

Lakeview Retail along Broken Land Parkway
 Design Advisory Panel
 2018-07-25 Review (18-12)



W 8-7-18

Ref #	Design Advisory Panel Recommendation	Response by Applicant 2018-08-06	DPZ Director's Endorsement
1.	<p>The applicant enhance pedestrian connections across the site from east to west with paved crossings and islands.</p> <p>Vote: 4-0 (approved)</p>	<p>For purposes of the Phase I development, Applicant shall provide pedestrian connections from the 9801 & 9821 BLP buildings to the proposed building as shown during the DAP presentation. If/when the Phase II building is developed, Applicant shall enhance pedestrian access across the site from east to west.</p>	<p><input checked="" type="checkbox"/> Accept DAP Recommendation <input checked="" type="checkbox"/> Accept Applicant Response</p>
2.	<p>The applicant increase the width of the sidewalk area in front of the proposed retail buildings to accommodate outdoor seating as well as planters and/or low profile walls to screen the outdoor seating area.</p> <p>Vote: 4-0 (approved)</p>	<p>Subject to effects on parking, Applicant shall incorporate this recommendation into its design.</p>	<p><input checked="" type="checkbox"/> Accept DAP Recommendation <input type="checkbox"/> Accept Applicant Response</p>
3.	<p>The applicant propose sidewalk connections from the site to Broken Land Parkway if the County will build sidewalks along Broken Land Parkway.</p> <p>Vote: 4-0 (approved)</p>	<p>Should the County build sidewalks along BLP, Applicant shall provide a connection into the Phase I & Phase II development(s), as applicable.</p>	<p><input checked="" type="checkbox"/> Accept DAP Recommendation <input checked="" type="checkbox"/> Accept Applicant Response</p>
4.	<p>The applicant consider locating the retail buildings closer to the office buildings and create an internal street network.</p> <p>Vote: 4-0 (approved)</p>	<p>Applicant does not agree with this recommendation. Relocating the proposed building will result in (i) greater congestion between office and retail users; (ii) inferior parking and access to the 9861 BLP office building; and (iii) inferior visibility to retailers.</p>	<p><input checked="" type="checkbox"/> Accept DAP Recommendation <input type="checkbox"/> Accept Applicant Response</p>
5.	<p>The applicant redesign the architecture to be more contemporary and better match adjacent office buildings.</p> <p>Vote: 4-0 (approved)</p>	<p>Albeit different colors than the 9801 – 9861 BLP buildings, the adjacent Woodmere Office Center and (close proximate) Patuxent Woods office center are also masonry. Applicant believes that the architecture as proposed is in concert with the 9801 – 9861 buildings, which are more traditional in design. However, Applicant</p>	<p><input checked="" type="checkbox"/> Accept DAP Recommendation <input checked="" type="checkbox"/> Accept Applicant Response</p>



		will revisit this detail with the design team to incorporate a more contemporary design.	
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PERSPECTIVE VIEW FROM BROKEN LAND PARKWAY



LAKEVIEW II
RETAIL CENTER
BROKEN LAND PKWY.
COLUMBIA, MD 21046
Job. No. 18-176
THESE RENDERINGS ARE CONCEPT
ONLY AND SUBJECT TO MINOR CHANGES



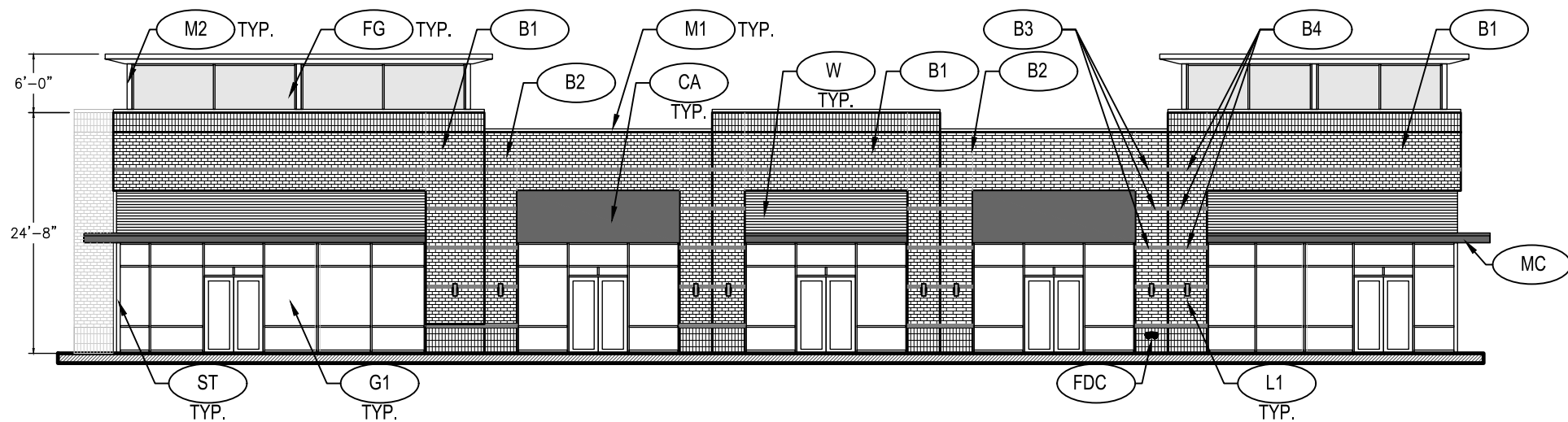


PERSPECTIVE VIEW FROM BROKEN LAND PARKWAY



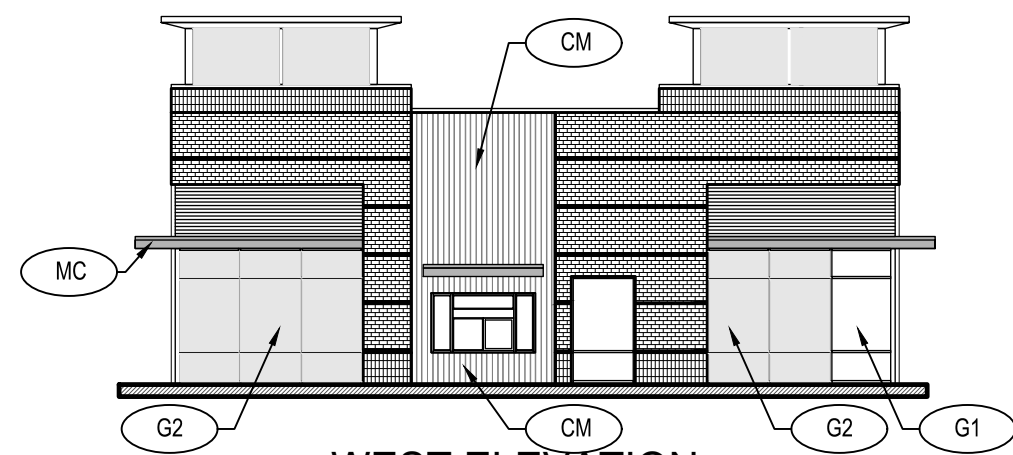
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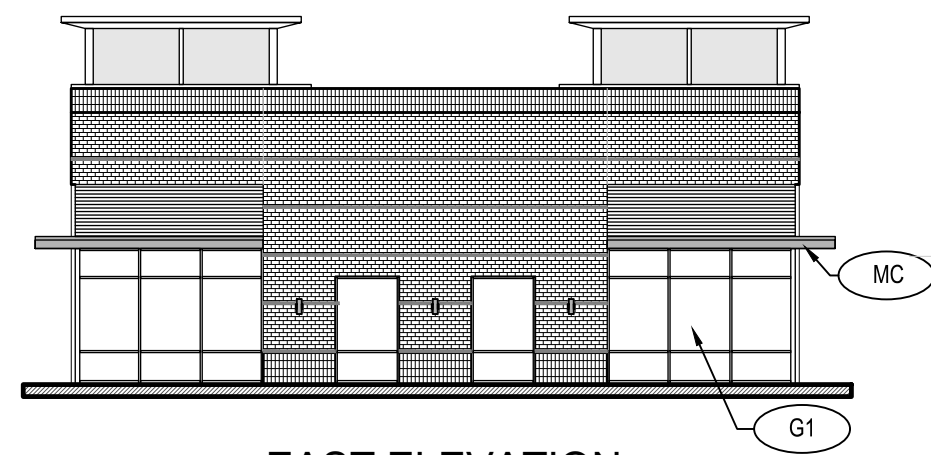
SOUTH ELEVATION

SCALE: 1/8" = 1'-0"



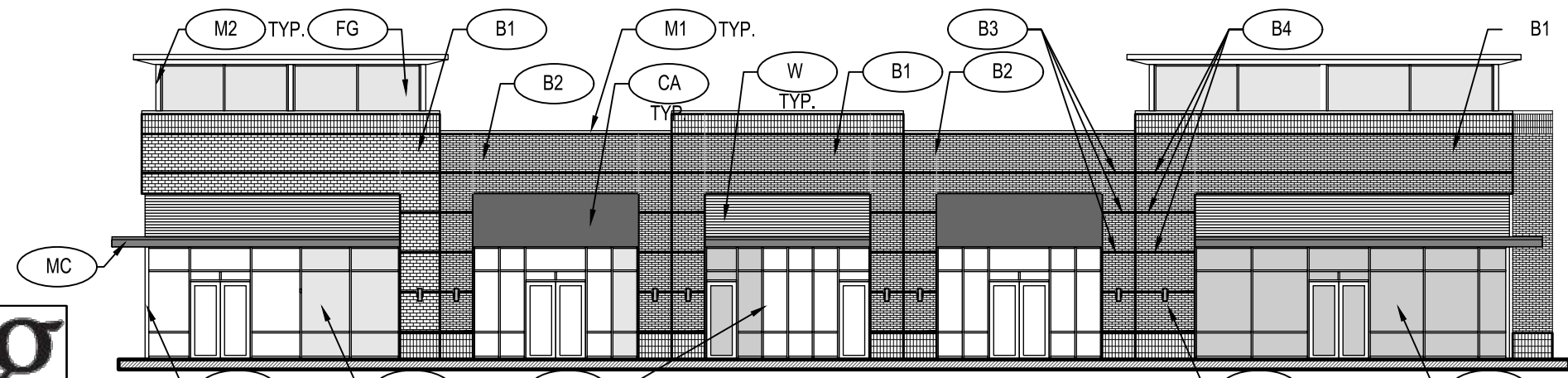
WEST ELEVATION

SCALE: 1/8" = 1'-0"



EAST ELEVATION

SCALE: 1/8" = 1'-0"



NORTH ELEVATION

SCALE: 1/8" = 1'-0"

EXTERIOR MATERIALS FINISH KEY

- W WOOD-GRAIN GLAZED PORCELAIN TILE
- B1 TAYLOR #5 AUBURN FIELD BRICK
- B2 TAYLOR #1-9 DARK BROWN STEPPED BACK WALL FIELD BRICK
- B3 ACCENT BRICK BAND - RECESSED COURSE #5 AUBURN
- B4 ACCENT BRICK BAND - RECESSED COURSE #1-9 DARK BROWN
- L1 EXT. LIGHTING - UP / DN DARK SKY COMPLIANT SCONCE
- ST ALUMINUM STOREFRONT (CLEAR ANODIZED)
- G1 STOREFRONT GLASS (GRAY TINTED)
- G2 STOREFRONT GLASS - WITH SPANDREL FILM
- M1 COPING (COLOR TO MATCH STOREFRONT FRAMING)
- M2 RTU SCREEN FRAME - TO MATCH STOREFRONT FRAMING
- FG FROSTED GLASS RTU SCREENING
- CA BLACK CANVAS AWNING WITH VALENCE
- MC METAL CANOPY - COLOR TO MATCH STOREFRONT FRAMING
- FDC FIRE DEPARTMENT CONNECTION
- CM "RED" VERTICAL CORRUGATED METAL

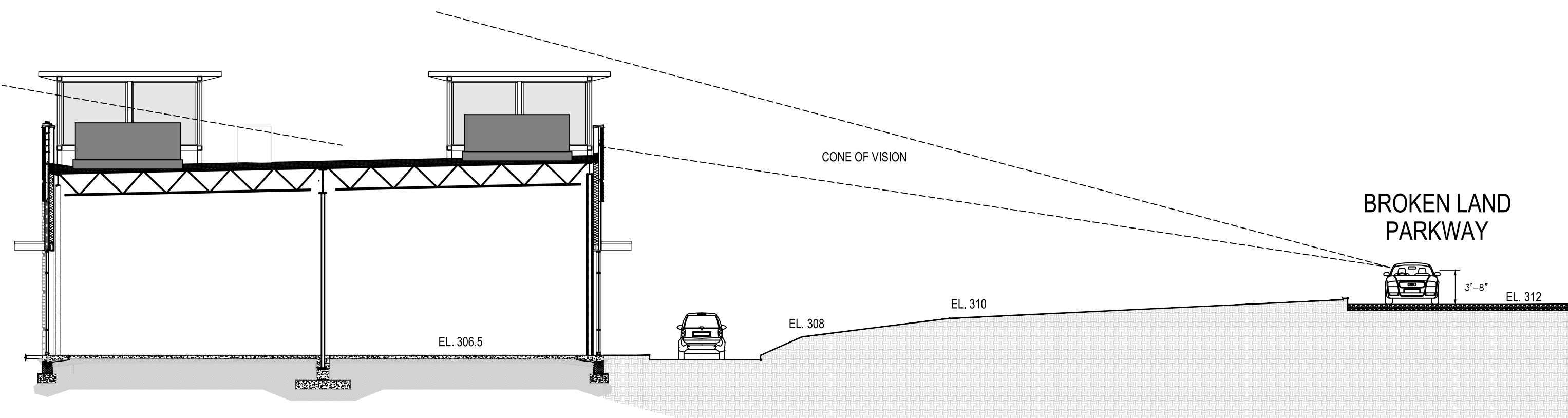


**LAKEVIEW II
RETAIL CENTER**
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BUILDING SECTION - PARAPET / SCREEN FEATURES
PREVENT SIGHT OF RTUs FROM PASSING VEHICLES



LAKEVIEW II
RETAIL CENTER
BROKEN LAND PKWY.
COLUMBIA, MD 21046
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GATE DETAIL

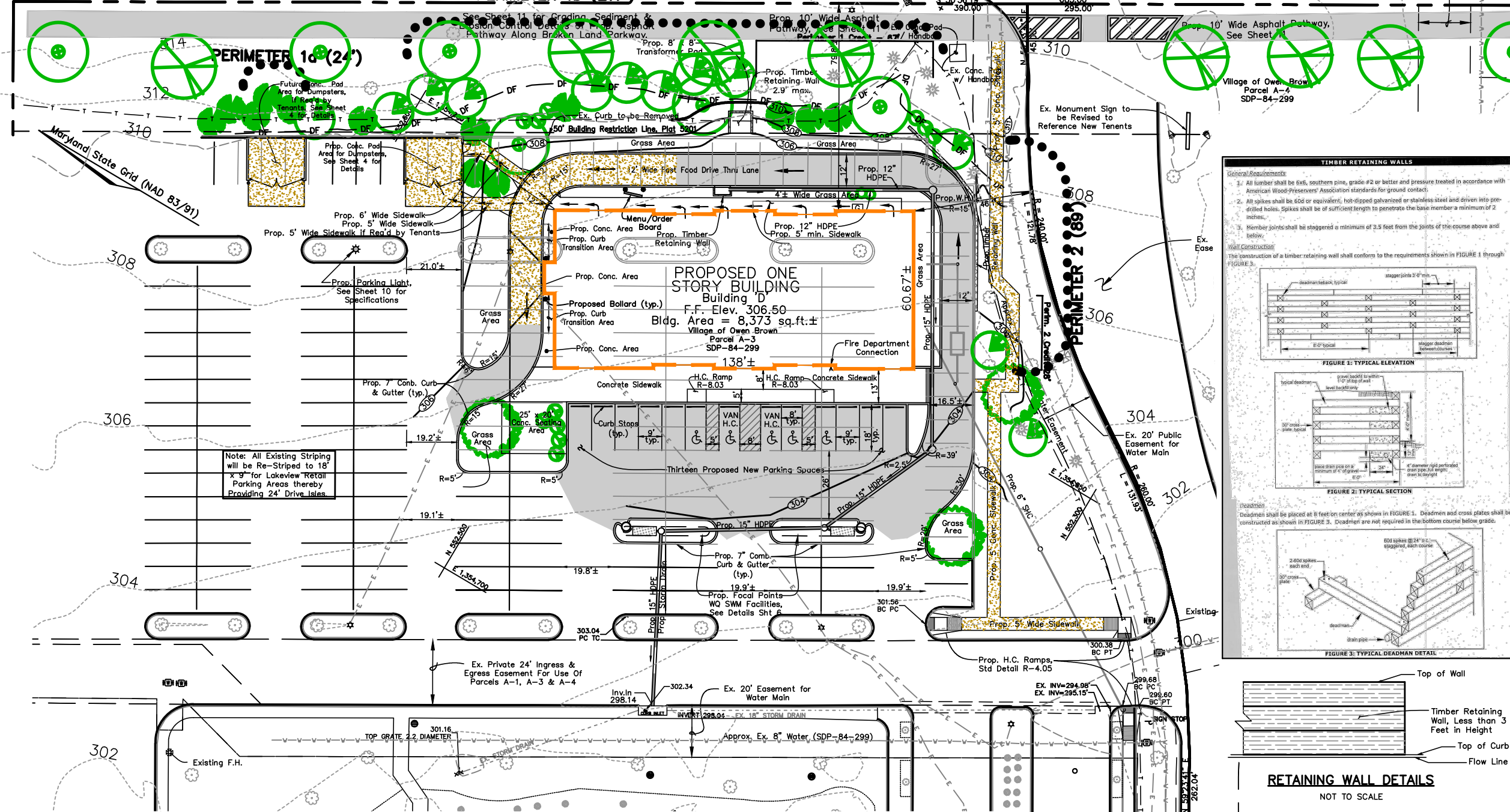


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BROKEN LAND PARKWAY

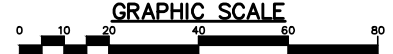
PERIMETER 1b (217')



Note: All Existing Striping will be Re-Striped to 18' x 9' for Lakeview Retail Parking Areas thereby Providing 24' Drive Lanes

PLAN VIEW

Scale: 1" = 20'



LANDSCAPE NOTES

- Landscape Plan has been approved by the ARC on 4/28/2020.
- At the time of installation, all shrubs and other plantings herewith listed and approved for this site, shall be of the proper height requirements in accordance with the Columbia Landscaping Manual.
- The owner, tenant, and/or their agents shall be responsible for maintenance of the required landscaping, including both plant materials and berms, fences and walls. All plant materials shall be maintained in good growing condition, and when necessary, replaced with new materials to ensure continued compliance with applicable regulations. All other required landscaping shall be permanently maintained in good condition, and when necessary, repaired or replaced.
- Financial surety for the required landscaping will be posted as part of the Developer's Agreement in the amount of \$3,150 (5 shade trees @ \$300.00 each and 11 evergreens @ \$150.00 each).
- Should any tree designated for preservation, for which credit is given, be removed or die prior to release of bonds, the owner will be required to replace the tree with equivalent species or with a tree which will obtain the same height, spread and growth characteristics. The replacement tree must be a minimum of 3 inches in caliper and installed as required in the landscape manual.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

CHIEF, DIVISION OF LAND DEVELOPMENT DATE

DEVELOPER'S BUILDER'S CERTIFICATE

I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION, A LETTER OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE(1) YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

SIGNATURE OF DEVELOPER DATE

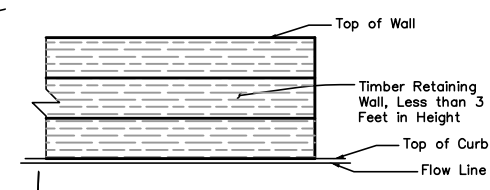
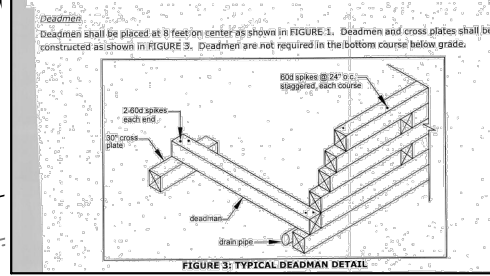
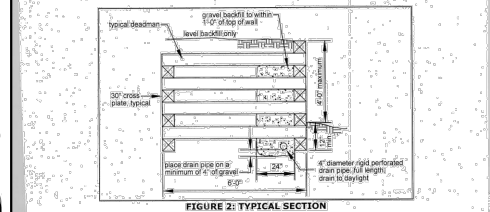
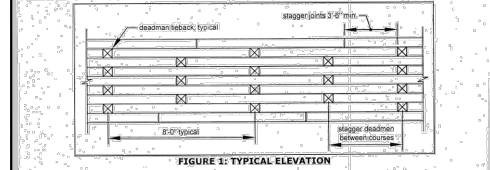
APPROVED: PLANNING BOARD OF HOWARD COUNTY DATE

LEGEND

- 310 --- Ex. 10' Contour Line
- 302 --- Ex. 2' Contour Line
- 310 --- Prop. 10' Contour Line
- 302 --- Prop. 2' Contour Line
- Ex. Spot Elevation
- Prop. Spot Elevation
- Ex. Trees (deciduous/evergreen/shrub)
- Ex. Fire Hydrant
- Ex. Water Valve
- Ex. Water Line
- Ex. Telecom. Line
- Ex. Electric Line
- Ex. Sewer Cleanout
- Ex. Storm Drain Inlet
- Prop. Travel Path to Dumpster
- Prop. Concrete
- Prop. Asphalt

TIMBER RETAINING WALLS

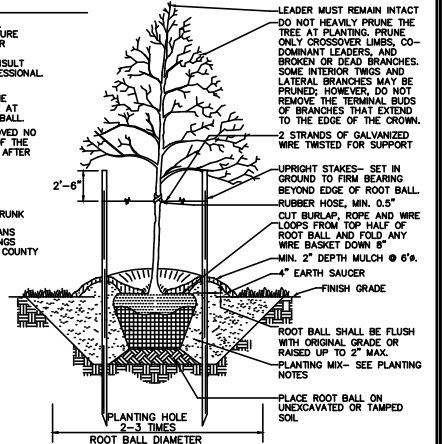
- General Requirements**
- All lumber shall be 6x6, southern pine, grade #2 or better and pressure treated in accordance with American Wood-Preservers' Association standards for ground contact.
 - All spikes shall be 5/8" or equivalent, hot-dipped galvanized or stainless steel and driven into pre-drilled holes. Spikes shall be of sufficient length to penetrate the base member a minimum of 2 inches.
 - Member joints shall be staggered a minimum of 3.5 feet from the joints of the course above and below.
- Wall Construction**
- The construction of a timber retaining wall shall conform to the requirements shown in FIGURE 1 through FIGURE 3.



RETAINING WALL DETAILS NOT TO SCALE

NOTES

- CONSULT INTERNATIONAL SOCIETY OF ARBORICULTURE GUIDELINES FOR FURTHER DETAILS OF PLANTING SPECIFICATIONS. OR CONSULT WITH A QUALIFIED PROFESSIONAL.
- EACH TREE SHALL BE PLANTED SUCH THAT THE TRUNK FLARE IS VISIBLE AT THE TOP OF THE ROOT BALL.
- STAKES SHALL BE REMOVED NO LATER THAN THE END OF THE FIRST GROWING SEASON AFTER PLANTING.
- PLACE UPRIGHT STAKES PARALLEL TO WALKS & BUILDINGS.
- KEEP MULCH 1" FROM TRUNK.
- SEE ARCHITECTURAL PLANS FOR ADDITIONAL PLANTINGS WHICH EXCEED HOWARD COUNTY MINIMUM REQUIREMENTS.
- TREES ARE NOT TO BE PLANTED OVER PRIVATE SEWAGE EASEMENT.



TYPICAL TREE PLANTING AND STAKING NOT TO SCALE

SCHEDULE A PERIMETER LANDSCAPE EDGE

CATEGORY	ADJACENT TO PERIMETER PROPERTIES	ADJACENT TO ROADWAYS
Perimeter/Frontage Designation	-	-
Landscape Type	C	B
Linear Feet of Roadway	241'	89'
Frontage/Perimeter	(67)	(28)
Credit for Existing Vegetation (Yes, No, Linear Feet)	Yes* (174)	Yes* (61)
Remaining Perimeter Length (Yes, No, Linear Feet)	No	No
Describe below if needed		
Number of Plants Required		
Shade Trees	1:40	1:50
Evergreen Trees	1:20	1:40
Shrubs	-	-
Number of Plants Provided		
Shade Trees	3	-
Evergreen Trees	23	-
Ornamental Trees (2:1)	3	2
Shrubs (10:1)	-	-

* Credit taken for existing trees to remain

LANDSCAPE PLANT LIST

KEY	QTY.	BOTANICAL/COMMON NAME	SIZE	NOTE
●	8	Acer rubrum 'Red Sunset'	2.5" Cal. min 12-14" HT	B & B
●	9	Ulmus americana 'Valley Forge'	2.5" Cal. min 12-14" HT	B & B
●	3	Amelanchier canadensis	2" Cal. min 5-10' HT	B & B
●	11	Abelia x grandiflora 'Glossy Abelia'	2 1/2"-3" HT.	B & B
●	12	Ilex 'Nellie R. Stevens'	5-6' HT.	B & B
●	13	Picea abies	6-8' HT.	B & B
●	3	Pennisetum alopecuroides	12-18" HT.	Cont.

NOTE: Trees Required (less than 1" ac x 26 trees) = 26 trees + 14 sidewalk trees (658 11/50" = 13.7 trees) = 40 trees
 Ex. trees to remain = 9 trees
 Net Trees Required = 17 trees + 14 sidewalk trees = 31 trees
 Trees Provided = 3 + 28 ornamental/evergreen (for 14 credit) = 17 Tree Credits (+ 3 grasses for gas meter screening) + 14 sidewalk trees = 31 trees

PROFESSIONAL CERTIFICATION

I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. #34889, Expiration Date: 7/08/2021.

LANDSCAPE PLAN

LAKEVIEW RETAIL

A Redevelopment of Village of Owen Brown, Parcel A-3 & A-4, Plat 5201 F-82-063, SDP-81-115, SDP-84-299, FDP-125-A

TAX MAP 42 GRID 3 PARCEL 392, LOT A-3 & A-4
 6TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND

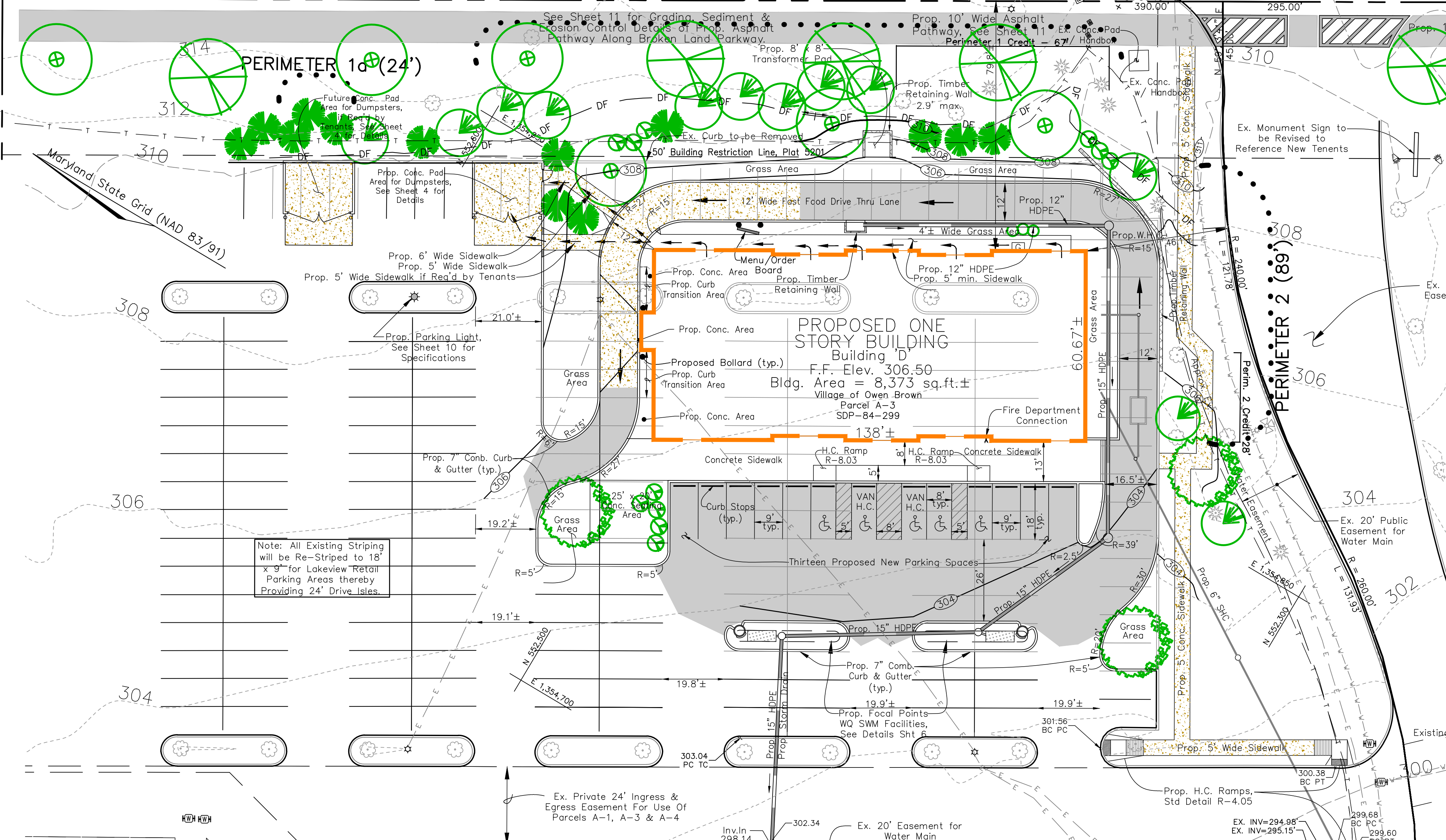
FSH Associates
 Engineers Planners Surveyors
 6339 Howard Lane, Elkridge, MD 21075
 Tel: 410-567-5200 Fax: 410-796-1562
 E-mail: info@fsh.net

DESIGN BY: SMM
 DRAWN BY: SMM
 CHECKED BY: ZYF/SLH
 SCALE: 1" = 20'
 DATE: Dec. 17, 2020
 W.O. No.: 4080
 SHEET No.: 9 OF 11

OWNER/DEVELOPER
 AGS Borrower Lakeview, LLC
 7127 Ambassador Road, Suite 100
 Baltimore, MD 21244
 Attention: Alan C. Grabush, Principal
 (443)725-9000

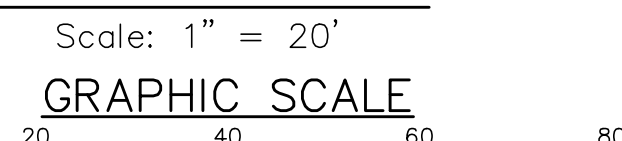
BROKEN LAND PARKWAY

PERIMETER 1b (217')



Note: All Existing Striping will be Re-Striped to 18' x 9' for Lakeview Retail Parking Areas thereby Providing 24' Drive Isles.

PLAN VIEW



LEGEND

- 310 --- Ex. 10' Contour Line
- 302 --- Ex. 2' Contour Line
- 310 --- Ex. Spot Elevation
- 310 --- Prop. 10' Contour Line
- 302 --- Prop. 2' Contour Line
- 310 --- Prop. Spot Elevation
- ☀ Ex. Trees (deciduous/evergreen/shrub)
- ☀ Ex. Fire Hydrant
- ☀ Ex. Water Valve
- --- Ex. Water Line
- --- Ex. Telecom. Line
- --- Ex. Electric Line
- ☀ Ex. Sewer Cleanout
- ☀ Ex. Storm Drain Inlet
- ☀ Prop. Travel Path to Dumpster
- █ Prop. Concrete
- █ Prop. Asphalt

DEVELOPER'S BUILDER'S CERTIFICATE
 I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION, A LETTER OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE(1) YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

SIGNATURE OF DEVELOPER _____ DATE _____
 APPROVED: PLANNING BOARD OF HOWARD COUNTY
 _____ DATE _____

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
 CHIEF, DEVELOPMENT ENGINEERING DIVISION _____ DATE _____
 CHIEF, DIVISION OF LAND DEVELOPMENT _____ DATE _____

TIMBER RETAINING WALLS

- General Requirements**
- All lumber shall be 6x6, southern pine, grade #2 or better and pressure treated in accordance with American Wood-Preservers' Association standards for ground contact.
 - All spikes shall be 60d or equivalent, hot-dipped galvanized or stainless steel and driven into pre-drilled holes. Spikes shall be of sufficient length to penetrate the base member a minimum of 2 inches.
 - Member joints shall be staggered a minimum of 3.5 feet from the joints of the course above and below.
- Wall Construction**
 The construction of a timber retaining wall shall conform to the requirements shown in FIGURE 1 through FIGURE 3.

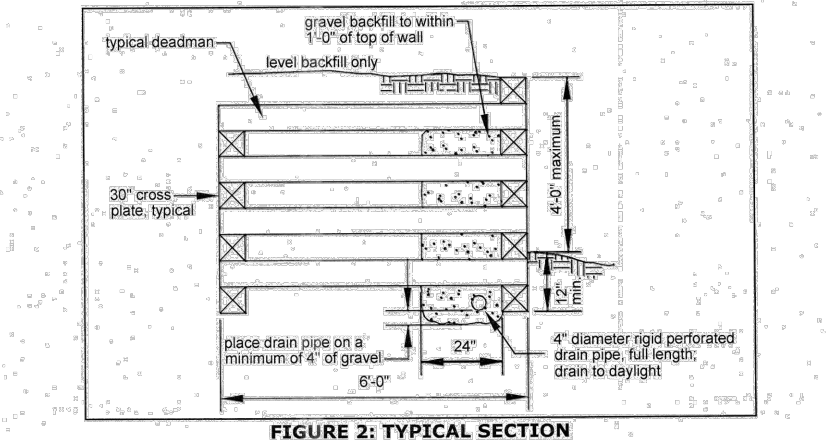
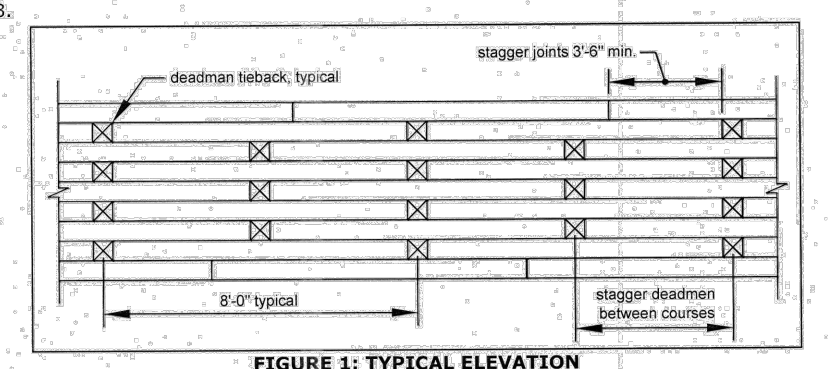
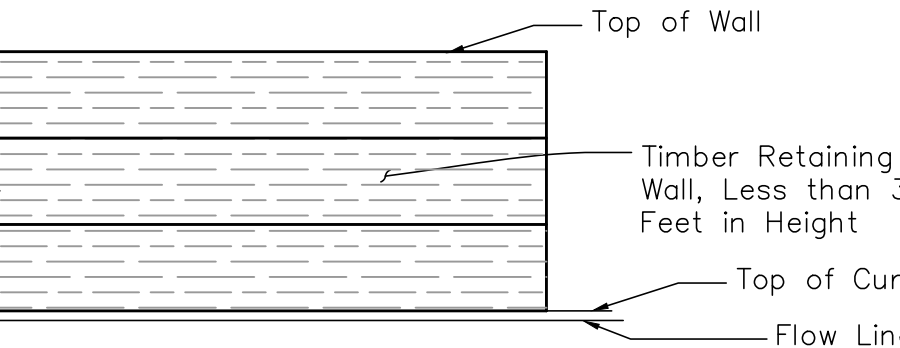
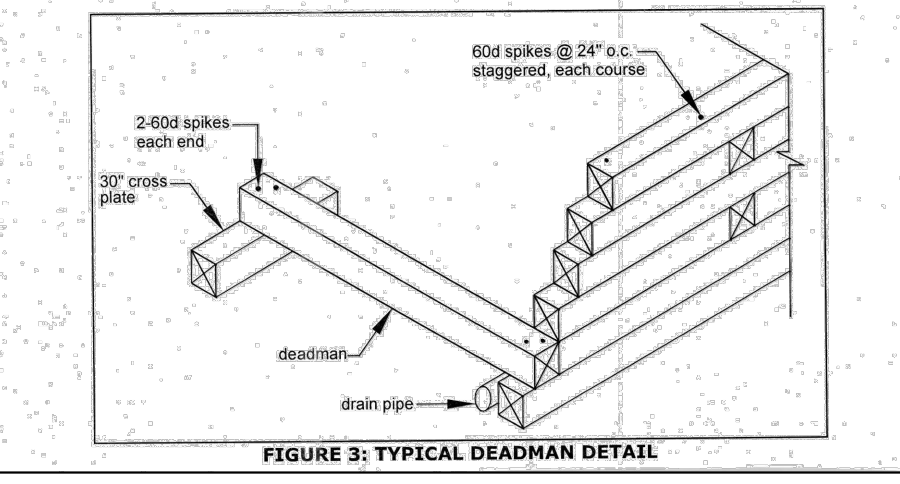


FIGURE 3: TYPICAL DEADMAN DETAIL



RETAINING WALL DETAILS

NOT TO SCALE

NOTES

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 - EACH TREE SHALL BE PLANTED SUCH THAT THE TRUNK FLARE IS VISIBLE AT THE TOP OF THE ROOT BALL.
 - STAKES SHALL BE REMOVED NO LATER THAN THE END OF THE FIRST GROWING SEASON AFTER PLANTING.
 - PLACE UPRIGHT STAKES PARALLEL TO WALKS & BUILDINGS.
 - KEEP MULCH 1" FROM TRUNK FOR ADDITIONAL PLANTING WHICH EXCEED HOWARD COUNTY MINIMUM REQUIREMENTS.
 - TREES ARE NOT TO BE PLANTED OVER PRIVATE SEWAGE EASEMENT.
- LEADER MUST REMAIN INTACT DO NOT HEAVILY PRUNE THE TREE AT PLANTING. ONLY CROSSOVER LIMBS, DOMINANT LEADERS, AND BROKEN OR DEAD BRANCHES. SOME INTERIOR TWIGS AND LATERAL BRANCHES MAY BE PRUNED; HOWEVER, DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.

2 STRANDS OF GALVANIZED WIRE TWISTED FOR SUPPORT

UPRIGHT STAKES - SET IN GROUND TO FIRM BEARING BEYOND EDGE OF ROOT BALL. RUBBER HOSE, MIN. 0.5" CUT BURLAP, ROPE AND WIRE LOOPS FROM TOP HALF OF ROOT BALL AND FOLD ANY WIRE BASKET DOWN 8" MIN. 2" DEPTH MULCH @ 6".

4" EARTH SAUCER

FINISH GRADE

ROOT BALL SHALL BE FLUSH WITH ORIGINAL GRADE OR RAISED UP TO 2" MAX. PLANTING MIX - SEE PLANTING NOTES

PLACE ROOT BALL ON UNEXCAVATED OR TRAMPED SOIL

TYPICAL TREE PLANTING AND STAKING

DECIDUOUS TREES UP TO 2-1/2" CALIPER NOT TO SCALE

SCHEDULE A PERIMETER LANDSCAPE EDGE

CATEGORY	ADJACENT TO PERIMETER PROPERTIES	ADJACENT TO ROADWAYS
Perimeter/Frontage Designation	-	1 2
Landscape Type	-	C B
Linear Feet of Roadway	-	241' 89'
Frontage/Perimeter	-	Yes* Yes*
Credit for Existing Vegetation (Yes, No, Linear Feet)	-	(67') (28') (28')
Remaining Perimeter Length	-	174' 61'
Credit for Wall, Fence or Berm (Yes, No, Linear Feet)	-	No No
Describe below if needed	-	-
Number of Plants Required	-	1:40 4 1:50 1
Shade Trees	-	1:20 9 1:40 2
Evergreen Trees	-	-
Shrubs	-	-
Number of Plants Provided	-	3 -
Shade Trees	-	-
Evergreen Trees	-	23 3
Ornamental Trees (2:1)	-	- 2
Shrubs (10:1)	-	-

* Credit taken for existing trees to remain

LANDSCAPE PLANT LIST

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☀	11	Abelia x grandiflora Glossy Abelia	2 1/2"-3" Ht.	B & B
☀	12	Ilex 'Nellie R. Stevens' Nellie Stevens Holly	5-6' Ht.	B & B
☀	13	Picea abies Norway Spruce	6-8' Ht.	B & B
☀	3	Pennisetum alopecuroides Fountain Grass	12-18" Ht.	Cont.

NOTE: Trees Required (less than 1 ac x 26 trees) = 26 trees + 14 sidewalk trees (658 lf/ 50' = 13.7 trees) = 40 trees
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 Net Trees Required = 17 trees + 14 sidewalk trees = 31 trees
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PROFESSIONAL CERTIFICATION
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LANDSCAPE PLAN
LAKEVIEW RETAIL
 A Redevelopment of Village of Owen Brown, Parcel A-3 & A-4, Plot 5201 F-82-063, SDP-81-115, SDP-84-299, FDP-125-A
 TAX MAP 42 GRID 3 PARCEL 392, LOT A-3 & A-4
 6TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND

FSH Associates
 Engineers Planners Surveyors
 6339 Howard Lane, Elkridge, MD 21075
 Tel: 410-567-5200 Fax: 410-796-1562
 E-mail: info@fsheri.com

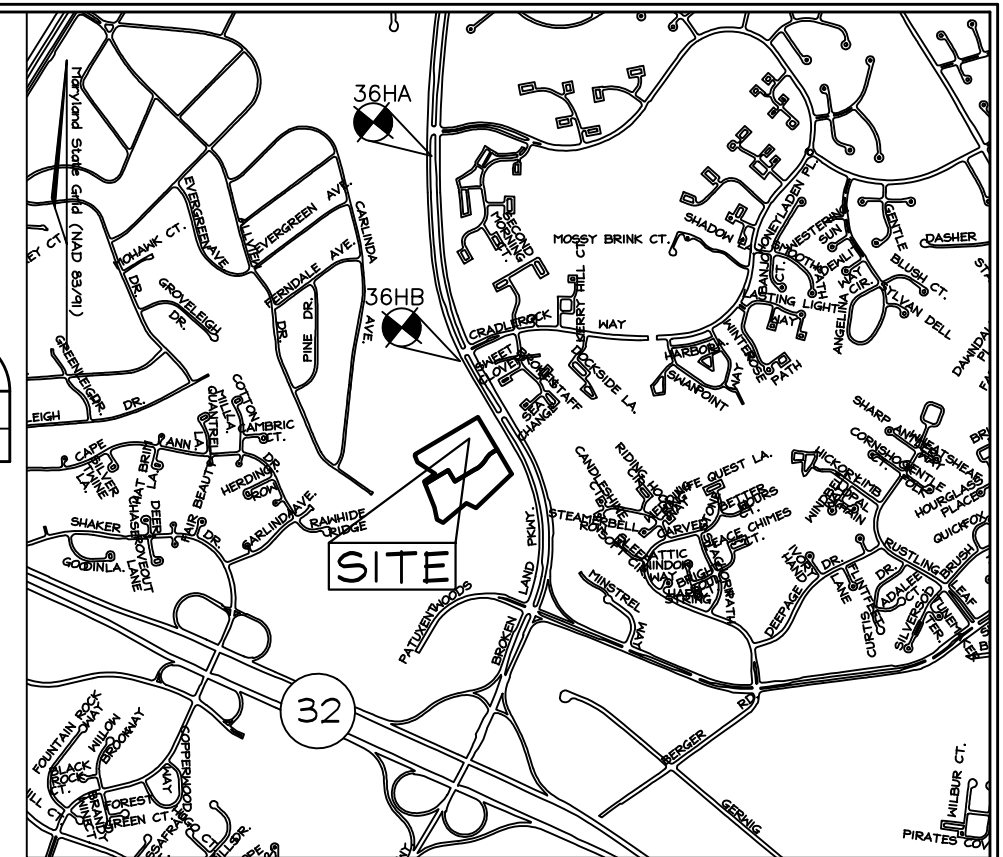
DESIGN BY: **SMM**
 DRAWN BY: **SMM**
 CHECKED BY: **ZYF/SLH**
 SCALE: 1" = 20'
 DATE: Dec. 17, 2020
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 SHEET No.: 9 OF 11

OWNER/DEVELOPER
 AGS Borrower Lakeview, LLC
 7127 Ambassador Road, Suite 100
 Baltimore, MD 21244
 Attention: Alan C. Grabush, Principal
 (443)725-9000

GENERAL NOTES

- Site Data: Property Address: 9841 (Parcel A-4) and 9851/9861 (Parcel A-3) Broken Land Parkway, Columbia, Maryland 21045.
Tax Map 42; Grid 3; Parcel 392; Lot A-3; 6th Election District
Plat 5201; F-82-063; FDP-125-A; SDP-81-115; SDP-84-299; Liber 17713 Folio 102;
Parcels A-3 & A-4 Area = 13.933 ac.± (Per SDP-84-299); Project Area (LOD Area) = 1.26 ac.±
- The subject property is zoned NT per the 10/6/13 Comprehensive Zoning Plan.
- Public water and sewer will be used within this site, contract no. 24-0988-D, water code E13 and sewer code 5330000.
- There are no floodplains, wetlands, streams, wetland/stream buffers, historic structures or cemeteries on-site, per the environmental report/wetland investigation conducted on January 24, 2019 by Exploration Research, Inc.
- This property is subject to the Amended 5th edition of the Howard County Subdivision and Land Development Regulations.
- Field run topographic survey prepared by FSH Associates in March, 2018.
- Per FEMA (FIRM Map) 24027C0165D no FEMA delineated floodplain exists within the project area.
- Boundary based on plat #5201.
- The Environmental Concept Plan, ECP-19-038, was approved on 6/11/19.
- All construction shall be in accordance with the latest standards and specifications of Howard County plus MSHA standards and specifications if applicable.
- The contractor shall notify the Department of Public Works/Bureau of Engineering/Construction Inspection Division at (410)313-1880 at least five (5) working days prior to the start of work and the contractor shall notify "Miss Utility" at 1-800-257-777 at least 48 hours prior to any excavation work being done.
- Traffic control devices, markings and signing shall be in accordance with the latest edition of the Manual of Uniform Traffic Control Devices (MUTCD). All street and regulatory signs shall be in place prior to the placement of any asphalt.
- All plan dimensions are to the face of curb unless otherwise noted.
- The coordinates shown hereon are based upon the Howard County Geodetic Control which is based on the Maryland State Plane Coordinate System. Howard County Monument Nos. 36HA and 36HB were used for this project.
- This project qualifies as redevelopment therefore stormwater management is provided per Section 5.5.2.1.c. of the MD SWM Manual by providing environmental site design (ESD) water quality (WQ) treatment for 50% of the existing impervious area and 100% of the proposed increase in impervious area. The overall impervious area within the project area (LOD) requiring treatment = 15,942 sq.ft. (50% of the existing impervious area) + 4,430 sq.ft. (proposed increase in impervious area from proposed pathway) = 20,372 sq.ft. WQ treatment is provided using SWM ESD practices to the maximum extent practicable through two (2) FocalPoint High Performance Modular Biofiltration Systems, an MDE approved ESD practice, and the Disconnection of Non-Rooftop Runoff credit (N-2).
- All outdoor lighting complies with Section 134.0 of the Zoning Regulations, see lighting plan sheet
- Financial surety for the required landscaping will be posted as part of the Developer's Agreement in the amount of \$3,150 (5 shade trees @ \$300.00 each and 11 evergreens @ \$150.00 each).
- This SDP is exempt from the requirements of Section 16.1202(b)(1)(ii) of the Howard County Code for Forest Conservation because the subject property is zoned New Town and is part of a planned unit development which has preliminary development plan approval and 50% or more of the land is recorded and substantially developed before December 31, 1992.
- A traffic study, performed by Traffic Concepts, Inc, in January 2020 was approved by Howard County, DED, on June 30, 2020. As concluded and stated within the approved report "The Intersection Capacity Analysis has shown that the key intersections will continue to operate at satisfactory "D" or better levels of service under the total 2023 future build out conditions."
- Inside metering is proposed.
- The proposed building will have an automatic fire protection sprinkler system.
- PARKING TABULATIONS:**
Per SDP-84-299, number of parking spaces required: 436 spaces (Parcels A-3 & A-4)
Per ALTA survey dated April 6, 2017, parking spaces provided: 764 spaces (Ex. Spaces Parcels A-3 & A-4)
Number of Parking spaces required for Lakeview Retail:
8,373 s.f. @ 14 spaces pr 1000 s.f. for restaurant use = 118 spaces (Parcel A-3)
Total number of parking spaces required: 436+118 = 554 spaces (Parcels A-3 & A-4)
Number of existing spaces lost due to proposed project = 111 spaces (Parcel A-3)
Number of proposed spaces to be added to project, in front of proposed building = 13 spaces (Parcel A-3)
Total number of parking spaces provided = 764 (Ex. Spaces) - 111 + 13 = 666 spaces > 554 spaces (Parcels A-3 & A-4)
HANDICAP SPACE TABULATIONS:
Total Number of Handicap Spaces Required for Lakeview Retail (based on 118 total parking spaces) = 5 H.C. spaces
Total Handicap Spaces Provided = 5 H.C. spaces
- All sign posts used for traffic control signs installed in the County right-of-way shall be mounted on a 2" galvanized steel, perforated, square tube post (14 gauge) inserted into a 2-1/2" galvanized steel, perforated, square tube sleeve (12 gauge) 3' long. A galvanized steel pole cap shall be mounted on top of each post.

ADDRESS CHART		
LOT	PARCEL	STREET
A-3	392	9851 Broken Land Parkway



VICINITY MAP

SCALE: 1" = 2000'

HOWARD COUNTY ADC MAP 5053, GRID D1

- Health Department approval of this Site Development Plan does not ensure approval of building permit applications associated with this plan. Plans for certain facilities to be constructed within the limits described by this plan will require review and approval by the Health Department. Such facilities may include, but are not limited to, those which have swimming pools, or that sell prepared or packaged foods, or that may have equipment that emits radiation.
- A.) A fire department connection for fire protection systems shall be located:
 - on the side of the structure displaying the address clearly visible to the responding units.
 - within 100 ft. of a fire hydrant.
- B.) The appropriate sign shall be mounted on the building's wall between 8 and 12 feet above the fire department connection.
- C.) A free-standing Fire Department Connection shall have the sign mounted on a pole directly behind the connection approximately 6 feet high.
- D.) Signs shall have a white reflective background with a red reflective border, red reflective letters and a red reflective arrow. The border shall have a 3/8" stroke. The letters shall be 6" high with a 1" stroke. The arrow shall have a stroke note less than 2". The overall sign measurements shall be 12" by 18".
- E.) Any obstruction or condition that deters or hinders access to a FDC is prohibited. A minimum clear space of 15 feet (7.5 feet on all sides) shall be maintained.
- This project was presented before the Design Advisory Panel (DAP) on July 25, 2018 for site design and architectural comments. The DAP by a vote of 4-0 issued five design/architectural recommendations. All five recommendations were endorsed by the Director of DPZ.
- An underground utility marking survey was performed by SoftDig and located by Howard County Bureau of Utilities and FSH on May 7, 2020.
- An Advance Deposit Order (ADO), Contract 24-0988-D, SDP-20-042 was approved by Howard County Bureau of Utilities on August 31, 2020 for the proposed water house connection and fire hydrant.
- A Design Manual Waiver from Design Manual Vol III, Appendix G to reduce the minimum width of a one way drive lane in a parking lot from 16' to 12', was approved on July 2, 2020.

SITE ANALYSIS DATA

- Total parcel A-3 & A-4 area = 13.933 ac.±
(Per SDP-84-299)
Limit of Disturbance Area (LOD) = 1.26 ac.±
- No wetlands, wetland buffers or streams/stream buffers exist on site.
- No 100-year floodplain exists on site.
- No forest area on site.
- No areas of 15-24.9% slopes exist on site.
- No 25% slopes or greater exist on site.
- Proposed impervious area = 0.83 ac.±
- Erodible soils ($K \geq 0.35$) = 0
- Proposed site use: Commercial
- Building area = 8,373 sq.ft.±

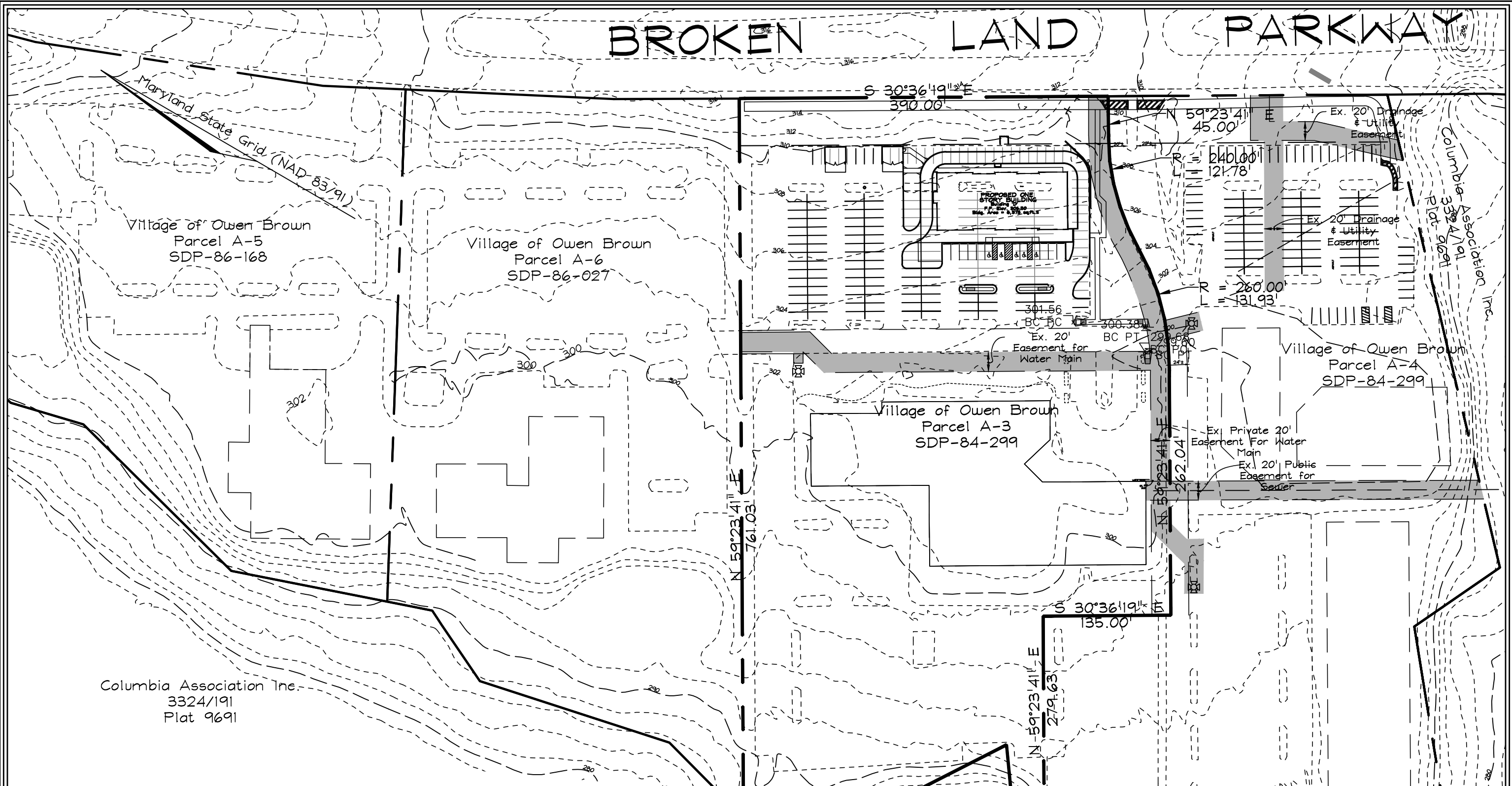
OWNER/DEVELOPER
AGS Borrower Lakeview, LLC
7127 Ambassador Road, Suite 100
Baltimore, MD 21244
Attention: Alan C. Grabush, Principal
(443)725-9000

FSH Associates
Engineers Planners Surveyors
6339 Howard Lane, Elkridge, MD 21075
Tel: 410-567-5200 Fax: 410-796-1562
E-mail: info@fsheri.com

**SITE DEVELOPMENT PLAN
OVERALL PLAN REDUCTION
LAKEVIEW RETAIL**
A Redevelopment of Village of Owen Brown,
Parcel A-3 & A-4, Plat 5201, F-82-063,
SDP-81-115, SDP-84-299, FDP-125-A
Tax Map 42 Grid 3 P.392, Lot A-3 & A-4
6th Election District Howard County, MD

DESIGN BY: MLT
DRAWN BY: CRH2
CHECKED BY: ZYF
SCALE: None
DATE: Dec. 18, 2020
W.O. No.: 4060
SHEET No. 1 OF 4

BROKEN LAND PARKWAY



Village of Owen Brown
Parcel A-5
SDP-86-168

Village of Owen Brown
Parcel A-6
SDP-86-027

Village of Owen Brown
Parcel A-3
SDP-84-299

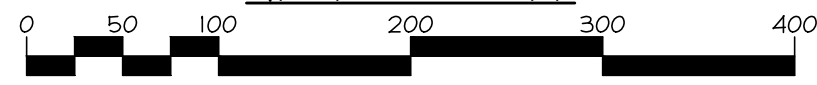
Village of Owen Brown
Parcel A-4
SDP-84-299

Columbia Association Inc.
3324/191
Plat 9691

LOCATION MAP

Scale: 1" = 100'

GRAPHIC SCALE



1 INCH = 100 FT.

FSH Associates

Engineers Planners Surveyors
6339 Howard Lane, Elkridge, MD 21075
Tel: 410-567-5200 Fax: 410-796-1562
E-mail: info@fsheri.com

SITE DEVELOPMENT PLAN OVERALL PLAN REDUCTION LAKEVIEW RETAIL

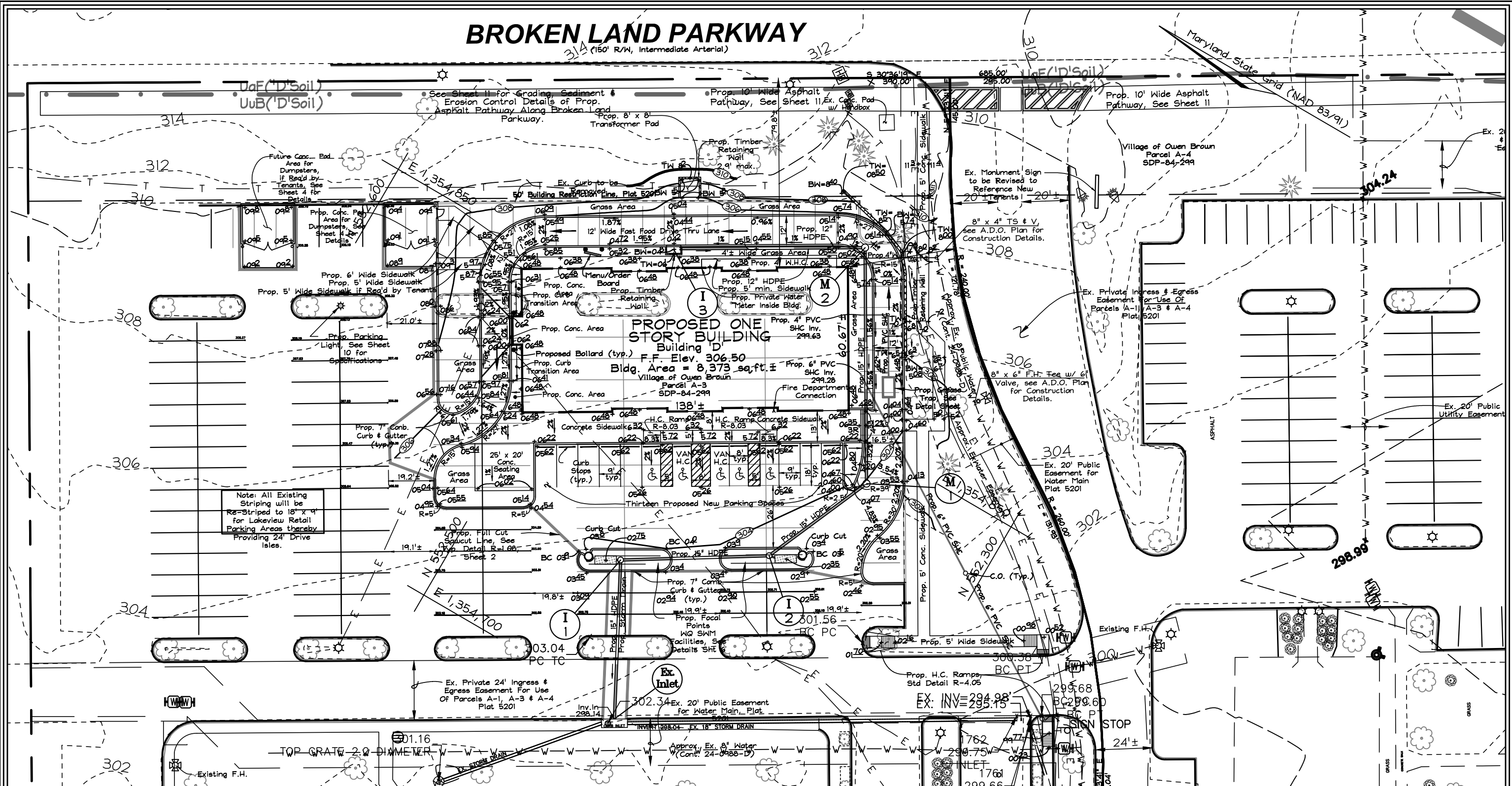
A Redevelopment of Village of Owen Brown,
Parcel A-3 & A-4, Plat 5201, F-82-063,
SDP-81-115, SDP-84-299, FDP-125-A
Tax Map 42 Grid 3 P.392, Lot A-3 & A-4
6th Election District Howard County, MD

DESIGN BY: MLT
DRAWN BY: CRH2
CHECKED BY: ZYF
SCALE: 1" = 40'
DATE: Dec. 18, 2020
W.O. No.: 4060
SHEET No. 2 OF 4

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BROKEN LAND PARKWAY

314 (150' R/W, Intermediate Arterial)



Note: All Existing Striping will be Re-Striped to 18' x 4' for Lakeview Retail Parking Areas thereby Providing 24 Drive Isles.



GRAPHIC SCALE



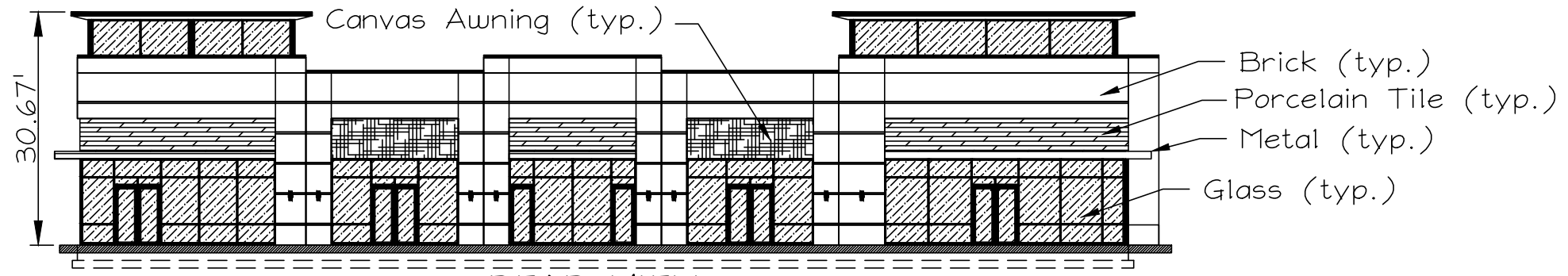
(IN FEET)
1 INCH = 40 FT.

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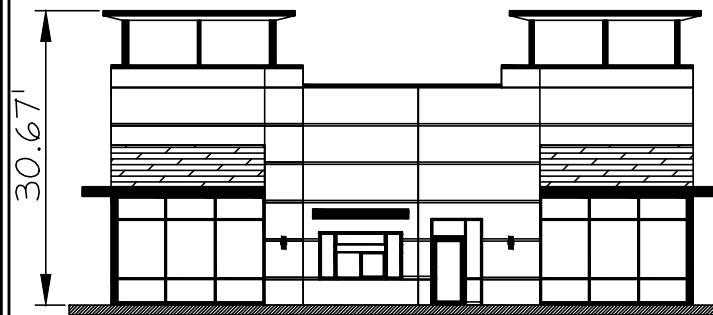
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 OVERALL PLAN REDUCTION
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 Parcel A-3 & A-4, Plat 5201, F-82-063,
 SDP-81-115, SDP-84-299, FDP-125-A
 Tax Map 42 Grid 3 P.392, Lot A-3 & A-4
 6th Election District Howard County, MD

DESIGN BY:	MLT
DRAWN BY:	CRH2
CHECKED BY:	ZYF
SCALE:	1" = 40'
DATE:	Dec. 18, 2020
W.O. No.:	4060
SHEET No.	3 OF 4

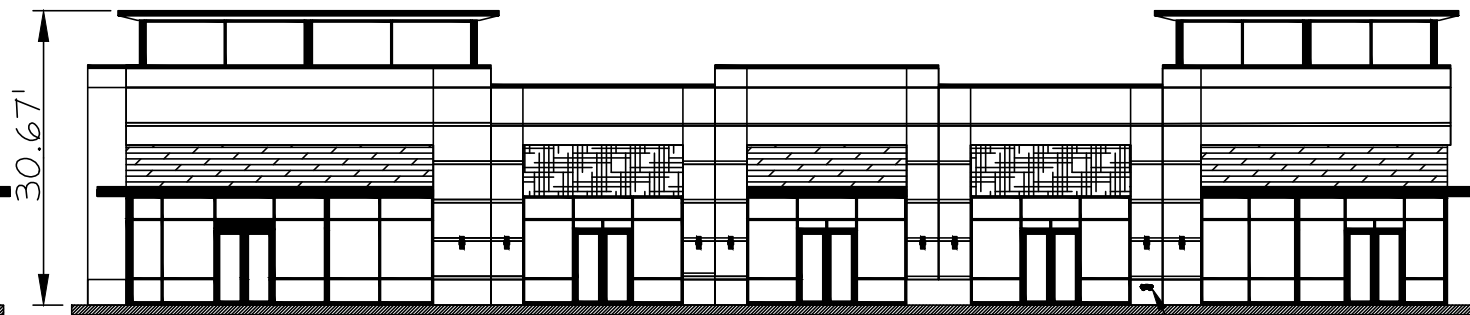
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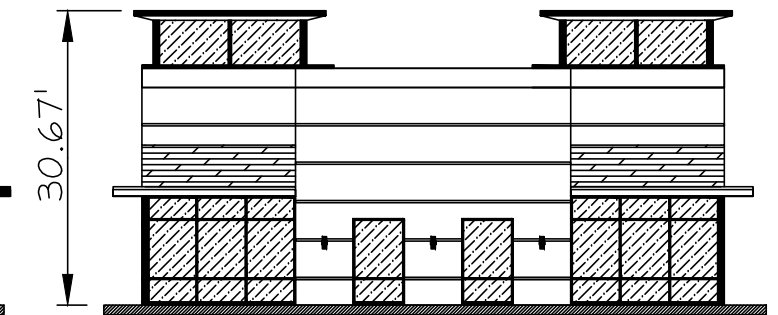
REAR VIEW
Not to Scale



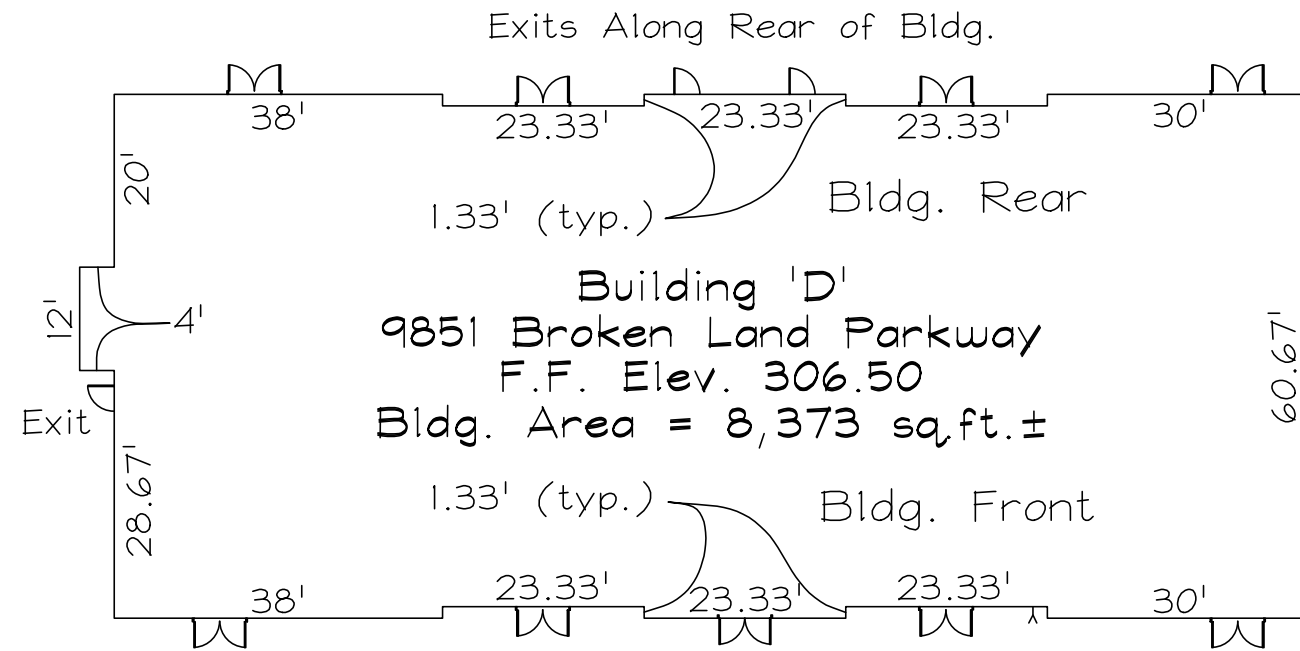
LEFT VIEW
Not to Scale



FRONT VIEW
Not to Scale



RIGHT VIEW
Not to Scale



Entrances/Exits Along Front of Bldg.

BUILDING FOOTPRINT
Not to Scale

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Tax Map 42 Grid 3 P.392, Lot A-3 & A-4
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DESIGN BY: MLT
DRAWN BY: CRH2
CHECKED BY: ZYF
SCALE: None
DATE: Dec. 18, 2020
W.O. No.: 4060
SHEET No. 4 OF 4