

GENERAL NOTES

- 1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS IF AVAILABLE.

SITE DEVELOPMENT PLAN SNOWDEN CROSSING 7090 DEEPAGE DRIVE HOWARD COUNTY, MARYLAND

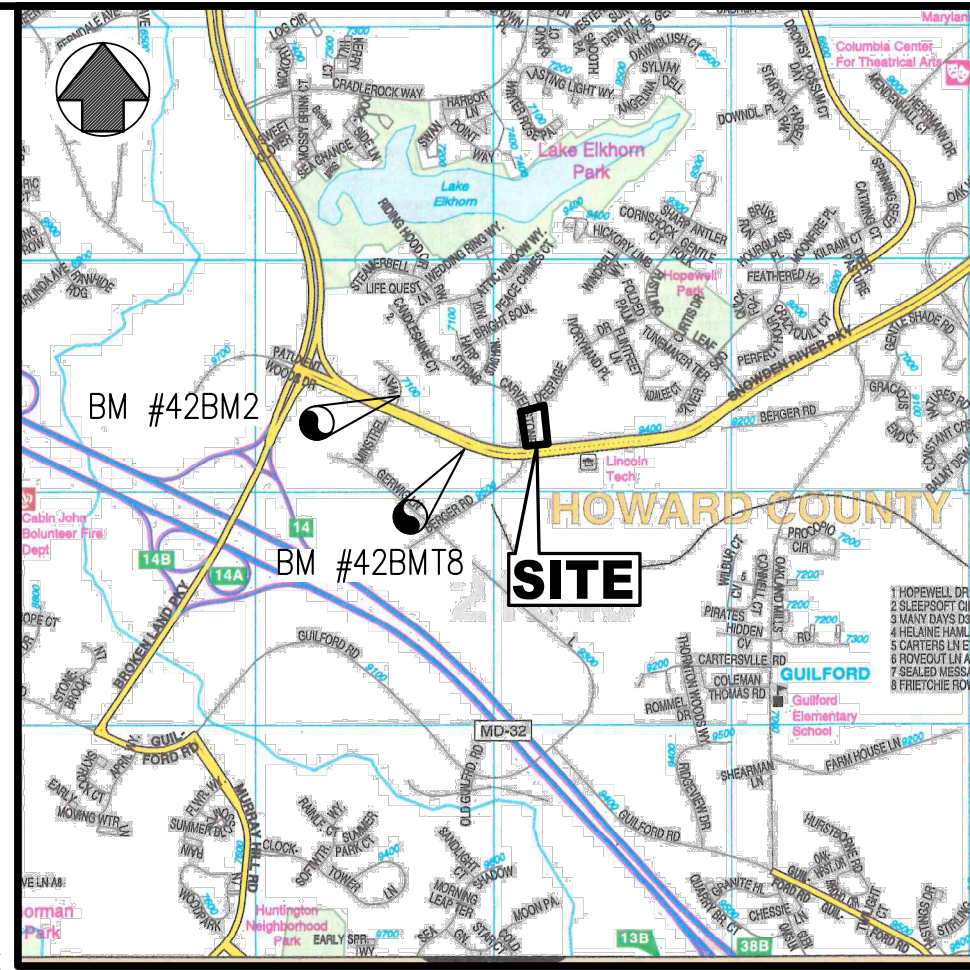
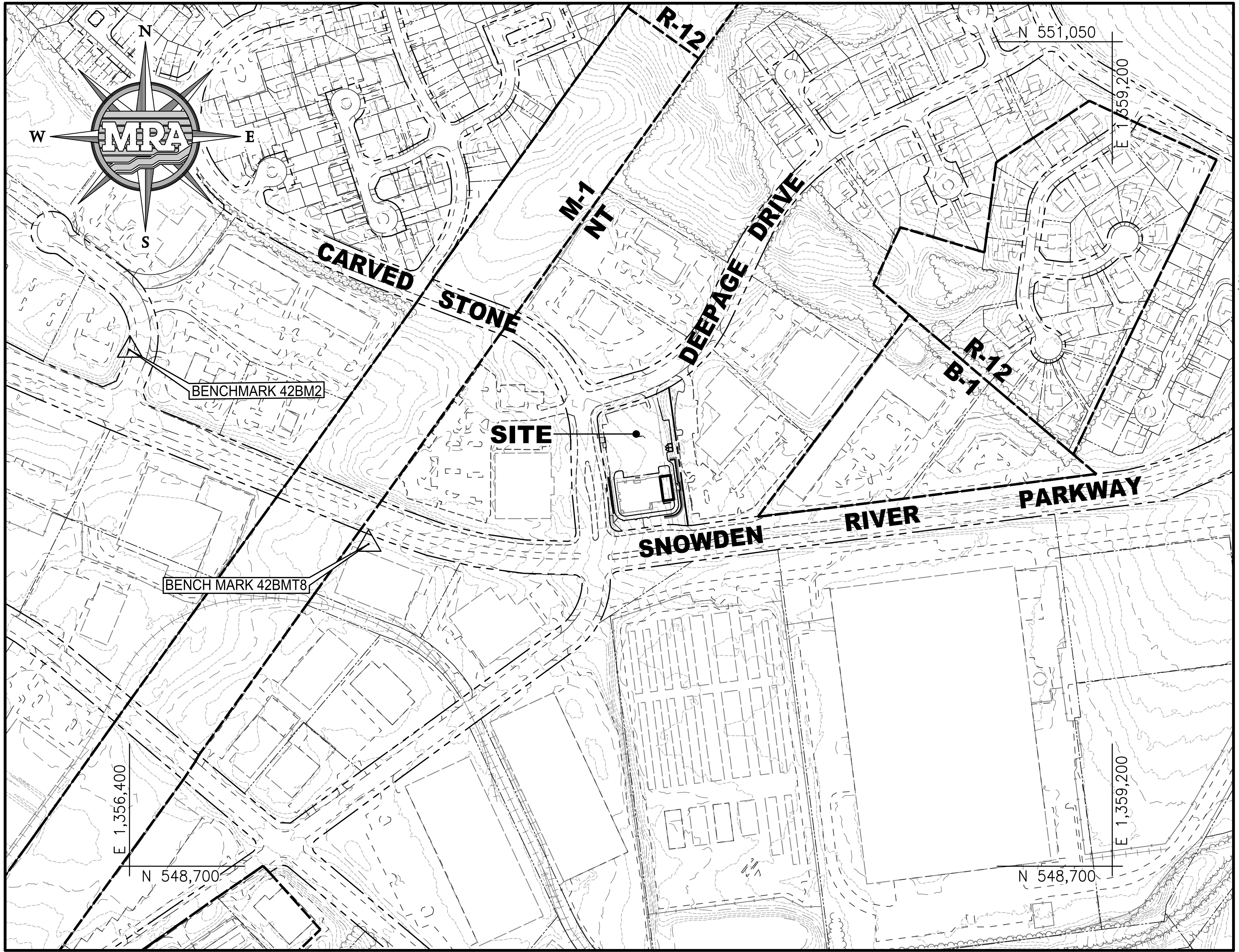


Table with benchmark data for BM 42BM2 and BM 42BM8, including coordinates and descriptions.



LEGEND and SITE ANALYSIS DATA CHART tables providing technical specifications and site metrics.

SHEET INDEX table listing drawing sheets and their corresponding titles.

ADDRESS CHART

Table mapping lot/parcel numbers to street addresses and acreage.

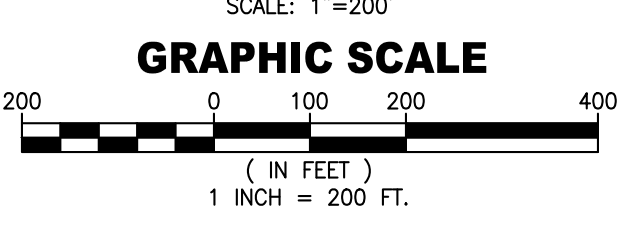
PERMIT INFORMATION CHART

Table containing permit-related information such as address, tax account, and parcel details.

PARKING TABULATIONS

Table detailing parking requirements for various site uses, including existing and proposed spaces.

LOCATION PLAN



STORMWATER MANAGEMENT INFORMATION table listing facility names, practice types, and public/private status.



Know what's below. Call before you dig.

PROFESSIONAL CERTIFICATION statement by the engineer.

MORRIS & RITCHIE ASSOCIATES, INC. logo and contact information.

SITE DEVELOPMENT PLAN VILLAGE OF OWEN BROWN, SECTION 2, AREA 2, LOT D-1, SNOWDEN CROSSING COVER SHEET.

Table with revision history, date, and sheet information.

DATUM

DESIGN & DRAWING BASED ON MARYLAND COORDINATE SYSTEM (MCS): HORIZONTAL NAD 83 (1991) VERTICAL NAVD 88

OWNER / DEVELOPER

SNOWDEN CROSSING LLC 2800 QUARRY LAKE DRIVE, SUITE 340 BALTIMORE, MD 21209

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Approval lines for Development Engineering Division, Land Development, and Director.

APPROVED PLANNING BOARD HOWARD COUNTY

APPROVED FOR PUBLIC WATER AND PUBLIC SEWER

COUNTY HEALTH OFFICER HOWARD COUNTY HEALTH DEPARTMENT

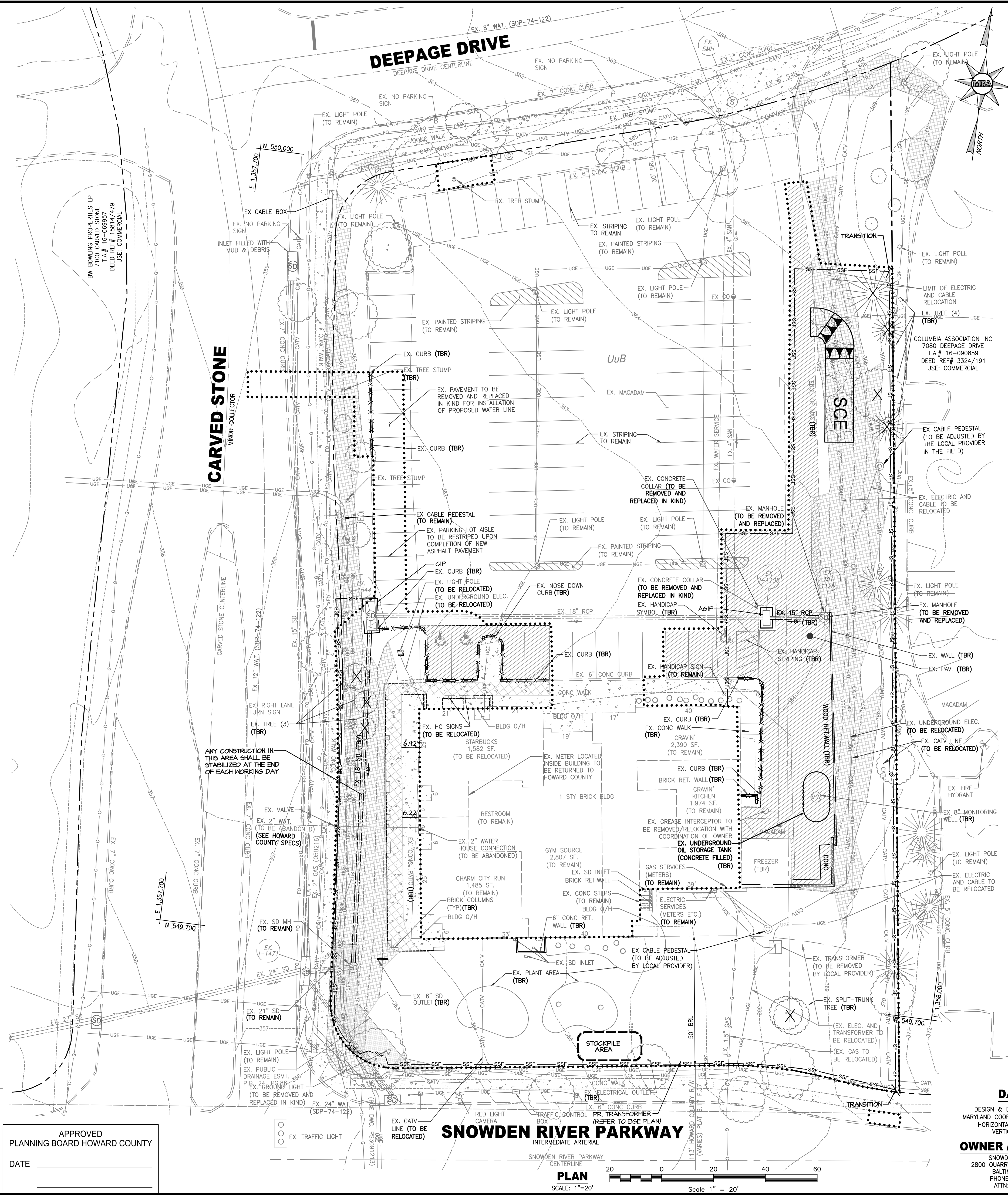
P:\19650\JOB\PL\01\19650-C-01-COVER SHEET.dwg - 7/29/2020 4:09:21 PM - D:\hcnwsk\11. Copyright 2020 Morris & Ritchie Associates, Inc.

**LEGEND**

- EX. 1 FOOT CONTOURS
- EX. 2 FOOT CONTOURS
- EX. 10 FOOT CONTOURS
- EX. CURB AND GUTTER
- EX. CONCRETE
- EX. C/L ROAD
- EX. ADJACENT PROPERTY LINE
- EX. PROPERTY LINE
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- EX. UTILITY POLE
- EX. SIGN
- EX. BOLLARD
- EX. SLOPE GREATER THAN 15%
- EX. TREE
- EX. BUILDING/STRUCTURE
- EX. BLOCK RETAINING WALL
- PROPOSED LIMIT OF DISTURBANCE (TBR)
- EX. CURB TO BE REMOVED
- EX. TREE TO BE REMOVED
- EX. PAVING TO BE REMOVED \*
- EX. CONCRETE TO BE REMOVED \*
- \* REFER TO GEOTECHNICAL REPORT FOR EX. PAVEMENT AND CONCRETE SECTIONS.
- PR. SILT FENCE
- PR. SUPER SILT FENCE
- PR. STABILIZED CONSTRUCTION ENTRANCE W/ TYPE 'B' MOUNTABLE BERM
- URBAN LAND-UDORTHERENTS COMPLEX SOIL
- CIP
- AGIP

**SITE DEMOLITION NOTES**

1. THE CONTRACTOR SHALL SECURE ALL REQUIRED PERMITS FROM ALL APPLICABLE AGENCIES FOR HIS DEMOLITION AND DISPOSAL OF ANY DEMOLITION MATERIAL TO BE REMOVED FROM THE SITE. THE CONTRACTOR SHALL POST BONDS AND PAY PERMIT FEES AS REQUIRED TO ALL INVOLVED AGENCIES.
2. PRIOR TO COMMENCEMENT OF DEMOLITION ACTIVITIES, THE CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES TO VERIFY THE EXACT LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL CALL "MISS UTILITY" AT 1-800-257-7777 (OR 811), 72 HOURS PRIOR TO CONSTRUCTION.
3. THE CONTRACTOR SHALL STABILIZE THE SITE AND KEEP EROSION CONTROL MEASURES IN PLACE UNTIL THE COMPLETION OF WORK OR DEEMED NECESSARY BY HOWARD COUNTY INSPECTION. THE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR THE MAINTENANCE OF EXISTING EROSION AND SEDIMENTATION CONTROLS, AND FOR INSTALLATION OF ANY NEW EROSION AND SEDIMENTATION CONTROLS AT THAT TIME (AS PER THE EROSION AND SEDIMENTATION CONTROL PLAN).
4. THE CONTRACTOR SHALL PREPARE ALL MANIFEST DOCUMENTS AS REQUIRED PRIOR TO COMMENCEMENT OF DEMOLITION.
5. THE CONTRACTOR SHALL SECURE ANY PERMITS, PAY ALL FEES AND PERFORM CLEARING AND GRUBBING AND DEBRIS REMOVAL PRIOR TO COMMENCEMENT OF GRADING OPERATIONS.
6. ANY SIDEWALKS, FENCES, STAIRS, WALLS, DEBRIS AND RUBBISH THAT ARE TO BE REMOVED SHALL BE DISPOSED FROM THE SITE AREA IN AN APPROVED LANDFILL. THE CONTRACTOR IS RESPONSIBLE TO SECURE ALL NECESSARY PERMITS FOR DISPOSAL OF CONSTRUCTION MATERIALS.
7. BACKFILL DEPRESSIONS, FOUNDATION HOLES AND REMOVED DRIVEWAY AREAS WITH APPROVED SOIL MATERIAL AND COMPACT, FERTILIZE, SEED AND MULCH DISTURBED AREAS NOT SUBJECT TO FURTHER SITE CONSTRUCTION. EMPLOY WATERING EQUIPMENT FOR DUST CONTROL.
8. IF ASBESTOS OR HAZARDOUS MATERIAL ARE FOUND ON SITE, THEY MUST BE REMOVED BY A LICENSED HAZARDOUS MATERIAL CONTRACTOR.
9. A COPY OF THE "EROSION AND SEDIMENT CONTROL PLAN" SHALL BE ON-SITE THROUGHOUT THE ENTIRE DEMOLITION AND CONSTRUCTION PHASES. THE CONTRACTOR SHALL CONTACT HOWARD CO. SCD BY CALLING (410) 313-0880 ONE (1) WEEK PRIOR TO THE START OF ANY DEMOLITION AND/OR CLEARING AND GRUBBING ACTIVITIES.
10. UTILITY LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE. LOCATION FROM FIELD SURVEYS OR UTILITY COMPANY RECORDS. IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE EXACT LOCATION AND DEPTH OF ALL UTILITY LINES BEFORE THE START OF DEMOLITION.
11. THE CONTRACTOR MUST SUBMIT DISCONNECT NOTIFICATION TO HOWARD CO. PUBLIC WORKS AND ALL ASSOCIATED UTILITY COMPANIES RELATING TO THIS SITE AT LEAST THREE (3) WEEKS PRIOR TO BEGINNING DEMOLITION.
12. EXISTING WATER SERVICES SHALL BE DISCONNECTED AND CAPPED AT THE MAIN IN ACCORDANCE WITH THE REQUIREMENTS OF HOWARD COUNTY. COORDINATE WITH UTILITY DEPT. 48 HOURS PRIOR TO START OF WATER SERVICE CONNECTIONS. ALL SERVICES ARE TO BE DISCONNECTED AT THE MAIN.
13. IF DEEMED NECESSARY, DOMESTIC GAS SERVICES SHALL BE CAPPED AND SERVICE LINES PURGED OF RESIDUAL GAS IN ACCORDANCE WITH BALTIMORE GAS AND ELECTRIC COMPANY. WORK TO BE COORDINATED AND PAID FOR BY THE CONTRACTOR. REMOVE EXISTING SERVICE PIPING ON SITE.
14. THE CONTRACTOR SHALL CUT AND PLUG, OR ARRANGE FOR THE APPROPRIATE UTILITY COMPANY TO CUT AND PLUG ALL SERVICE PIPING AT THE STREET LINE OR MAIN, AS REQUIRED BY LOCAL UTILITY COMPANY AND/OR HOWARD COUNTY. ALL SERVICES MAY NOT BE SHOWN ON THIS PLAN. THE CONTRACTOR SHALL INVESTIGATE THE SITE PRIOR TO BIDDING TO DETERMINE THE EXTENT OF SERVICE PIPING TO BE REMOVED, CUT, OR PLUGGED.
15. THE CONTRACTOR SHALL PROTECT ALL IRON PINS, MONUMENTS, AND PROPERTY CORNERS THAT WILL NOT BE REMOVED AND SHALL BE RESET BY A LICENSED LAND SURVEYOR AT THE EXPENSE OF THE CONTRACTOR.
16. OSHA REGULATIONS MAKE IT UNLAWFUL TO OPERATE CRANES, BOOMS, HOISTS, ETC. WITHIN TEN (10) FEET OF ANY ELECTRIC LINE UNDER (50kV). IF CONTRACTOR MUST OPERATE EQUIPMENT CLOSE TO POWER ELECTRIC LINE(S), CONTACT THE POWER COMPANY TO MAKE ARRANGEMENTS FOR PROPER SAFEGUARDS.
17. THE CONTRACTOR WILL BE RESPONSIBLE FOR SECURING ALL PERMITS FOR DEMOLITION FROM HOWARD COUNTY AND MUST FURNISH THE REQUIRED MATERIAL AND PAY ALL FEES.
18. PRIOR TO DEMOLITION, THE APPLICANT MUST PROVIDE CERTIFICATION, BY A PERSON LICENSED AS A PESTICIDE APPLICATOR BY THE MARYLAND STATE DEPARTMENT OF AGRICULTURE, THAT ALL AREAS OF THE BUILDING, STRUCTURE, AND LOT ARE FREE OF RODENT INFESTATION.
19. DEMOLITION OF EXISTING PAVEMENT, SIDEWALK, SITE FEATURES, AND UTILITIES WITHIN THE PUBLIC RIGHT-OF-WAY CAN ONLY OCCUR ONCE HOWARD COUNTY PERMITS HAVE BEEN ISSUED.
20. ALL EXISTING UTILITIES ALONG DEEPAE DRIVE, CARVED STONE, AND SNOWDEN RIVER PARKWAY INCLUDING GAS, ELECTRIC, CABLE, FIBER OPTIC CABLE, TELEPHONE, AND ALL ASSOCIATED EQUIPMENT AND APPURTENANCES TO REMAIN UNDISTURBED AND OPERATIONAL THROUGHOUT DEMOLITION ACTIVITIES. ANY COSTS ASSOCIATED WITH DAMAGE TO EXISTING UTILITIES SHALL BE BORNE BY THE CONTRACTOR.
21. CONTRACTOR SHALL REFER TO BGE DESIGN DRAWINGS FOR ABANDONMENT, RELOCATION, AND/OR REMOVAL OF EXISTING GAS AND ELECTRIC SERVICES.
22. CONTRACTOR SHALL ONLY REMOVE EXISTING CURB WITHIN PARKING LOT WHEN ACTIVELY CONSTRUCTING PROPOSED ROAD IMPROVEMENTS.
23. THE CORRECTNESS OR COMPLETENESS OF EXISTING INFORMATION SHOWN ON THE DRAWINGS IS NOT WARRANTED OR GUARANTEED. THE CONTRACTOR SHALL VERIFY THE LOCATION OF UTILITIES AND UNDERGROUND FACILITIES BY TEST PITS OR OTHER METHODS APPROVED BY THE OWNER'S REPRESENTATIVE, AS REQUIRED TO VERIFY EXACT LOCATIONS AND DEPTHS WITHIN THE LIMIT OF DISTURBANCE. ALL DISCREPANCIES BETWEEN INFORMATION SHOWN ON THE DRAWINGS AND THAT VERIFIED IN THE FIELD SHALL BE REPORTED TO THE OWNER'S REPRESENTATIVE PRIOR TO BEGINNING WORK.



**HOWARD SCD SIGNATURE BLOCK**  
THIS PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

HOWARD SOIL CONSERVATION DISTRICT \_\_\_\_\_ DATE \_\_\_\_\_

APPROVED: DEPARTMENT OF PLANNING AND ZONING

CHIEF, DEVELOPMENT ENGINEERING DIVISION \_\_\_\_\_ DATE \_\_\_\_\_

CHIEF, DIVISION OF LAND DEVELOPMENT \_\_\_\_\_ DATE \_\_\_\_\_

DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_

APPROVED  
PLANNING BOARD HOWARD COUNTY

DATE \_\_\_\_\_

**SNOWDEN RIVER PARKWAY**  
INTERMEDIATE ARTERIAL

PLAN  
SCALE: 1"=20'

**DATUM**  
DESIGN & DRAWING BASED ON MARYLAND COORDINATE SYSTEM (MCS): HORIZONTAL NAD 83 (1991) VERTICAL NAVD 88

**OWNER / DEVELOPER**  
SNOWDEN CROSSING LLC  
2800 QUARRY LAKE DRIVE, SUITE 340  
BALTIMORE, MD 21209  
PHONE: 410-308-0700  
ATTN: SCOTT CHERRY

**PROFESSIONAL CERTIFICATION**  
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 38291, EXPIRATION DATE: 01/13/2022

**ESC 1 OF 4**

**MRA**

**MORRIS & RITCHIE ASSOCIATES, INC.**  
ENGINEERS, PLANNERS, SURVEYORS AND LANDSCAPE ARCHITECTS  
1220-C EAST JOPPA ROAD, SUITE 505  
TOWSON, MARYLAND 21286  
(410) 821-1690  
FAX (410) 821-1748  
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**SITE DEVELOPMENT PLAN**  
**VILLAGE OF OWEN BROWN, SECTION 2,**  
**EROSION AND SEDIMENT CONTROL EXISTING**  
**CONDITIONS AND DEMOLITION PLAN**

SDP-74-122  
TAX MAP 42 -- GRID 04 -- PARCEL 0397 -- ZONING NT -- DEED REF 17342/229  
PLAT NO. 2741 -- TAX ASSESSMENT DISTRICT 82 -- 6th ELECTION DISTRICT  
7090 DEEPAE DRIVE, HOWARD COUNTY, MARYLAND, 21045

DATE	REVISIONS	JOB NO.:
11/22/2019	REVISED SDP-74-122 TO INCLUDE 2100 SF ADDITION	19650
		SCALE: 1" = 20'
		DATE: 07/29/2020
		DRAWN BY: DTP
		DESIGN BY: THS
		REVIEW BY: THS
		SHEET: 08 OF 27



**Know what's below. Call before you dig.**

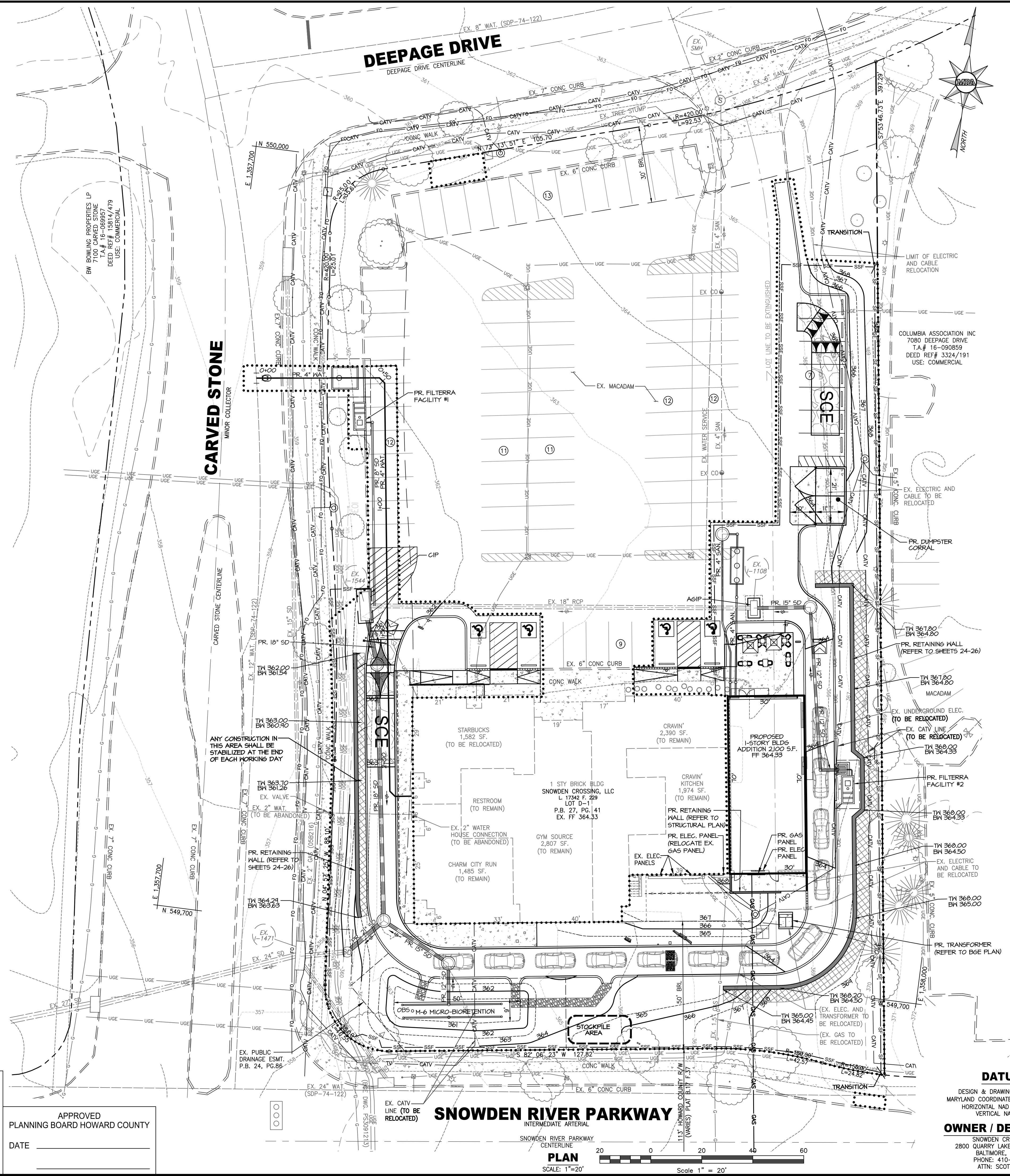
PROTECT YOURSELF, GIVE THREE WORKING DAYS NOTICE. THIS DRAWING DOES NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. ALL CONSTRUCTION MUST BE DONE IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970 AND ALL RULES AND REGULATIONS THERE TO APPURTENANCE.



Michael English

P:\19650\JOB\19650-C-08-ESC EX COND AND DEMO PLAN.dwg, 7/29/2020 3:56:15 PM, D:\r\cherry, 11, Copyright 2020 Morris & Ritchie Associates, Inc.

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  - UuB URBAN LAND-UDORTHERTS COMPLEX SOIL
  - GIP
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 THIS PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

HOWARD SOIL CONSERVATION DISTRICT \_\_\_\_\_ DATE \_\_\_\_\_

APPROVED: DEPARTMENT OF PLANNING AND ZONING

CHIEF, DEVELOPMENT ENGINEERING DIVISION \_\_\_\_\_ DATE \_\_\_\_\_

CHIEF, DIVISION OF LAND DEVELOPMENT \_\_\_\_\_ DATE \_\_\_\_\_

DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_

APPROVED  
 PLANNING BOARD HOWARD COUNTY

DATE \_\_\_\_\_

**SNOWDEN RIVER PARKWAY**  
 INTERMEDIATE ARTERIAL

SNOWDEN RIVER PARKWAY CENTERLINE

**PLAN**  
 SCALE: 1"=20'

**DATUM**  
 DESIGN & DRAWING BASED ON MARYLAND COORDINATE SYSTEM (MCS): HORIZONTAL NAD 83 (1991) VERTICAL NAVD 88

**OWNER / DEVELOPER**  
 SNOWDEN CROSSING LLC  
 2800 QUARRY LAKE DRIVE, SUITE 340  
 BALTIMORE, MD 21209  
 PHONE: 410-308-0700  
 ATTN: SCOTT CHERRY

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**ESC 2 OF 4**

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**SITE DEVELOPMENT PLAN**  
**VILLAGE OF OWEN BROWN, SECTION 2,**  
**AREA 2, LOT D-1, SNOWDEN CROSSING**  
 EROSION AND SEDIMENT CONTROL  
 PROPOSED CONDITIONS PLAN

SDP-74-122  
 TAX MAP 42 -- GRID 04 -- PARCEL 0397 -- ZONING NT -- DEED REF 17342/229  
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		SHEET: 09 OF 27



Know what's below.  
 Call before you dig.

PROTECT YOURSELF, GIVE THREE WORKING DAYS NOTICE. THIS DRAWING DOES NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. ALL CONSTRUCTION MUST BE DONE IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970 AND ALL RULES AND REGULATIONS THERE TO APPURTENANCE.



Michael English

**ADA ACCESSIBILITY NOTES**

- I. ACCESSIBLE ROUTES SHALL COMPLY WITH ALL REQUIREMENTS OF THE 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN.
- II. ACCESSIBLE ROUTES WITH NO RAMPS
  - A. SLOPE: ALL WALKING SURFACES SHALL HAVE A RUNNING SLOPE NOT STEEPER THAN 1:20.
  - B. CROSS SLOPE: ALL WALKING SURFACES SHALL HAVE A CROSS SLOPE NOT STEEPER THAN 1:48.
  - C. CLEAR WIDTH: ALL WALKING SURFACES SHALL HAVE A CLEAR WIDTH OF 36" MINIMUM. THE MINIMUM CLEAR WIDTH OF 36" CANNOT INCLUDE THE CHAMFERED EDGES OF THE SIDEWALKS.
  - D. WHERE GUTTERS MEET CURB RAMPS, THE GUTTER PAN SLOPE MUST NOT EXCEED 5%.
- III. ACCESSIBLE ROUTES WITH RAMPS
  - A. RUNNING SLOPE: SHALL NOT EXCEED 1:12.
  - B. CROSS SLOPE: SHALL NOT EXCEED 1:48.
  - C. CLEAR WIDTH: MINIMUM 36".
  - D. RISE: MAXIMUM 30 INCHES PER RAMP RUN.
  - E. LANDINGS: A LEVEL LANDING SHALL BE PROVIDED AT THE TOP AND BOTTOM OF EACH RAMP RUN.
    1. LANDING SLOPE: SHALL NOT EXCEED 1:48.
    2. LANDING WIDTH: AT LEAST AS WIDE AS THE WIDEST RAMP RUN LEADING TO THE LANDING.
    3. LANDING LENGTH: CLEAR LENGTH SHALL BE A MINIMUM OF 60".
    4. LANDING AT CHANGE IN DIRECTION: MINIMUM OF 60" X 60".
  - F. HANDRAILS: RAMP RUNS WITH A RISE GREATER THAN 6" SHALL PROVIDE HANDRAILS.
    1. WHERE REQUIRED: BOTH SIDES OF STAIRS AND RAMPS.
    2. CONTINUITY: HANDRAILS SHALL BE CONTINUOUS WITHIN THE FULL LENGTH OF EACH RAMP RUN.
    3. HEIGHT: TOP OF GRIPPING SURFACE SHALL BE 34" MIN. AND 38" MAX. VERTICALLY ABOVE RAMP AND WALKING SURFACE.
    4. CLEARANCE: CLEARANCE BETWEEN HANDRAIL GRIPPING SURFACE AND ADJACENT SURFACES SHALL BE 1.5" MINIMUM.
    5. GRIPPING SURFACE: SHALL BE CONTINUOUS ALONG THEIR LENGTH AND SHALL NOT BE OBSTRUCTED ALONG THEIR TOPS OR SIDES.
    6. CIRCULAR CROSS SECTION: SHALL HAVE AN OUTSIDE DIAMETER OF 1.25" MAXIMUM.
    7. EXTENSIONS: SHALL EXTEND HORIZONTALLY ABOVE THE LEVEL LANDING FOR 12" MINIMUM BEYOND THE TOP AND BOTTOM OF RAMP RUNS. EXTENSIONS SHALL RETURN TO A WALL, GUARD, OR THE LANDING SURFACE, OR SHALL BE CONTINUOUS TO THE HANDRAIL OF AN ADJACENT RAMP RUN.

**CONCRETE NOTE**

THE CONTRACTOR SHALL VERIFY CONCRETE FORM PLACEMENT TO ASSURE COMPLIANCE WITH CURRENT LOCAL AND STATE ADA AS WELL AS BUILDING CODES. ADA INSPECTION SHALL BE REQUIRED PRIOR TO POURING CONCRETE. THE CONTRACTOR ACCEPTS RESPONSIBILITY FOR MEETING ALL APPLICABLE HORIZONTAL SLOPE AND DISTANCE REQUIREMENTS AS WELL AS OTHER REQUIREMENTS AS STATED IN THE APPLICABLE CODES.

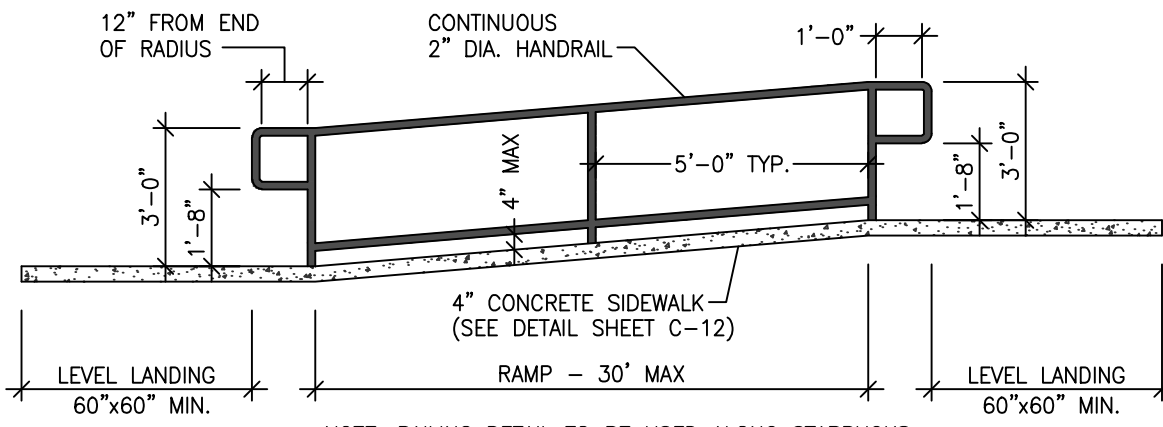
ANY DISCREPANCIES FOUND SHOULD BE BROUGHT TO THE SITE ENGINEER'S ATTENTION BEFORE ANY CONCRETE IS PLACED.

**GAS/ELECTRIC/TELECOMMUNICATIONS**

CONTRACTOR SHALL REFER TO THE FINAL GAS, ELECTRIC AND TELECOMMUNICATION PLANS FOR SIZE OF CONDUITS, QUANTITY, NOTES, DETAILS AND CONSTRUCTION SPECIFICATIONS. LINES SHOWN HEREON ARE SCHEMATIC ONLY. FINAL GAS AND ELECTRIC TO BE ASSIGNED BY BGE. FINAL TELECOMMUNICATIONS TO BE DESIGNED BY CONTRACTED SERVICE PROVIDER.

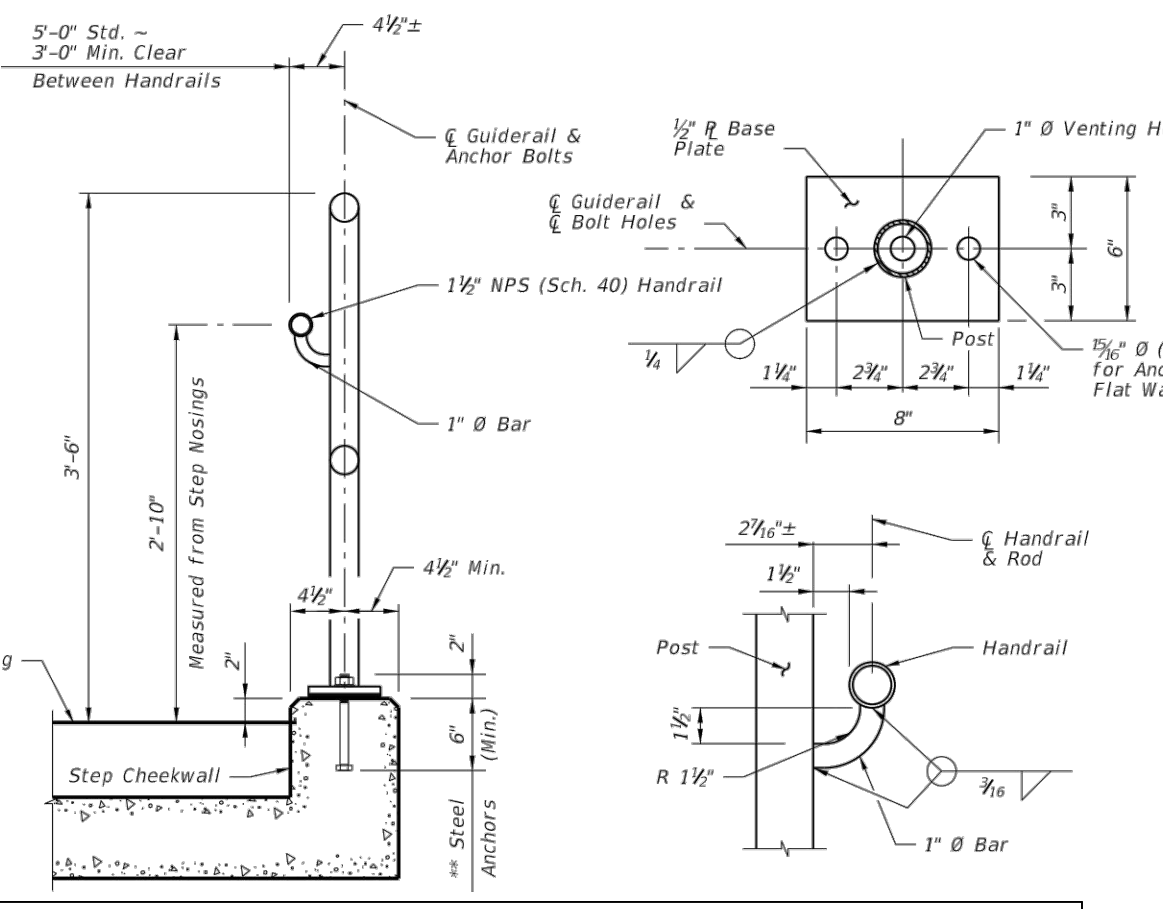
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**CONCRETE RAMP WITH HANDRAIL DETAIL**

NOT TO SCALE



APPROVED: DEPARTMENT OF PLANNING AND ZONING

CHIEF, DEVELOPMENT ENGINEERING DIVISION

DATE

CHIEF, DIVISION OF LAND DEVELOPMENT

DATE

DIRECTOR

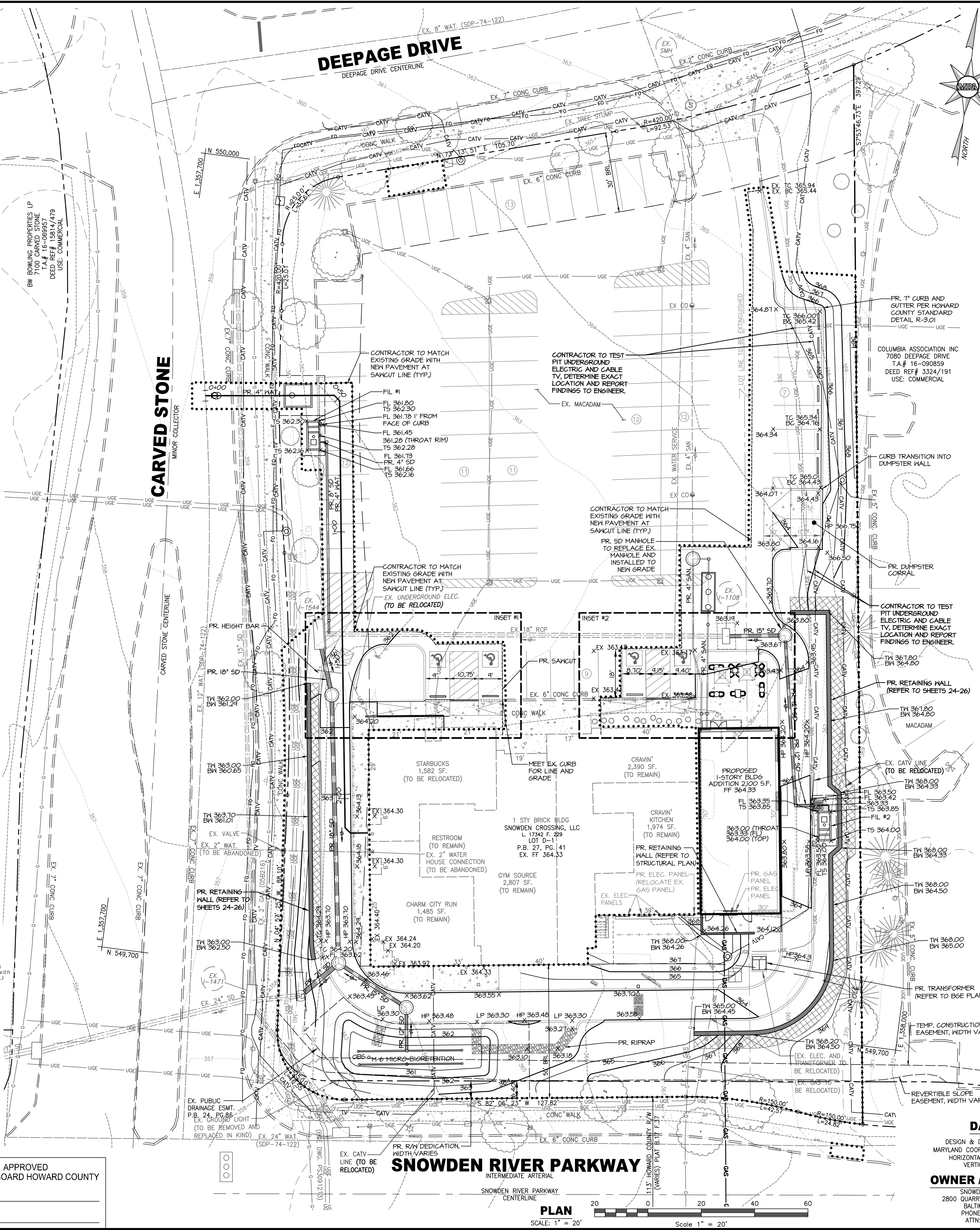
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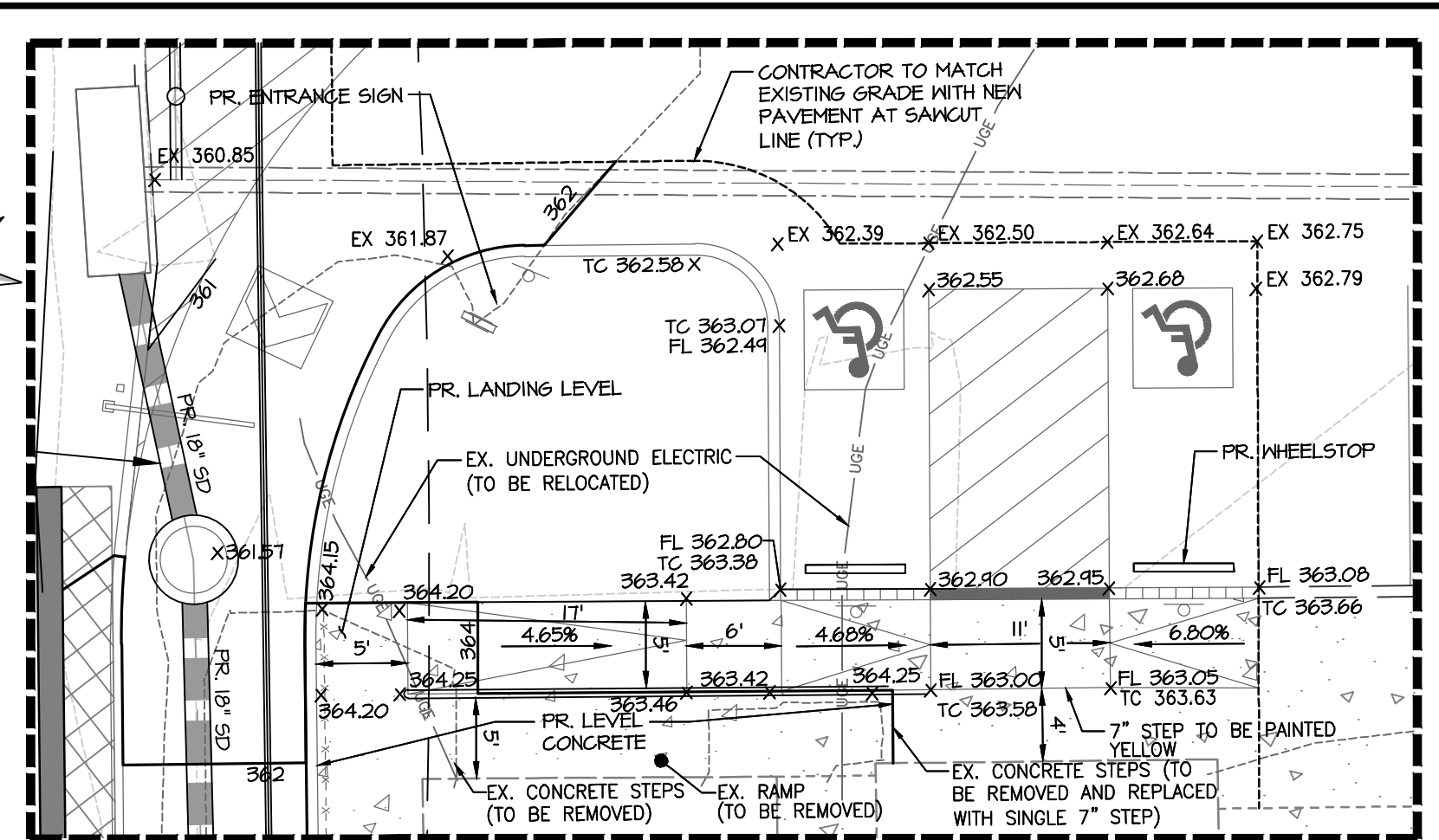


**SNOWDEN RIVER PARKWAY**

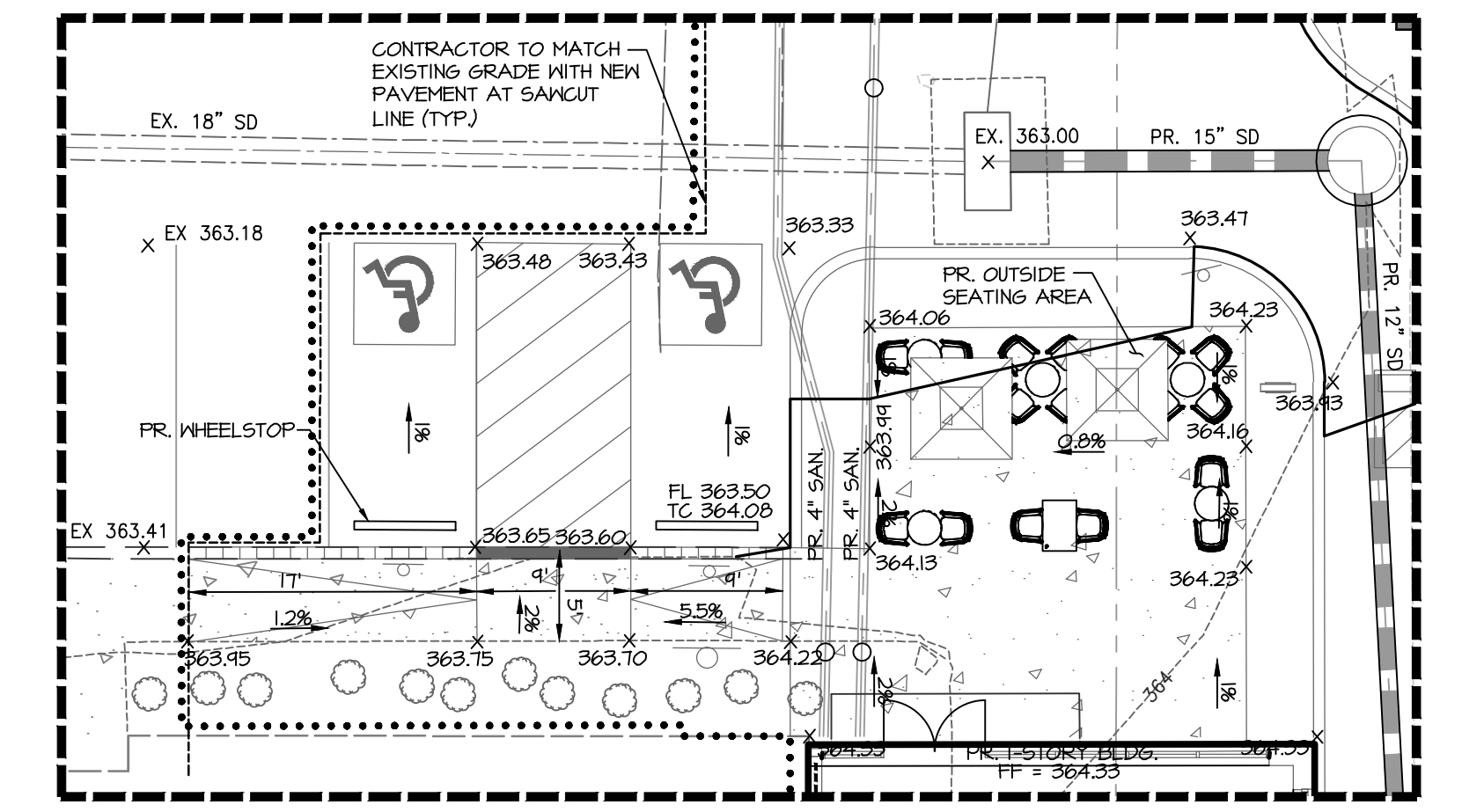
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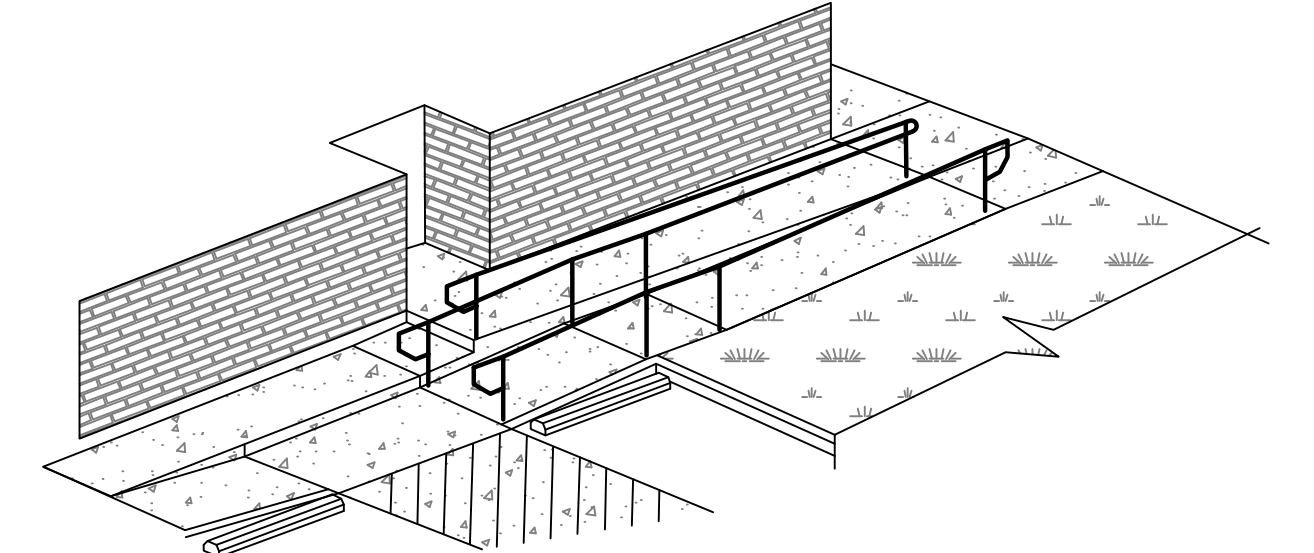
PLAN SCALE: 1" = 20'



**INSET #1**  
SCALE: 1" = 10'



**INSET #2**  
SCALE: 1" = 10'



**ADA RAMP ISOMETRIC VIEW**  
NOT TO SCALE



Call before you dig.

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**SITE DEVELOPMENT PLAN**  
**VILLAGE OF OWEN BROWN, SECTION 2,**  
**AREA 2, LOT D-1, SNOWDEN CROSSING**  
FINAL GRADING PLAN

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7090 DEEPAE DRIVE, HOWARD COUNTY, MARYLAND, 21045

DATE	REVISIONS	JOB NO.:
11/22/2019	REVISED SDP-74-122 TO INCLUDE 2100 SF ADDITION	19650
		SCALE: AS SHOWN
		DATE: 07/29/2020
		DRAWN BY: DTP
		DESIGN BY: THS
		REVIEW BY: THS
		SHEET: 12 OF 27

**DATUM**

DESIGN & DRAWING BASED ON MARYLAND COORDINATE SYSTEM (MCS); HORIZONTAL NAD 83 (1991) VERTICAL NAVD 88

**OWNER / DEVELOPER**

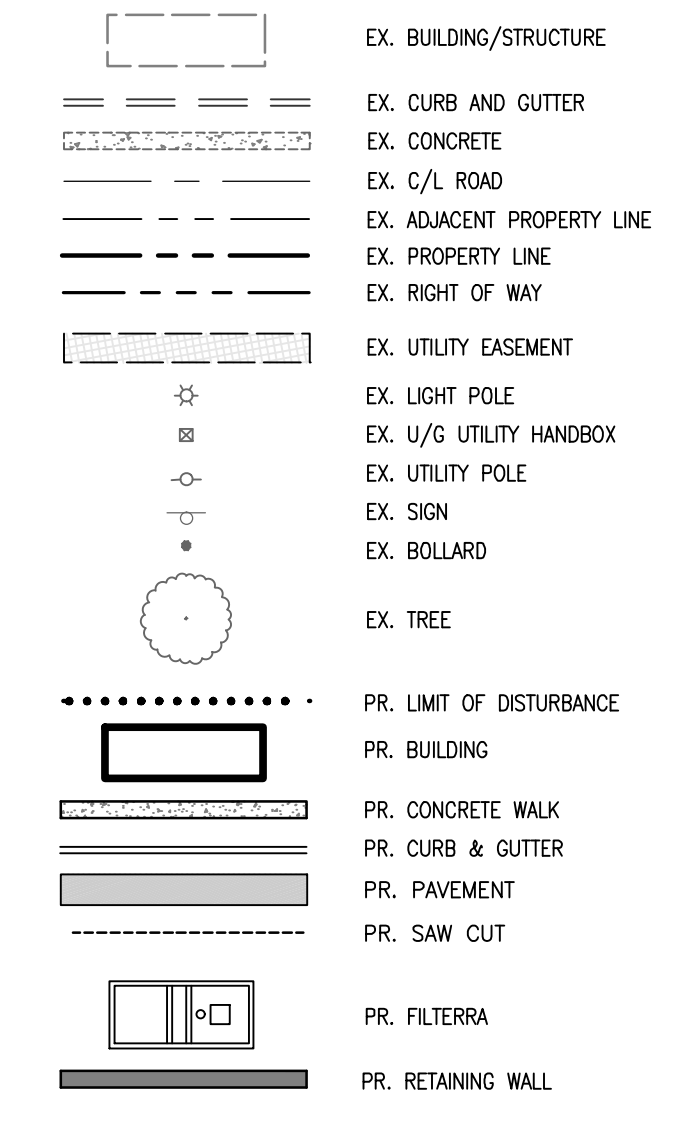
SNOWDEN CROSSING LLC  
2800 QUARRY LAKE DRIVE, SUITE 340  
BALTIMORE, MD 21209  
PHONE: 410-308-0700  
ATTN: SCOTT CHERRY

**GENERAL CONSTRUCTION NOTES**

- THE CONTRACTOR IS REQUIRED TO INSPECT THE SITE PRIOR TO BOTH BIDDING AND CONSTRUCTION. SHOULD THE CONTRACTOR DISCOVER DISCREPANCIES BETWEEN THE PLANS AND FIELD CONDITIONS, THE OWNER IS TO BE NOTIFIED IMMEDIATELY TO RESOLVE THE SITUATION. SHOULD THE CONTRACTOR PROCEED WITH THE WORK, MAKING FIELD CORRECTIONS OR MAKING ADJUSTMENTS WITHOUT NOTIFYING THE OWNER OF ANY DISCREPANCIES, THEN THE CONTRACTOR ASSUMES ALL RESPONSIBILITIES FOR THOSE RESULTING CHANGES.
- THE OWNER IS NOT RESPONSIBLE FOR THE CONTRACTOR'S UTILIZATION OF WORKERS, MATERIALS, EQUIPMENT OR SAFETY MEASURES IN PERFORMANCE OF ANY WORK FOR THIS CONSTRUCTION. THE CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR PERFORMING THE WORK CORRECTLY AND IN CONFORMANCE WITH ALL CODE REQUIREMENTS.
- THE CONTRACTOR WILL NOTIFY MISS UTILITY AT (800) 257-7777 OR 811 AT LEAST 72 HOURS PRIOR TO STARTING EXCAVATION.
- THE CONTRACTOR SHALL MAINTAIN TRAFFIC AT ALL TIMES.
- THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL UTILITIES BEFORE COMMENCING WORK, AND IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
- EXISTING UTILITIES THAT ARE TO REMAIN SHALL BE ADJUSTED TO PROPOSED FINISH GRADE UNLESS NOTED OTHERWISE ON THE DRAWINGS. THE CONTRACTOR IS RESPONSIBLE FOR ALL COSTS AND WORK REQUIRED TO ADJUST EXISTING AND INSTALL PROPOSED UTILITIES TO FINISH GRADE WITHIN THE LIMIT OF DISTURBANCE, INCLUDING OFF-SITE EASEMENTS AND PUBLIC RIGHTS-OF-WAY, AS APPLICABLE.
- THE CONTRACTOR WILL USE EXTREME CAUTION DURING EXCAVATION AND/OR INSTALLATION OF ALL WORK SHOWN ON THESE PLANS. ALL UTILITIES WILL BE FULLY PROTECTED FROM DAMAGE OR INTERRUPTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING SILT AND DEBRIS OUT OF THE EXISTING STORM DRAIN SYSTEM DURING CONSTRUCTION AND SHALL CLEAN THE SYSTEM THOROUGHLY PRIOR TO FINAL ACCEPTANCE.
- THE CONTRACTOR SHALL STAKE OUT THE LIMIT OF DISTURBANCE, THE LOCATION OF PROPOSED BUILDING AND CORNERS, UTILITIES, ROAD AND DRIVEWAY CENTERLINES, AND PARKING AREAS FOR REVIEW AND APPROVAL BY THE OWNER'S REPRESENTATIVE PRIOR TO BEGINNING WORK. DIMENSIONS ARE TO THE FACE OF CURB, BUILDINGS, UNLESS NOTED OTHERWISE ON THE DRAWINGS.
- EXISTING TREES AND PLANT MATERIAL WITHIN THE LIMIT OF DISTURBANCE (LOD) SHALL BE REMOVED UNLESS NOTED OTHERWISE ON THE DRAWINGS. TREES AND PLANT MATERIAL LOCATED OUTSIDE OF THE LOD AND THOSE DESIGNATED TO REMAIN SHALL BE PROTECTED THROUGHOUT THE CONSTRUCTION PERIOD, AS REQUIRED TO MAINTAIN A HEALTHY CONDITION.
- CONSTRUCTION SHALL BE IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE, COUNTY AND LOCAL REGULATIONS, STANDARDS AND SPECIFICATIONS. REFER TO THE DRAWINGS, AND PROJECT MANUAL FOR DESIGNATED MODIFICATIONS AND ADDITIONAL INFORMATION. CONTRACTOR SHALL COMPLY WITH APPLICABLE OCCUPATIONAL SAFETY & HEALTH ADMINISTRATION (OSHA) LAWS AND REGULATIONS FOR WORK ON THIS PROJECT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS AND OR STATE AGENCY APPROVALS, NOT OBTAINED AND FURNISHED TO THE CONTRACTOR BY THE OWNER, AND PAYING RELATED FEES REQUIRED TO COMPLETE THE WORK ON THIS PROJECT. THE CONTRACTOR DOES NOT NEED A BUILDING PERMIT FROM BALTIMORE COUNTY; HOWEVER ALL STREET WORK WITHIN THE PUBLIC RIGHT-OF-WAY INCLUDING PARKING LANE CLOSURE, TRAFFIC INTERRUPTIONS, ETC. SHALL BE COORDINATED WITH THE COUNTY WITH ADVANCE NOTICE AS NEEDED.
- THE CONTRACTOR SHALL REPLACE AT NO ADDITIONAL COST TO THE OWNER, EXISTING CURB AND GUTTER, PAVING, SIDEWALKS, TREES, PLANT MATERIAL AND OTHER ITEMS DESIGNATED TO REMAIN ON THE SITE AND WITHIN THE PUBLIC RIGHTS-OF-WAY WHICH ARE DAMAGED DURING CONSTRUCTION. AREAS DISTURBED, BUT NOT DESIGNATED FOR PAVING OR PLANTING AREAS, SHALL BE PERMANENTLY STABILIZED BY SEEDING OR SODDING IN ACCORDANCE WITH THE VEGETATIVE STABILIZATION NOTES ON THE DRAWINGS, AND SPECIFICATIONS IN THE PROJECT MANUAL WHEN APPLICABLE.
- CURB AND GUTTER SHALL BE CONSTRUCTED WITH "REGULAR CROSS SLOPE" OR "REVERSE CROSS SLOPE" AS REQUIRED TO REFLECT THE DIRECTION OF SLOPE ON ADJACENT PAVING. REFER TO THE DRAWINGS FOR CURB AND GUTTER DETAILS. CURB AND GUTTER SHALL BE CONSTRUCTED WITH SMOOTH VERTICAL CURVE TRANSITIONS AT ALL HIGH POINTS, LOW POINTS AND INLET LOCATIONS.
- SANITARY SEWER AND STORM DRAIN PIPE ELEVATIONS ARE TO THE INVERT UNLESS NOTED OTHERWISE ON THE DRAWINGS. UTILITY MANHOLES AND STORM DRAIN STRUCTURE FRAMES, GRATES, AND INLET HEADPIECES SHALL BE ADJUSTED AND INSTALLED AT THE SAME LINE, GRADE AND CROSS SLOPE OF PROPOSED FINISH GRADE IN ADJACENT LAWN AND PAVED AREAS.
- WHERE NEW CURB AND GUTTER MEETS EXISTING CURB AND GUTTER, THE EXISTING SHALL BE REMOVED TO THE NEAREST JOINT, OR SAW CUT TO PROVIDE A CLEAN, UNIFORM JOINT WITH THE NEW CURB AND GUTTER.
- WHERE NEW SIDEWALK MEETS EXISTING SIDEWALK THE EXISTING SHALL BE REMOVED TO THE NEAREST JOINT, OR SAW CUT TO PROVIDE A CLEAN UNIFORM JOINT / TRANSITION WITH THE NEW SIDEWALK.
- HANDICAP RAMP SHALL BE INSTALLED PER DETAILS AND INCLUDE DETECTABLE WARNING SURFACES AND SHALL MEET THE MOST CURRENT REGULATIONS AT TIME OF INSTALLATION.
- PROPOSED SPOT ELEVATIONS SHOWN IN DRIVEWAYS, SERVICE AND PARKING AREAS ARE TO THE TOP OF PAVED SURFACES AND BOTTOM OF CURBS UNLESS NOTED OTHERWISE ON THE DRAWINGS.
- WHERE NEW CURB IS INSTALLED ADJACENT TO EXISTING PAVEMENT, WHICH MAY BE REQUIRED TO RECEIVE AN OVERLAY, THE OVERLAY THICKNESS MAY VARY AS REQUIRED (MINIMUM OF 2-INCHES) IN ORDER TO MAINTAIN THE SPECIFIED CURB REVEAL AS SHOWN ON THE DETAILS. IT IS ANTICIPATED THAT MINOR FIELD ADJUSTMENT TO THE TOP OF CURB ELEVATIONS NOTED ON THE DRAWINGS MAY BE NECESSARY IN ORDER TO PROVIDE A UNIFORM CURB REVEAL. PROVIDE SMOOTH TRANSITION OF THE FINISHED SURFACE AND MAINTAIN FLOW ALONG THE CURB LINE INTO DRAINAGE STRUCTURES. CONTACT THE OWNER'S REPRESENTATIVE FOR APPROVAL OF ADJUSTMENTS PRIOR TO INSTALLING NEW CURB.
- REFER TO CONSTRUCTION DOCUMENTS PREPARED BY ARCHITECT FOR DISPOSITION OF EXISTING AND CONSTRUCTION OF NEW LIGHTING, COMMUNICATION, AND ELECTRICAL SERVICES, UNLESS NOTED OTHERWISE ON THE DRAWINGS.
- CONTRACTOR SHALL TEST PIT FOR LOCATION (HORZ. & VERT.) AND TYPE AND SIZE OF EXISTING STORM DRAIN, SANITARY SEWER, AND WATER STRUCTURES AND UTILITY CROSSINGS PRIOR TO ORDERING MATERIALS OR COMMENCEMENT OF CONSTRUCTION. ANY LOCATION DISCREPANCY SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER AND MORRIS & RITCHIE ASSOCIATES, INC. IMMEDIATELY.
- ALL EXISTING INLETS, MANHOLES, AND PIPES AND FLUMES SHOULD BE CLEANED AND FLUSHED BY THE CONTRACTOR AT THE CONCLUSION OF THIS CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR LAYOUT AND STAKEOUT OF ALL PROPOSED IMPROVEMENTS.
- CONTRACTOR IS RESPONSIBLE FOR TRAFFIC MANAGEMENT IN ACCORDANCE WITH THE CURRENT EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- CONTRACTOR SHALL SUPPLY AN ADEQUATE NUMBER OF BARRIERS, CONES AND OTHER TRAFFIC CONTROL DEVICES.
- ALL CONCRETE FORMS MUST BE OF FULL DEPTH AS CALLED ON THE CONTRACT DRAWINGS.
- INDICATED SEDIMENT CONTROL DEVICES SHALL MEET THE SPECIFICATIONS AND DETAILS OF THE LATEST "MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL."
- RAKE, GRADE, INSTALL 3" TOP SOIL, AND SEED AND MULCH ALL GROUND AREAS WHICH ARE DISTURBED OR ARE WITHIN THE LIMITS OF DISTURBANCE.

- PAVEMENT, EARTHWORK AND EXCAVATION
  - ADDITIONAL FILL REQUIRED TO RAISE GRADES, WHICH MAY CONSIST OF APPROVED ON-SITE SOILS AND/OR OFF-SITE BORROW, SHALL BE FREE OF ALL DEBRIS, ORGANICS, CLUMPS AND SHALL BE ADJUSTED TO THE PROPER MOISTURE CONTENT BEFORE BEING COMPACTED IN 8 INCH MAXIMUM LAYERS. EACH LAYER TO BE COMPACTED TO 95% DENSITY (MODIFIED PROCTOR) PER ASTM D1557.
  - SELECT FILL UNDER SLABS AND PAVEMENT AREAS SHALL BE PLACED IN 8 INCH MAXIMUM LAYERS OF LOOSE MATERIAL, WITH EACH LAYER BEING COMPACTED TO 95% DENSITY (MODIFIED PROCTOR) PER ASTM D1557.
  - GEOTEXTILES OR GEORIGS, IF REQUIRED, FOR SOIL STABILIZATION OR REINFORCING SHALL BE INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
  - ALL UNPAVED AREAS OF THE SITE SHALL BE STABILIZED AND THEN SEEDED OR SODDED IN ACCORDANCE WITH THE APPROVED SEDIMENT CONTROL PLAN (PART OF THE STANDARD GRADING PLAN SET).
  - THE OWNER HAS THE RIGHT TO INSPECT AND REJECT ANY FILL MATERIAL DEEMED UNSUITABLE FOR THE PURPOSE SPECIFIED.
  - ALL EXCAVATED SURFACE MATERIAL IS TO BE REMOVED FROM THE SITE ON A DAILY BASIS. SHOULD THE CONTRACTOR DESIRE TO STOCKPILE PORTIONS OF THE MATERIAL HE MUST SUBMIT A STOCKPILE AREA PLAN, WITH PROPER SEDIMENT AND EROSION CONTROL, TO THE OWNER FOR AUTHORIZATION PRIOR TO SAID UNDERTAKING.
  - ALL DISTURBED AREAS, WHETHER DISTURBED DIRECTLY OR INDIRECTLY BY THE CONSTRUCTION, SHALL BE RETURNED TO EQUAL OR BETTER THAN THE ORIGINAL CONDITION PRIOR TO THE FINAL ACCEPTANCE OF WORK.
  - EXISTING STONE AND FILL IN EXISTING PAVED AREA DOES NOT QUALIFY AS ACCEPTABLE BASE COURSE MATERIAL PER THE STANDARD SECTION UNLESS DIRECTED OTHERWISE.
  - REFER TO STRUCTURAL PLANS FOR BEARING CAPACITY REQUIREMENTS.
- UTILITIES
  - USE CLEAN, GRANULAR FILL MATERIAL, FREE OF ALL ROCKS, DEBRIS, AND OTHER UNSUITABLE MATERIAL FOR BACKFILLING UTILITY EXCAVATIONS. COMPACT BACKFILL MATERIAL IN 8 INCH MAX. LIFTS USING HEAVY COMPACTION EQUIPMENT OR IN 4 INCH MAX. LIFTS USING HAND-OPEATED TAMPERS TO TOP OF TRENCH TO 95% DENSITY (ASTM D1557).
  - WHERE 2 FEET OF CLEARANCE CANNOT BE OBTAINED BETWEEN PIPES AND STRUCTURES SAND BACKFILL SHALL BE PLACED AS DIRECTED BY THE ENGINEER IN THE FIELD.
  - CONTRACTOR TO TEST PIT ALL UTILITIES CROSSINGS AND CONNECTIONS. CONTRACTOR MUST NOTIFY THE OWNER AND ENGINEER OF ALL ELEVATIONS AND POTENTIAL CONFLICTS. DO NOT PROCEED WITH WORK WITHOUT AUTHORIZATION FROM THE OWNER OR ENGINEER.

**LEGEND**



**CONCRETE NOTE**

THE CONTRACTOR SHALL VERIFY CONCRETE FORM PLACEMENT TO ASSURE COMPLIANCE WITH CURRENT LOCAL AND STATE ADA AS WELL AS BUILDING CODES. ADA INSPECTION SHALL BE REQUIRED PRIOR TO POURING CONCRETE. THE CONTRACTOR ACCEPTS RESPONSIBILITY FOR MEETING ALL APPLICABLE HANDICAP SLOPE AND DISTANCE REQUIREMENTS AS WELL AS OTHER REQUIREMENTS AS STATED IN THE APPLICABLE CODES.

ANY DISCREPANCIES FOUND SHOULD BE BROUGHT TO THE SITE ENGINEER'S ATTENTION BEFORE ANY CONCRETE IS PLACED.

**PROFESSIONAL CERTIFICATION**

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 38291, EXPIRATION DATE: 1/13/2022.



**Know what's below. Call before you dig.**

PROTECT YOURSELF, GIVE THREE WORKING DAYS NOTICE. THIS DRAWING DOES NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. ALL CONSTRUCTION MUST BE DONE IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970 AND ALL RULES AND REGULATIONS THERE TO APPURTENANT.

**MORRIS & RITCHIE ASSOCIATES, INC.**  
ENGINEERS, PLANNERS, SURVEYORS AND LANDSCAPE ARCHITECTS  
1220-C EAST JOPPA ROAD, SUITE 505  
TOWSON, MARYLAND 21286  
(410) 821-1690  
FAX (410) 821-1748  
Copyright 2020 Morris & Ritchie Associates, Inc.

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**SITE DEVELOPMENT PLAN**  
**VILLAGE OF OWEN BROWN, SECTION 2,**  
**AREA 2, LOT D-1, SNOWDEN CROSSING**  
SITE PLAN

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DATE: 11/22/2019  
REVISIONS: REVISED SDP-74-122 TO INCLUDE 2100 SF ADDITION

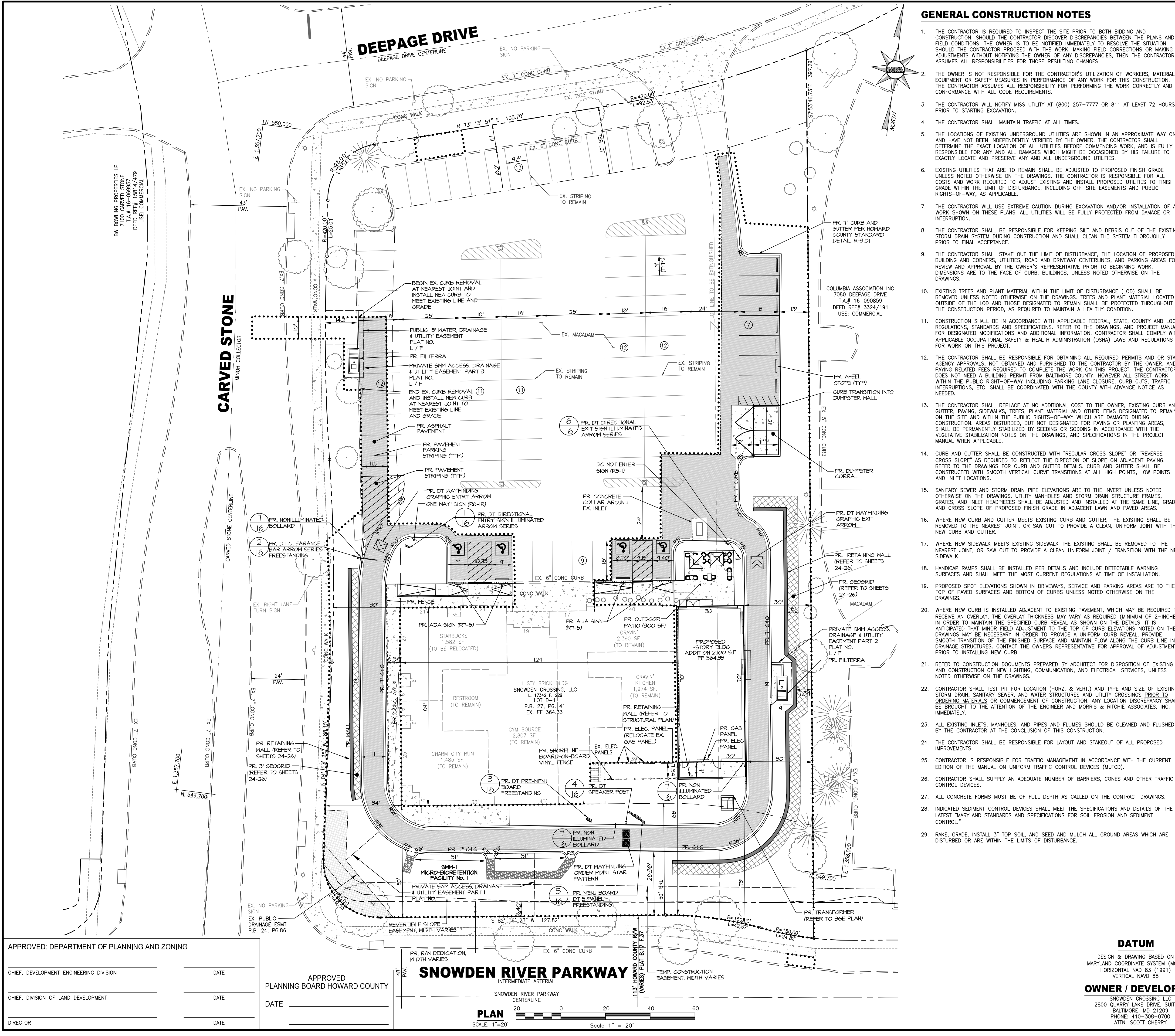
JOB NO.: 19650  
SCALE: 1" = 20'

DATE: 07/29/2020  
DRAWN BY: DTP  
DESIGN BY: THS  
REVIEW BY: THS  
SHEET: 15 OF 27

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**DATUM**  
DESIGN & DRAWING BASED ON MARYLAND COORDINATE SYSTEM (MCS): HORIZONTAL NAD 83 (1991) VERTICAL NAVD 88

**OWNER / DEVELOPER**  
SNOWDEN CROSSING LLC  
2800 QUARRY LAKE DRIVE, SUITE 340  
BALTIMORE, MD 21229  
PHONE: 410-308-0700  
ATTN: SCOTT CHERRY



APPROVED: DEPARTMENT OF PLANNING AND ZONING

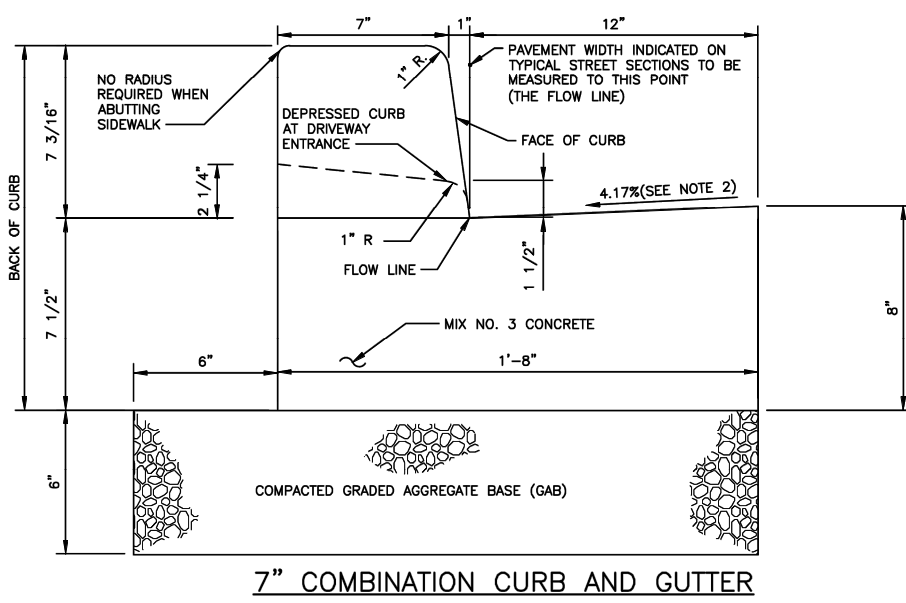
CHIEF, DEVELOPMENT ENGINEERING DIVISION	DATE
CHIEF, DIVISION OF LAND DEVELOPMENT	DATE
DIRECTOR	DATE

**APPROVED**  
**PLANNING BOARD HOWARD COUNTY**

DATE \_\_\_\_\_

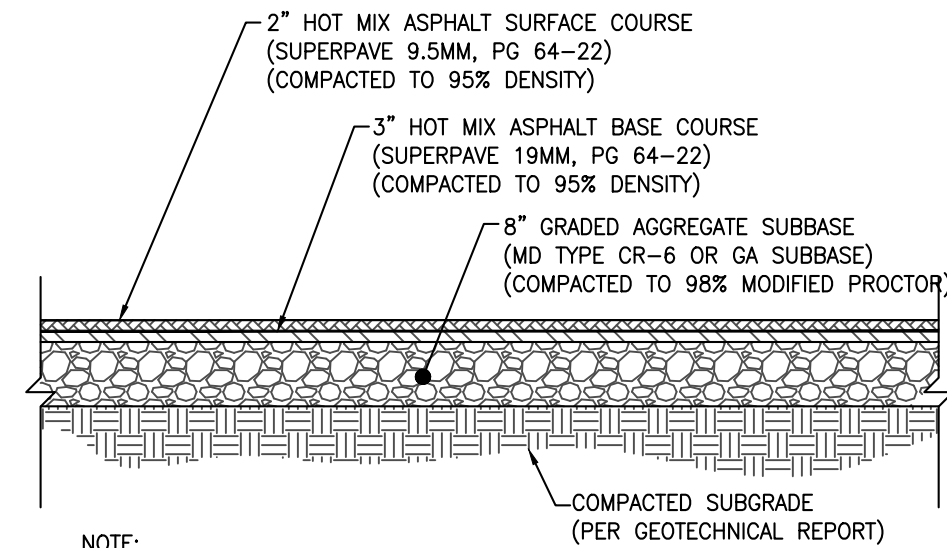
**PLAN**  
SCALE: 1" = 20'

P:\19650\19650-0-15-SITE AND PAVING PLAN.dwg, 0/6/2020 4:14:49 PM, TShackells.  
 11. Copyright 2020 Morris & Ritchie Associates, Inc.



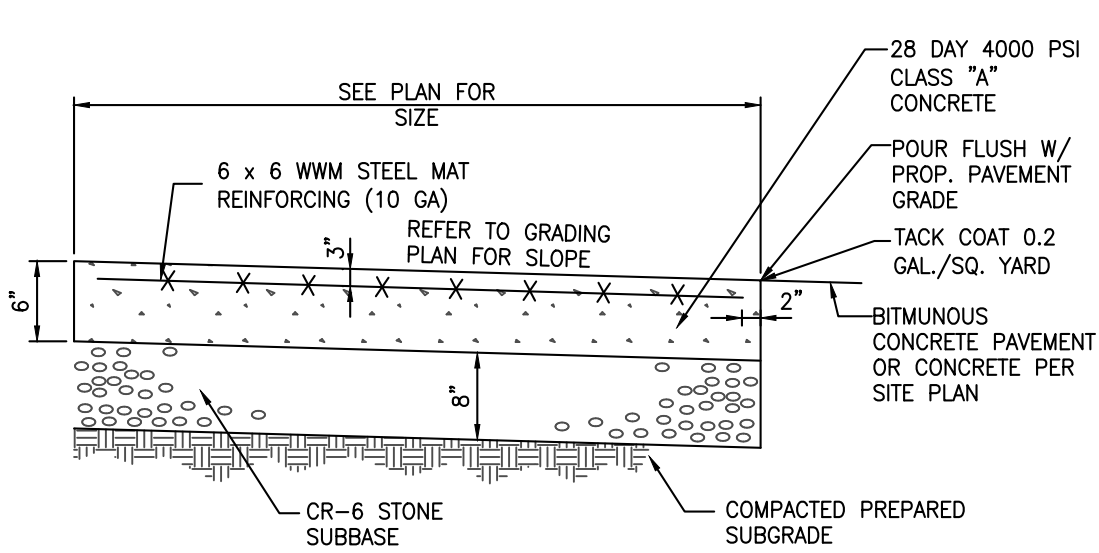
**NOTE:**  
1. A REVERSE GUTTER PAN SHALL HAVE A GUTTER SLOPE OF 4.17% AWAY FROM THE FLOW LINE, AND SHALL NOT BE USED WHERE THE DRAINAGE CREATES A HAZARDOUS CONDITION.  
2. GUTTER PAN AT THE MEDIAN EDGE OF INTERMEDIATE ARTERIALS OR THE HIGH SIDE OF SUPERELEVATED SECTIONS SHALL BE SLOPED AT THE SAME RATE AND IN THE SAME DIRECTION AS THE PAVEMENT. MATCH PAVEMENT CROSS SLOPE WHEN CURB IS LOCATED ON THE LOW SIDE OF SUPERELEVATED SECTION AND THE RATE OF SUPERELEVATION IS GREATER THAN 3% FOR MODIFIED CURB & GUTTER.  
3. A MINIMUM OF TWO (2) FEET OF COMPACTED STABILIZED EARTH, OR EQUIVALENT, SHALL SUPPORT THE ENTIRE BACK OF CURB.  
4. POSITIVE DRAINAGE SHALL BE PROVIDED BOTH BEHIND THE CURB AND ALONG THE GUTTER AND FLOW LINE.

**HO. CO. STD. R-3.01  
7\"/>**



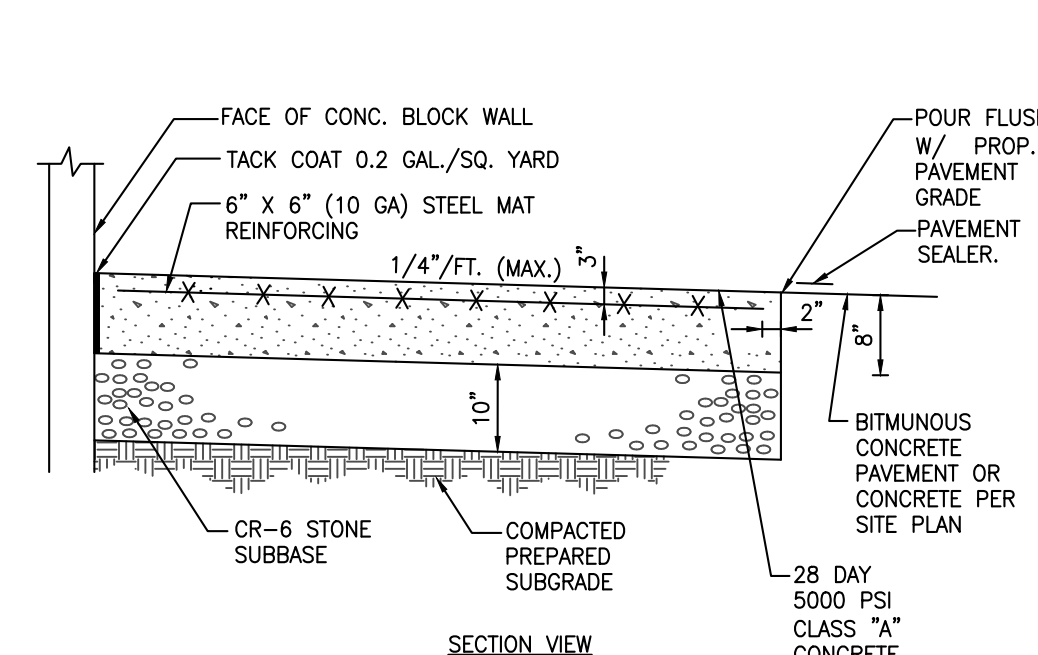
**NOTE:**  
1. REVISE TO MEET JOB AND LOCAL JURISDICTION REQUIREMENTS AND GEOTECHNICAL REPORT REQUIREMENTS. THE MINIMUM REQUIRED THICKNESS ARE SHOWN IN THE DETAIL. USE LOCAL DOT PAVEMENT MIX DESIGN FOR WEARING AND BINDING COURSES.  
2. PROOF ROLL PREPARED SUBBASE SURFACE TO CHECK FOR UNSTABLE AREAS AND AREAS REQUIRING ADDITIONAL COMPACTION. NOTIFY ENGINEER OF UNSATISFACTORY CONDITIONS. DO NOT BEGIN PAVING WORK UNTIL DEFICIENT SUBBASE AREAS HAVE BEEN CORRECTED AND ARE READY TO RECEIVE PAVING.  
3. FOR FINAL PAVEMENT SECTIONS, REFER TO GEOTECHNICAL INVESTIGATION REPORT PREPARED BY GEO-TECHNOLOGY ASSOCIATES, INC., DATED SEPTEMBER 19, 2016 OR MOST CURRENT.

**ASPHALT PAVEMENT DETAIL**



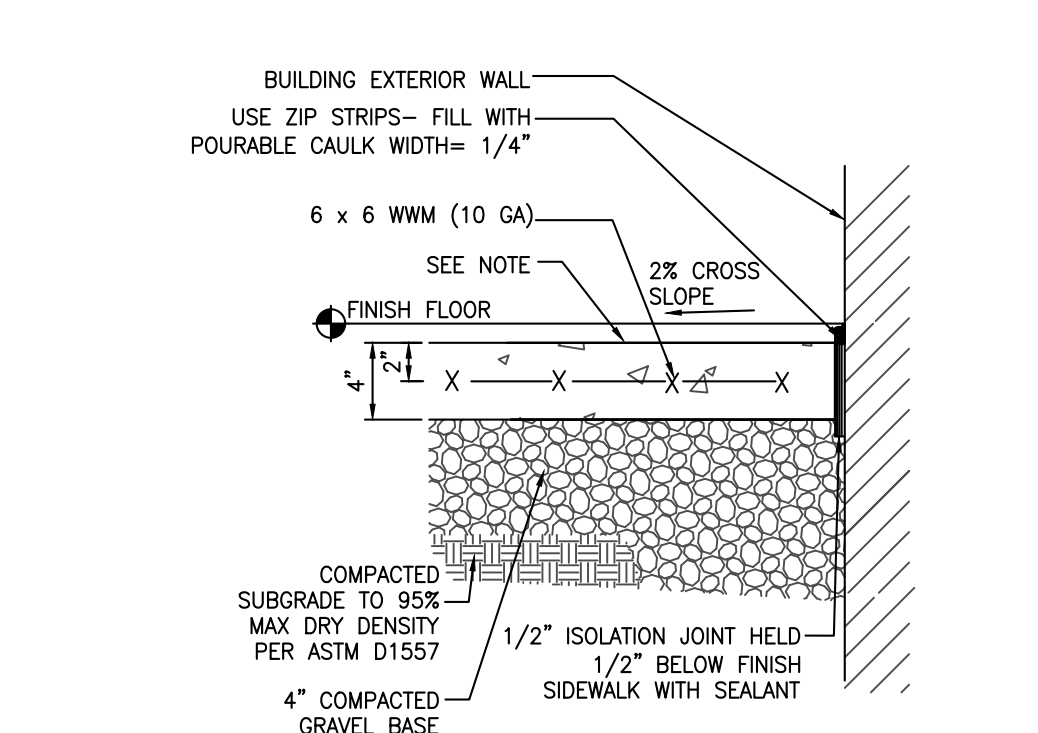
**NOTE:**  
1. ALL ON-SITE CONCRETE IS TO HAVE A TWO-PART DAYTON SEALER - J19/J35 APPLIED.

**TYPICAL 6\"/>**



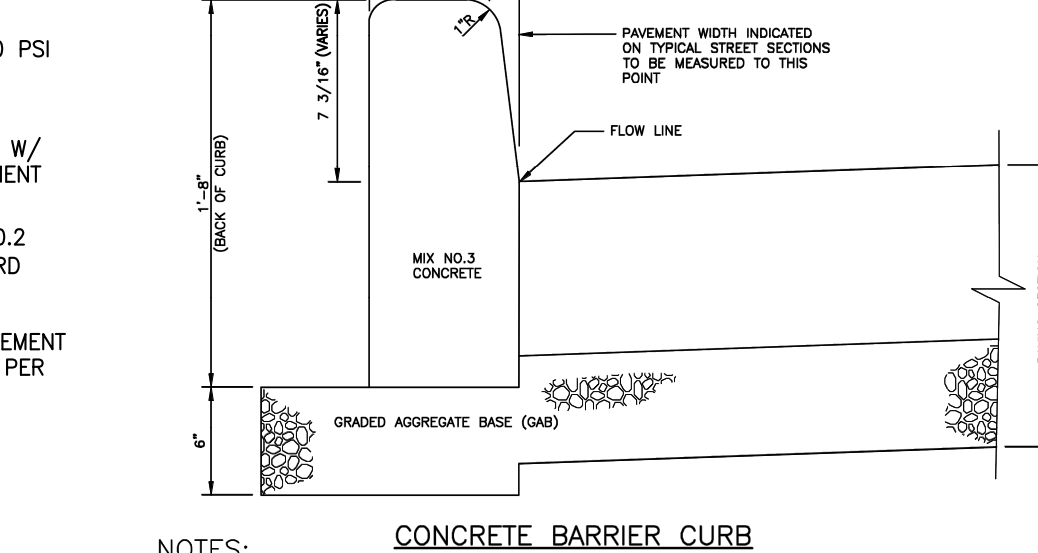
**NOTE:**  
1. ALL CONCRETE CURBS AND SIDEWALKS TO BE 4,000 P.S.I. CONCRETE.  
2. ALL ON-SITE CONCRETE IS TO HAVE A TWO-PART DAYTON SEALER - J19/J35 APPLIED.

**DUMPSTER PAD WITH 8\"/>**



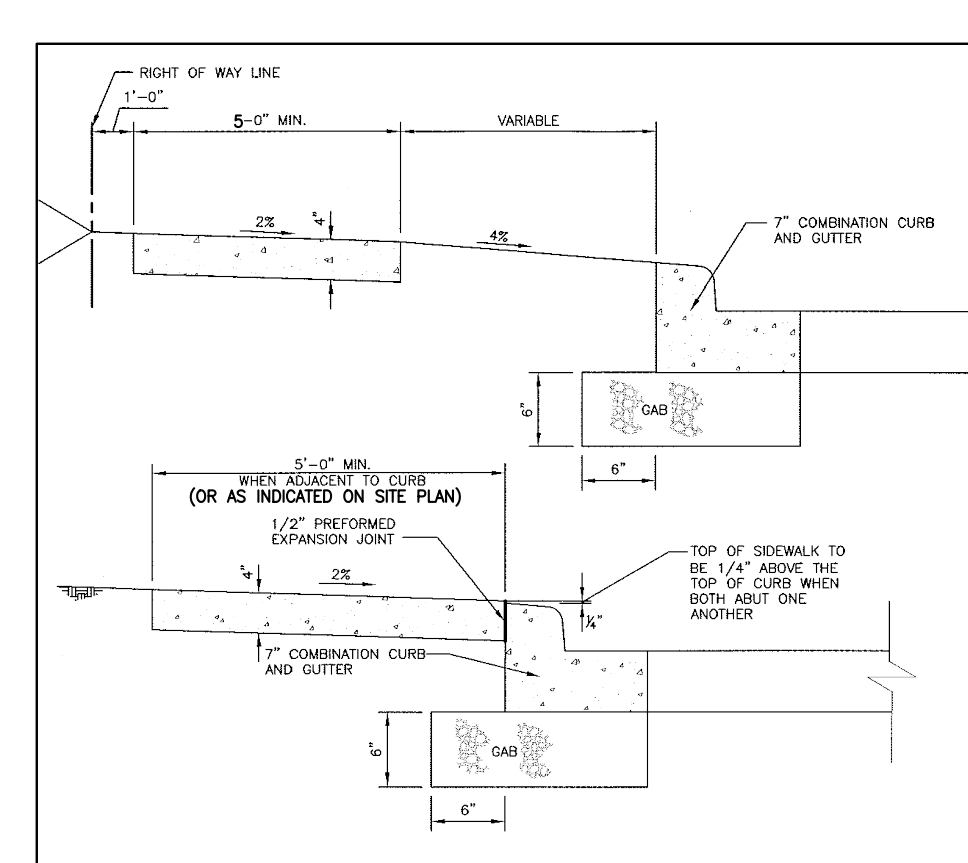
**NOTE:**  
1. ALL CONCRETE CURBS AND SIDEWALKS TO BE 4,000 P.S.I. CONCRETE.  
2. ALL ON-SITE CONCRETE IS TO HAVE A TWO-PART DAYTON SEALER - J19/J35 APPLIED.

**SIDEWALK AT BUILDING DETAIL**



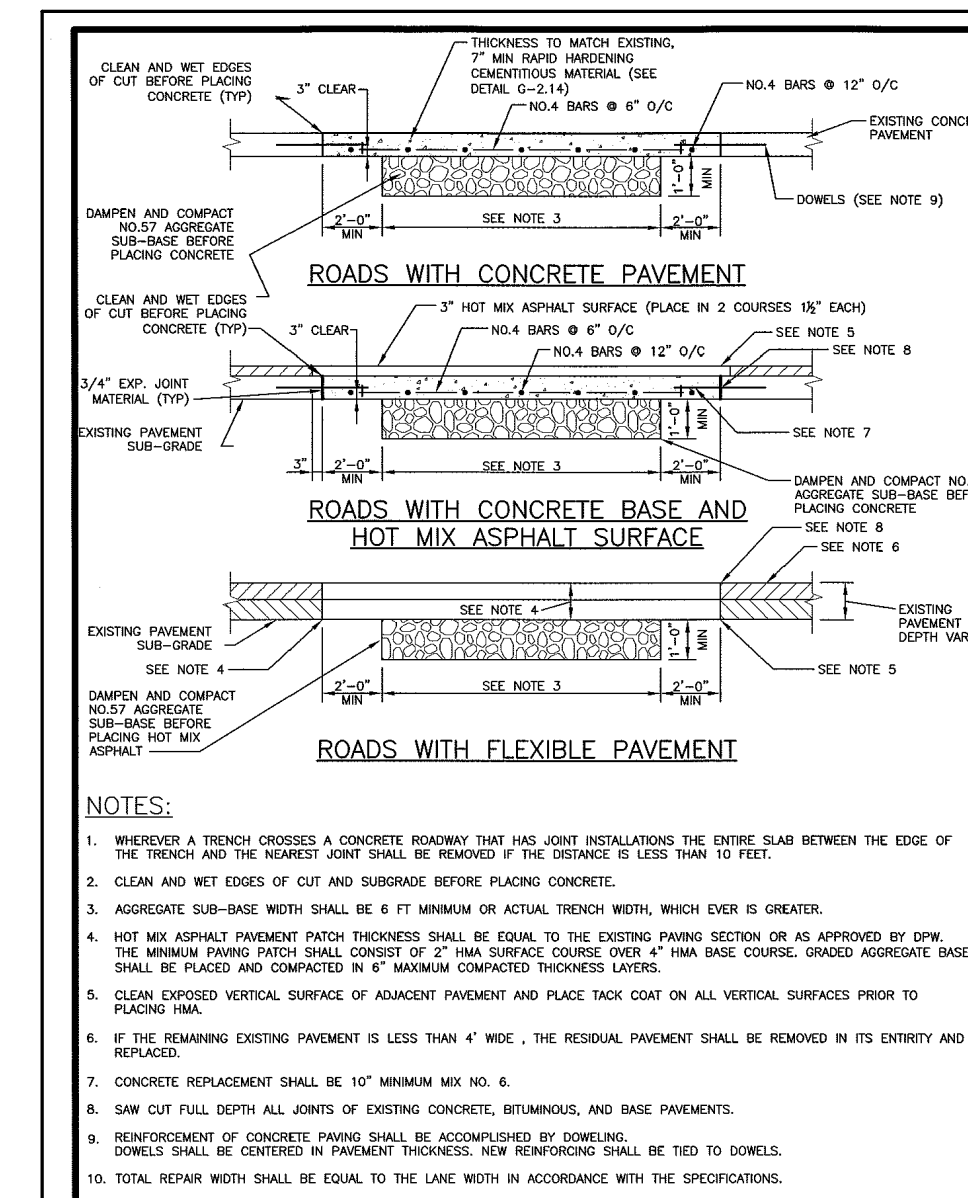
**NOTE:**  
1. A MINIMUM OF TWO (2) FEET OF COMPACTED STABILIZED EARTH, OR EQUIVALENT, SHALL SUPPORT THE ENTIRE BACK OF CURB.  
2. POSITIVE DRAINAGE SHALL BE PROVIDED BOTH BEHIND THE CURB AND ALONG THE GUTTER AND FLOW LINE.

**CONCRETE BARRIER CURB**



**NOTES:**  
1. SIDEWALK TO BE SLOPED IN 5'-0" MAXIMUM SQUARES.  
2. EXPANSION JOINTS ACROSS THE SIDEWALK NOT TO BE MORE THAN 15' APART.  
3. 1/2" PREFORMED EXPANSION JOINTS IN EXPANSION JOINTS TO BE KEPT 1/4" BELOW SURFACE OF SIDEWALK.  
4. CONCRETE TO BE MIX NO.3.  
5. WHEN SIDEWALK ADJACENT TO CURB, SIDEWALK SHALL BE 1/4" ABOVE CURB WITH 1/2" PREFORMED EXPANSION JOINT BETWEEN SIDEWALK AND CURB.  
6. ON LONGITUDINAL SIDEWALK GRADIENTS OF 5% OR GREATER, A CONCRETE HEADER, 6" THICK AND 4' DEEP BELOW THE NORMAL 4" SIDEWALK THICKNESS SHALL BE PROVIDED FOR THE FULL WIDTH OF THE SIDEWALK AT INTERVALS OF 48 FEET. THE HEADERS SHALL BE PLACED AT THE EXPANSION JOINT LOCATIONS AND SHALL BE FINISHING WITH THE SIDEWALK.  
7. SIDEWALK ADJACENT TO CURB SHALL BE 5'-0" MINIMUM EXCEPT SIDEWALK ADJACENT TO CURB IN CURB-TO-SIDING BULBS MAY BE 4'-0" WIDE.  
8. SIDEWALK LOCATED 3' OR MORE FROM CURB MAY BE 4'-0" IN WIDTH WITH A 6" WIDE SECTION PLACED 30" APART.  
9. 4'-0" SIDEWALK REQUIRES A PASSING AREA (SEE DETAIL R-4.01).

PROJECT: Howard County, Maryland Department of Public Works	DETAIL: Concrete Sidewalk
PREPARED BY: [Signature]	DATE: [Date]
SCALE: [Scale]	NO. OF SHEETS: [Number]

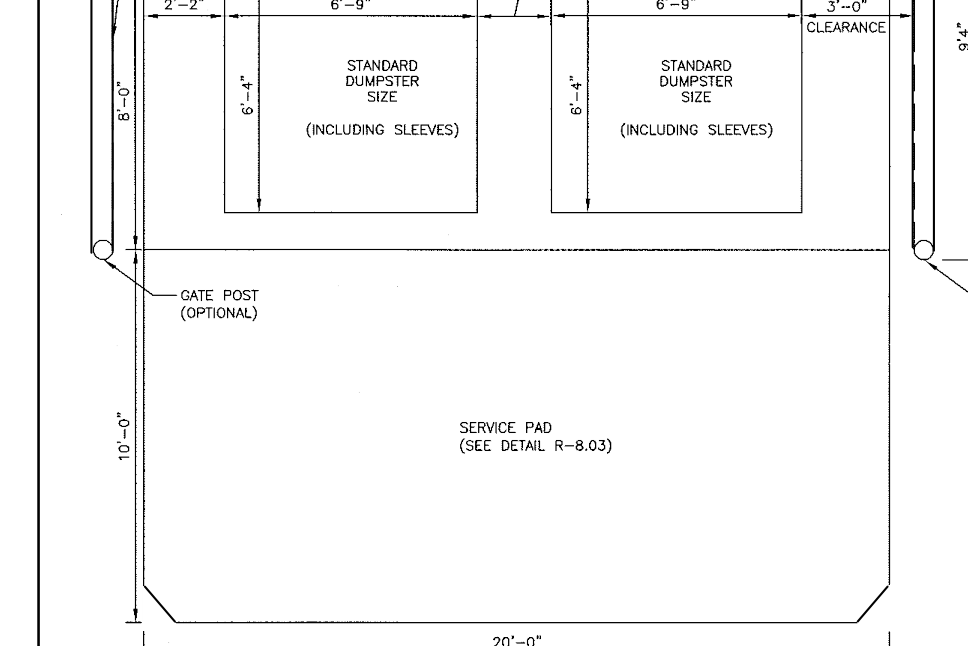


**NOTE:**  
1. WHEREVER A TRENCH CROSSES A CONCRETE ROADWAY THAT HAS JOINT INSTALLATIONS THE JOINT SHALL BE LOCATED BETWEEN THE EDGE OF THE TRENCH AND THE JOINTS SHALL BE REMOVED IF THE SPACING IS LESS THAN 10 FEET.  
2. CLEAN AND WET EDGES OF CUT BEFORE PLACING CONCRETE.  
3. CLEAN AND WET EDGES OF CUT BEFORE PLACING ASPHALT.  
4. AGGREGATE SUB-BASE WIDTH SHALL BE 4 FT MINIMUM OR ACTUAL TRENCH WIDTH, WHICH EVER IS GREATER.  
5. HOT MIX ASPHALT PAVEMENT PATCH THICKNESS SHALL BE EQUAL TO THE EXISTING PAVING SECTION OR AS APPROVED BY DPW. THE MINIMUM PAVING PATCH SHALL CONSIST OF 2" MIN. BASE COURSE OVER 4" MIN. BASE COURSE OVER 4" MINIMUM COMPACTED THICKNESS LAYERS.  
6. CLEAN EXPOSED VERTICAL SURFACE OF ADJACENT PAVEMENT AND PLACE TACK COAT ON ALL VERTICAL SURFACES PRIOR TO PLACING PAVEMENT.  
7. IF THE REMAINING EXISTING PAVEMENT IS LESS THAN 4" WIDE, THE REMOVAL PAVEMENT SHALL BE REMOVED IN ITS ENTIRETY AND REPLACED.  
8. SAW CUT FULL DEPTH ALL JOINTS OF EXISTING CONCRETE, BITUMINOUS, AND BASE PAVEMENTS.  
9. RECONSTRUCTION OF CONCRETE PAVING SHALL BE ACCOMPANIED BY CORNERING.  
10. DONNELLS SHALL BE DETAIL IN PAVEMENT THICKNESS, NEW REINFORCING SHALL BE TIED TO DONNELLS.  
11. TOTAL WIDTH SHALL BE EQUAL TO THE USED WIDTH IN ACCORDANCE WITH THE SPECIFICATIONS.  
12. TOTAL WIDTH SHALL BE EQUAL TO THE USED WIDTH IN ACCORDANCE WITH THE SPECIFICATIONS.

**ROADS WITH CONCRETE PAVEMENT**

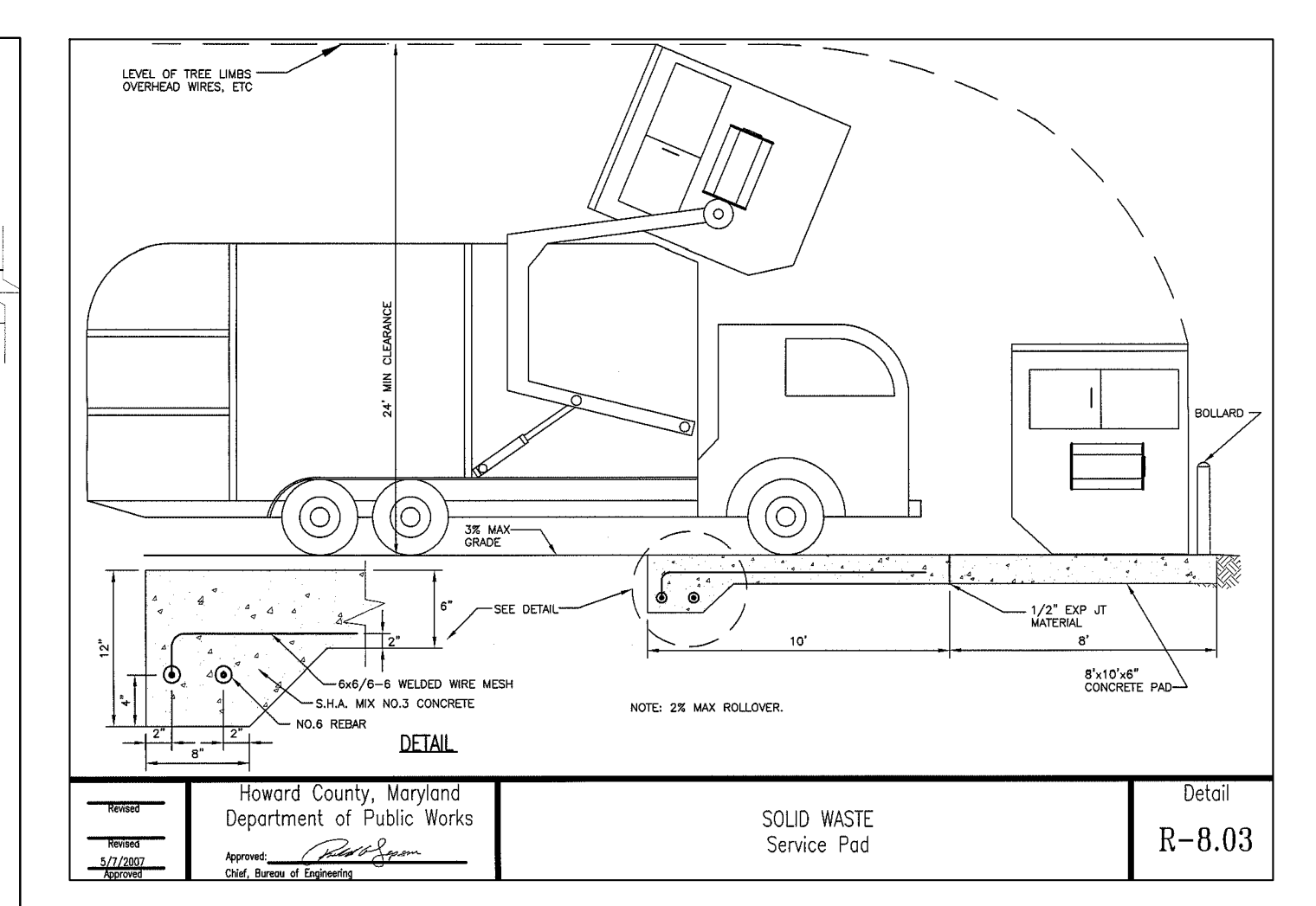
**ROADS WITH CONCRETE BASE AND HOT MIX ASPHALT SURFACE**

**ROADS WITH FLEXIBLE PAVEMENT**



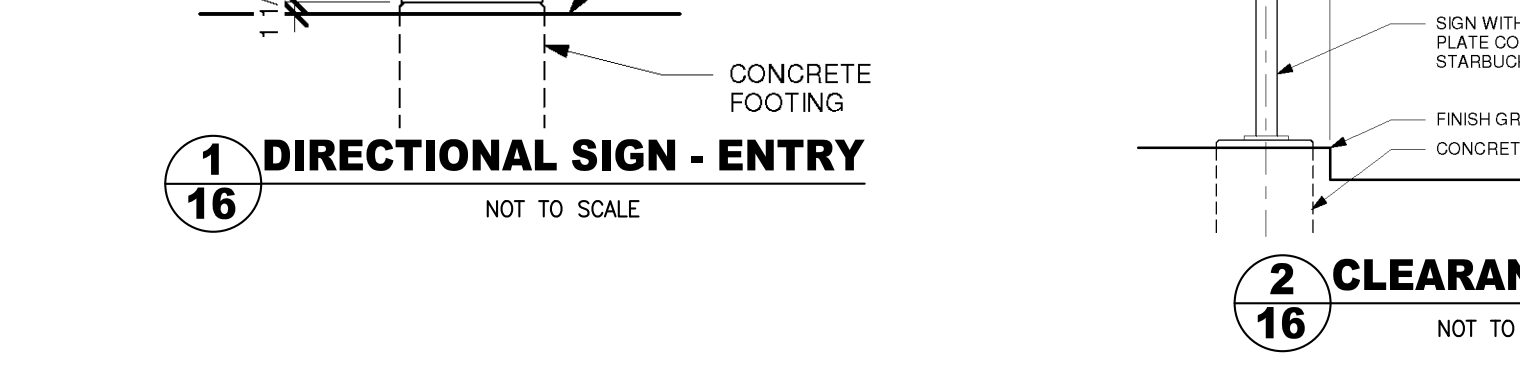
**NOTE:**  
1. ENCLOSURE GATES ARE NOT RECOMMENDED.  
2. IF ENCLOSURE GATES ARE INSTALLED, MINIMUM OPENING OF 21'-0" MUST BE PROVIDED WHEN GATES ARE OPENED. ONLY 2 GATE SYSTEMS WITH NO CENTER POST ARE ALLOWED.  
3. A MINIMUM OF 15' CLEAR SPACE SHALL BE PROVIDED FROM THE ENCLOSURE TO ANY STRUCTURE.

PROJECT: Howard County, Maryland Department of Public Works	DETAIL: SOLID WASTE Double Container Enclosure 2 Gate System
PREPARED BY: [Signature]	DATE: [Date]
SCALE: [Scale]	NO. OF SHEETS: [Number]

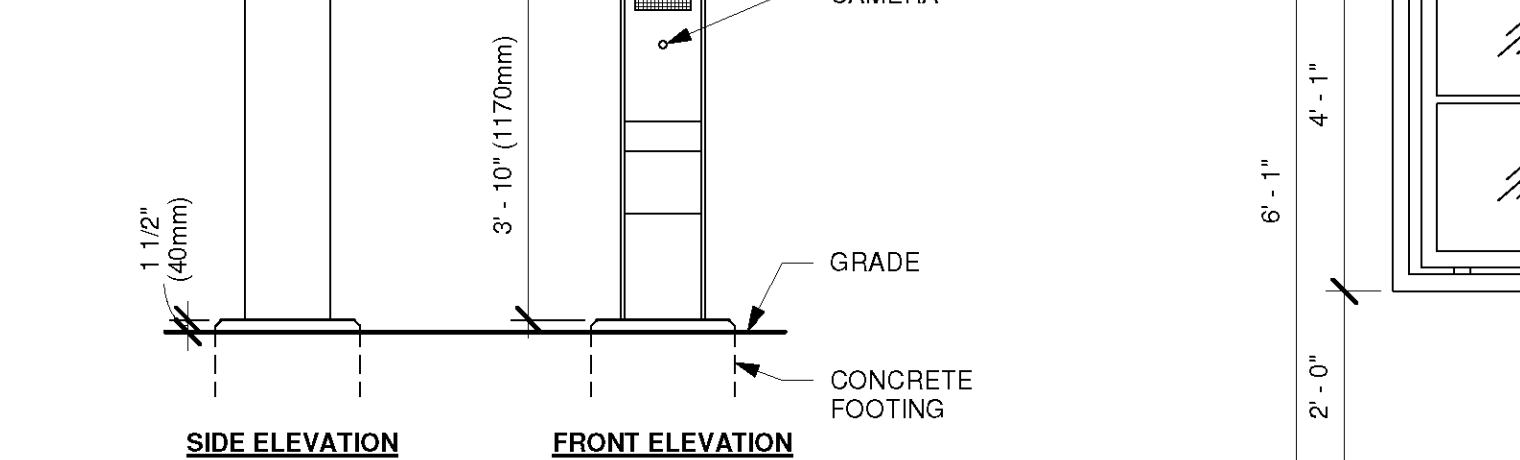


**NOTE:**  
1. DRIVE THRU SIGN SHALL BE 2'-2" HIGH WITH A 1'-0" WIDE SIGN.  
2. SIGN WITH BASE AND PLATE COVER (BY STARBUCKS).  
3. FINISH GRADE.  
4. CONCRETE FOOTING.  
5. SIGN WITH BASE AND PLATE COVER (BY STARBUCKS).  
6. FINISH GRADE.  
7. CONCRETE FOOTING.

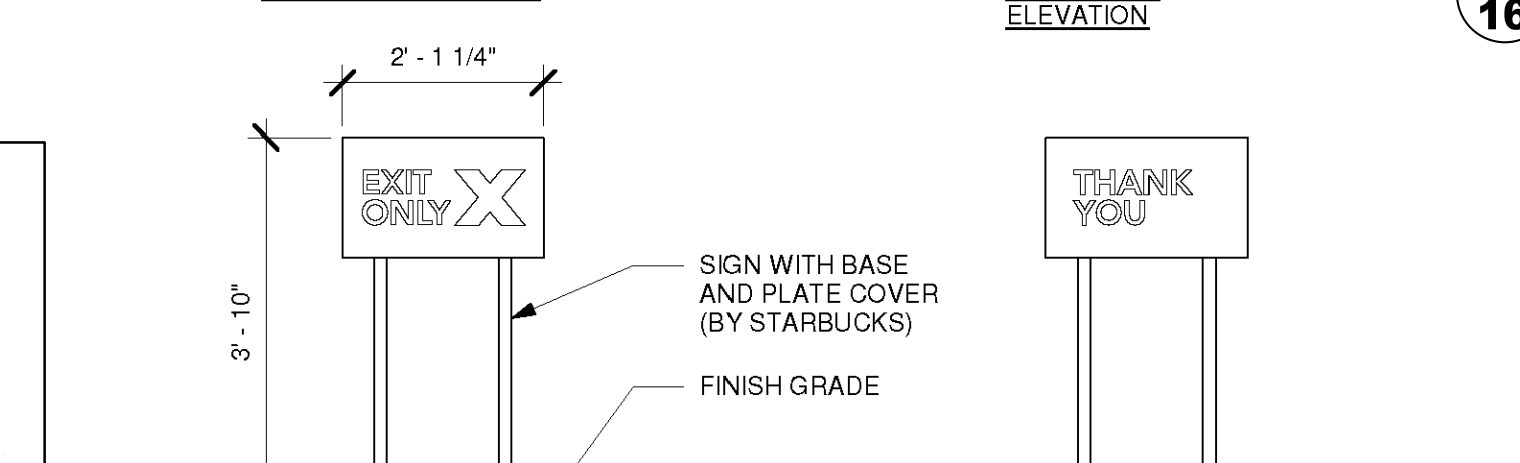
PROJECT: Howard County, Maryland Department of Public Works	DETAIL: Drive Thru Sign
PREPARED BY: [Signature]	DATE: [Date]
SCALE: [Scale]	NO. OF SHEETS: [Number]



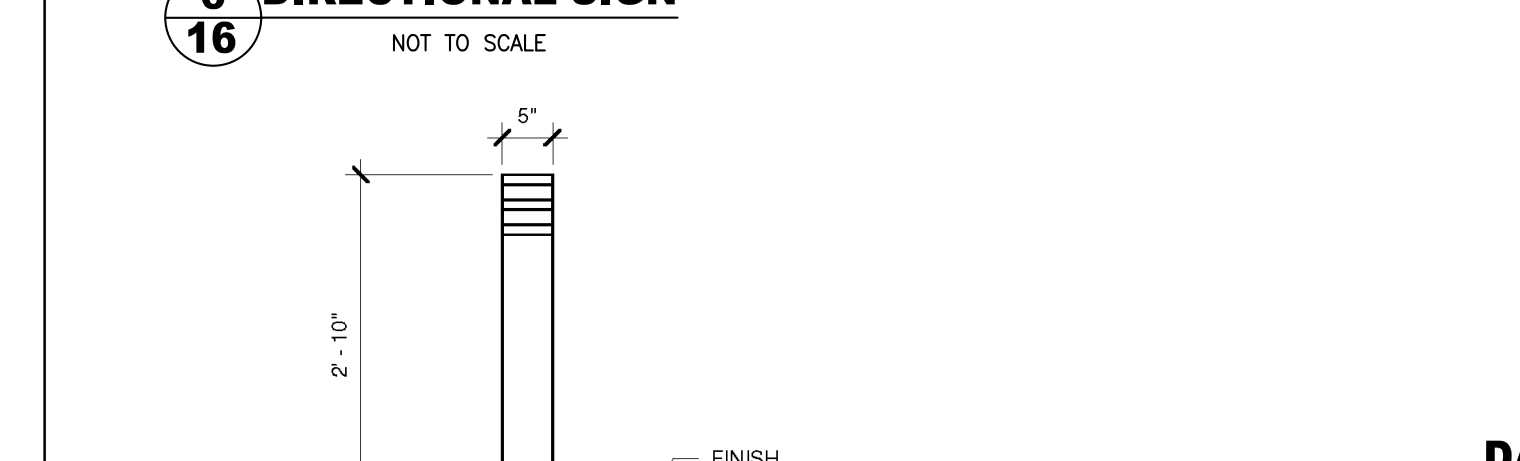
**NOTE:**  
1. DIRECTIONAL SIGN SHALL BE 2'-2" HIGH WITH A 1'-0" WIDE SIGN.  
2. SIGN WITH BASE AND PLATE COVER (BY STARBUCKS).  
3. FINISH GRADE.  
4. CONCRETE FOOTING.



**NOTE:**  
1. CLEARANCE BAR SHALL BE 6'-0" HIGH WITH A 1'-0" WIDE SIGN.  
2. SIGN WITH BASE AND PLATE COVER (BY STARBUCKS).  
3. FINISH GRADE.  
4. CONCRETE FOOTING.



**NOTE:**  
1. PRE-MENU FREESTANDING SHALL BE 6'-0" HIGH WITH A 1'-0" WIDE SIGN.  
2. SIGN WITH BASE AND PLATE COVER (BY STARBUCKS).  
3. FINISH GRADE.  
4. CONCRETE FOOTING.



**NOTE:**  
1. DRIVE-THRU SPEAKER POST SHALL BE 11'-3/4" (300mm) HIGH WITH A 1'-0" WIDE SIGN.  
2. SIGN WITH BASE AND PLATE COVER (BY STARBUCKS).  
3. FINISH GRADE.  
4. CONCRETE FOOTING.



**NOTE:**  
1. MENU 5 PANEL FREESTANDING SHALL BE 6'-0" HIGH WITH A 1'-0" WIDE SIGN.  
2. SIGN WITH BASE AND PLATE COVER (BY STARBUCKS).  
3. FINISH GRADE.  
4. CONCRETE FOOTING.

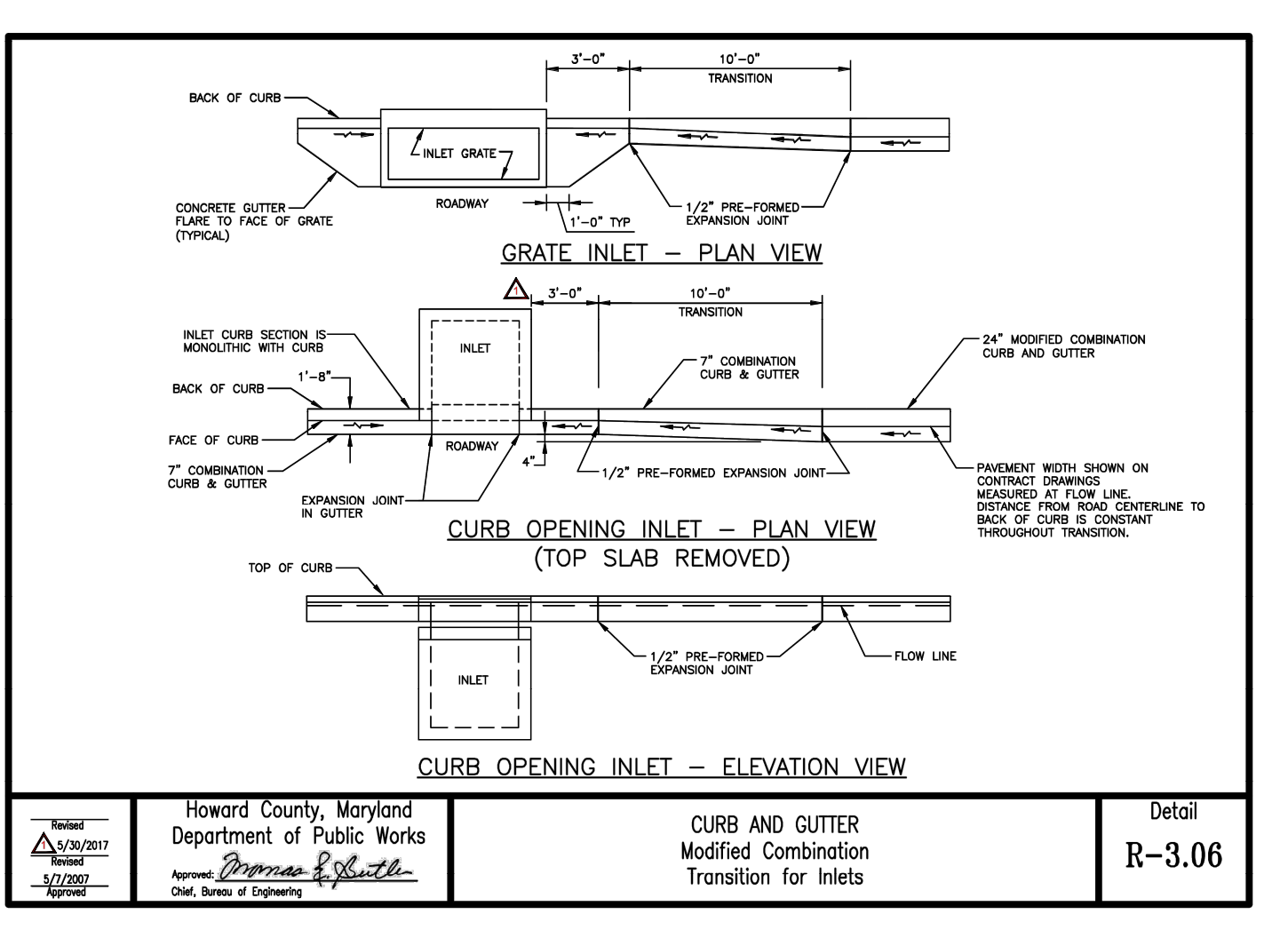


**NOTE:**  
1. DIRECTIONAL SIGN SHALL BE 2'-1 1/4" HIGH WITH A 1'-0" WIDE SIGN.  
2. SIGN WITH BASE AND PLATE COVER (BY STARBUCKS).  
3. FINISH GRADE.  
4. CONCRETE FOOTING.



**NOTE:**  
1. NON-ILLUMINATED BOLLARD SHALL BE 2'-10" HIGH WITH A 4" DIA. BOLLARD.  
2. FINISH GRADE.  
3. CONCRETE FOOTING.

PROJECT: Howard County, Maryland Department of Public Works	DETAIL: SOLID WASTE Double Container Enclosure 2 Gate System
PREPARED BY: [Signature]	DATE: [Date]
SCALE: [Scale]	NO. OF SHEETS: [Number]



**NOTE:**  
1. CURB AND GUTTER SHALL BE 4'-0" HIGH WITH A 1'-0" WIDE SIGN.  
2. SIGN WITH BASE AND PLATE COVER (BY STARBUCKS).  
3. FINISH GRADE.  
4. CONCRETE FOOTING.

PROJECT: Howard County, Maryland Department of Public Works	DETAIL: CURB AND GUTTER Modified Combination Transition for Inlets
PREPARED BY: [Signature]	DATE: [Date]
SCALE: [Scale]	NO. OF SHEETS: [Number]

APPROVED: DEPARTMENT OF PLANNING AND ZONING	
CHIEF, DEVELOPMENT ENGINEERING DIVISION	DATE
CHIEF, DIVISION OF LAND DEVELOPMENT	DATE
DIRECTOR	DATE

APPROVED PLANNING BOARD HOWARD COUNTY	
DATE	DATE

**PROFESSIONAL CERTIFICATION**  
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 38291, EXPIRATION DATE: 1/13/2022.

**MORRIS & RITCHIE ASSOCIATES, INC.**  
ENGINEERS, PLANNERS, SURVEYORS AND LANDSCAPE ARCHITECTS  
1220-C EAST JOPPA ROAD, SUITE 505  
TOWSON, MARYLAND 21286  
(410) 821-1690  
FAX (410) 821-1748  
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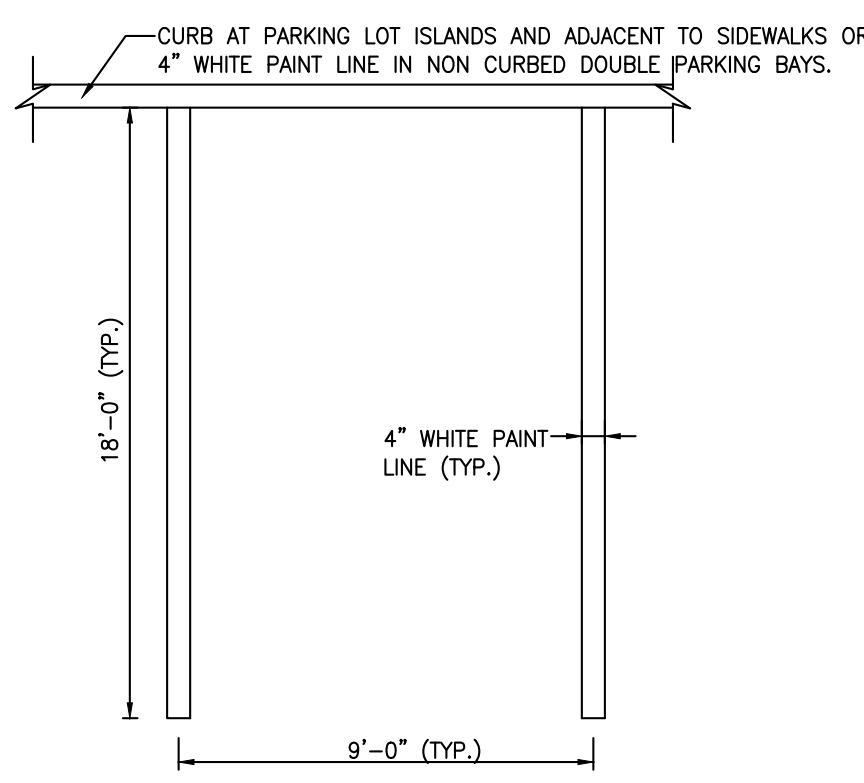
**SITE DEVELOPMENT PLAN**  
VILLAGE OF OWEN BROWN, SECTION 2,  
AREA 2, LOT D-1, SNOWDEN CROSSING  
SITE DETAILS

SHEET: 16 OF 27  
SDP-74-122

**DATUM**  
DESIGN & DRAWING BASED ON MARYLAND COORDINATE SYSTEM (MCS): HORIZONTAL NAD 83 (1991) VERTICAL NAVD 88

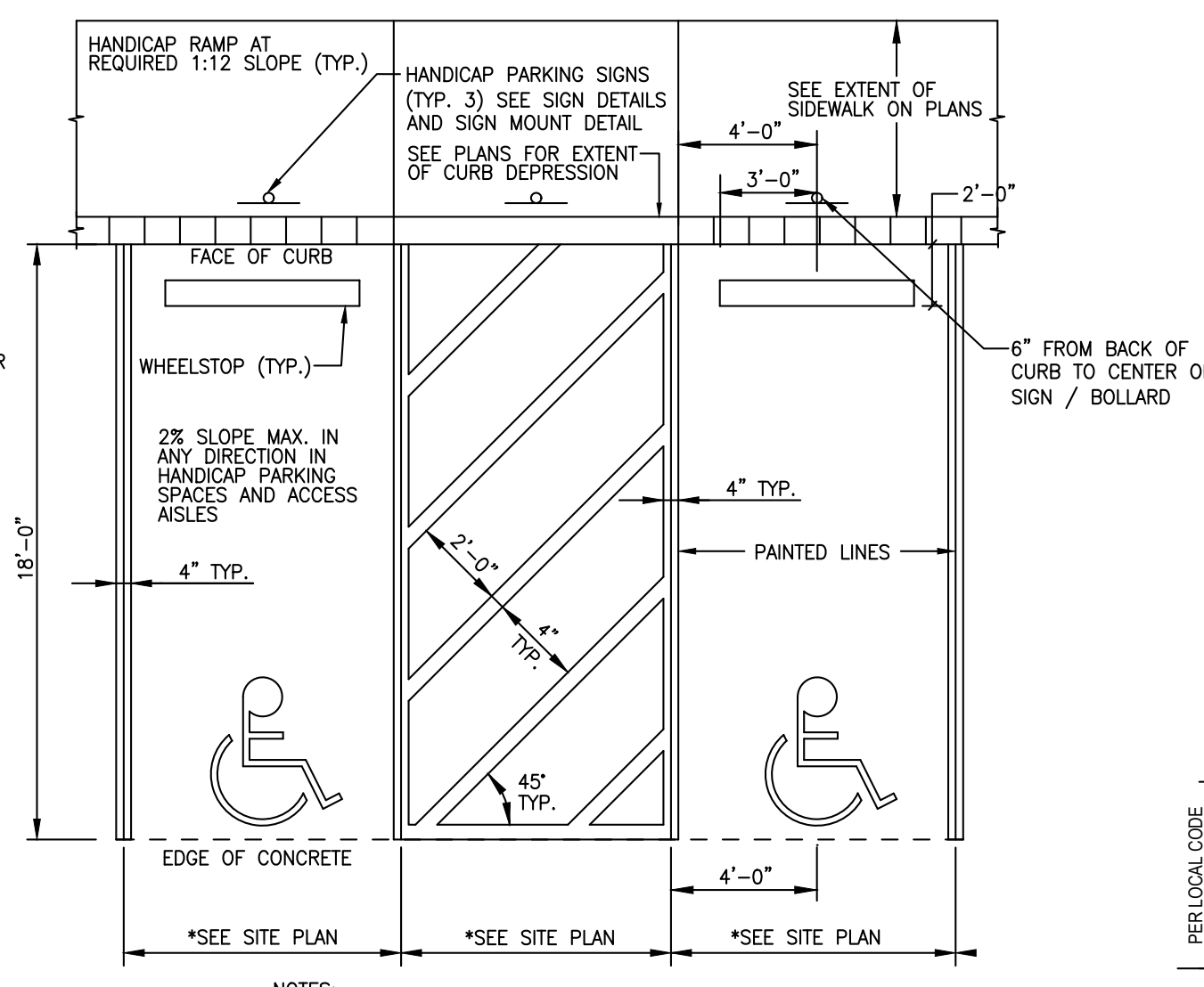
**OWNER / DEVELOPER**  
SNOWDEN CROSSING LLC  
2800 QUARRY LAKE DRIVE, SUITE 340  
BALTIMORE, MD 21229  
PHONE: 410-308-0700  
ATTN: SCOTT CHERRY

DATE	REVISIONS	JOB NO.:	19650
11/22/2019	REVISED SDP-74-122 TO INCLUDE 2100 SF ADDITION	SCALE:	NO SCALE
		DATE:	07/29/2020
		DRAWN BY:	DTP
		DESIGN BY:	THS
		REVIEW BY:	THS
		SHEET:	16 OF 27



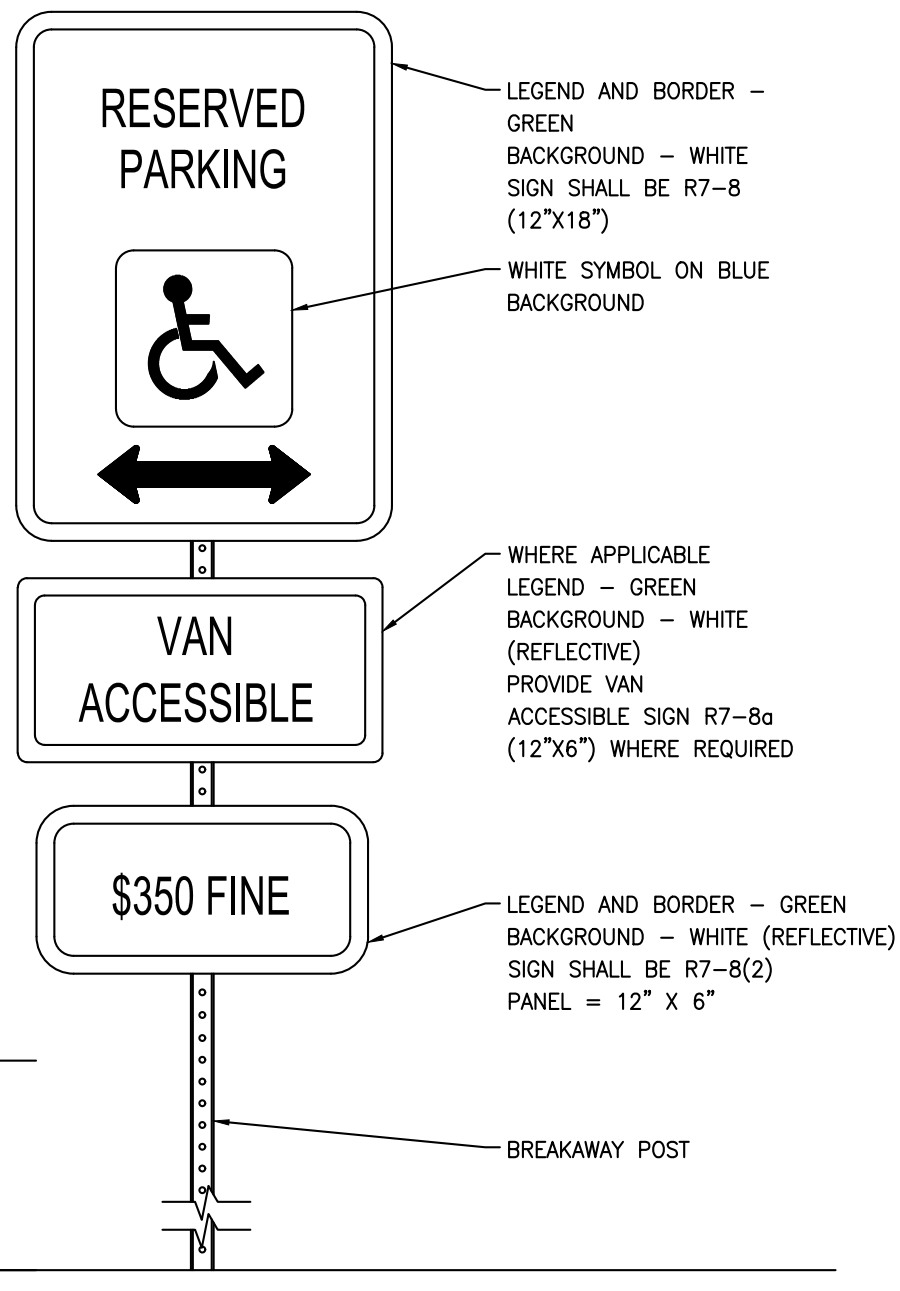
NOTES:  
1. PROVIDE 2 COATS OF PAINT ON ALL SITE STRIPING.  
2. SEE SITE PLAN FOR ACTUAL SPACE LOCATION AND DIMENSIONS.

**TYPICAL PARKING SPACE DETAIL**  
NOT TO SCALE



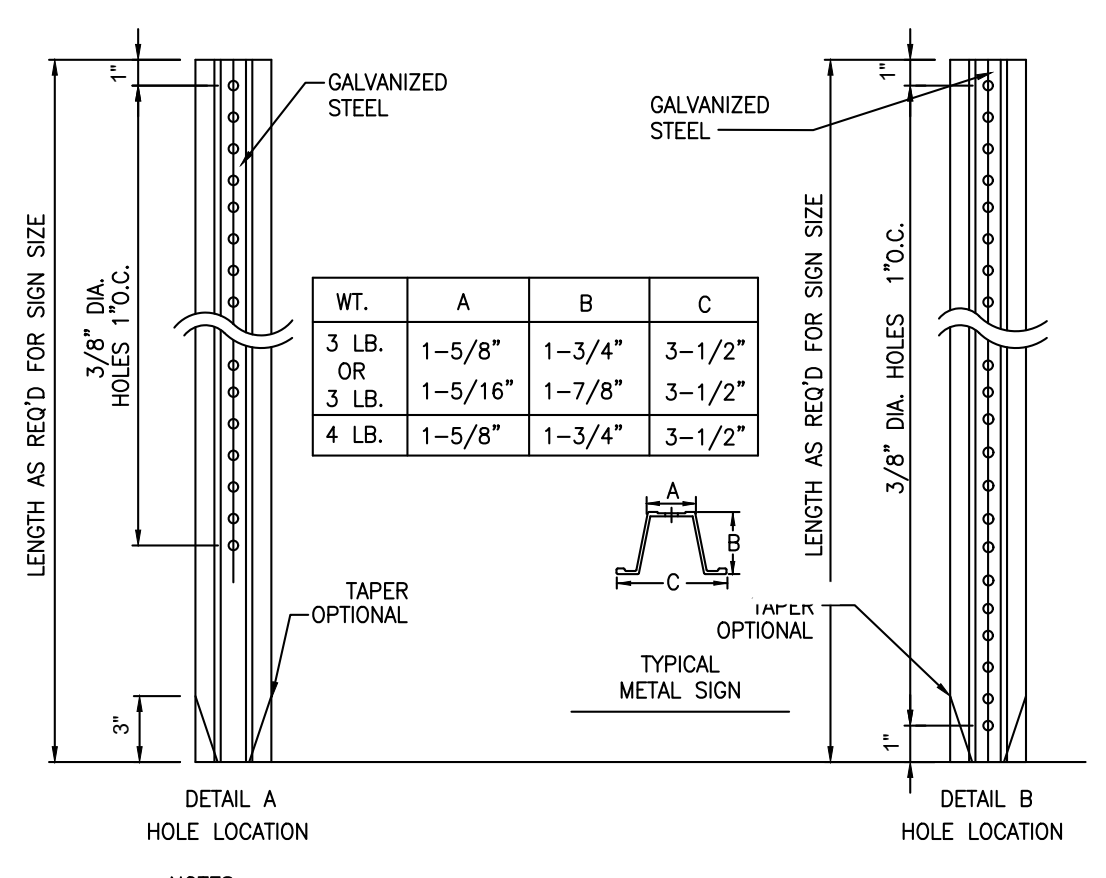
NOTES:  
1. PAINT TO BE WHITE TRAFFIC PAINT APPLIED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. TWO (2) COATS REQUIRED.  
2. CONCRETE PARKING SPOT REGION IS TO BE POURED MONOLITHICALLY WITH CONCRETE CURB AND GUTTER.

**HANDICAP PARKING & STRIPING DETAIL**  
NOT TO SCALE



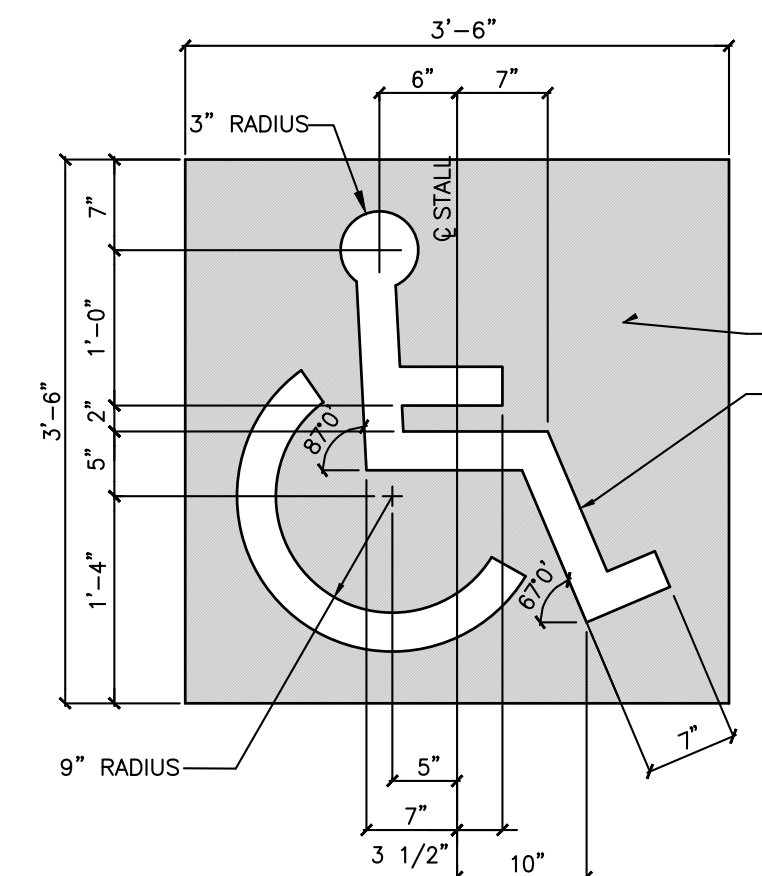
NOTES:  
1. SIGNS SHALL MEET THE REQUIREMENTS OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.  
2. SIGNS ATTACHED WITH ACORN NUT TYPE FASTENERS.

**HANDICAP PARKING SIGN DETAIL**  
AS SHOWN



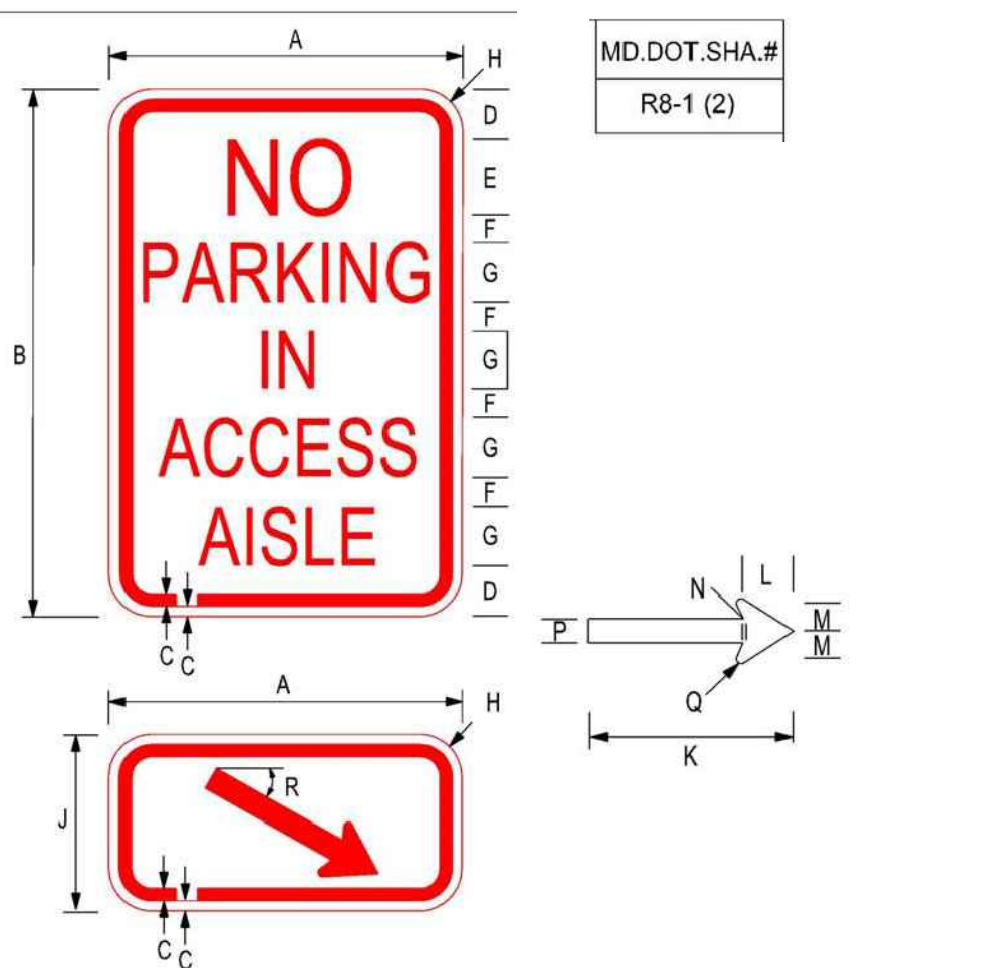
NOTES:  
1. STEEL FOR POSTS SHALL CONFORM TO THE MECHANICAL REQUIREMENTS OF ASTM A 499-81 GRADE 60 AND TO THE CHEMICAL REQUIREMENTS OF ASTM A1-76 CARBON STEEL TEE RAIL HAVING NOMINAL WEIGHT OF 3 LB. OR GREATER PER LINEAR FOOT.  
2. AFTER FABRICATION ALL STEEL POSTS SHALL BE GALVANIZED TO MEET THE REQUIREMENTS OF ASTM A-123.  
3. SIGN MOUNTING HEIGHT TO BE PER MUTCD REQUIREMENTS.  
4. ALL SIGN POSTS SHALL HAVE "BREAK AWAY" FEATURES THAT MEET AASHTO REQUIREMENTS CONTAINED IN "STANDARD SPECIFICATIONS FOR STRUCTURAL SUPPORTS FOR HIGHWAY SIGNS, LUMINAIRES AND TRAFFIC SIGNALS". THE "BREAK AWAY" FEATURES SHALL BE STRUCTURALLY ADEQUATE TO CARRY THE SIGN SHOWN ON THE PLANS AT 60 MPH WIND LOADINGS. INSTALLATIONS SHALL BE IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS.

**TYPICAL METAL SIGN POST DETAIL**  
NOT TO SCALE



NOTE: PROVIDE AT EACH H.C. PARKING STALL PAINTED BLUE BACKGROUND (TYP.) 3" W. PAINTED STRIPE TRAFFIC LINE WHITE TYP.

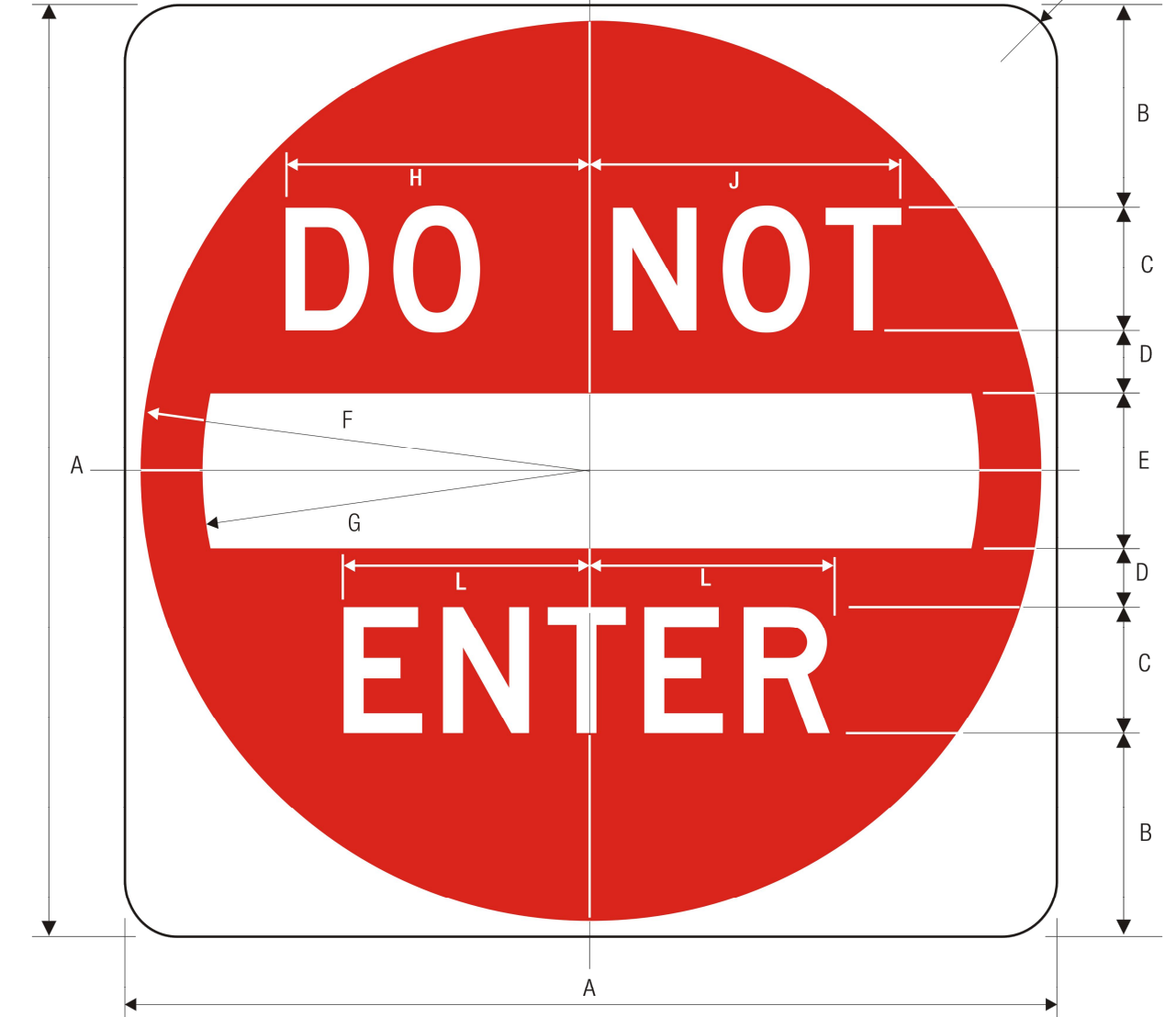
**HANDICAP SYMBOL**  
NOT TO SCALE



NOTE: ARROW MAY BE MODIFIED AS NECESSARY TO ACCOMMODATE LOCATION ACCESS RAMP

SIGN SIZE	A	B	C	D	E	F	G	H	J	K
STANDARD	12	18	3/8	1-1/2	2-1/4	.825	2C	1-1/2	E	6-1/2

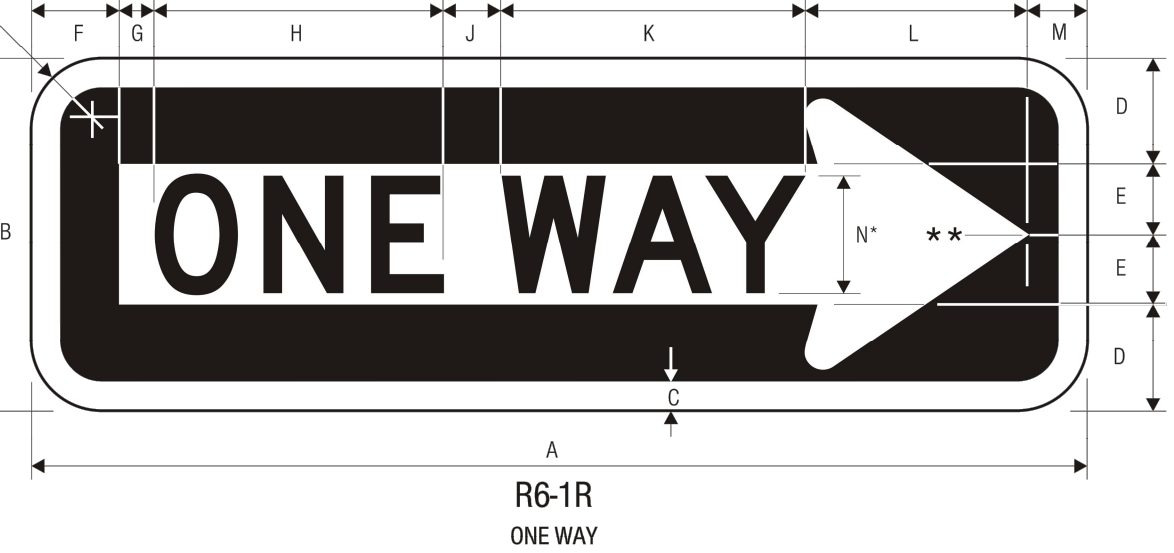
REFERENCES: MUTCD SECTION 2B.3P.2B.4B.2B.4L.2B.5B.7B.14  
COLORS: LEGEND & BORDER - RED; RED SYMBOL ON WHITE BACKGROUND



**R5-1 DO NOT ENTER**

REFERENCES: MUTCD SECTION 2B.3P.2B.4B.2B.4L.2B.5B.7B.14  
COLORS: SYMBOL - RED (RETROREFLECTIVE); LEGEND & BACKGROUND - WHITE (RETROREFLECTIVE)

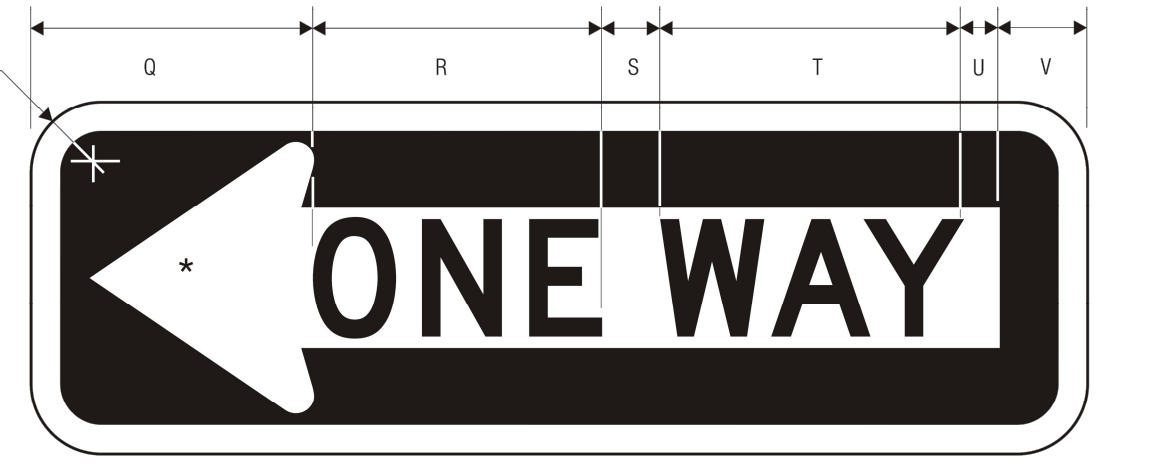
1-73



**R6-1R ONE WAY**

REFERENCES: MUTCD SECTION 2B.3P.2B.4B.2B.4L.2B.5B.7B.14  
COLORS: LEGEND - BLACK; BACKGROUND - BLACK; ARROW - WHITE (RETROREFLECTIVE)

1-86



**R6-1L ONE WAY**

REFERENCES: MUTCD SECTION 2B.3P.2B.4B.2B.4L.2B.5B.7B.14  
COLORS: LEGEND - BLACK; BACKGROUND - BLACK; ARROW - WHITE (RETROREFLECTIVE)



**R7-5 NO PARKING**

REFERENCES: MUTCD SECTION 2B.3P.2B.4B.2B.4L.2B.5B.7B.14  
LEGEND - GREEN (RETROREFL); BACKGROUND - WHITE (RETROREFL)

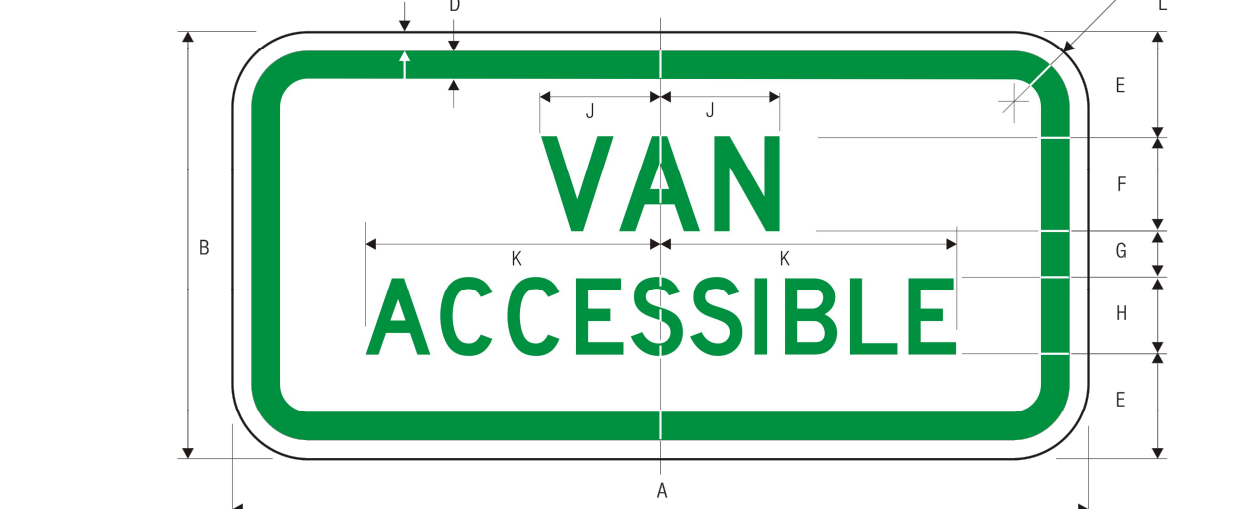
04/14/05



**R7-6 NO PARKING**

REFERENCES: MUTCD SECTION 2B.3P.2B.4B.2B.4L.2B.5B.7B.14  
LEGEND - RED (RETROREFL); BACKGROUND - WHITE (RETROREFL)

1-92



**R7-8a VAN ACCESSIBLE**

REFERENCES: MUTCD SECTION 2B.3P.2B.4B.2B.4L.2B.5B.7B.14  
LEGEND - GREEN (RETROREFLECTIVE) OR BLACK; BACKGROUND - WHITE (RETROREFLECTIVE)



**R7-8b VAN ACCESSIBLE**

REFERENCES: MUTCD SECTION 2B.3P.2B.4B.2B.4L.2B.5B.7B.14  
LEGEND - WHITE (RETROREFLECTIVE); BACKGROUND - BLUE (RETROREFLECTIVE)

**PROFESSIONAL CERTIFICATION**

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 38291, EXPIRATION DATE: 1/13/2022.



**MORRIS & RITCHIE ASSOCIATES, INC.**  
ENGINEERS, PLANNERS, SURVEYORS AND LANDSCAPE ARCHITECTS  
1220-C EAST JOPPA ROAD, SUITE 505  
TOWSON, MARYLAND 21286  
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FAX (410) 821-1748  
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**SITE DEVELOPMENT PLAN**  
**VILLAGE OF OWEN BROWN, SECTION 2,**  
**AREA 2, LOT D-1, SNOWDEN CROSSING**  
SITE DETAILS

SDP-74-122  
TAX MAP 42 -- GRID 04 -- PARCEL 0397 -- ZONING NT -- DEED REF 17342/229  
PLAT NO. 2741 -- TAX ASSESSMENT DISTRICT 82 -- 6th ELECTION DISTRICT  
7090 DEEPADE DRIVE, HOWARD COUNTY, MARYLAND, 21045

DATE	REVISIONS	JOB NO.:	19650
11/22/2019	REVISED SDP-74-122 TO INCLUDE 2100 SF ADDITION	SCALE:	NO SCALE
		DATE:	07/29/2020
		DRAWN BY:	DTP
		DESIGN BY:	THS
		REVIEW BY:	THS
		SHEET:	17 OF 27

**DATUM**

DESIGN & DRAWING BASED ON MARYLAND COORDINATE SYSTEM (MCS): HORIZONTAL NAD 83 (1991) VERTICAL NAVD 88

**OWNER / DEVELOPER**

SNOWDEN CROSSING LLC  
2800 QUARRY LAKE DRIVE, SUITE 340  
BALTIMORE, MD 21209  
PHONE: 410-308-0700  
ATTN: SCOTT CHERRY

APPROVED: DEPARTMENT OF PLANNING AND ZONING

CHIEF, DEVELOPMENT ENGINEERING DIVISION	DATE
CHIEF, DIVISION OF LAND DEVELOPMENT	DATE
DIRECTOR	DATE

APPROVED  
PLANNING BOARD HOWARD COUNTY  
DATE

PERIMETER LANDSCAPE EDGE

Table with 4 columns: CATEGORY, P-3 ADJACENT TO ROADWAY: SIDE BUILDING, P-4 ADJACENT TO ROADWAY: REAR BUILDING, P-5 ADJACENT TO COMMERCIAL LOT. Rows include Landscape Type, Linear Feet of Perimeter, Credit for Existing Vegetation, and Number of Plants Required/Provided.

NOTES: \*-(1) EVERGREEN TREE IS CREDITED FOR P-1 IS LOCATED IN SECTION P-2. \*B- THERE ARE (14) SHRUBS THAT EXCEEDED THE PLANTING REQUIREMENTS FOR P-3.

Perimeter Landscaping Plant Schedule (See P-3) table listing plant species like Emerald Green Arborvitae, Common Name, Size, Spacing, and Note.

Perimeter Landscaping Plant Schedule (See P-4) table listing plant species like Willow Oak, Common Name, Size, Spacing, and Note.

Perimeter Landscaping Plant Schedule (See P-5) table listing plant species like American Linden, Common Name, Size, Spacing, and Note.

STORMWATER LANDSCAPING

STORMWATER MANAGEMENT AREA LANDSCAPING (P-7)

Table with 2 columns: CATEGORY, STORMWATER MANAGEMENT AREA LANDSCAPING. Rows include Landscape Type, Linear Feet of Perimeter, Number of Trees Required, and Number of Plants Provided.

Stormwater Management Area Plant Schedule (See P-7) table listing plant species like Switchgrass, Common Name, Size, Spacing, and Note.

STREET TREE LANDSCAPING

STREET TREES (P-8 & P-9)

Table with 3 columns: CATEGORY, P-8 STREET TREES, P-9 STREET TREES. Rows include Landscape Type, Linear Feet of Perimeter, Credit for Existing Vegetation, and Number of Plants Provided.

Street Tree Plant Schedule (See P-8) table listing plant species like London Plane Tree, Common Name, Size, Spacing, and Note.

Street Tree Plant Schedule (See P-9) table listing plant species like Flowering Dogwood, Common Name, Size, Spacing, and Note.

NOTES: \*C- REQUESTING TO PROVIDE A PLANTING UNITS TOWARDS THE REQUIRED S SHADE TREES AS PART OF THE STREET TREE REQUIREMENT DUE TO EXISTING UTILITIES AND CONDITIONS ALONG CARVER STONE ROAD.

Additional Landscaping Plant Schedule table listing plant species like Nellye R. Stevens Holly, Common Name, Size, Spacing, and Note.

DEVELOPER'S/OWNER'S LANDSCAPE CERTIFICATE. I/We certify that the landscaping shown on this plan will be done according to the plan, Section 16.124 of the Howard County Code and the Landscape Manual.

APPROVED: DEPARTMENT OF PLANNING AND ZONING. CHIEF, DEVELOPMENT ENGINEERING DIVISION, DATE. CHIEF, DIVISION OF LAND DEVELOPMENT, DATE. DIRECTOR, DATE.

PARKING LOT LANDSCAPING

PARKING ADJACENT TO NON-RESIDENTIAL (P-6)

Table with 2 columns: CATEGORY, P-6 PARKING LOT LANDSCAPING. Rows include Landscape Type, Linear Feet of Perimeter, Credit for Existing Vegetation, and Number of Plants Provided.

Parking Lot Landscaping Plant Schedule (See P-6) table listing plant species like Nellye R. Stevens Holly, Common Name, Size, Spacing, and Note.

Parking Lot Interior Landscaping table listing plant species like Flowering Dogwood, Common Name, Size, Spacing, and Note.

\* THE REQUIRED PLANTING UNITS ARE LOCATED TO THE NORTH AND SOUTH ADJACENT TO THE PARKING LOT STALLS.

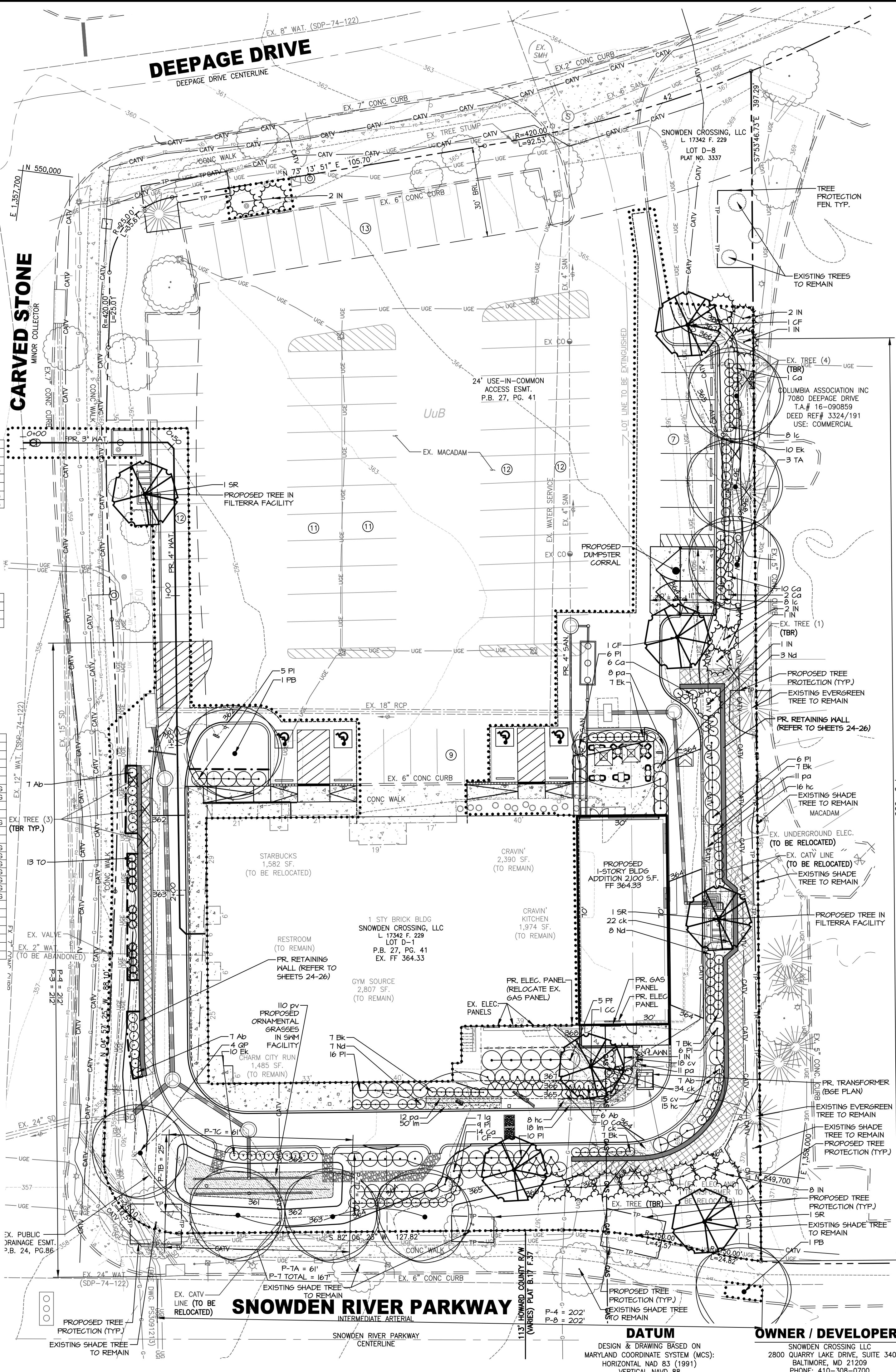
SITE INTERNAL LANDSCAPING

Internal Landscaping Plant Schedule table listing various plant species like Bloodgood, Common Name, Size, Spacing, and Note.

ADDITIONAL LANDSCAPING

Additional Landscaping Plant Schedule table listing plant species like Nellye R. Stevens Holly, Common Name, Size, Spacing, and Note.

APPROVED: PLANNING BOARD HOWARD COUNTY. DATE.



LEGEND

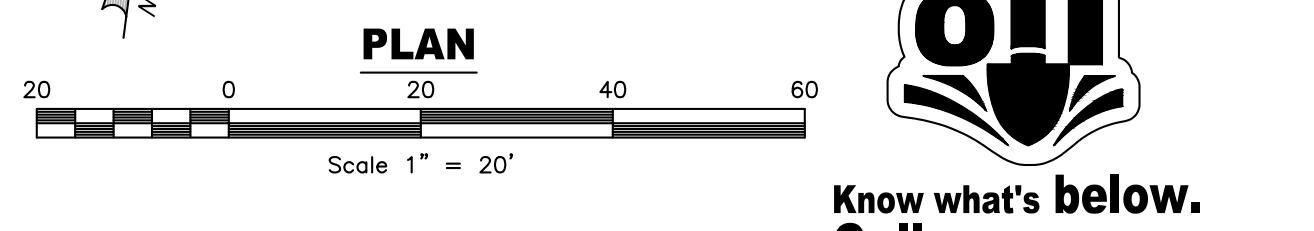
- EX. 1 FOOT CONTOURS, EX. 2 FOOT CONTOURS, EX. 10 FOOT CONTOURS, EX. EDGE OF PAVEMENT, EX. CURB AND GUTTER, EX. CONCRETE, EX. C/L ROAD, EX. ZONING LINE, EX. ADJACENT PROPERTY LINE, EX. PROPERTY LINE, EX. RIGHT OF WAY, EX. WATER LINE, EX. SANITARY LINE, EX. STORM DRAIN LINE, EX. FIBER OPTIC CABLE, EX. GAS, EX. UNKNOWN UTILITY, EX. UNDER GROUND ELECTRIC, EX. GROUND LIGHT, EX. U/G UTILITY HANDBOX, EX. UTILITY POLE, EX. SIGN, EX. BOLLARD, EX. SLOPE GREATER THAN 15%, EX. TREE, EX. STUMP, EX. BUILDING/STRUCTURE, EX. BLOCK RETAINING WALL, PR. LIMIT OF DISTURBANCE, PR. 1 FT. CONTOUR, PR. 2 FT. CONTOUR, PR. 10 FT. CONTOUR, PR. BUILDING, PR. CONCRETE WALK, PR. CURB & GUTTER, PR. WATER LINE, PR. SANITARY SEWER, PR. STORM DRAIN, PR. FILTERRA, TREE PROTECTION FENCE, TREE PROTECTION FENCE, PROP. MAJOR TREE, PROP. FLOWERING TREE, PROP. EVERGREEN TREE, PROP. SHRUB, TREE TO BE REMOVED, PROP. GROUNDCOVER.

ADDRESS CHART table listing Lot / Parcel #, Street Address, and Acreage for lots 0397 and 0399.

PERMIT INFORMATION CHART table listing Address, Tax Account No., and Plat No. for parcel 0397.

SOILS LEGEND table listing Symbol, Name/Description, and Soil Type for UUB.

- NOTE: (2) ORNAMENTAL TREES (SR) ARE LOCATED IN FILTERRA FACILITIES ON THE SITE. THERE ARE (110) ORNAMENTAL GRASSES LOCATED AT THE BOTTOM OF THE STORMWATER MANAGEMENT FACILITY. (3) THE CORRECTNESS OR COMPLETENESS OF EXISTING INFORMATION SHOWN ON THE DRAWINGS IS NOT WARRANTED OR GUARANTEED. THE CONTRACTOR SHALL VERIFY THE LOCATION OF UTILITIES AND UNDERGROUND FACILITIES, BY TEST PITS OR OTHER METHODS APPROVED BY THE OWNER'S REPRESENTATIVE, AND AS REQUIRED TO VERIFY EXACT LOCATIONS AND DEPTHS WITH THE LIMIT OF DISTURBANCE. ALL DISCREPANCIES BETWEEN INFORMATION SHOWN ON THE DRAWINGS AND THAT VERIFIED IN THE FIELD SHALL BE REPORTED TO THE OWNER'S REPRESENTATIVE PRIOR TO BEGINNING OF WORK. (4) THE LANDSCAPING SHOWN ON THE LANDSCAPE PLANS WILL BE INSTALLED BY THE DEVELOPER.



PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 3787, EXPIRATION DATE: 06/30/2022.

MORRIS & RITCHIE ASSOCIATES, INC. ENGINEERS, PLANNERS, SURVEYORS AND LANDSCAPE ARCHITECTS. 1220-C EAST JOPPA ROAD, SUITE 505 TOWSON, MARYLAND 21286. (410) 821-1690 FAX (410) 821-1748 Copyright 2020 Morris & Ritchie Associates, Inc.

SITE DEVELOPMENT PLAN VILLAGE OF OWEN BROWN, SECTION 2, AREA 2, LOT D-1, SNOWDEN CROSSING LANDSCAPE PLAN. MRA LANDSCAPE ARCHITECTS logo and project details.



PLANTING NOTES

- 1. THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE...
2. THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE...
3. CONTRACTOR SHALL CONTACT 'MISS UTILITY' 811 AND SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES...
4. PROVIDE ROOT BARRIER ALONG NEAR EDGE OF SIDEWALK / UTILITY INSTALLATION...
5. THE CORRECTNESS OR COMPLETENESS OF EXISTING INFORMATION SHOWN ON THE DRAWINGS IS NOT WARRANTED OR GUARANTEED...
6. FOR ALL PLANTING AREAS LOCATED IN STORM WATER MANAGEMENT FACILITIES CONTRACTOR SHALL INSTALL PLANTS IN PERMEABLE SOIL...
7. FOR SEEDING TYPES AND LOCATIONS REFER TO E&S DRAWINGS.
8. FOR ALL FENCING DETAILS AND INSTALLATION AROUND STORMWATER MANAGEMENT FACILITIES REFER TO SWM PLANS.
9. ALL AREAS, WITH THE EXCEPTION OF STORMWATER MANAGEMENT FACILITIES, NOT SPECIFIED TO BE PLANTED WITH TREES, SHRUBS OR GROUNDCOVER SHALL BE PLANTED WITH SEED AND MULCH.
10. THE SOIL SHALL BE A UNIFORM MIX, FREE OF STONES, STUMPS, ROOTS OR OTHER SIMILAR OBJECTS LARGER THAN TWO INCHES...
11. THE CONTRACTOR SHALL DISPOSE OF STUMPS AND MAJOR ROOTS OF ALL PLANTS TO BE REMOVED...

TREE PROTECTION NOTES

- 1. TREE PROTECTION: TREE PROTECTION AREAS AS SHOWN ON THIS PLAN SHALL BE IDENTIFIED ALONG THE LOD BOUNDARIES WITH ORANGE MESH FENCE AS SPECIFIED IN DETAILS INCLUDED ON THIS SHEET...
2. STANDARD NON-DISTURBANCE NOTES: NO EQUIPMENT, VEHICLES, MACHINERY, DUMPING, STORAGE, STOCKPILES, PARKING AREAS, EQUIPMENT CLEANING AREAS, ETC. OR OTHER CONSTRUCTION ACTIVITIES...
3. SEQUENCE OF CONSTRUCTION: A. TREE PROTECTIVE AND SEDIMENT CONTROL DEVICES SHALL BE INSTALLED...
4. TEMPORARY PROTECTION DURING CONSTRUCTION: AVOID INJURING ROOTS WHEN INSTALLING ANCHOR POSTS...
5. CONSTRUCTION PHASE MONITORING: SOIL COMPACTION, ROOT INJURY, TRUNK WOUNDS, LIMB INJURY, FLOODED CONDITIONS, DROUGHT CONDITIONS...
6. POST-CONSTRUCTION PHASE: FERTILIZING, WATERING, MULCHING, REPAIR OF TREE DAMAGE, REPAIR OF DEAD LIMBS, REMOVAL OF TEMPORARY TREE PROTECTION STRUCTURES, ON-SITE INSPECTION BY APPROVING AUTHORITY

PLANTING SPECIFICATIONS AND NOTES

- 1. LANDSCAPE DRAWINGS ARE FOR LANDSCAPING INFORMATION ONLY. REFER TO SITE PLAN, UTILITY PLAN, SEDIMENT AND EROSION CONTROL PLANS FOR ALL OTHER INFORMATION...
2. COORDINATE PLANT MATERIAL LOCATION WITH SITE UTILITIES. UTILITY LOCATIONS ARE APPROXIMATE...
3. ALL EQUIPMENT AND TOOLS SHALL BE PLACED SO AS NOT TO INTERFERE OR HINDER THE PEDESTRIAN AND VEHICULAR TRAFFIC FLOW...
4. CONTRACTOR SHALL COORDINATE WITH LIGHTING AND IRRIGATION CONTRACTORS REGARDING TIMING OF INSTALLATION...
5. THE CONTRACTOR SHALL INSURE ADEQUATE VERTICAL DRAINAGE IN ALL PLANT BEDS AND PLANTERS...
6. EVERY POSSIBLE SAFEGUARD SHALL BE TAKEN TO PROTECT BUILDING SURFACES, EQUIPMENT, AND FURNISHING...
7. THE GENERAL CONTRACTOR IS REQUIRED TO MAKE SURE THAT ANY SOIL STABILIZATION MATERIALS/CONSTRUCTION DEBRIS ETC. IS REMOVED...
8. THE CONTRACTOR SHALL TAKE ALL MATERIAL LOCATED ON THE SITE FOR REVIEW AND/OR ADJUSTMENT...
9. PLANTS SHALL CONFORM TO CURRENT 'AMERICAN STANDARDS FOR NURSERY STOCK' BY LATEST EDITION OF ANSI Z60.1...
10. QUANTITIES OF TREES, EVERGREENS, SHRUBS AND GROUNDCOVER NOTED ON THE PLANT LIST ARE BASED UPON THE GRAPHIC SYMBOLS...
11. THE LANDSCAPE ARCHITECT OR OWNER SHALL HAVE THE RIGHT, AT ANY STAGE OF THE OPERATIONS, TO REJECT ANY AND ALL WORK...
12. UPON COMPLETION OF ALL LANDSCAPING, AN ACCEPTANCE OF THE WORK SHALL BE HELD...
13. THE CONTRACTOR IS RESPONSIBLE FOR TESTING PROJECT SOILS...
14. THE CONTRACTOR SHALL DISPOSE OF STUMPS AND MAJOR ROOTS OF ALL PLANTS TO BE REMOVED...
15. ALL PROPOSED TREES TO BE INSTALLED EITHER ENTIRELY IN OR ENTIRELY OUT OF PLANTING BEDS...
16. CONTRACTOR SHALL SLIGHTLY ADJUST PLANT LOCATIONS IN THE FIELD AS NECESSARY TO BE CLEAR OF DRAINAGE SWALES AND UTILITIES...
17. TREES AND SHRUBS SHALL BE PLANTED DURING ACCEPTABLE PLANTING SEASONS...
18. ALL PLANT BEDS SHALL BE TOP DRESSED WITH A MINIMUM 2" AND A MAXIMUM OF 3" LAYER OF MULCH...
19. ALL PLANTING BEDS ADJACENT TO LAWN, SOD, OR SEEDED AREAS SHALL BE SPADE EDGED...
20. WHERE THE CONDITION EXISTS THAT BALLED AND BURLAPPED TREES ARE DELIVERED IN WIRE BASKETS...
21. ALL AREAS NOT COVERED BY PAVING, PLANTING BEDS, OR SPECIFIED OTHERWISE ON THE LANDSCAPE PLAN SHALL BE PLANTED WITH SOD OR AS NOTED ON THE EROSION AND SEDIMENT CONTROL PLANS...
22. PLANTING SOIL MIX: PLANTING MIX SHALL BE PREPARED AT APPROVED ON-SITE STAGING AREA USING APPROVED ON-SITE EXISTING SOIL...
23. EXISTING SOIL IN BED AREAS SHALL BE REMOVED...
24. SOIL TO BE AMENDED TO A DEPTH OF 12" MIX MINIMUM THE LANDSCAPE CONTRACTOR SHALL MIX TOPSOIL WITH EXISTING SURFACE SOILS...
25. ALL PLANT MATERIAL SHALL BE GUARANTEED BY THE PROPERTY OWNER OR INSTALLER FOR 12 MONTHS AFTER FINAL INSPECTION...
26. THE CONTRACTOR SHALL DISPOSE OF STUMPS AND MAJOR ROOTS OF ALL PLANTS TO BE REMOVED...
27. THE CONTRACTOR SHALL BE RESPONSIBLE FOR STABILITY AND CONDITIONS OF ALL TREES AND SHRUBS...
28. ALL PLANT MATERIAL SHALL BE GUARANTEED BY THE PROPERTY OWNER OR INSTALLER FOR 12 MONTHS AFTER FINAL INSPECTION...
29. UPON COMPLETION OF ALL LANDSCAPING, AN ACCEPTANCE OF THE WORK SHALL BE HELD...
30. THE CONTRACTOR IS RESPONSIBLE FOR TESTING PROJECT SOILS...
31. SOD: HARVEST AND HANDLE SOD ACCORDING TO THE REQUIREMENTS OF THE TURF GRASS PRODUCERS INTERNATIONAL 'GUIDELINES AND SPECIFICATIONS TO TURF GRASS SODDING'...

TREE REQUIREMENTS (COLUMBIA OFFICE AND COMMERCIAL DESIGN GUIDELINES)

Table with 2 columns: Category (e.g., NUMBER OF ACRES OF DEVELOPMENT, TREES REQUIRED PER GROSS ACRE) and Value (e.g., 0.7, 24, 17).

DEVELOPER'S/OWNER'S LANDSCAPE CERTIFICATE

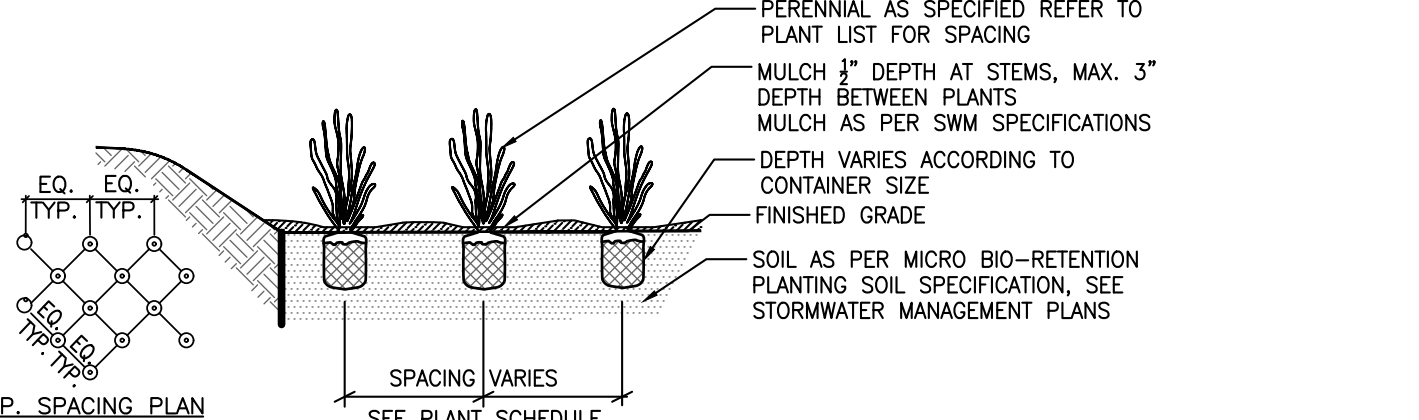
I/We certify that the landscaping shown on this plan will be done according to the plan, Section 16.124 of the Howard County Code and the Landscape Manual...
Signature: Snowden Crossing LLC, Scott Almy

APPROVED: DEPARTMENT OF PLANNING AND ZONING
CHIEF, DEVELOPMENT ENGINEERING DIVISION
CHIEF, DIVISION OF LAND DEVELOPMENT
DIRECTOR

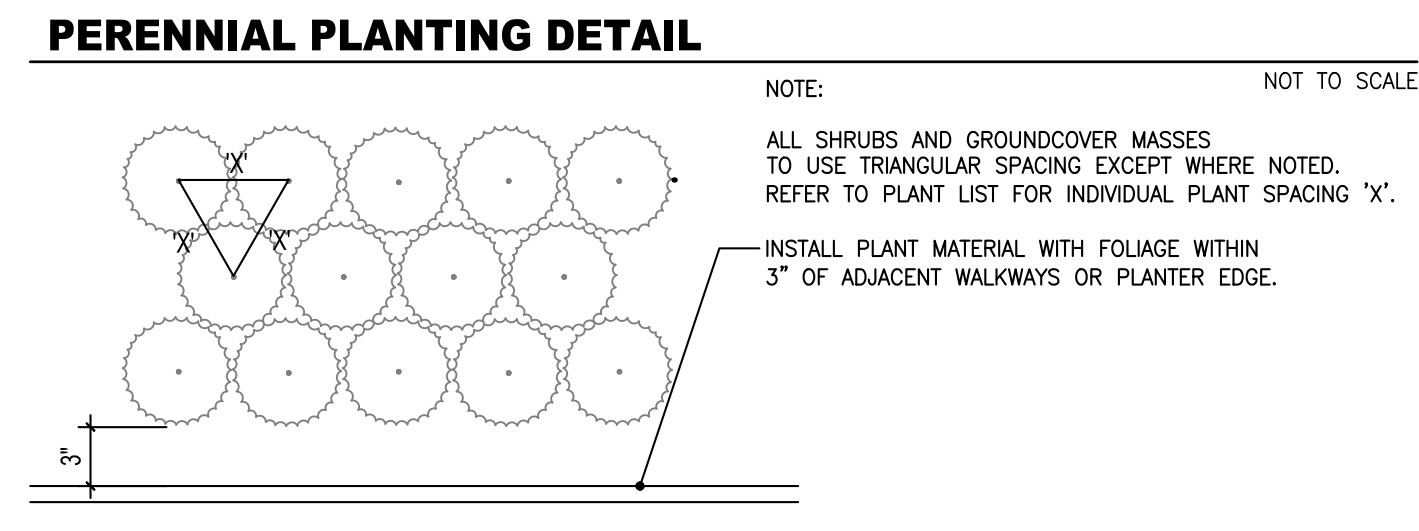
APPROVED PLANNING BOARD HOWARD COUNTY
DATE

PLANTING SPECIFICATIONS AND NOTES CONT.

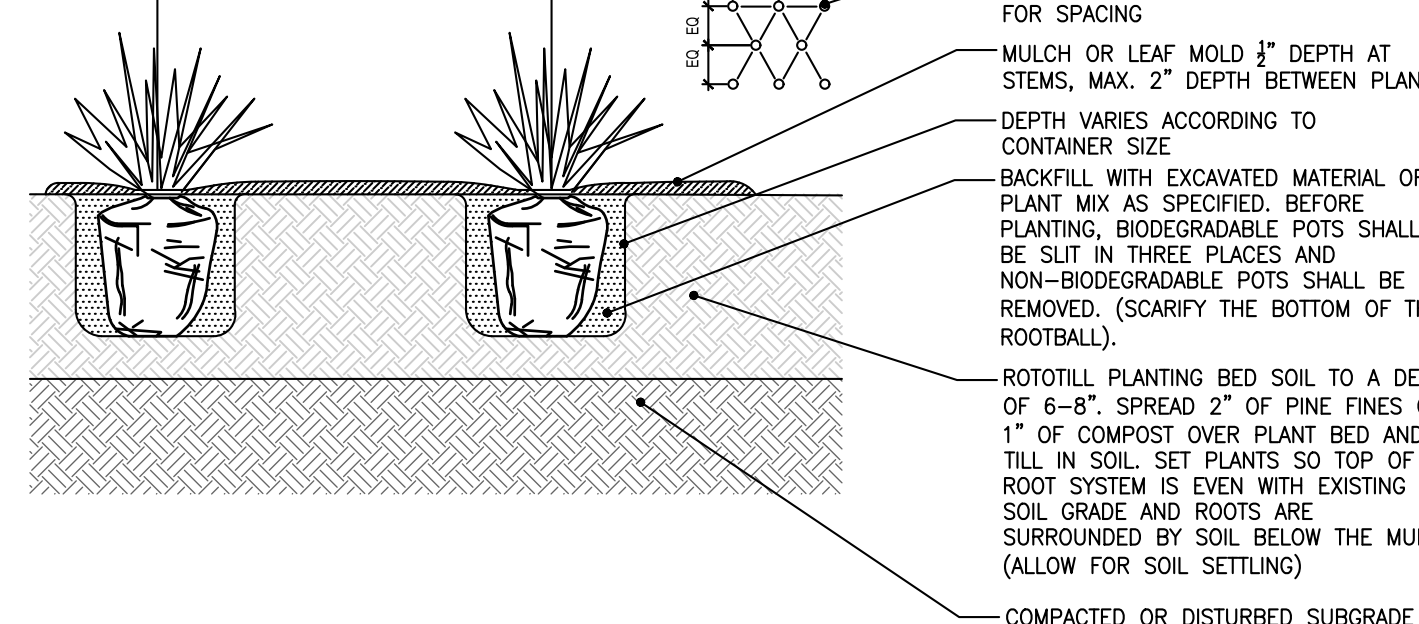
- 1. LANDSCAPE DRAWINGS ARE FOR LANDSCAPING INFORMATION ONLY. REFER TO SITE PLAN, UTILITY PLAN, SEDIMENT AND EROSION CONTROL PLANS FOR ALL OTHER INFORMATION...
2. COORDINATE PLANT MATERIAL LOCATION WITH SITE UTILITIES. UTILITY LOCATIONS ARE APPROXIMATE...
3. ALL EQUIPMENT AND TOOLS SHALL BE PLACED SO AS NOT TO INTERFERE OR HINDER THE PEDESTRIAN AND VEHICULAR TRAFFIC FLOW...
4. CONTRACTOR SHALL COORDINATE WITH LIGHTING AND IRRIGATION CONTRACTORS REGARDING TIMING OF INSTALLATION...
5. THE CONTRACTOR SHALL INSURE ADEQUATE VERTICAL DRAINAGE IN ALL PLANT BEDS AND PLANTERS...
6. EVERY POSSIBLE SAFEGUARD SHALL BE TAKEN TO PROTECT BUILDING SURFACES, EQUIPMENT, AND FURNISHING...
7. THE GENERAL CONTRACTOR IS REQUIRED TO MAKE SURE THAT ANY SOIL STABILIZATION MATERIALS/CONSTRUCTION DEBRIS ETC. IS REMOVED...
8. THE CONTRACTOR SHALL TAKE ALL MATERIAL LOCATED ON THE SITE FOR REVIEW AND/OR ADJUSTMENT...
9. PLANTS SHALL CONFORM TO CURRENT 'AMERICAN STANDARDS FOR NURSERY STOCK' BY LATEST EDITION OF ANSI Z60.1...
10. QUANTITIES OF TREES, EVERGREENS, SHRUBS AND GROUNDCOVER NOTED ON THE PLANT LIST ARE BASED UPON THE GRAPHIC SYMBOLS...
11. THE LANDSCAPE ARCHITECT OR OWNER SHALL HAVE THE RIGHT, AT ANY STAGE OF THE OPERATIONS, TO REJECT ANY AND ALL WORK...
12. UPON COMPLETION OF ALL LANDSCAPING, AN ACCEPTANCE OF THE WORK SHALL BE HELD...
13. THE CONTRACTOR IS RESPONSIBLE FOR TESTING PROJECT SOILS...
14. THE CONTRACTOR SHALL DISPOSE OF STUMPS AND MAJOR ROOTS OF ALL PLANTS TO BE REMOVED...
15. ALL PROPOSED TREES TO BE INSTALLED EITHER ENTIRELY IN OR ENTIRELY OUT OF PLANTING BEDS...
16. CONTRACTOR SHALL SLIGHTLY ADJUST PLANT LOCATIONS IN THE FIELD AS NECESSARY TO BE CLEAR OF DRAINAGE SWALES AND UTILITIES...
17. TREES AND SHRUBS SHALL BE PLANTED DURING ACCEPTABLE PLANTING SEASONS...
18. ALL PLANT BEDS SHALL BE TOP DRESSED WITH A MINIMUM 2" AND A MAXIMUM OF 3" LAYER OF MULCH...
19. ALL PLANTING BEDS ADJACENT TO LAWN, SOD, OR SEEDED AREAS SHALL BE SPADE EDGED...
20. WHERE THE CONDITION EXISTS THAT BALLED AND BURLAPPED TREES ARE DELIVERED IN WIRE BASKETS...
21. ALL AREAS NOT COVERED BY PAVING, PLANTING BEDS, OR SPECIFIED OTHERWISE ON THE LANDSCAPE PLAN SHALL BE PLANTED WITH SOD OR AS NOTED ON THE EROSION AND SEDIMENT CONTROL PLANS...
22. PLANTING SOIL MIX: PLANTING MIX SHALL BE PREPARED AT APPROVED ON-SITE STAGING AREA USING APPROVED ON-SITE EXISTING SOIL...
23. EXISTING SOIL IN BED AREAS SHALL BE REMOVED...
24. SOIL TO BE AMENDED TO A DEPTH OF 12" MIX MINIMUM THE LANDSCAPE CONTRACTOR SHALL MIX TOPSOIL WITH EXISTING SURFACE SOILS...
25. ALL PLANT MATERIAL SHALL BE GUARANTEED BY THE PROPERTY OWNER OR INSTALLER FOR 12 MONTHS AFTER FINAL INSPECTION...
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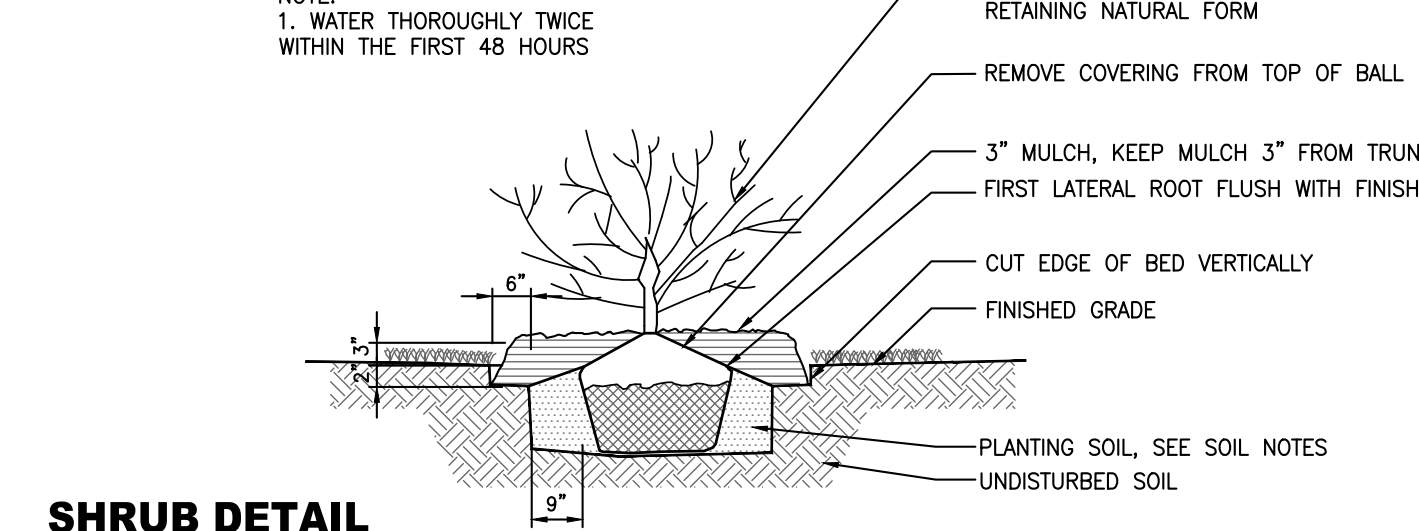
PERENNIAL AS SPECIFIED REFER TO PLANT LIST FOR SPACING. MULCH 1" DEPTH AT STEMS, MAX. 3" DEPTH BETWEEN PLANTS...
NOTE: 1. WATER THOROUGHLY TWICE WITHIN THE FIRST 48 HOURS...
2. PLACE SOD ON SIDE SLOPES UNLESS SPECIFIED OTHERWISE ON STORMWATER MANAGEMENT PLANS...
3. BEFORE PLANTING, BIODEGRADABLE POTS SHALL BE SLIT IN THREE PLACES AND NON-BIODEGRADABLE POTS SHALL BE REMOVED.



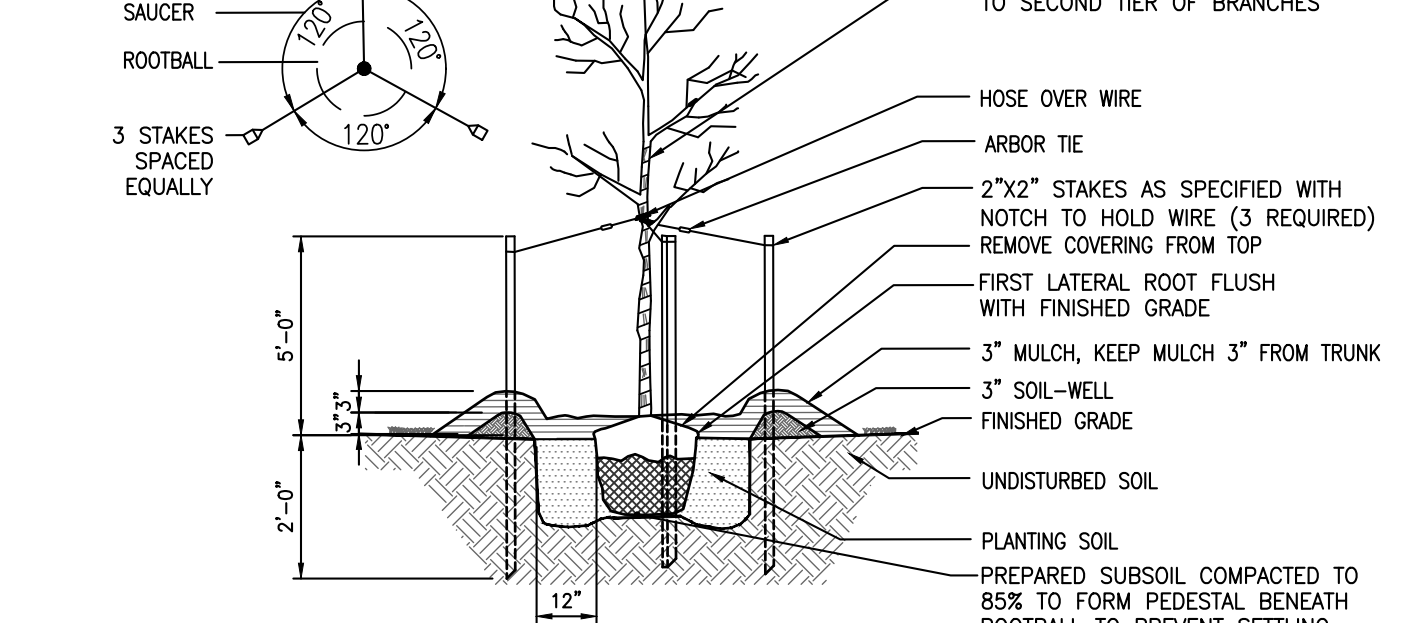
PERENNIAL AND ANNUAL AS SPECIFIED REFER TO PLANT LIST FOR SPACING. MULCH OR LEAF MOLD 1/2" DEPTH AT STEMS, MAX. 2" DEPTH BETWEEN PLANTS...
NOTE: 1. WATER THOROUGHLY TWICE WITHIN THE FIRST 48 HOURS



SHRUB DETAIL. NOTE: WATER TREE THOROUGHLY TWICE WITHIN THE FIRST 48 HOURS. REMOVE COVERING FROM TOP OF BALL...
3" MULCH, KEEP MULCH 3" FROM TRUNK OF SHRUB

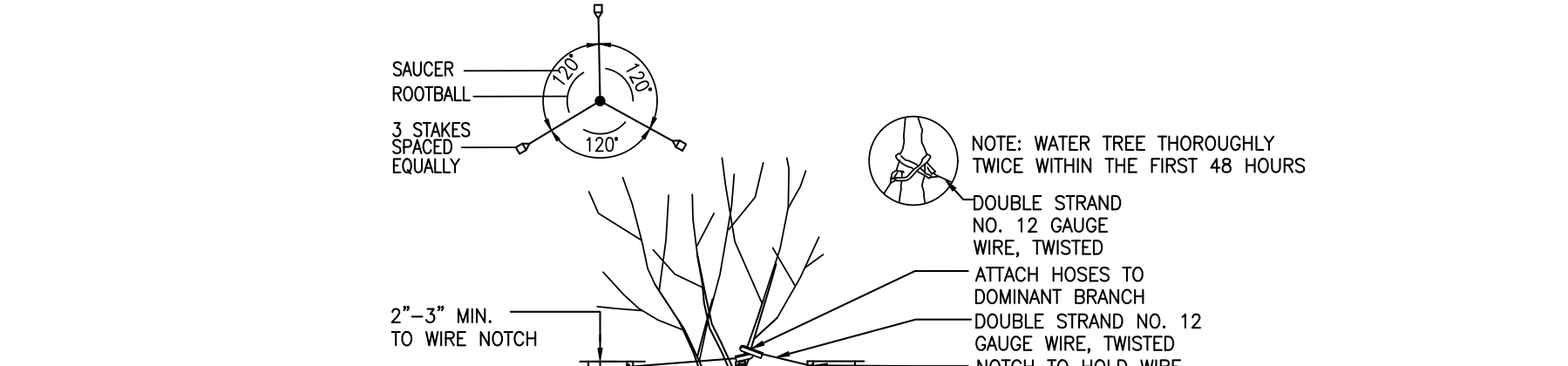


DECIDUOUS TREE DETAIL. NOTE: WATER TREE THOROUGHLY TWICE WITHIN THE FIRST 48 HOURS. WRAP TRUNK WITH TREE WRAP TO SECOND TIER OF BRANCHES...
2"x2" STAKES AS SPECIFIED WITH NOTCH TO HOLD WIRE (3 REQUIRED)

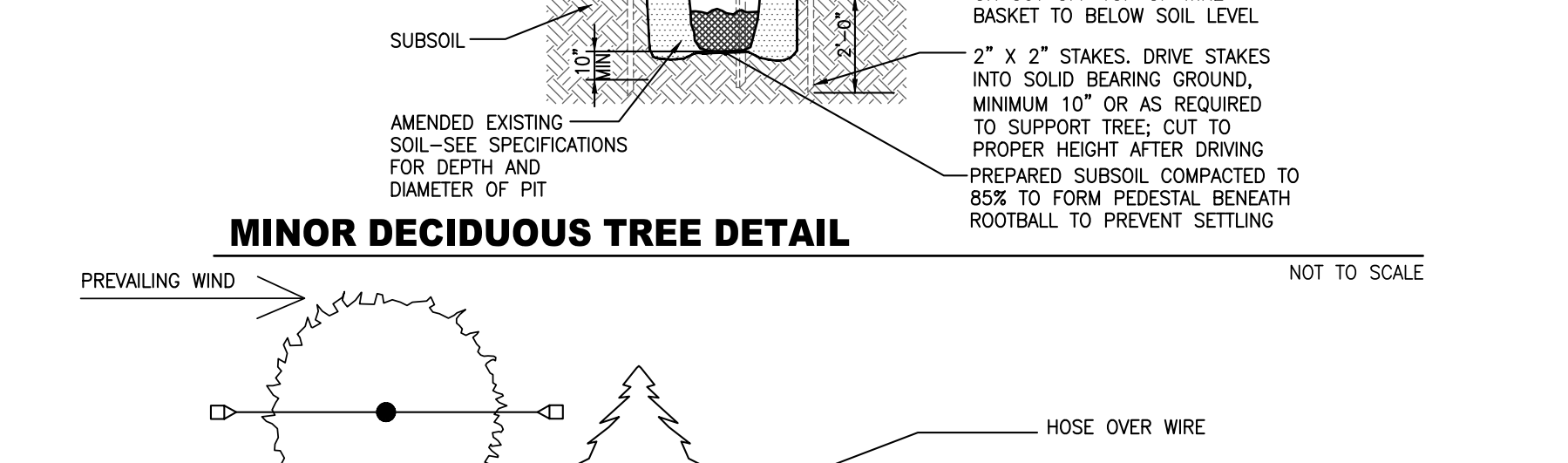


MAINTENANCE AGREEMENT. ONE YEAR MAINTENANCE AGREEMENT. ALL PLANTS SHALL BE GUARANTEED TO REMAIN ALIVE AND HEALTHY FOR A PERIOD OF ONE FULL YEAR AFTER INITIAL ACCEPTANCE...

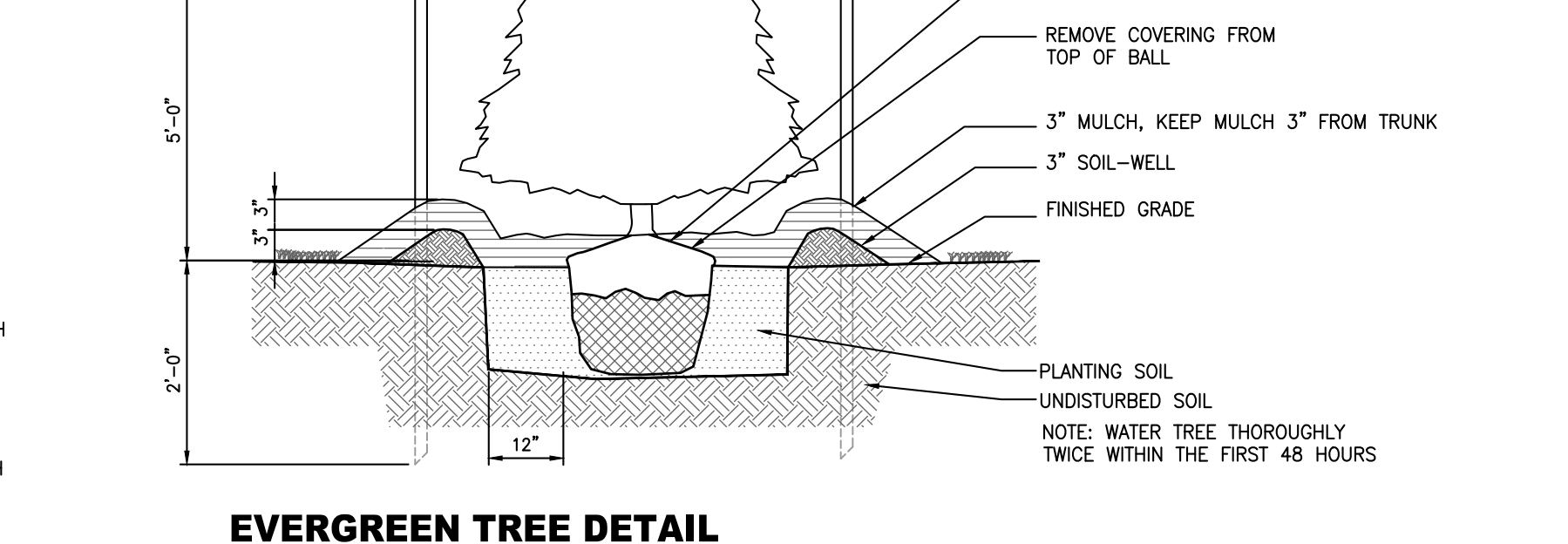
DATUM. DESIGN & DRAWING BASED ON MARYLAND COORDINATE SYSTEM (MCS): HORIZONTAL NAD 83 (1991) VERTICAL NAVD 88. OWNER / DEVELOPER: SNOWDEN CROSSING LLC, 2800 QUARRY LAKE DRIVE, SUITE 340, BALTIMORE, MD 21209, PHONE: 410-308-0700



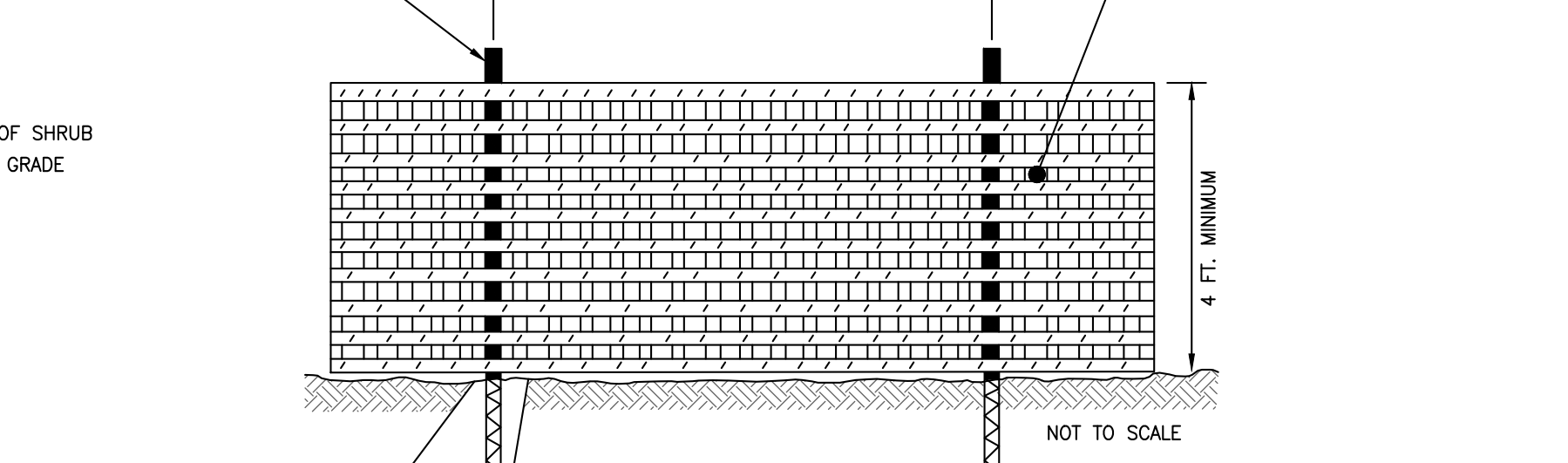
MINOR DECIDUOUS TREE DETAIL. NOTE: WATER TREE THOROUGHLY TWICE WITHIN THE FIRST 48 HOURS. DOUBLE STRAND NO. 12 GAUGE WIRE, TWISTED...
ATTACH HOSES TO DOMINANT BRANCH



EVERGREEN TREE DETAIL. NOTE: WATER TREE THOROUGHLY TWICE WITHIN THE FIRST 48 HOURS. THIN DECIDUOUS SHRUBS BY 1/3 THE INITIAL BRANCHING, RETAINING NATURAL FORM...
REMOVE COVERING FROM TOP OF BALL



TREE PROTECTION FENCE. ANCHOR POSTS SHOULD BE MINIMUM 2 INCH STEEL 'U' CHANNEL OR 2x2 TIMBER POST (6 FT. IN LENGTH) 8 FEET MAXIMUM...
BLAZE ORANGE MESH FENCING



PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 3787, EXPIRATION DATE: 06/30/2022

MORRIS & RITCHIE ASSOCIATES, INC. ENGINEERS, PLANNERS, SURVEYORS AND LANDSCAPE ARCHITECTS. 1220-C EAST JOPPA ROAD, SUITE 505 TOWSON, MARYLAND 21286. (410) 821-1690. FAX (410) 821-1748. Copyright 2020 Morris & Ritchie Associates, Inc.

SITE DEVELOPMENT PLAN VILLAGE OF OWEN BROWN, SECTION 2, AREA 2, LOT D-1, SNOWDEN CROSSING. LANDSCAPE NOTES & DETAILS. DATE: 11/22/2019. REVISIONS: REVISED SDP-74-122 TO INCLUDE 2100 SF ADDITION. JOB NO.: 19650. SCALE: AS SHOWN. DATE: 07/29/2020. DRAWN BY: SLS. DESIGN BY: SLS. REVIEW BY: NCR. SHEET: 24 OF 27. SDP-74-122. TAX MAP 42 -- GRID 04 -- PARCEL 03P7 -- ZONING NT -- DEED REF 17342/229. PLAT NO. 2741 -- TAX ASSESSMENT DISTRICT 82 -- 6th ELECTION DISTRICT. 7090 DEEPAE DRIVE, HOWARD COUNTY, MARYLAND, 21045.