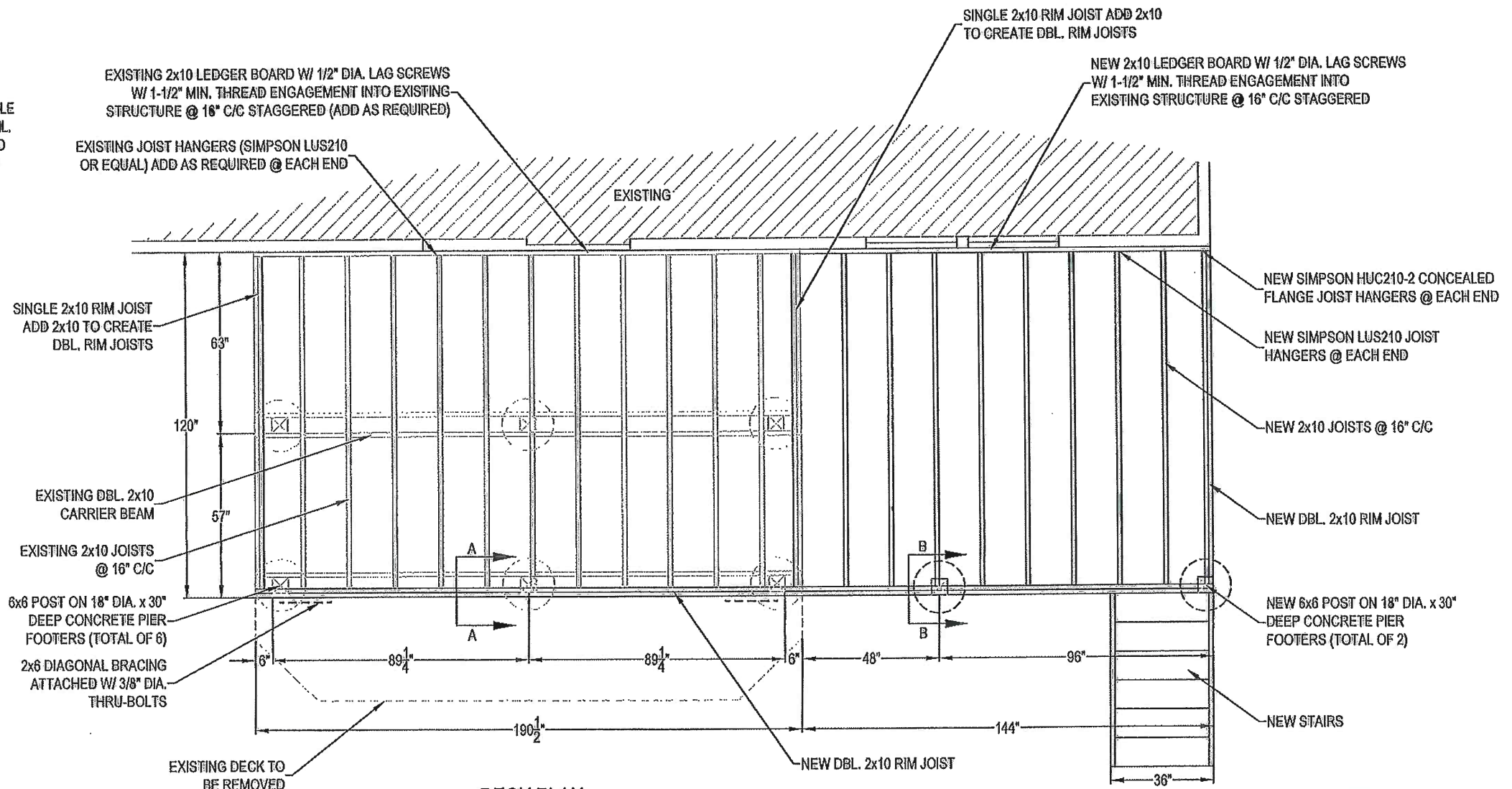
THIS DRAWING IS PROPERTY OF GREAT DAY IMPROVEMENTS, LLC, AND DUPLICATION OF THIS DRAWING WITHOUT OUR EXPRESSED WRITTEN CONSENT IS PROHIBITED. ALL RIGHTS RESERVED.



SECTION A-A
SCALE: 1/2" = 1'-0"



SECTION B-B
SCALE: 1/2" = 1'-0"

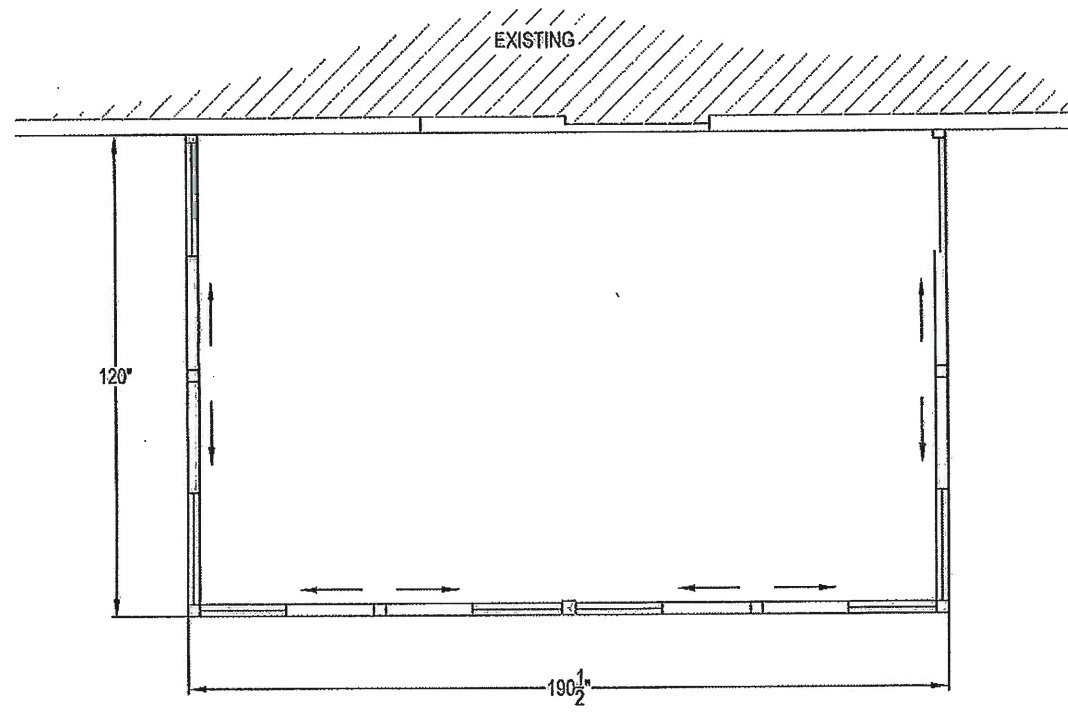


DECK PLAN
SCALE: 1/4" = 1'-0"



JAMES A. CLANCY P.E., L.S.
MD PROFESSIONAL ENGINEER (MD LIC. # 31585)
601 ASBURY AVENUE
NATIONAL PARK, NJ. 08063
PH. # 856-853-7306

11-8-19



FLOOR PLAN



11-8-19

JAMES A. CLANCY P.E., L.S.
 MD PROFESSIONAL ENGINEER (MD LIC. # 31585)
 601 ASBURY AVENUE
 NATIONAL PARK, NJ. 08063
 PH. # 856-853-7306

DATE
10/29/19

DRAWN VNG

SCALE
1/4" = 1'-0"

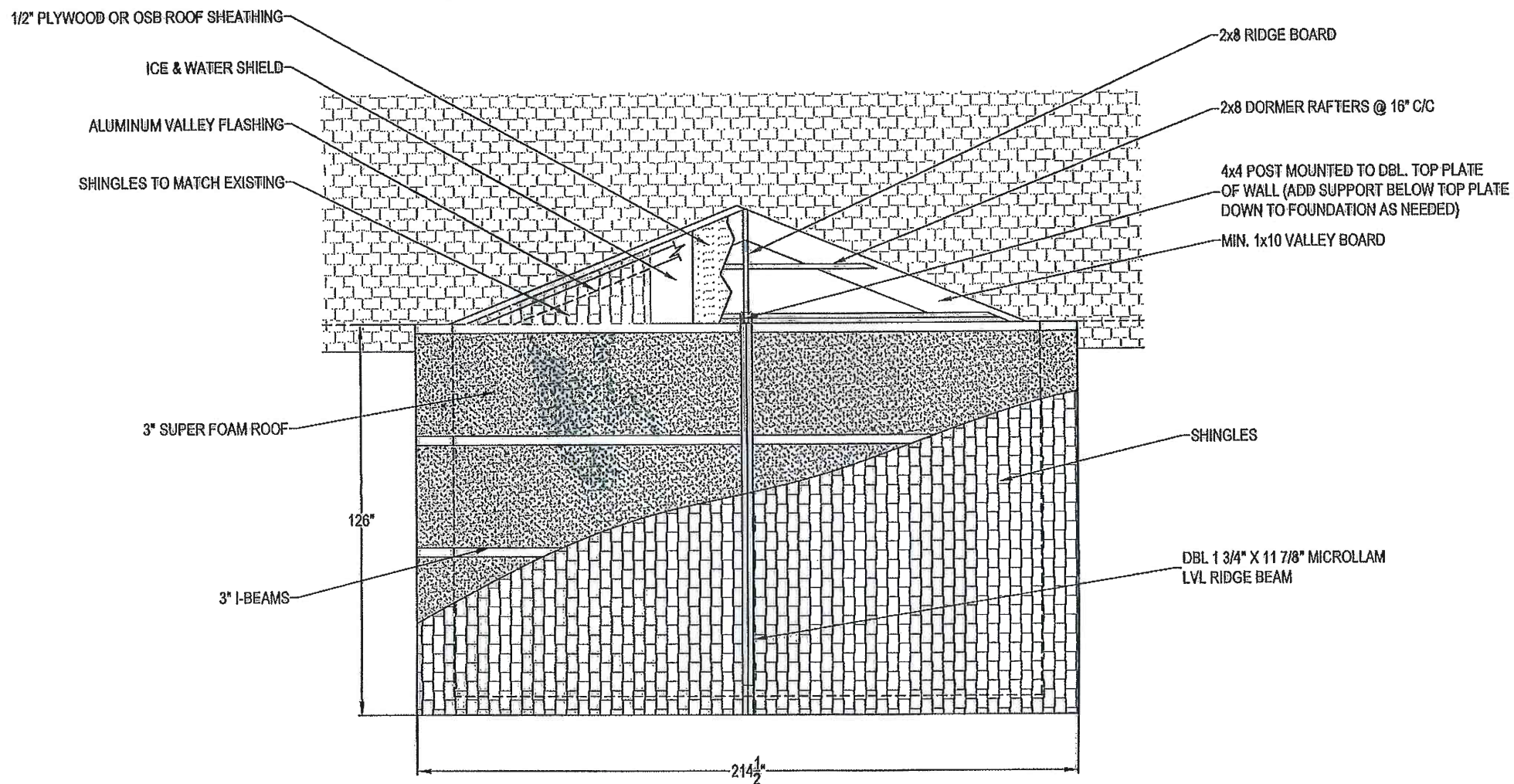
SHEET
5 OF 10

STELLA LEBRUN & JOCELY COMEAU
 6376 BRIGHT PLUME
 COLUMBIA, MD. 21044
 JOB #40722

LOCATION
 GDI - BALTIMORE
 501 McCORMICK DRIVE, SUITES D-F
 GLEN BURNIE, MD 21061
 410-760-1919



THIS DRAWING IS PROPERTY OF GREAT DAY IMPROVEMENTS, LLC., AND DUPLICATION OF THIS DRAWING WITHOUT OUR EXPRESSED WRITTEN CONSENT IS PROHIBITED. ALL RIGHTS RESERVED.



ROOF PLAN

LOCATION
 GDI - BALTIMORE
 501 McCORMICK DRIVE, SUITES D-F
 GLEN BURNIE, MD 21061
 410-760-1919

STELLA LEBRUN & JOCELY COMEAU
 6376 BRIGHT PLUME
 COLUMBIA, MD. 21044
 JOB #40722

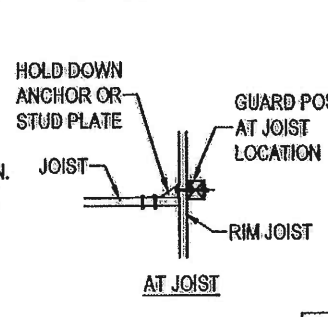
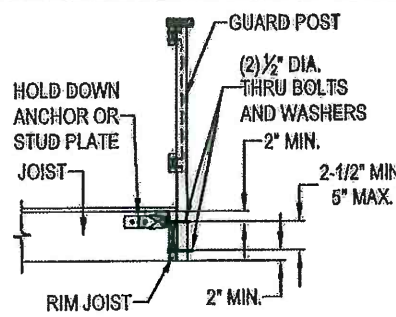


11-8-19

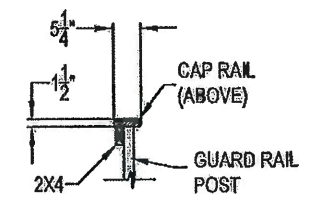
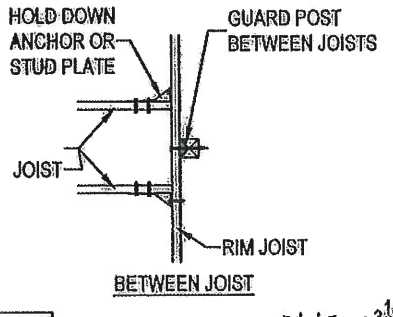
JAMES A. CLANCY P.E., L.S.
 MD PROFESSIONAL ENGINEER (MD LIC. # 31585)
 601 ASBURY AVENUE
 NATIONAL PARK, NJ. 08063
 PH. # 856-853-7306

DATE 10/29/19
 DRAWN VNG
 SCALE 1/4" = 1'-0"
 SHEET 6 OF 10

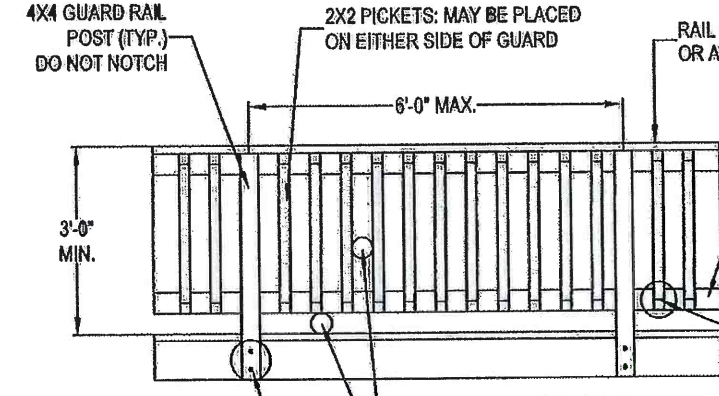
THIS DRAWING IS PROPERTY OF GREAT DAY IMPROVEMENTS, LLC., AND DUPLICATION OF THIS DRAWING WITHOUT OUR EXPRESSED WRITTEN CONSENT IS PROHIBITED. ALL RIGHTS RESERVED.



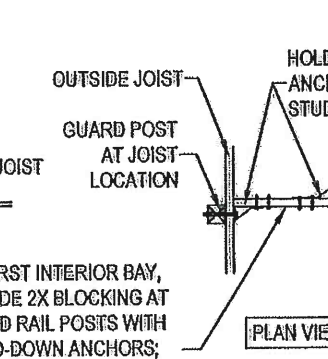
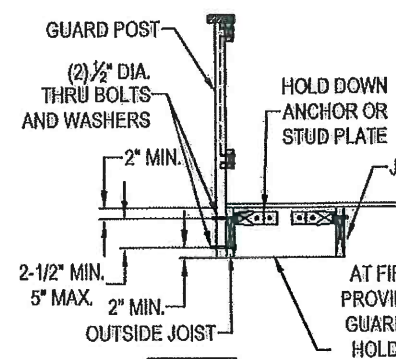
GUARD POST TO RIM JOIST DETAIL



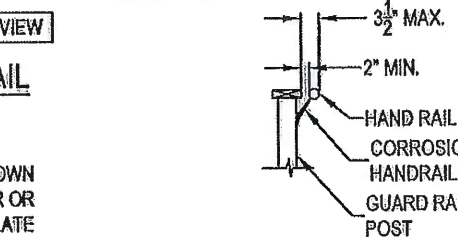
CAP RAIL DETAIL



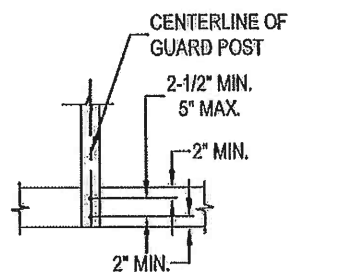
TYPICAL GUARD DETAIL



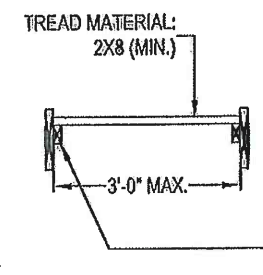
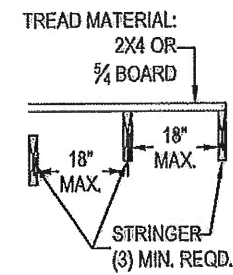
GUARD POST TO OUTSIDE JOIST DETAIL



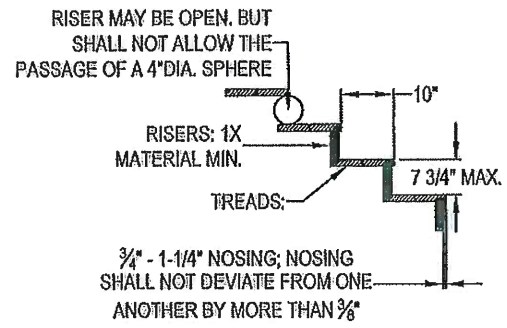
HAND RAIL DETAIL



GUARD POST ATTACHMENT DETAIL

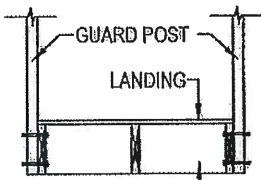


TREAD CONNECTION REQUIREMENTS



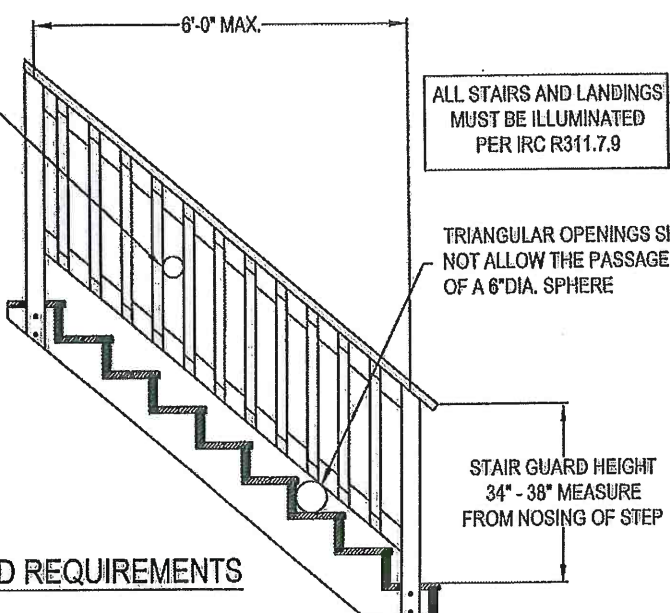
TREAD AND RISER DETAIL

OPENINGS FOR REQUIRED GUARDS ON THE SIDES OF STAIR TREADS SHALL NOT ALLOW THE PASSAGE OF A 4-3/8" DIA. SPHERE



PROVIDE BLOCKING BETWEEN STAIR STRINGERS AT GUARD POST LOCATIONS; TOE NAIL WITH 10d NAILS TOP & BOTTOM, EACH SIDE

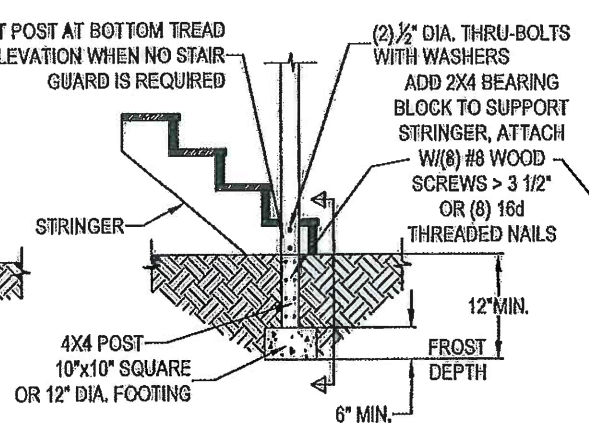
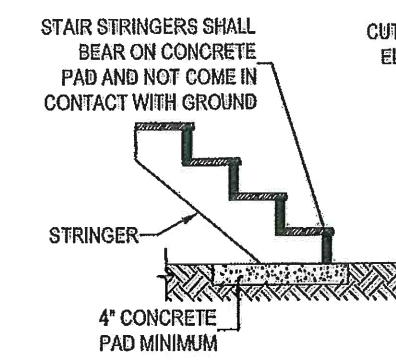
STAIR GUARD REQUIREMENTS



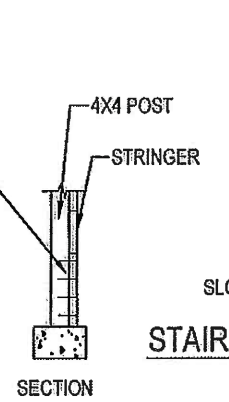
THESE DETAILS WERE TAKEN FROM THE PRESCRIPTIVE RESIDENTIAL WOOD DECK GUIDE (REV 5/13) BY THE AMERICAN WOOD COUNCIL

ALL SCREWS, BOLTS AND NAILS FOR USE WITH PRESSURE TREATED WOOD SHALL BE HOT DIPPED ZINC COATED GALVANIZED STEEL OR STAINLESS STEEL

NOTE: THIS PLANS WERE DESIGNED WITH AND REQUIRED THAT ALL LUMBER MUST BE MINIMUM RATED SPF #2 OR BETTER PRESSURE TREATED PER AWPA (AMERICAN WOOD PROTECTION ASSOCIATION) STANDARDS



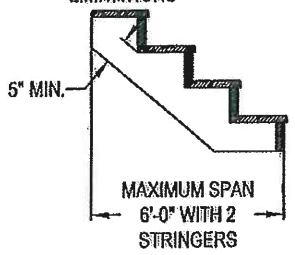
STAIR STRINGER BEARING AT GRADE DETAIL



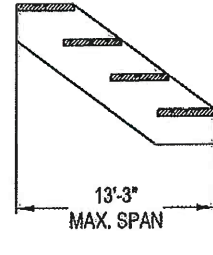
STAIR STRINGER ATTACHMENT DETAIL

ATTACH 2X OR 5/4 TREAD MATERIAL WITH (2) #8 SCREWS OR (2) 8d THREADED NAILS PER BOARD AT EACH STRINGER OR LEDGER

SEE TREAD CONNECTION REQUIREMENTS FOR SPACING LIMITATIONS



STAIR STRINGER REQUIREMENTS
ALL STRINGERS SHALL BE A MINIMUM OF 2X10



JAMES A. CLANCY P.E., L.S.
MD PROFESSIONAL ENGINEER (MD LIC. # 31585)
601 ASBURY AVENUE
NATIONAL PARK, N.J. 08063
PH. # 856-853-7306

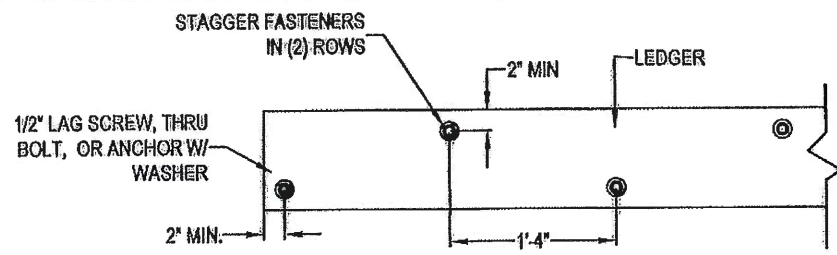


LOCATION
GDI - BALTIMORE
501 McCORMICK DRIVE, SUITES D-F
GLEN BURNIE, MD 21061
410-760-1919

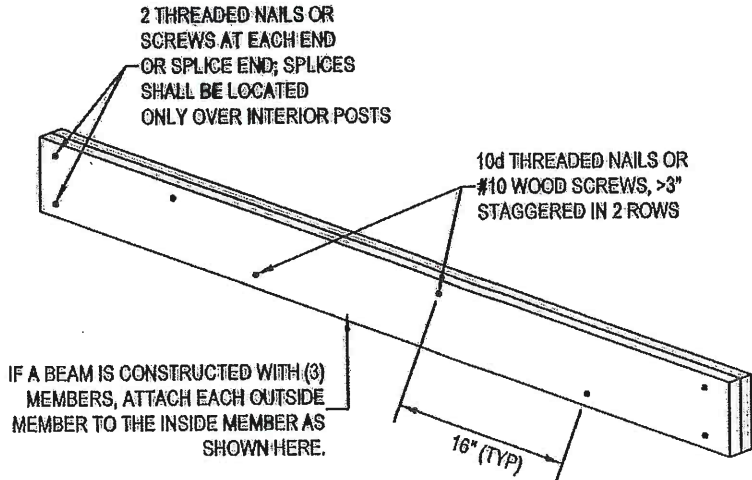
STELLA LEBRUN & JOCELY COMEAU
6376 BRIGHT PLUME
COLUMBIA, MD. 21044
JOB #40722

DATE	10/29/19
DRAWN	VNG
SCALE	1/4" = 1'-0"
SHEET	7 OF 10

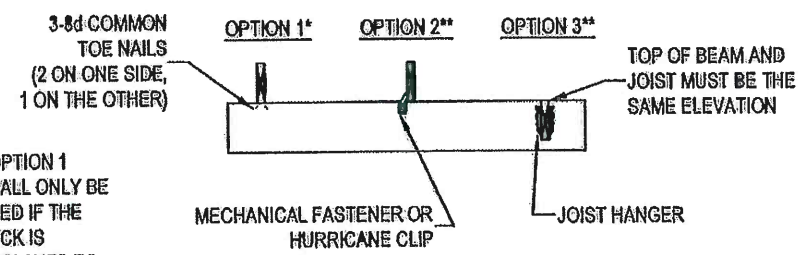
THIS DRAWING IS PROPERTY OF GREAT DAY IMPROVEMENTS, LLC., AND DUPLICATION OF THIS DRAWING WITHOUT OUR EXPRESSED WRITTEN CONSENT IS PROHIBITED. ALL RIGHTS RESERVED.



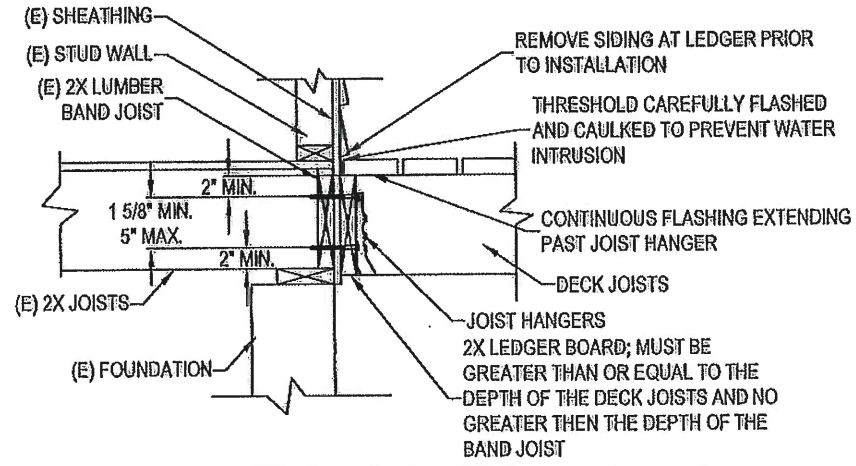
LEDGER BOARD FASTENER SPACING AND CLEARANCE



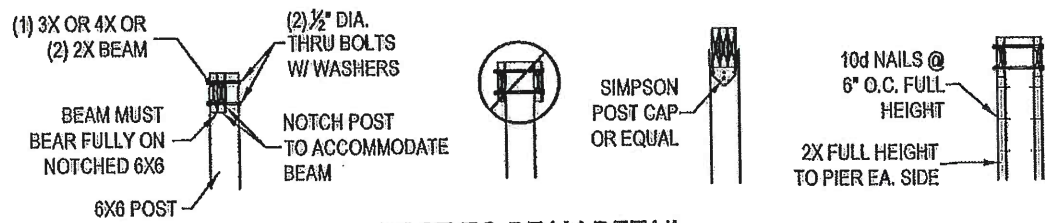
BEAM ASSEMBLY DETAIL



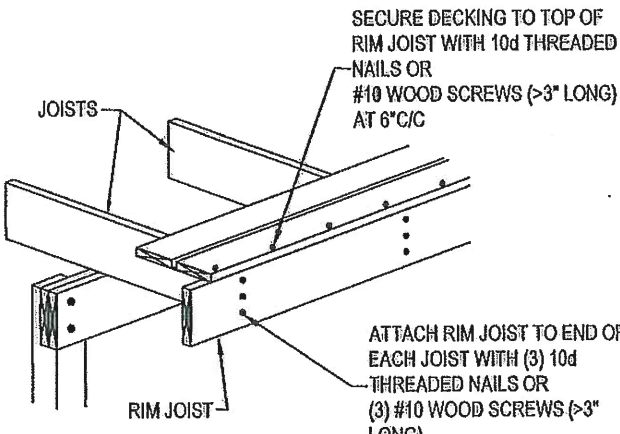
JOIST TO BEAM DETAIL



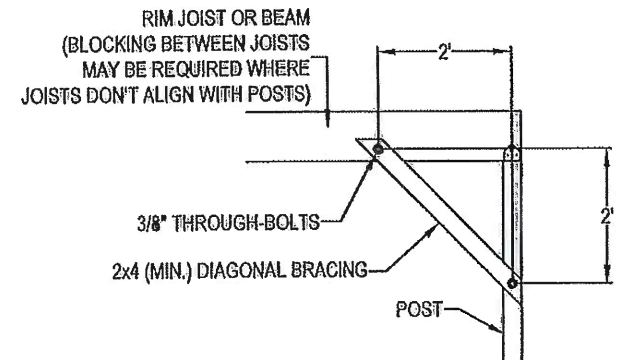
LEDGER BOARD ATTACHMENT DETAIL - BAND JOIST



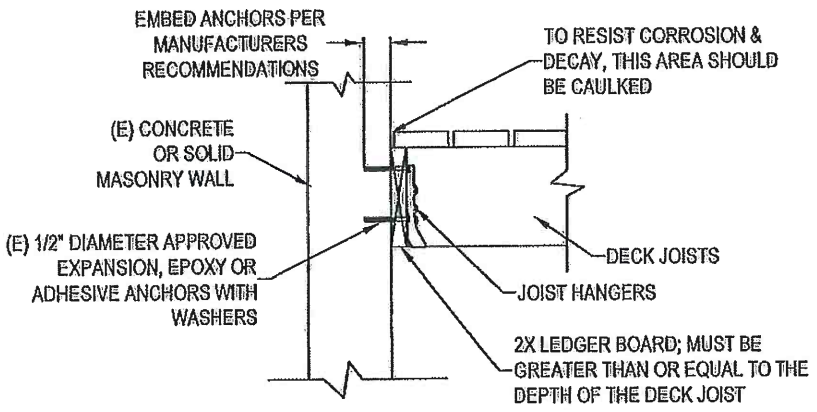
POST TO BEAM DETAIL



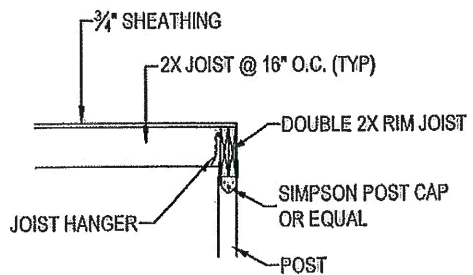
RIM JOIST ATTACHMENT DETAIL



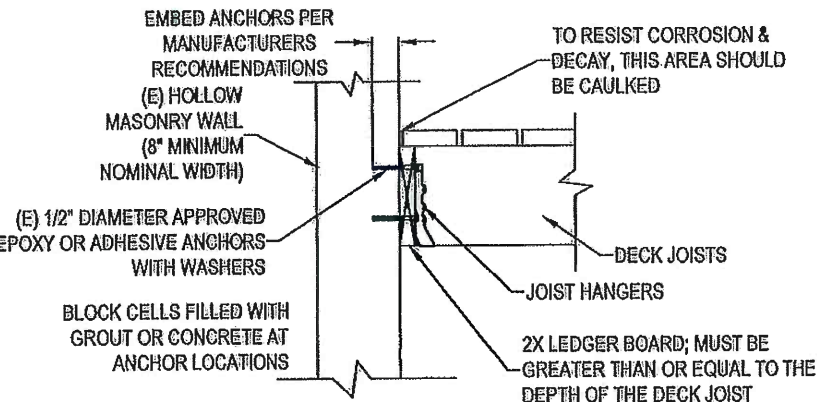
DIAGONAL BRACE DETAIL



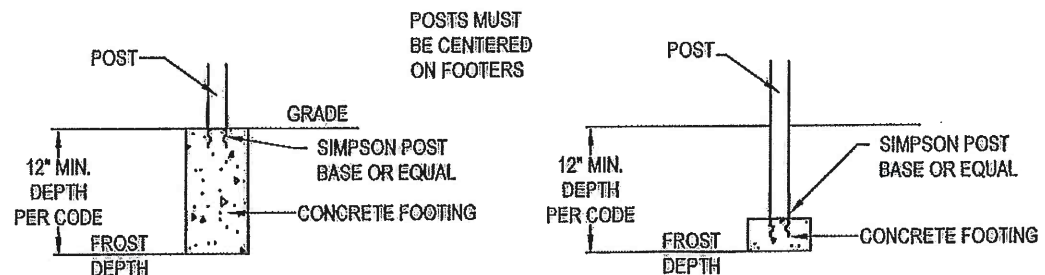
LEDGER BOARD ATTACHMENT DETAIL - CONCRETE OR SOLID MASONRY WALL



RIM JOIST DETAIL



LEDGER BOARD ATTACHMENT DETAIL - HOLLOW MASONRY WALL



POST & FOOTER DETAIL



JAMES A. CLANCY P.E., L.S.
 MD PROFESSIONAL ENGINEER (MD LIC. # 31585)
 601 ASBURY AVENUE
 NATIONAL PARK, N.J. 08063
 PH. # 856-853-7306



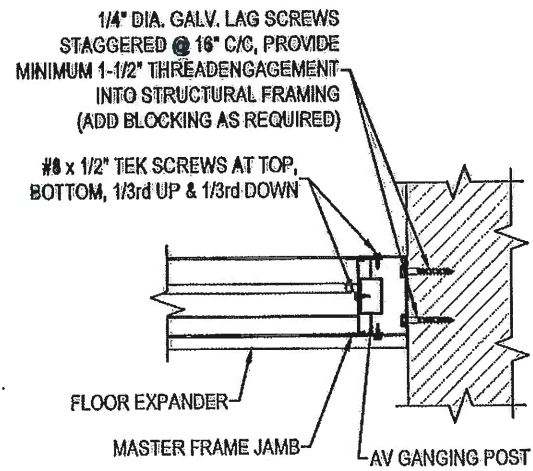
LOCATION
 GDI - BALTIMORE
 501 MCCORMICK DRIVE, SUITES D-F
 GLEN BURNIE, MD 21061
 410-760-1919

STELLA LEBRUN & JOCELY COMEAU
 6376 BRIGHT PLUME
 COLUMBIA, MD. 21044
 JOB #40722

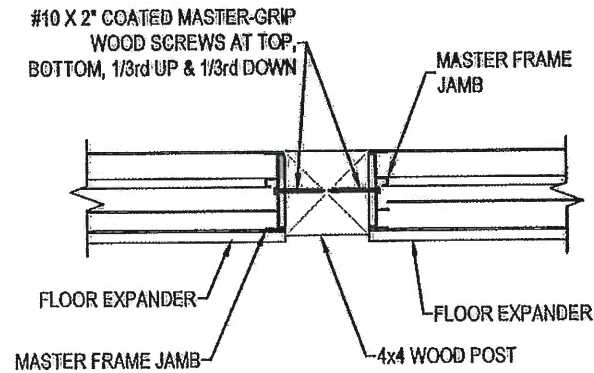
DATE	10/29/19
DRAWN	VNG
SCALE	1/4" = 1'-0"
SHEET	8 OF 10

11-8-19

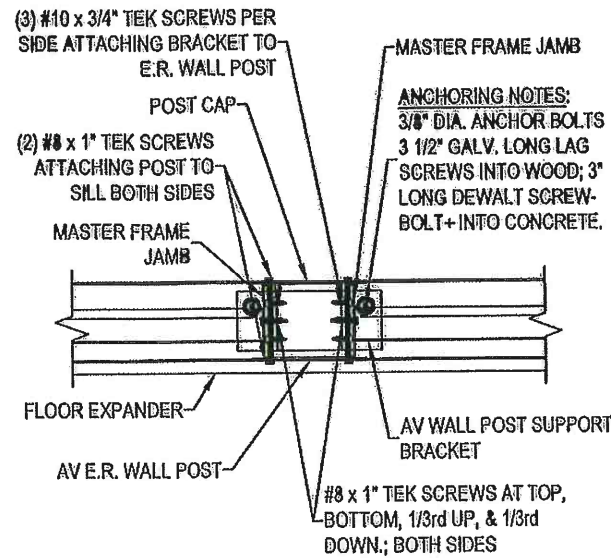
THIS DRAWING IS PROPERTY OF GREAT DAY IMPROVEMENTS, LLC., AND DUPLICATION OF THIS DRAWING WITHOUT OUR EXPRESSED WRITTEN CONSENT IS PROHIBITED. ALL RIGHTS RESERVED.



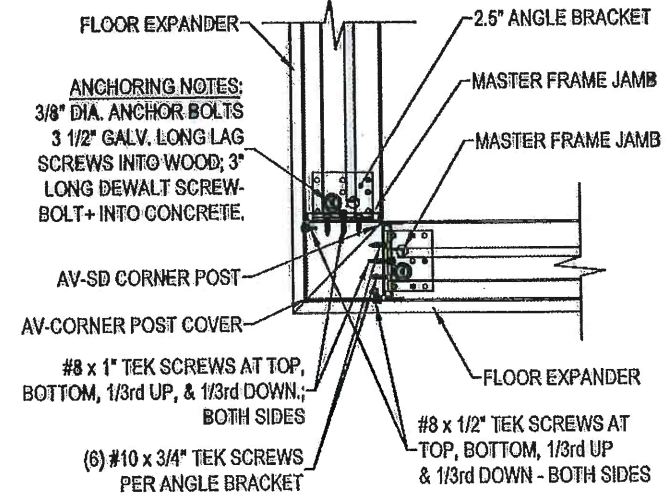
PLAN VIEW OF MASTER FRAME JAMB
CONNECTION @ EXISTING WALL



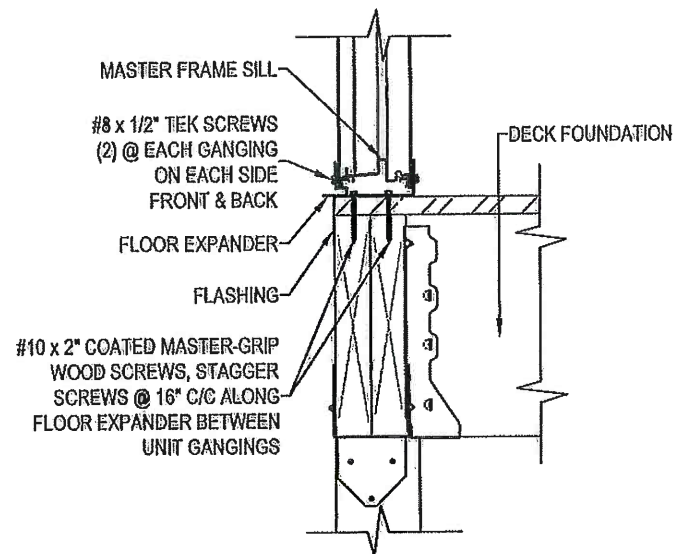
PLAN VIEW OF MASTER FRAME JAMBS
CONNECTION @ 4x4 WOOD POST



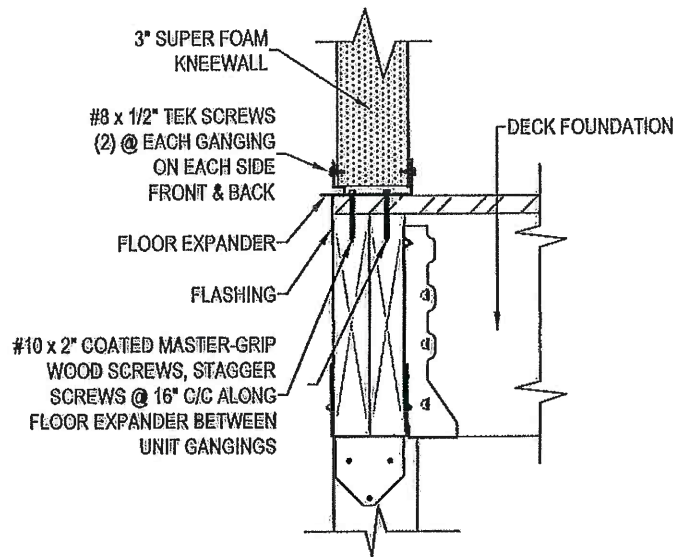
PLAN VIEW OF MASTER FRAME JAMBS
CONNECTION @ AV E.R. WALL POST



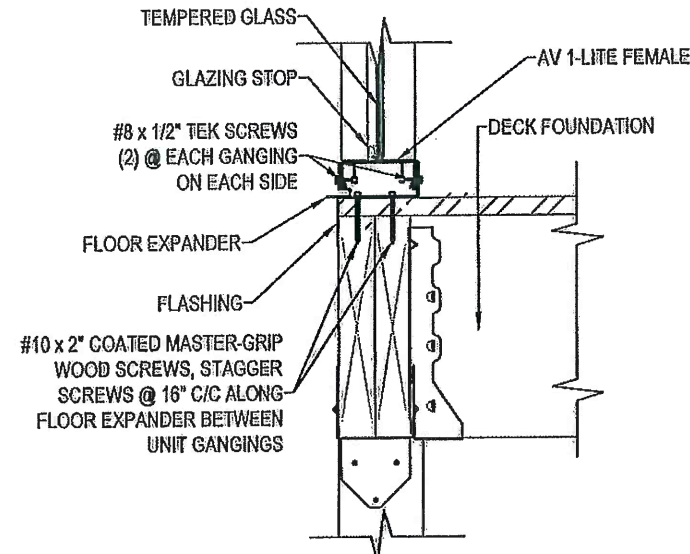
PLAN VIEW OF MASTER FRAME JAMBS
CONNECTION @ CORNER POST



SECTION THROUGH MASTER FRAME SILL
CONNECTION @ DECK FOUNDATION



SECTION THROUGH FOAM KNEEWALL
CONNECTION @ DECK FOUNDATION



SECTION THROUGH GLASS KNEEWALL
CONNECTION @ DECK FOUNDATION



11-8-19

JAMES A. CLANCY P.E., L.S.
MD PROFESSIONAL ENGINEER (MD LIC. # 31585)
601 ASBURY AVENUE
NATIONAL PARK, NJ. 08063
PH. # 856-853-7306

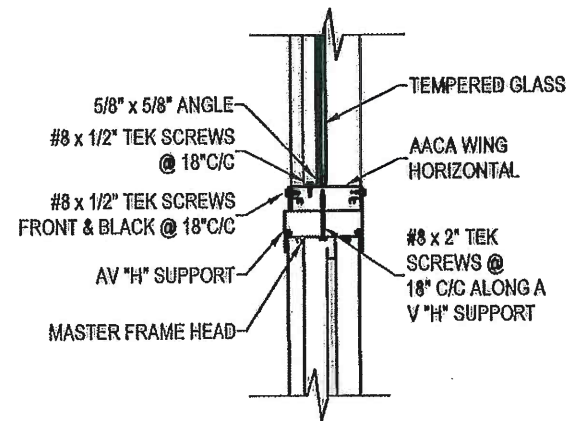
DATE	10/29/19
DRAWN	VNG
SCALE	1 1/2" = 1'-0"
SHEET	9 OF 10

LOCATION
GDI - BALTIMORE
501 McCORMICK DRIVE, SUITES D-F
GLEN BURNIE, MD 21061
410-760-1919

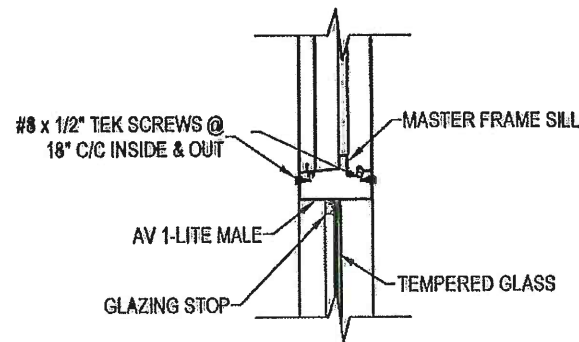
STELLA LEBRUN & JOCELY COMEAU
6376 BRIGHT PLUME
COLUMBIA, MD. 21044
JOB #40722



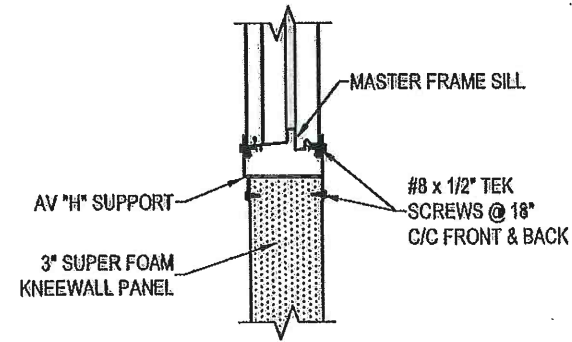
THIS DRAWING IS PROPERTY OF GREAT DAY IMPROVEMENTS, LLC, AND DUPLICATION OF THIS DRAWING WITHOUT OUR EXPRESSED WRITTEN CONSENT IS PROHIBITED. ALL RIGHTS RESERVED.



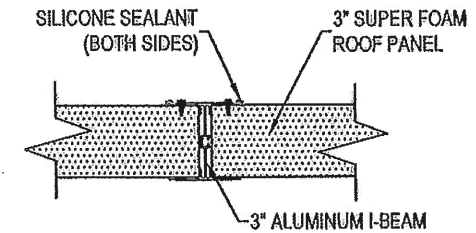
SECTION THROUGH H & MASTER FRAME HEAD CONNECTION @ GLASS WING



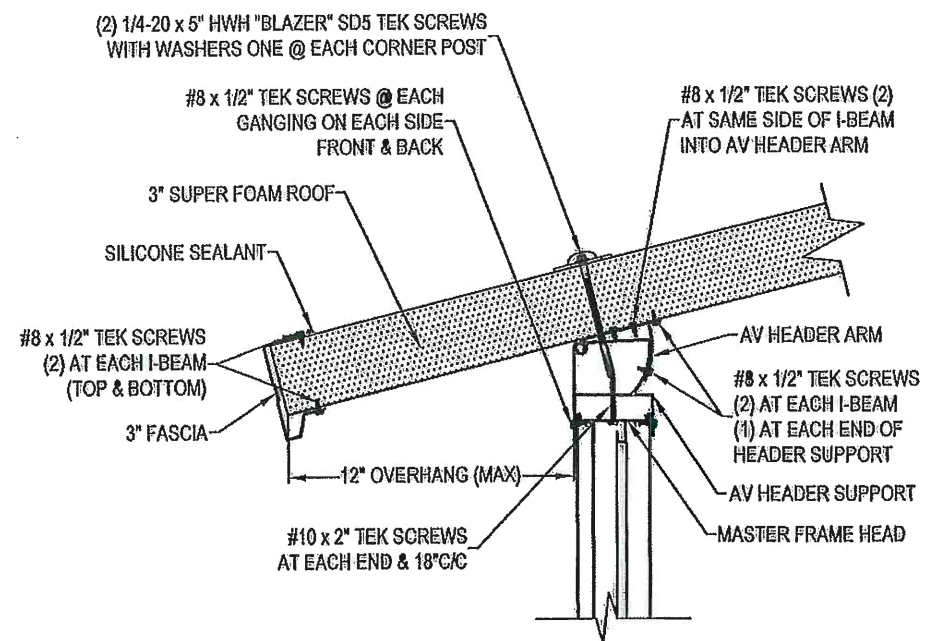
SECTION THROUGH MASTER FRAME SILL CONNECTION @ GLASS KNEEWALL



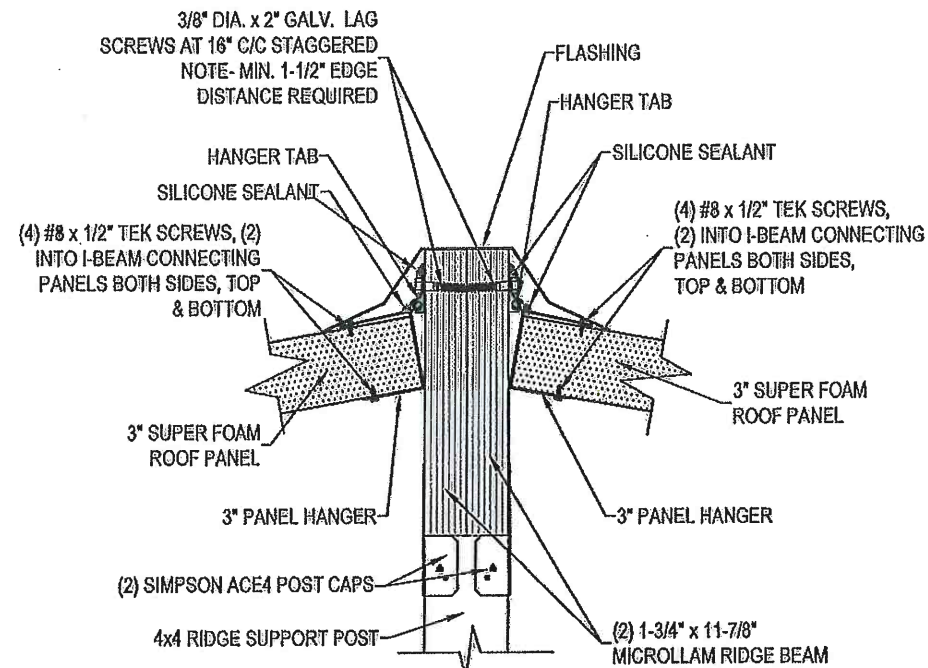
SECTION THROUGH MASTER FRAME SILL CONNECTION @ FOAM KNEEWALL



SECTION THROUGH 3\"/>



SECTION THROUGH MASTER FRAME & HEADER CONNECTION @ 3\"/>



SECTION THROUGH 3\"/>



BY GREAT DAY IMPROVEMENTS, LLC

LOCATION
GDI - BALTIMORE
501 McCORMICK DRIVE, SUITES D-F
GLEN BURNIE, MD 21061
410-760-1919

STELLA LEBRUN & JOCELY COMEAU
6376 BRIGHT PLUME
COLUMBIA, MD. 21044
JOB #40722



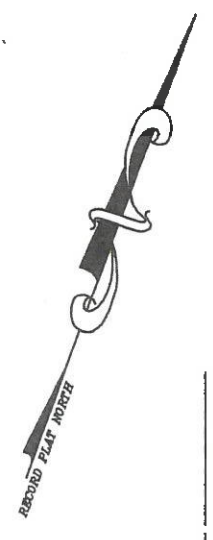
11-8-19

JAMES A. CLANCY, P.E., L.S.
MD PROFESSIONAL ENGINEER (MD LIC. # 31585)
601 ASBURY AVENUE
NATIONAL PARK, N.J. 08063
PH. # 856-853-7306

DATE 10/29/19
DRAWN VNG
SCALE 1 1/2" = 1'-0"
SHEET 10 OF 10

THIS DRAWING IS PROPERTY OF GREAT DAY IMPROVEMENTS, LLC., AND DUPLICATION OF THIS DRAWING WITHOUT OUR EXPRESSED WRITTEN CONSENT IS PROHIBITED. ALL RIGHTS RESERVED.

- NOTES**
1. The licensee either personally prepared this drawing or was in responsible charge over its preparation and the surveying work reflected in it, all in compliance with requirements set forth in Regulation .12 of Chapter 06 Minimum Standards of Practice.
 2. This plat was prepared without the benefit of a title report which may show additional conveyances, easements, covenants, or rights-of-way.
 3. The source of data, bearings, and/or coordinates used on this drawing are based on the datum referenced: CMP #3556.

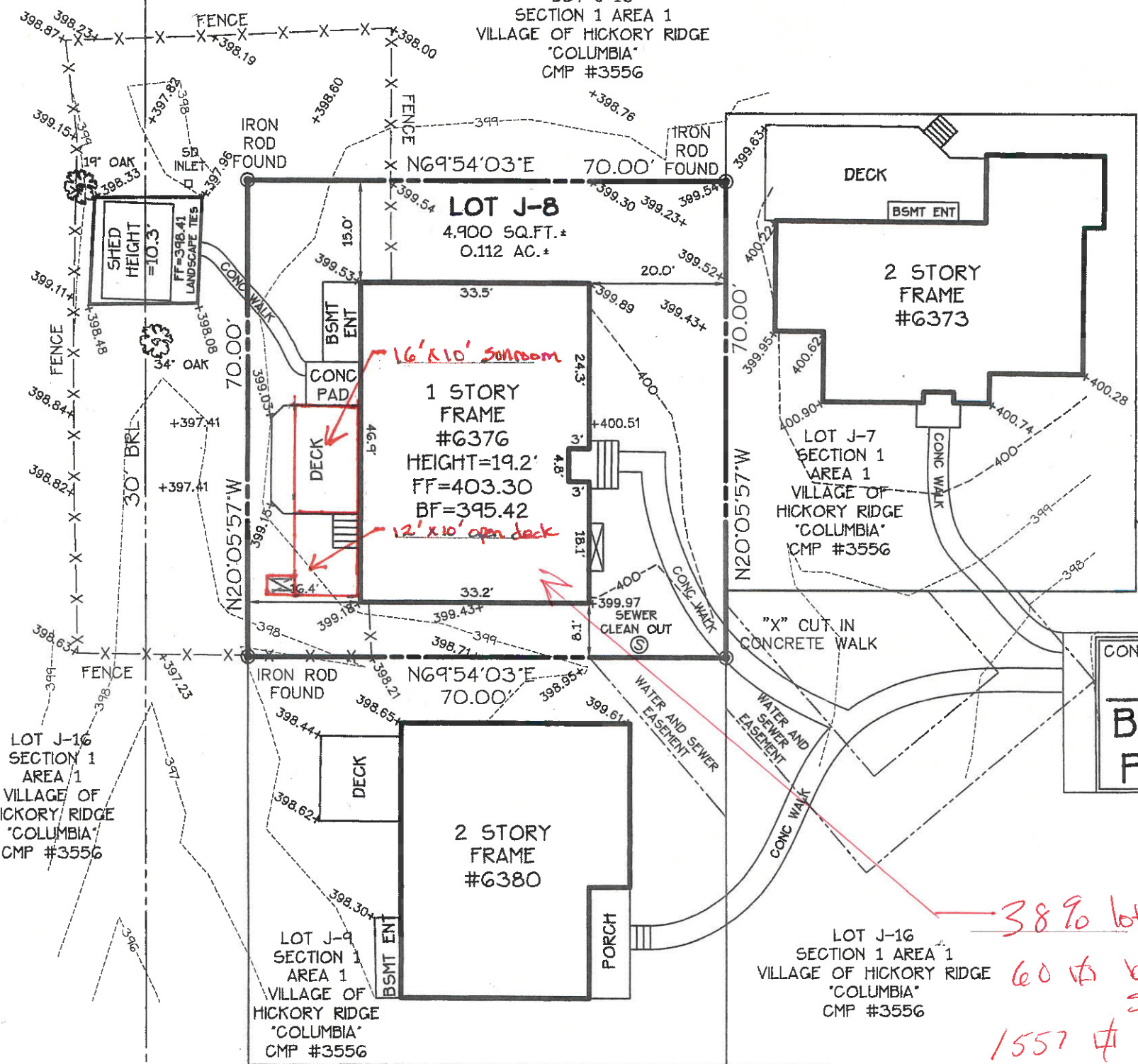


LOT J-5
SECTION 1 AREA 1
VILLAGE OF HICKORY RIDGE
"COLUMBIA"
CMP #3556

LOT J-6
SECTION 1 AREA 1
VILLAGE OF HICKORY RIDGE
"COLUMBIA"
CMP #3556

LOT J-16
SECTION 1 AREA 1
VILLAGE OF HICKORY RIDGE
"COLUMBIA"
CMP #3556

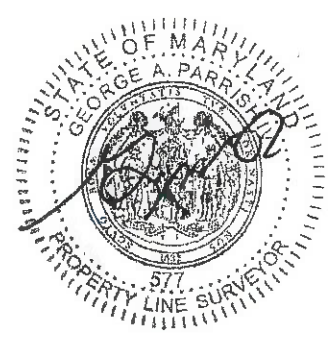
CEDAR LANE



CONCRETE CURB
TO
BRIGHT
PLUME

38% lot coverage
60 ft basement steps
1557 ft house
280 ft sunroom + deck

1897



G376 BRIGHT PLUME CMP #3556

AS CONSTRUCTED SURVEY
LOT J-8 AREA 1 SHEET 1 VILLAGE OF HICKORY RIDGE
COLUMBIA
FIFTEENTH DISTRICT
HOWARD COUNTY MARYLAND
SCALE: 1" = 20'
FILE #H00012 PROJECT #58773
CADFILENAME: COLUMBIA-VOHR-S1-A1-LJ8\DWG\PLOT PLAN
DRAWN BY: JMS CHECKED BY:

I hereby certify to the best of my professional knowledge and belief, that the property shown hereon has been accurately surveyed by a total-station survey (subject to title search).

George A. Parrish IV
GEORGE A. PARRISH IV PROP. L.S. #577 2/12/2020
LICENSE EXPIRATION DATE: 3/24/2021

Established 1975
3140 West Ward Road Suite 103
Dunkirk, Maryland 20754
Ph: 410-286-9712 Fax: 410-286-9716